

GREEN SPRING DRIVE

SITE PLAN

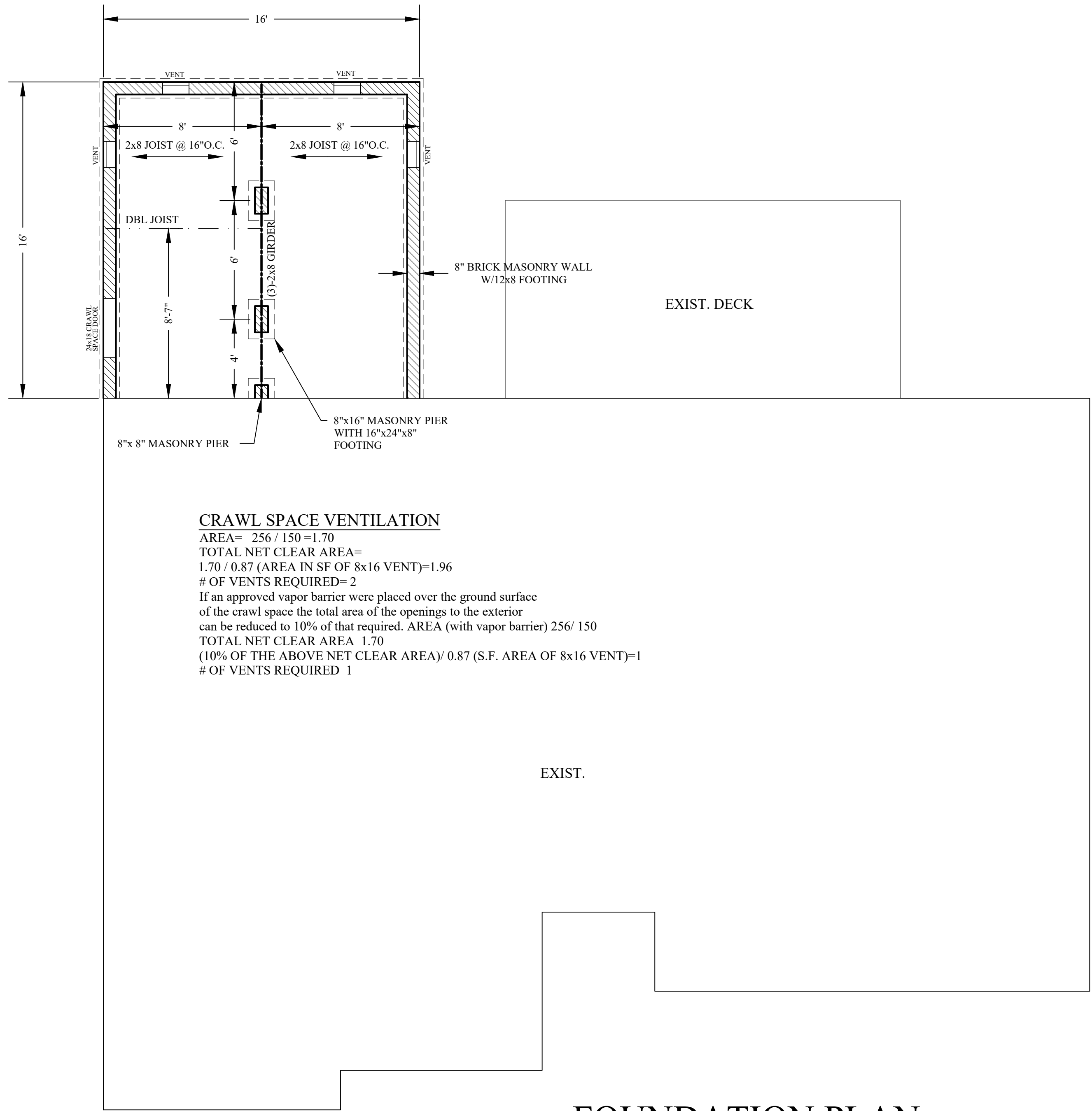
1" = 20'

R1
1 OF 5

CHANCE RESIDENCE ADDITION
330 GREEN SPRING DRIVE
SANFORD, NORTH CAROLNA 27732

SITE PLAN
DRAWN BY: LRW
DATE: 10-May-24
REVISED:
SCALE: AS NOTED
BUILDER SHALL ENSURE COMPLIANCE WITH APPLICABLE BUILDING CODES AND ZONING REGULATIONS. ALL PERMITS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE CONSTRUCTION BEGINS.

WHITE HOUSE
BUILDING ASSOCIATES LLC
WHITE HOUSE BUILDING ASSOCIATES LLC
WWW.WHITEHOUSEBUILDINGASSOCIATES.COM
WILMINGTON, NORTH CAROLINA
910.798.5195



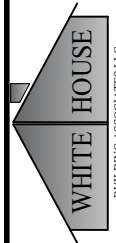
CRAWL SPACE VENTILATION

AREA= $256 / 150 = 1.70$
 TOTAL NET CLEAR AREA=
 $1.70 / 0.87$ (AREA IN SF OF 8x16 VENT)=1.96
 # OF VENTS REQUIRED= 2
 If an approved vapor barrier were placed over the ground surface
 of the crawl space the total area of the openings to the exterior
 can be reduced to 10% of that required. AREA (with vapor barrier) $256 / 150$
 TOTAL NET CLEAR AREA 1.70
 $(10\% \text{ OF THE ABOVE NET CLEAR AREA}) / 0.87$ (S.F. AREA OF 8x16 VENT)=1
 # OF VENTS REQUIRED 1

EXIST.

FOUNDATION PLAN

1/4"=1'-0"


 WHITE HOUSE BUILDING ASSOCIATES LLC
 1000 WILKINSON ROAD, SUITE 100
 WILMINGTON, NORTH CAROLINA
 910.783.5195

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R2
 2 OF 5



FLOOR PLAN

1/4" = 1'-0"

SQUARE FOOTAGE LEGEND	
ADDITION HEATED	256

CHANCE RESIDENCE ADDITION

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FLOORPLAN

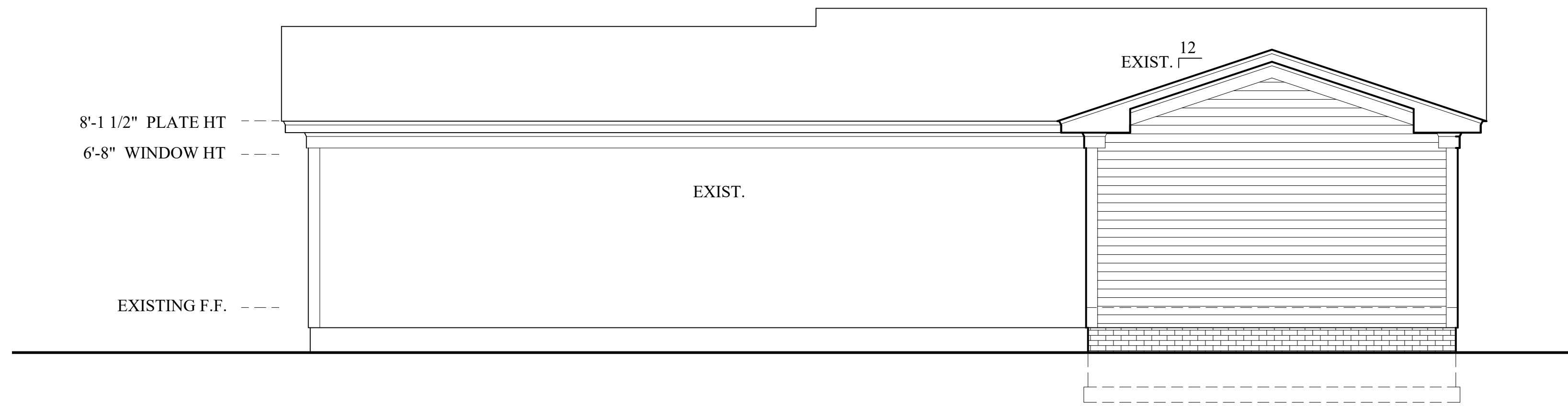
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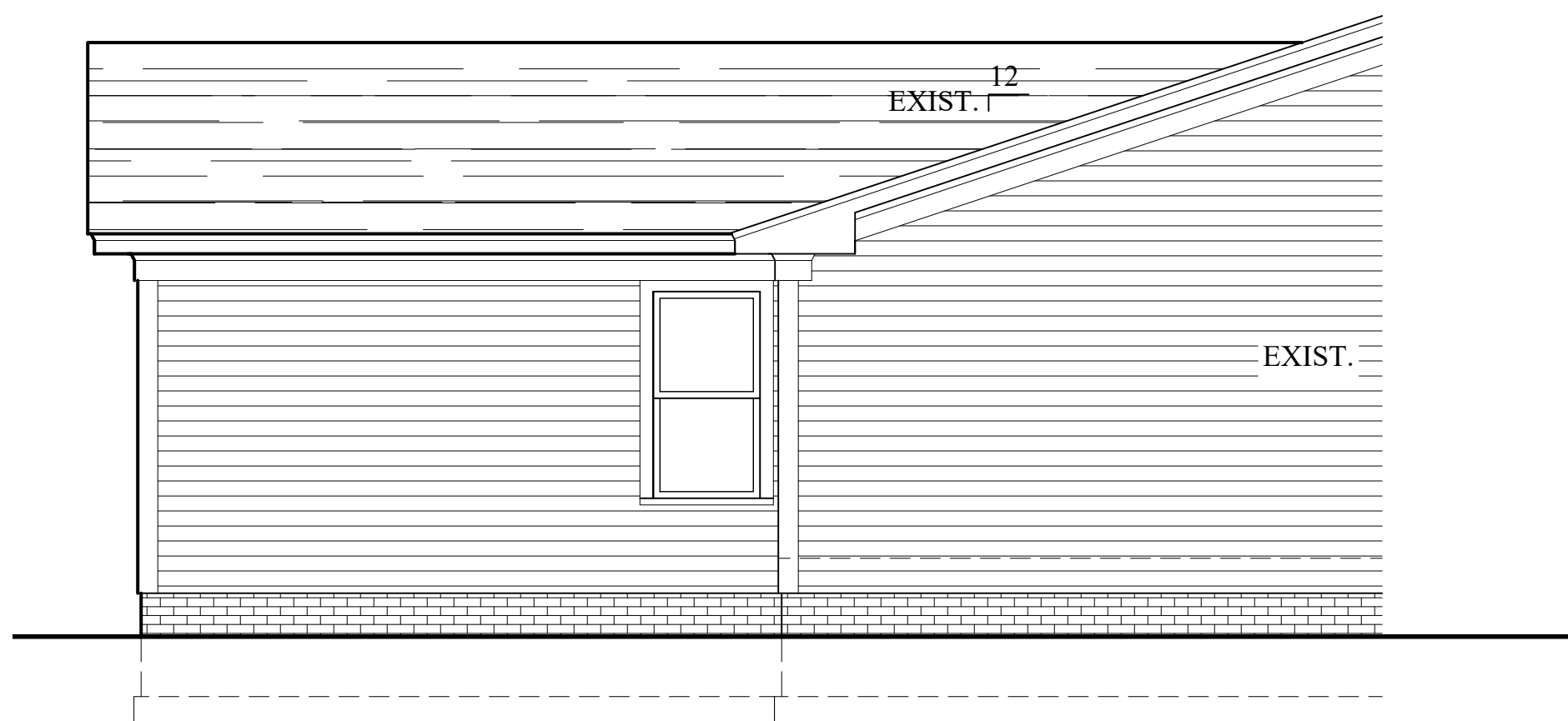
R3

3 OF 5



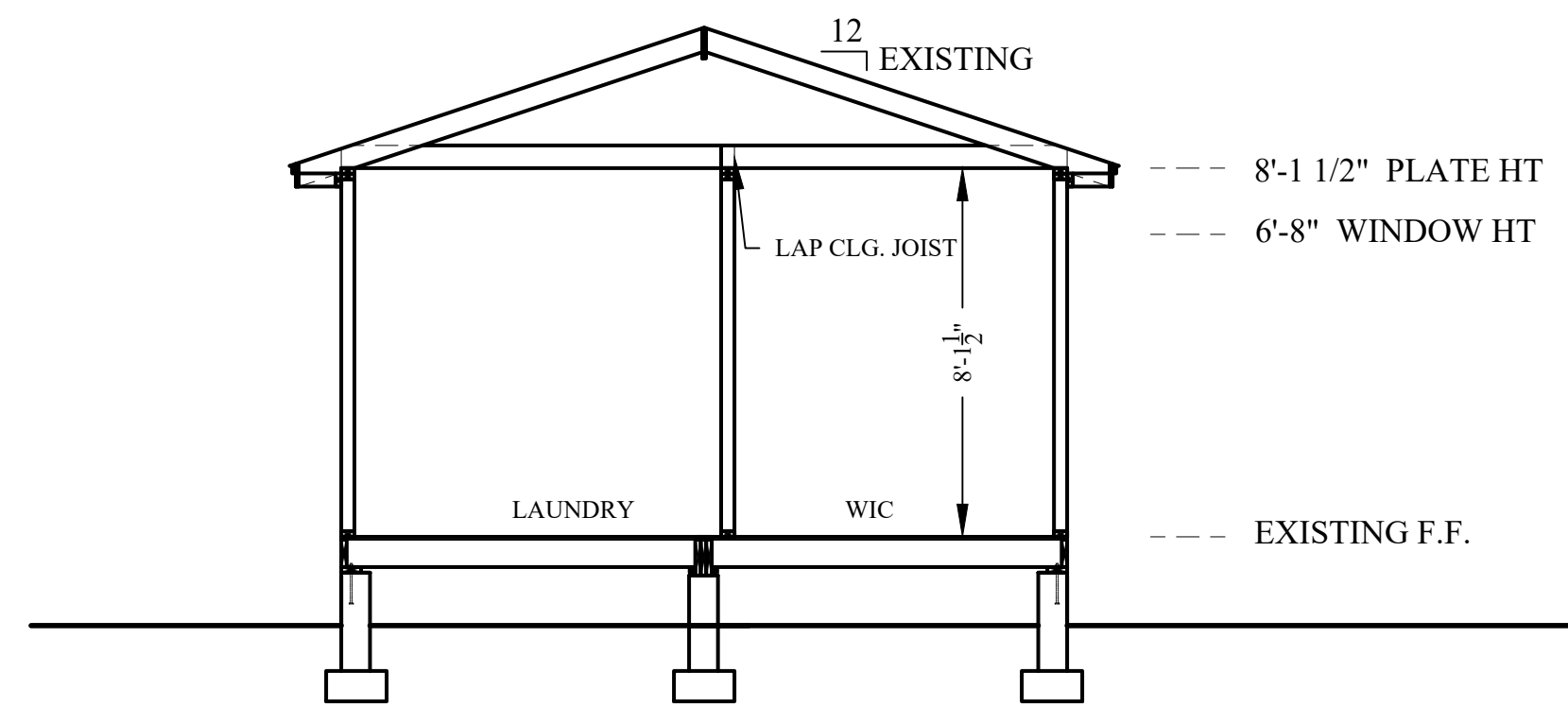
WEST ELEVATION

1/4"=1'-0"



SOUTH ELEVATION

1/4"=1'-0"



CROSS SECTION

1/4"=1'-0"



WHITE HOUSE BUILDING ASSOCIATES LLC
 330 GREEN SPRING DRIVE
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 919.751.5195

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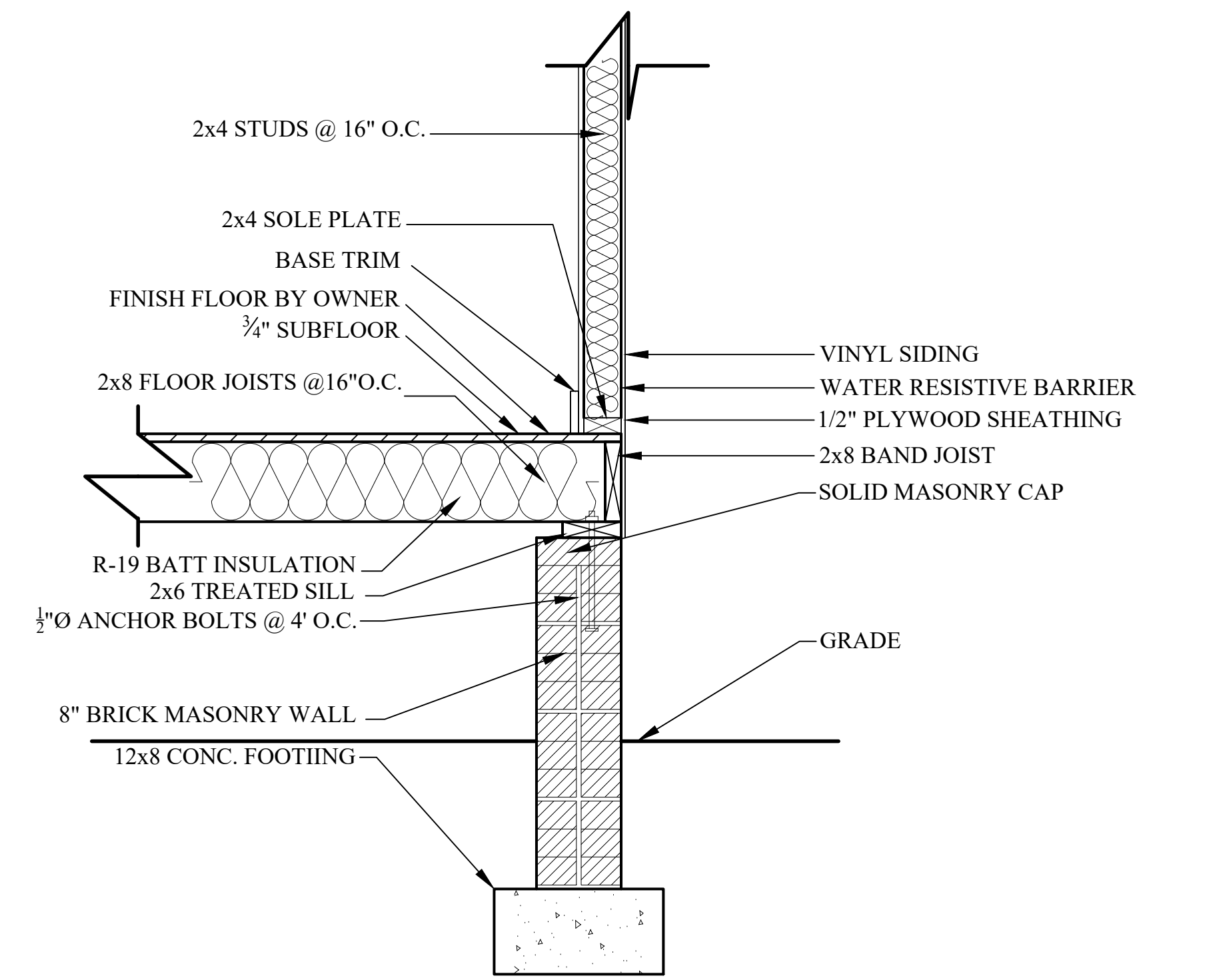
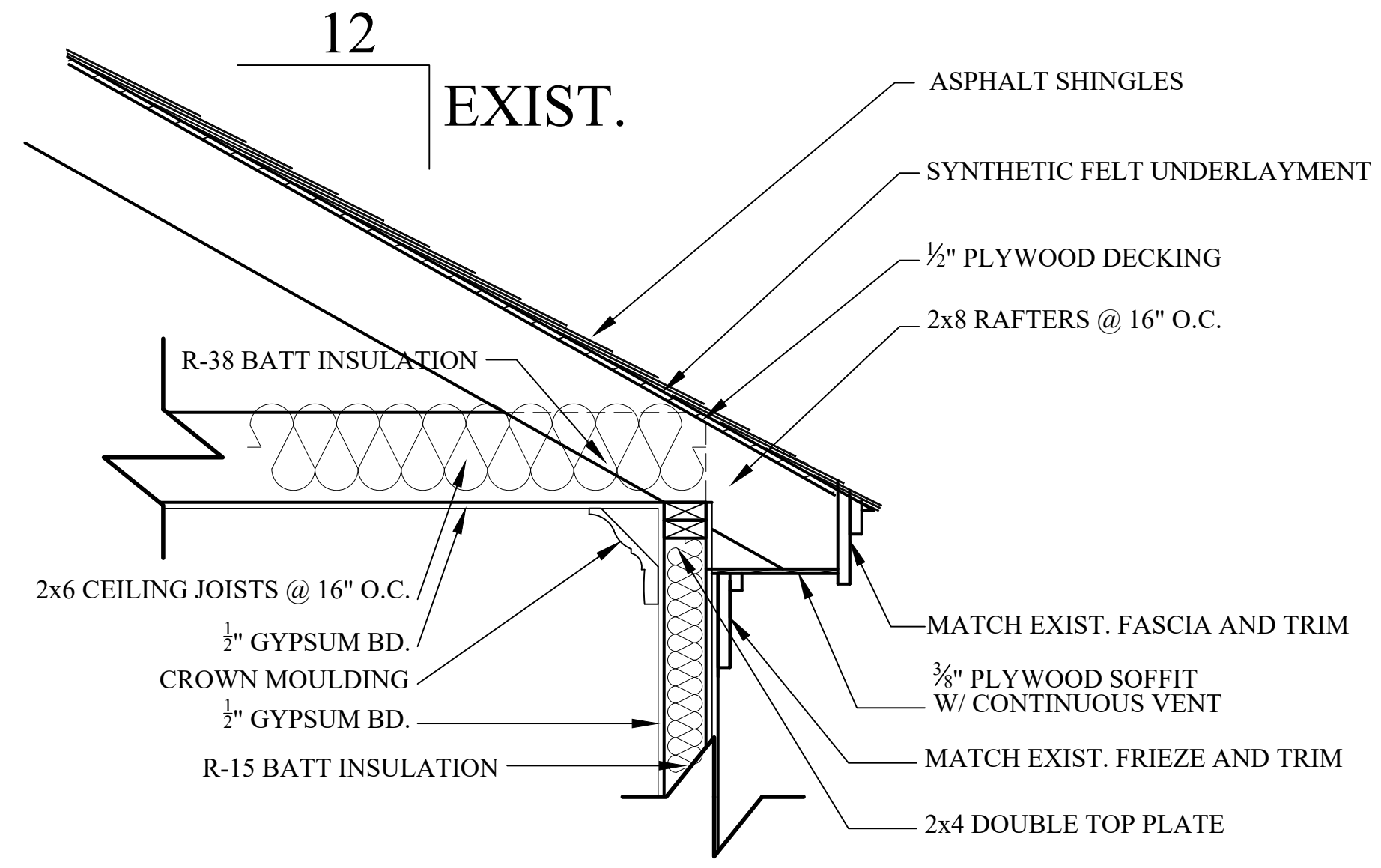
EXTERIOR ELEVATIONS

BUILDER SHALL ENSURE COMPLIANCE WITH APPLICABLE BUILDING CODES AND ZONING REGULATIONS. ALL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE CONSTRUCTION BEGINS.

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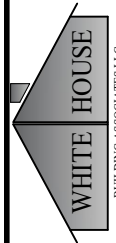
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R4



TYPICAL WALL DETAIL

1"=1'-0"


 BUILDING ASSOCIATES LLC
WHITE HOUSE BUILDING ASSOCIATES LLC
 WWW.WHITEHOUSEBUILDINGASSOCIATES.COM
 WASHINGTON, NORTH CAROLINA
 910.978.5195

DETAILS

DRAWN BY: LRW
 DATE: 10-May-24
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BUILDER SHALL ENSURE COMPLIANCE WITH APPLICABLE BUILDING CODES AND ZONING REGULATIONS. ALL WORK SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE CONSTRUCTION BEGINS.

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R5

5 OF 5