

Initial Application Date: 7-8-24

Application # _____

CU# _____

Central Permitting 420 McKinney Pkwy, Lillington, NC 27546 Phone: (910) 893-7525 ext:1 Fax: (910) 893-2793 www.harnett.org/permits

****A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) & SITE PLAN ARE REQUIRED WHEN SUBMITTING A LAND USE APPLICATION****

LANDOWNER: Kenneth Rigda Mailing Address: 305 Sutter Gate Lane
City: Morrisville State: NC Zip: 27560 Contact No: 919-535-8137 Email: KCRigda@att.net

APPLICANT: Clayton Homes Mailing Address: 1582 US Hwy 1
City: Youngsville State: NC Zip: 27596 Contact No: 919-510-3366 Email: Chris.Williams@claytonhomes.com

ADDRESS: 365 Betts Rd PIN: 0646-40.0252

Zoning: _____ Flood: _____ Watershed: _____ Deed Book / Page: _____

Setbacks - Front: 35' Back: 30' Side: 15' Corner: _____

PROPOSED USE:

SFD: (Size 32 x 66) # Bedrooms: 3 # Baths: 2 Basement(w/wo bath): _____ Garage: _____ Deck: _____ Crawl Space: _____ Slab: _____ Slab: _____
(Is the bonus room finished? () yes () no w/ a closet? () yes () no (If yes add in with # bedrooms)

Modular: (Size 32 x 66) # Bedrooms 3 # Baths 2 Basement (w/wo bath) _____ Garage: _____ Site Built Deck: _____ On Frame _____ Off Frame
(Is the second floor finished? () yes () no Any other site built additions? () yes () no

Manufactured Home: _____ SW _____ DW _____ TW (Size _____ x _____) # Bedrooms: _____ Garage: _____ (site built?) _____ Deck: _____ (site built?) _____

Duplex: (Size _____ x _____) No. Buildings: _____ No. Bedrooms Per Unit: _____

Home Occupation: # Rooms: _____ Use: _____ Hours of Operation: _____ #Employees: _____

Addition/Accessory/Other: (Size _____ x _____) Use: _____ Closets in addition? () yes () no

Water Supply: County _____ Existing Well _____ New Well (# of dwellings using well _____) *Must have operable water before final

Sewage Supply: _____ New Septic Tank _____ Expansion _____ Relocation _____ Existing Septic Tank _____ County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Does owner of this tract of land, own land that contains a manufactured home within five hundred feet (500') of tract listed above? () yes () no

Does the property contain any easements whether underground or overhead () yes () no

Structures (existing or proposed): Single family dwellings: _____ Manufactured Homes: _____ Other (specify): _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Signature of Owner or Owner's Agent

Date

****It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.****
****This application expires 6 months from the initial date if permits have not been issued****

APPLICATION CONTINUES ON BACK

This application expires 6 months from the initial date if permits have not been issued

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

Environmental Health New Septic System

- All property irons must be made visible. Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the undergrowth to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

Environmental Health Existing Tank Inspections

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over outlet end of tank as diagram indicates, and lift lid straight up (if possible) and then put lid back in place. (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

SEPTIC

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted Innovative Conventional Any
 Alternative Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

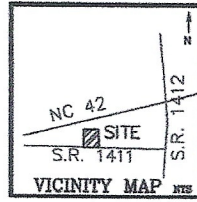
- YES NO Does the site contain any Jurisdictional Wetlands?
 YES NO Do you plan to have an irrigation system now or in the future?
 YES NO Does or will the building contain any drains? Please explain. _____
 YES NO Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
 YES NO Is any wastewater going to be generated on the site other than domestic sewage?
 YES NO Is the site subject to approval by any other Public Agency?
 YES NO Are there any Easements or Right of Ways on this property?
 YES NO Does the site contain any existing water, cable, phone or underground electric lines?
 If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.

(21 NCAC 56. 1600)

"I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 996 PAGE 597 OR OTHER REFERENCE SOURCE PIN 0646400259; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK 2100 PAGE 847 OR OTHER REFERENCE SOURCE PIN 0646309322; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)."
 THIS 06RD DAY OF JUNE , 2024

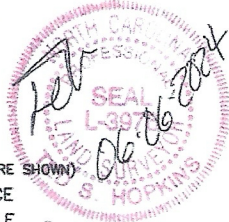
PROFESSIONAL LAND SURVEYOR



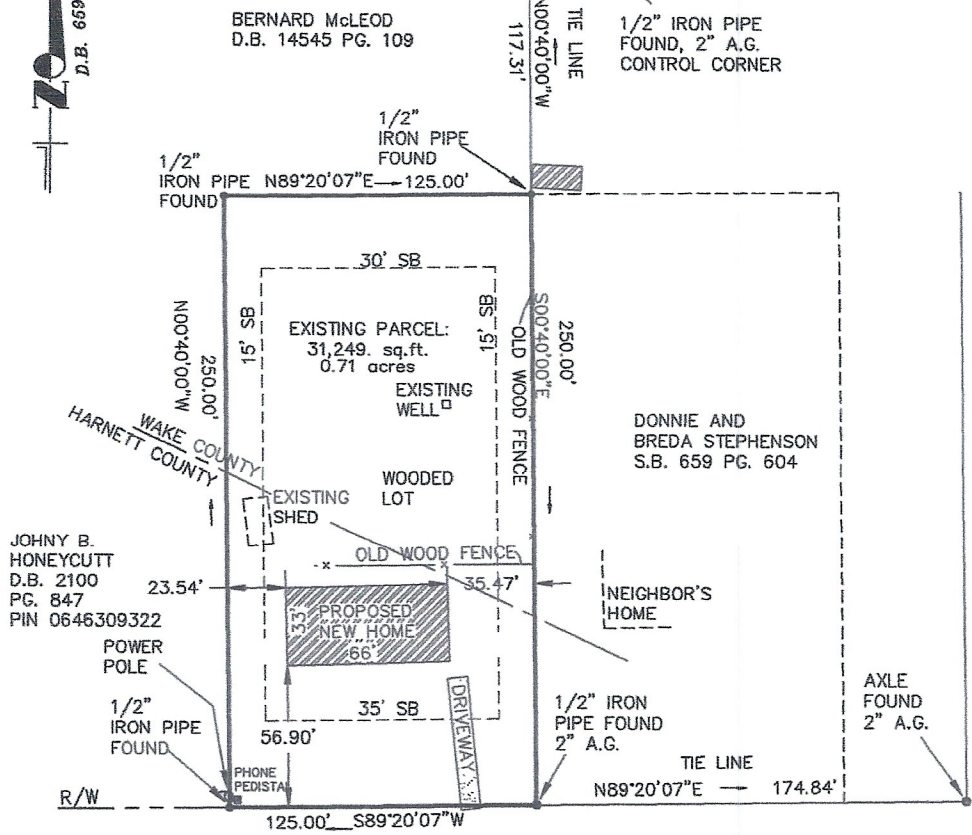
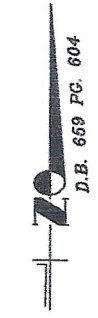
LINE TYPE LEGEND:

PROPERTY LINE (P/A)	---
RIGHT OF WAY (R/W)	---
CENTERLINE (C/A)	---
OVERHEAD UTILITY LINE (OHU)	---
ADJOINING PROPERTY LINE	---
MINIMUM BUILDING LINE (M.B.L.)	---
EDGE OF PAVEMENT (EOP)	---
ACCESS EASEMENT	---
WOODLINE	~~~~~

- * LEGEND**
- ISS ● IRON STAKE SET
 - EIP ○ EXISTING IRON PIPE (TYP.)
 - PKF ▲ PK NAIL FOUND
 - PP □ POWER POLE
 - PED □ PHONE PEDISTAL
 - WM ⊙ WATER METER
 - R/W RIGHT OF WAY
 - OHE OVERHEAD ELECTRIC
 - ~~~~~ WOOD LINE
 - CP ● COMPUTED POINT (TYP. WHERE SHOWN)
 - x - EXISTING FENCE
 - ⊙ SANITARY SEWER MANHOLE
 - ELECTRIC BOX
 - SB= SET BACK



CURRENT OWNER:
 ANDREA HERRERA
 AND CARLOS ANDRES
 ESPARZA VALDERRAMA
MAILING ADDRESS:
 4217 LEGACY PARK WAY UNIT 3
 AYDEN, N.C. 28513
PHYSICAL ADDRESS:
 2434 CHAPMAN STREET
 WINTERVILLE, N.C. 28590
 PIN 4675329983
 D.B. 4474 PG. 414



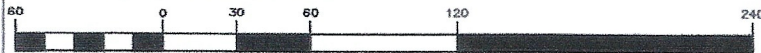
SITE PLAN
 FOR
CLAYTON HOMES OF YOUNGSVILLE
 365 BETTS ROAD
 HOLLY SPRINGS, N.C.
 PARCELL NUMBER 060846 0003

JAMES KENNETH BIGDA
CAROL ANN BIGDA
 BUCKHORN Township
 HARNETT County, North Carolina
 LOT 3 VIRGINIA C. McLEOD



06-06-2024
 Scale: 1" = 60'

REVISION: HOME MOVED
 FILE NUMBER 365bettsroad.DWG



Civiltek East
 Surveying Planning Subdivision Design
 602 EAST NASH STREET (252) 478-5005
 SPRING HOPE, N.C. 27882 FIRM C-2000
 E-Mail: CiviltekEast@embarcardmail.com