

FLOOD CERTIFICATION

THE PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD AREA PER FIRM MAP NO. 3720084000J PANEL 0840, FIRM MAP NO. 3720086000J PANEL 0860, FIRM MAP NO. 3720084200J PANEL 0842, FIRM MAP NO. 3720086200J PANEL 0862 ALL WITH EFFECTIVE DATE OF OCTOBER 3, 2006

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG.
C1	64.03°	575.00'	67.05'	67.01'	33.56'	N 84°17'41" E
C2	87°43'20"	25.00'	36.28'	34.63'	24.03'	N 44°48'58" E

LINE TABLE

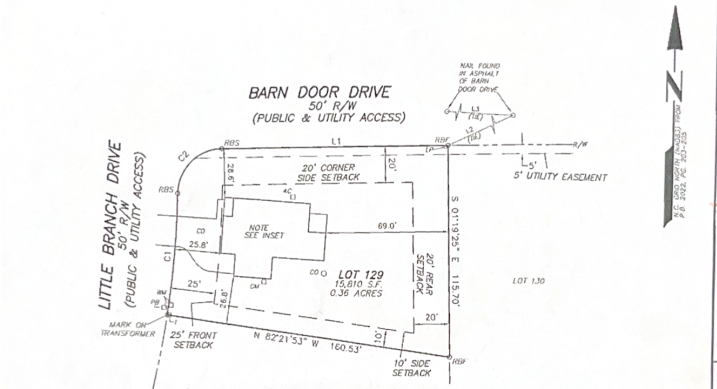
LINE	BEARING	DISTANCE
L1	N 88°40'35" E	127.03'
L2	N 65°01'31" E	87.99'
L3	N 87°33'23" W	239.18'

EXISTING IMPERVIOUS SURFACES
 TOTAL LOT AREA=15,810 S.F.
 HOUSE/POWERS=1,814 S.F.
 DRIVEWAYS/ETC = 745 S.F.
 TOTAL IMPERVIOUS AREA=2,709 S.F.
 MAXIMUM IMPERVIOUS AREA=3,600 S.F.

VICINITY MAP



REFERENCES:
 1. D.B. 4188 PG. 98
 2. PW 6052-90-0322.000
 PD 110862 0037 58
 RESTRICTIVE COVENANTS
 2. D.B. 4072, PG. 220



SETBACKS

- FRONT YARD-25'
- SIDE YARD-10'
- REAR YARD-20'
- CORNER SIDE-20'

LEGEND

- (RBS)-REBAR FOUND
- (RBS)-REBAR SET
- (LP)-LIGHT POLE
- (T)-TRANSFORMER
- (PB)-PHONE BOX
- (CD)-CONCRETE DRIVEWAY
- (M)-WATER METER
- (CO)-CLEANOUT
- (AC)-AIR CONDITIONER

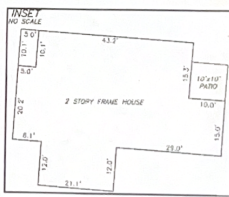
NOTES

- ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG. 203-205 UNLESS OTHERWISE NOTED.
- PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
- THE PROJECT IS WITHIN THE 10' IV W/ERSHED THE MAXIMUM IMPERVIOUS AREA PER LOT IS 3,600 S.F.

NOTE:
 RATIO OF PRECISION IS 1:10,000; ENCLOSURE WAS OBTAINED BY THE COMPASS METHOD; THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL DISTANCE UNLESS NOTED OTHERWISE; ALL AREAS ARE CALCULATED BY COORDINATE COMPUTATION

LOT 129 THE FARM AT NEILLS CREEK
 PHASE 1
 129 LITTLE BRANCH DRIVE
 HARNETT COUNTY
 LILLINGTON, N.C. 27546

REFERENCE: PLAT BOOK 2022, PAGE 203-205...



SURVEY FOR
KEVIN TERRY
 AND
JILDAH HAZZARD



GRAPHIC SCALE

P.L.P. PNO.0121P

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. DESCRIPTION RECORDED IN INSTRUMENTS AS SHOWN. THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DEDUCED FROM INFORMATION AVAILABLE TO ME. THE RATIO OF PRECISION IS 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (C.F. N.C.G.S. 84-1800).
 THE DATE OF SURVEY IS 08/01/2024.
 William H. Hazzard
 PROFESSIONAL LAND SURVEYOR 14433



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DATE: 3-4-24 SCALE: 1"=40'

