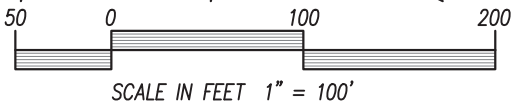


- NOTES:
1. PROPERTY INFO. PER HARNETT COUNTY GIS
 2. HARNETT COUNTY PID: 03958519 0130, PIN: 9585-55-4835.000
 3. ZONING = RA-20R, TOWNSHIP = BARBEQUE
 4. THIS SITE IS LOCATED IN ZONE "X" ACCORDING TO FEMA FLOOD INSURANCE RATE MAP; 3720071300K PANEL 0713 DATED 7/19/2022
 5. TOTAL PROPERTY AREA = 67,430 SF (1.52 AC)
 6. BOUNDARY INFO; DEEDBOOK 2278 PG 999, MAPBOOK 2006 PG 622
 7. SETBACKS: UNKN
 8. BUILDING LOCATIONS ARE TO BE CONSIDERED APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION.



IMPERVIOUS AREA:

EXIST. BUILDING =	2,584 SF
EXIST. DRIVEWAY =	7,276 SF
PROP. 3 SEASON ROOM ADDITION =	151 SF
TOTAL =	±10,011 SF

BUA (BUILT UPON AREA) CALCULATION:

LOT AREA = 67,430 SF
 10,011 / 67,430 = 0.148 (15% IMPERVIOUS)

LOT 130 B CAROLINA LAKES PH 7 BLK S

REVISIONS	
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SITE PLAN
for
865 COACHMAN WAY

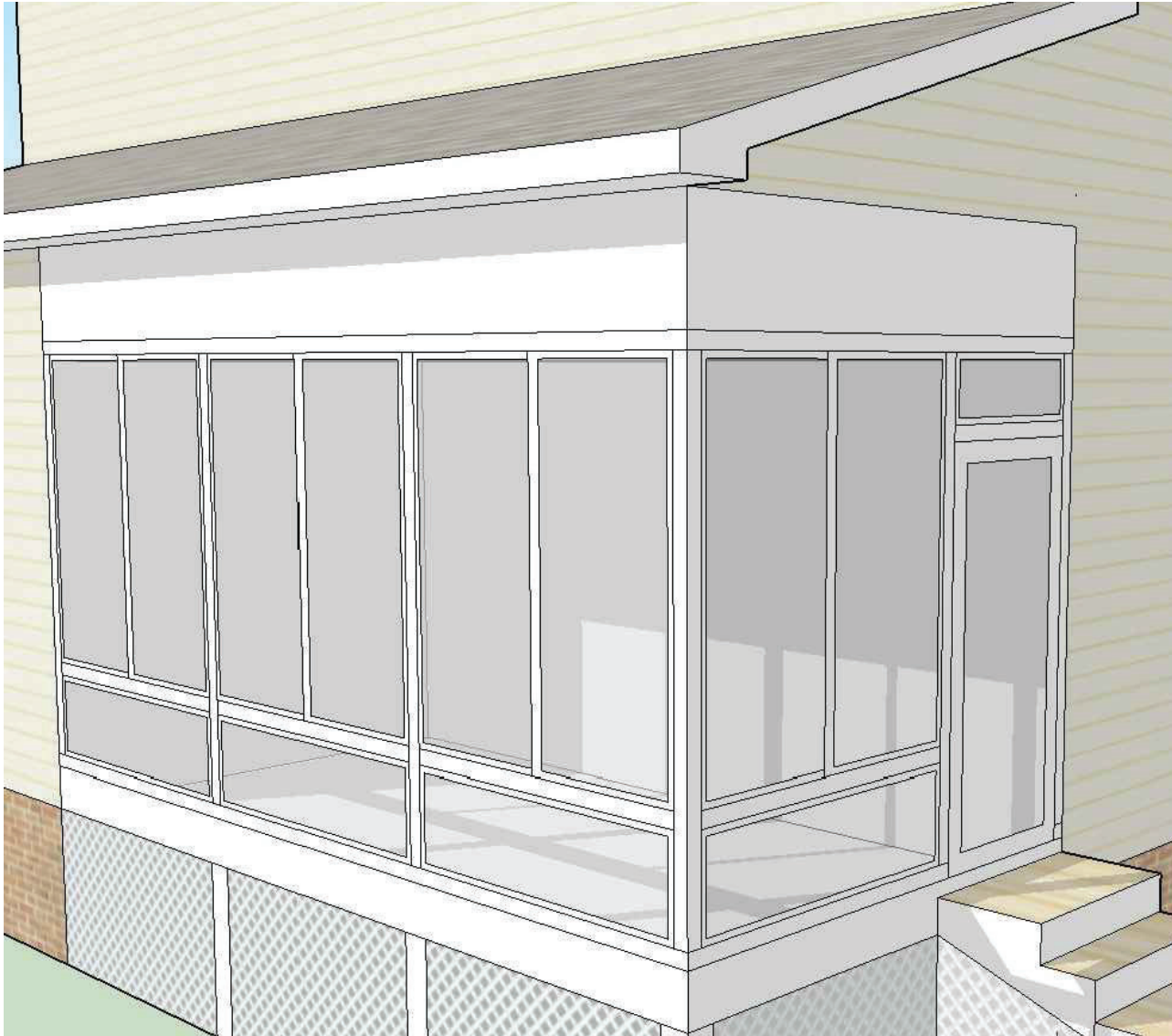
CLEAN SLATE CONTRACTING, LLC
 229 CHERRY BARK LOOP
 CLAYTON, NC 27527
 DRAWN BY: J MARTIN
 DATE : 3/04/24
 SCALE : 1" = 100'



info@cleanslaterdu.com (919) 429-0875

CLIENT: MURRAY & HEATHER SIMPKINS
 865 COACHMAN WAY
 SANFORD, NC 27332

JOB NO.
 001795
 SHEET NO.
 SP.1

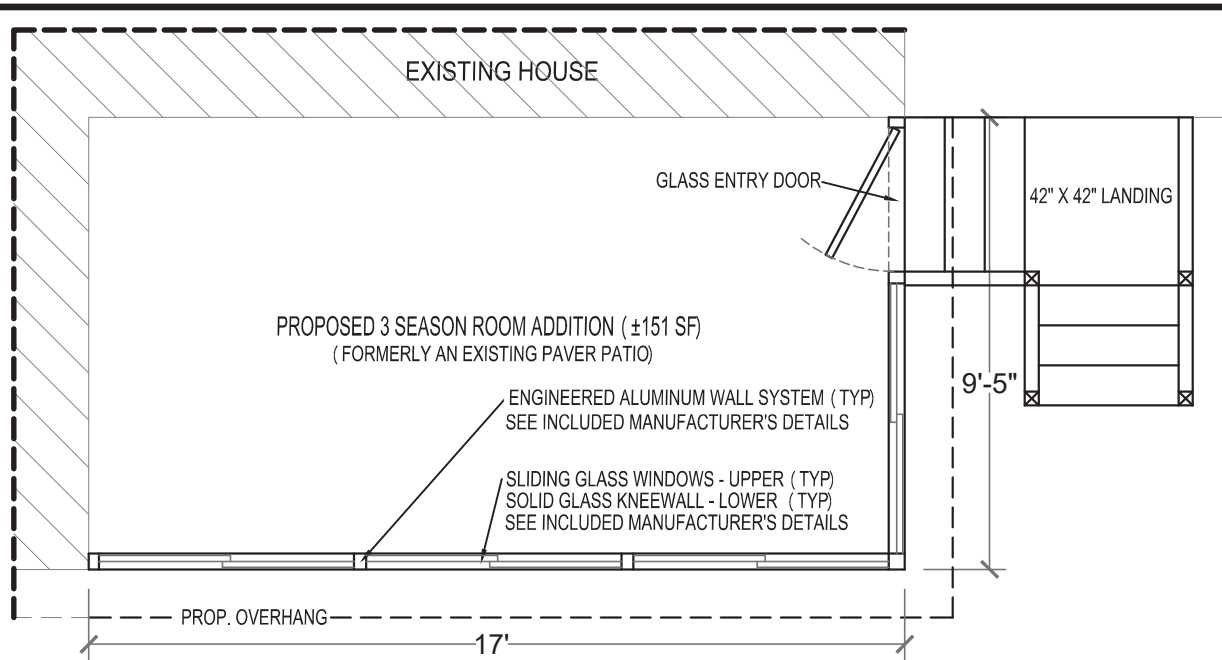


ELEVATIONS

NOT TO SCALE

*** DISCLAIMER - ALL RENDERINGS ARE TO BE CONSIDERED CONCEPTUAL.

<p>REVISIONS</p> <p>- -</p> <p>- -</p> <p>- -</p> <p>- -</p> <p>- -</p>	<p>ELEVATIONS</p> <hr/> <p>for</p> <hr/> <p>865 COACHMAN WAY</p>	<p>CLEAN SLATE CONTRACTING, LLC 229 CHERRY BARK LOOP CLAYTON, NC 27527 DRAWN BY: J MARTIN DATE : 3/04/24 SCALE : NTS</p>	 <p>info@cleanslaterdu.com (919) 429-0875</p>	<p>CLIENT: MURRAY & HEATHER SIMPKINS</p> <hr/> <p>865 COACHMAN WAY</p> <hr/> <p>SANFORD, NC 27332</p>	<p>JOB NO. 001795</p> <hr/> <p>SHEET NO. EL.1</p>
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Proposed 3 Season Room Addition

1/4" = 1'-0" ±151 SF - Thermally Isolated

EMERGENCY EGRESS NOTES:

- THE PROPOSED ADDITION / PORCH ENCLOSURE DOES NOT INHIBIT THE SOLE MEANS OF EMERGENCY EGRESS VIA GROUND LEVEL WINDOWS FROM AN ADJACENT BEDROOM AS OUTLINED IN NCRC 310.

INSULATION NOTES:

- ~~- INSULATE CEILING WITH R-30 INSULATION w/ VAPOR BARRIER.~~
- ~~- INSULATE WALLS R-15 FIBERGLASS BATTING w/ VAPOR BARRIER.~~
- INSULATE FLOOR SYST. WITH R-19 FIBERGLASS BATTING w/ VAPOR BARRIER.

ELECTRICAL NOTES:

- ELECTRICAL WORK ASSOCIATED w/ THIS PROJECT TO INCLUDE BUT NOT LIMITED TO THE INSTALLATION OF 110V RECEPTACLES, CEILING FANS AND LIGHTS.
- THIS PLAN DOES NOT PROPOROT TO SHOW PROPOSED ELECTRICAL WORK TO BE DONE, CONDUIT/ WIRE ROUTING OR FIXTURE LOCATIONS.
- ALL ELECTRICAL WORK TO CONFORM TO 2017 NEC.
- MEANS OF EGRESS LIGHTING TO BE PROVIDED WHERE APPLICABLE.
- ALL RECEPTACLE TO BE ARC FAULT, ALL CIRCUITRY TO BE GROUNDED TO MAIN PANEL.
- A LICENSED ELECTRICIAN WILL BE DISPATCHED TO PERFORM RELATED WORK AND ELECTRICAL PERMITS WILL BE OBTAINED FROM THE INSPECTIONS DEPARTMENT.

NOTES :

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- EXISTING DECKS, PATIOS AND MISC. FOUNDATIONS TO MEET CURRENT STATE AND LOCAL CODES AT THE TIME OF CONSTRUCTION.

NC STATE BUILDING CODE REFERENCE:

- CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE (2018 IRC WITH NORTH CAROLINA AMENDMENTS) . 2018 EDITION, PLUS LOCAL CODES AND REGULATIONS (NCRC) . WORK NOT DETAILED SHALL COMPLY WITH THE REQUIREMENTS OF THE NCRS.

REVISIONS

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PLAN VIEW

for

865 COACHMAN WAY

CLEAN SLATE CONTRACTING, LLC
229 CHERRY BARK LOOP
CLAYTON, NC 27527
DRAWN BY: J MARTIN
DATE : 3/04/24
SCALE : AS SHOWN



info@cleanslaterdu.com

(919) 429-0875

CLIENT: MURRAY & HEATHER SIMPKINS

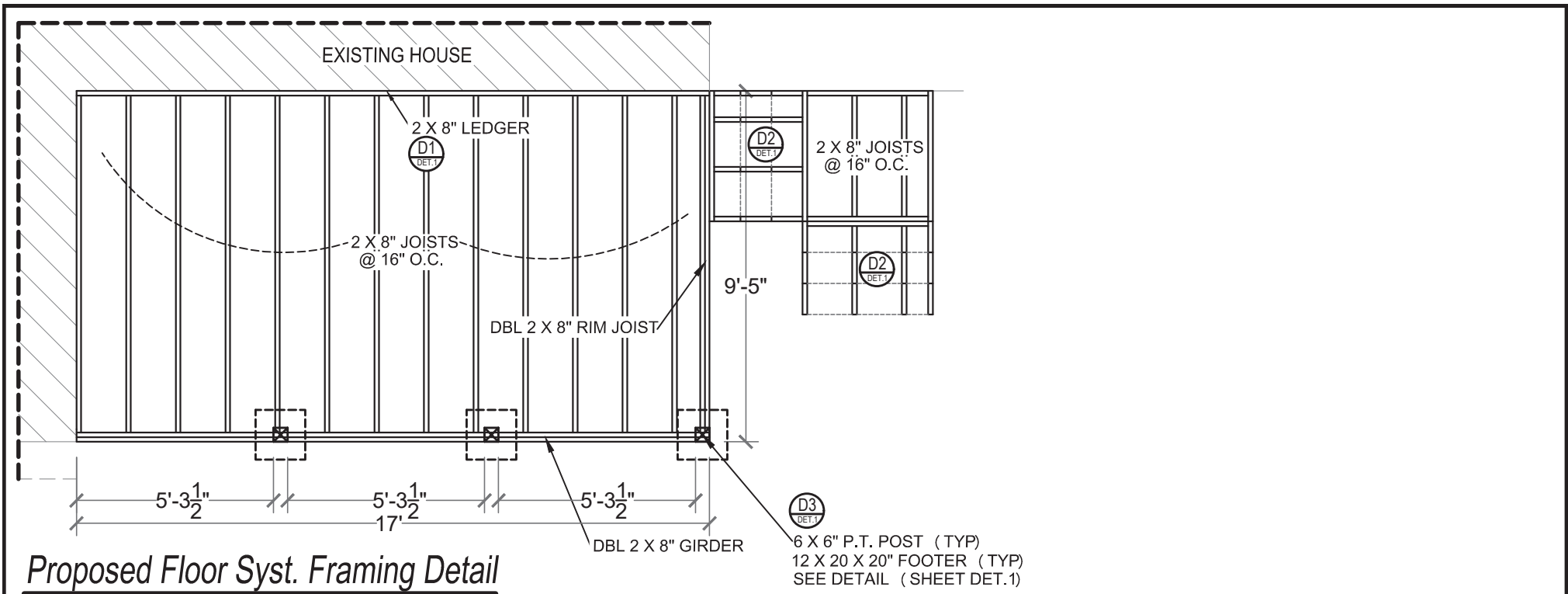
865 COACHMAN WAY

SANFORD, NC 27332

JOB NO.
001795

SHEET NO.

PLN.1



Proposed Floor Syst. Framing Detail

1/4" = 1'-0"

JOIST HANGERS REQ'D @ ALL CONNECTIONS
(SINGLE) 2 X 8 - SIMPSON STRONG-TIE LUS28Z

FRAMING NOTE:

- ALL FRAMING TO BE NO.2 SOUTHERN YELLOW PINE.

NOTES :

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REVISIONS

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FRAMING PLAN

for

865 COACHMAN WAY

CLEAN SLATE CONTRACTING, LLC
229 CHERRY BARK LOOP
CLAYTON, NC 27527
DRAWN BY: J MARTIN
DATE : 3/04/24
SCALE : 1/4" = 1'-0"



info@cleanslaterdu.com

(919) 429-0875

CLIENT: MURRAY & HEATHER SIMPKINS

865 COACHMAN WAY

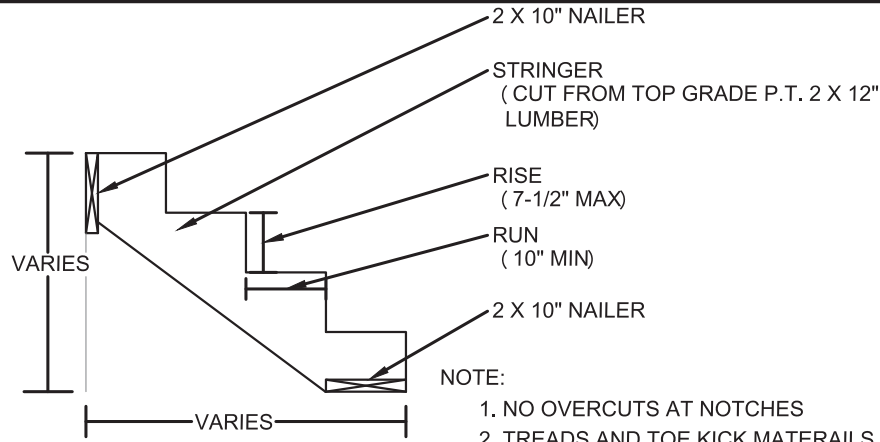
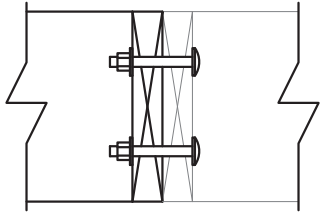
SANFORD, NC 27332

JOB NO.
001795

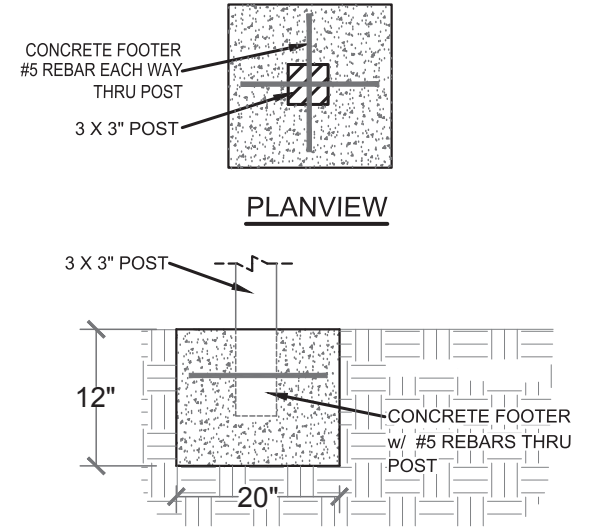
SHEET NO.

FR.1

2 X 8" LEDGER
 - 2 -5/8" CARRIAGE BOLTS @ 24" O.C.
 - 3 -16D NAILS @ 24" O.C.



- NOTE:
1. NO OVERCUTS AT NOTCHES
 2. TREADS AND TOE KICK MATERIALS VARY MUST RESIST ELEMENTS AND NOT CREATE SLIP HAZARD.
 3. STAIRS ABOVE 24" IN HEIGHT REQUIRE HANDRAILS.



D1 LEDGER DETAIL **D2** TYPICAL STAIR DETAIL
 NTS NTS

D3 TYPICAL FOOTER DETAIL
 NTS

NOTES :

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REVISIONS	
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DETAILS
for
865 COACHMAN WAY

CLEAN SLATE CONTRACTING, LLC
 229 CHERRY BARK LOOP
 CLAYTON, NC 27527
 DRAWN BY: J MARTIN
 DATE : 3/04/24
 SCALE : 1/4" = 1'-0"



CLIENT: MURRAY & HEATHER SIMPKINS
865 COACHMAN WAY
SANFORD, NC 27332

JOB NO. 001795
SHEET NO. DET.1



April 24, 2024

Joe Ski
c/o Clean Slate Contracting
229 Cherry Bark Loop
Clayton, NC 27527
Email: info@cleanslaterdu.com

Reference: Engineering Services
865 Coachman Way
Sanford, NC 27332
TE&D Project No.: 2401-020288

To Whom It May Concern;

As requested by the client, a representative of Tyndall Engineering & Design, PA (TE&D) is providing analysis for the following framing issue(s):

- 1) We understand the existing rear deck is to be removed and replaced with a new 3-Season Room. We are providing an analysis of the framing for the proposed space.

The following conclusions and recommendations were noted:

- 1) We understand the existing deck framing and foundation is to be removed and replaced per the plan provided by the client and included with this report. Based on our understanding and analysis, the proposed deck framing and foundation is adequate to support the anticipated loading conditions.

We understand the walls and roof of the sunroom are to be framed per the plans provided by the client and included with this report. Based on our observations and analysis, we recommend the following:

- A) The proposed wall headers are to consist of minimum (2) 2 x 12 headers.
- B) The aluminum posts are to be connected to each of the top brackets with a total of (4) 1/2" TEC screws (1 screw from each side of the post). The brackets are to be attached to the top beams with (4) 6" long Fastenmaster Timberlok screws.
- C) The aluminum posts are to be connected to each of the bottom brackets with a total of (4) 1/2" TEC screws (1 screw from each side of the post). The brackets at the bottom of the posts are to be fastened to the beam below with (2) 6" long Fastenmaster Timberlok screws per side.
- D) The aluminum tracks securing the posts to the beams above and below are to be installed with 6" long Fastenmaster Timberlok screws installed at 24" o.c. and within 12" of corners.



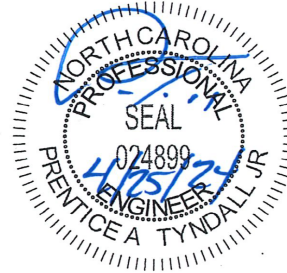
- E) New rafters and ceiling joists are to consist of minimum 2 x 8 at 16" o.c. rafters/joists. Rafters/joists are to bear on the existing home with new 2 x 8 bands attached to the existing wall framing with (3) 2" SDS screws at 16" o.c. (i.e. every stud).

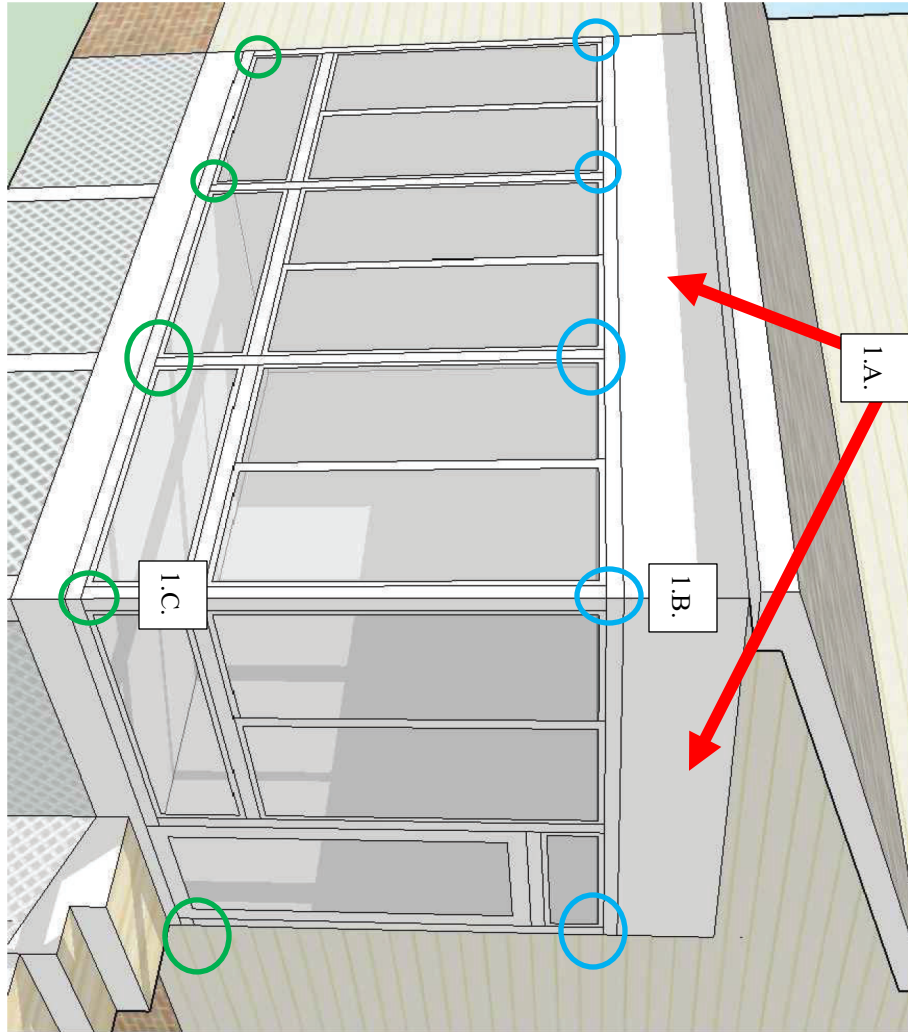
Upon completion, the new deck framing and new 3-Season Room framing will provide the required support for the anticipated loading conditions. We appreciate being able to assist you during this phase of the project. If you need further assistance or require additional information, please do not hesitate to contact us.

Sincerely,
Tyndall Engineering & Design

Tripp Amos
PT III | 2401-020288

Prentice Tyndall Jr., P.E.





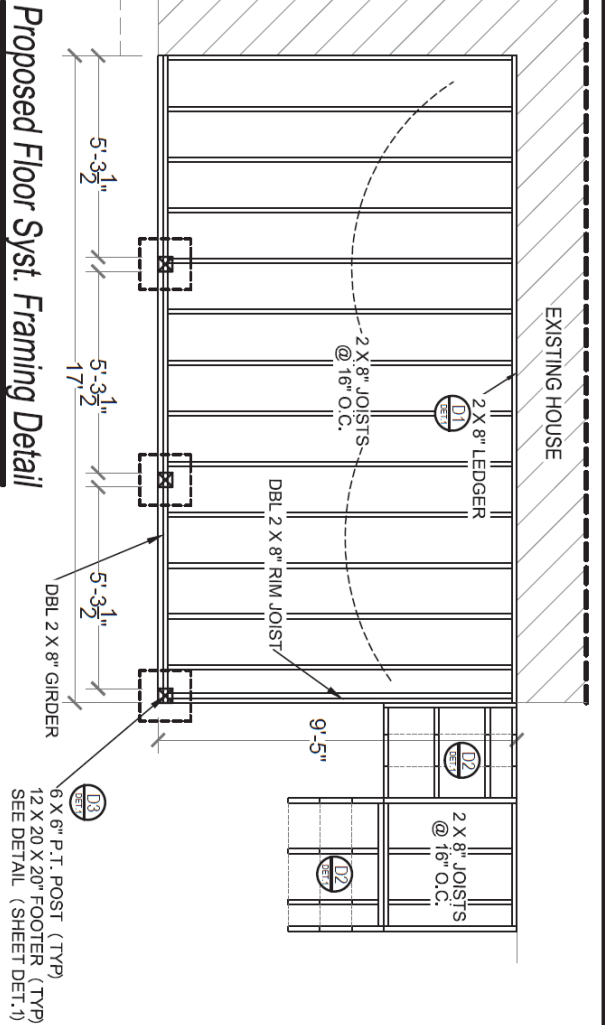
ELEVATIONS

NOT TO SCALE

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<p>REVISIONS</p> <p>.....</p>	<p>ELEVATIONS</p> <p>for</p> <p>865 COACHMAN WAY</p>	<p>CLEAN SLATE CONTRACTING, LLC</p> <p>229 CHERRY BARK LOOP</p> <p>CLAYTON, NC 27927</p> <p>DATE: 3/04/24</p> <p>SCALE: NTS</p>	<p>CLIENT: MURRAY & HEATHER SIMPKINS</p> <p>865 COACHMAN WAY</p> <p>SANFORD, NC 27332</p>	<p>job no.</p> <p>001795</p> <p>SHEET NO.</p> <p>EL. 1</p>
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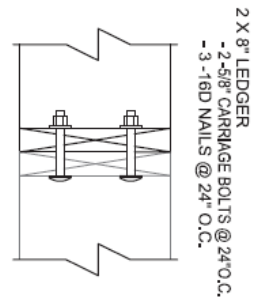


JOIST HANGERS REQ'D @ ALL CONNECTIONS
SINGLES 2 X 4 - SIMPSON STRONG-TIE LUS22
FRAMING NOTE:
- ALL FRAMING TO BE NO.2 SOUTHERN YELLOW PINE.

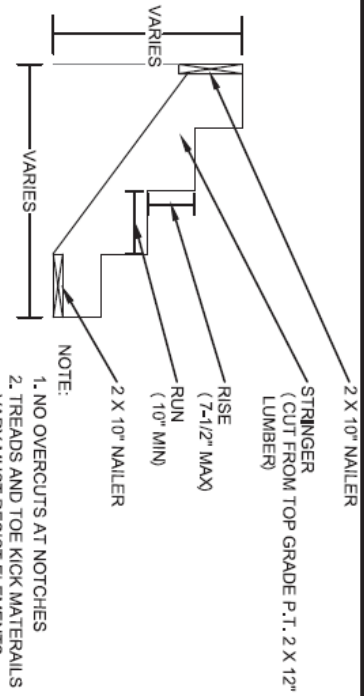
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<p>REVISIONS</p>	<p>FRAMING PLAN</p> <p>for</p> <p>865 COACHMAN WAY</p>	<p>CLEAN SLATE CONTRACTING, LLC</p> <p>229 CHERRY BARK LOOP</p> <p>CLAYTON, NC 27322</p> <p>DRAWN BY: J. MARTIN</p> <p>DATE: 3/04/24</p> <p>SCALE: 1/4" = 1'-0"</p>	<p>CLEAN SLATE CONTRACTING</p> <p>info@cleanslateind.com</p> <p>(919) 429-8875</p>	<p>CLIENT: MURRAY & HEATHER SIMPKINS</p> <p>865 COACHMAN WAY</p> <p>SANFORD, NC 27332</p>	<p>JOB NO. 001795</p> <p>SHEET NO. FR.1</p>
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2 X 8" LEDGER
- 2-5/8" CARRIAGE BOLTS @ 24" O.C.
- 3-1/2" DIA NAILS @ 24" O.C.



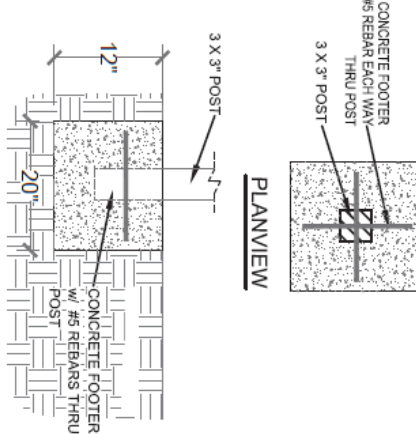
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3. STAIRS ABOVE 24" IN HEIGHT REQUIRE HANDRAILS.

D1 LEDGER DETAIL

NTS

D2 TYPICAL STAIR DETAIL

NTS



D3 TYPICAL FOOTER DETAIL

NTS

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REVISIONS	DETAILS
	for
	865 COACHMAN WAY
	CLEAN SLATE CONTRACTING, LLC
	229 CHERRY BARK LOOP
	CLAYTON, NC 27527
	DRAWN BY: J MARTIN
	DATE: 3/04/24
	SCALE: 1/4" = 1'-0"



CLIENT: MURRAY & HEATHER SIMPKINS	JOB NO. 001795
865 COACHMAN WAY	SHEET NO.
SANFORD, NC 27332	DET. 1