

GREEN SPRING DRIVE

SITE PLAN

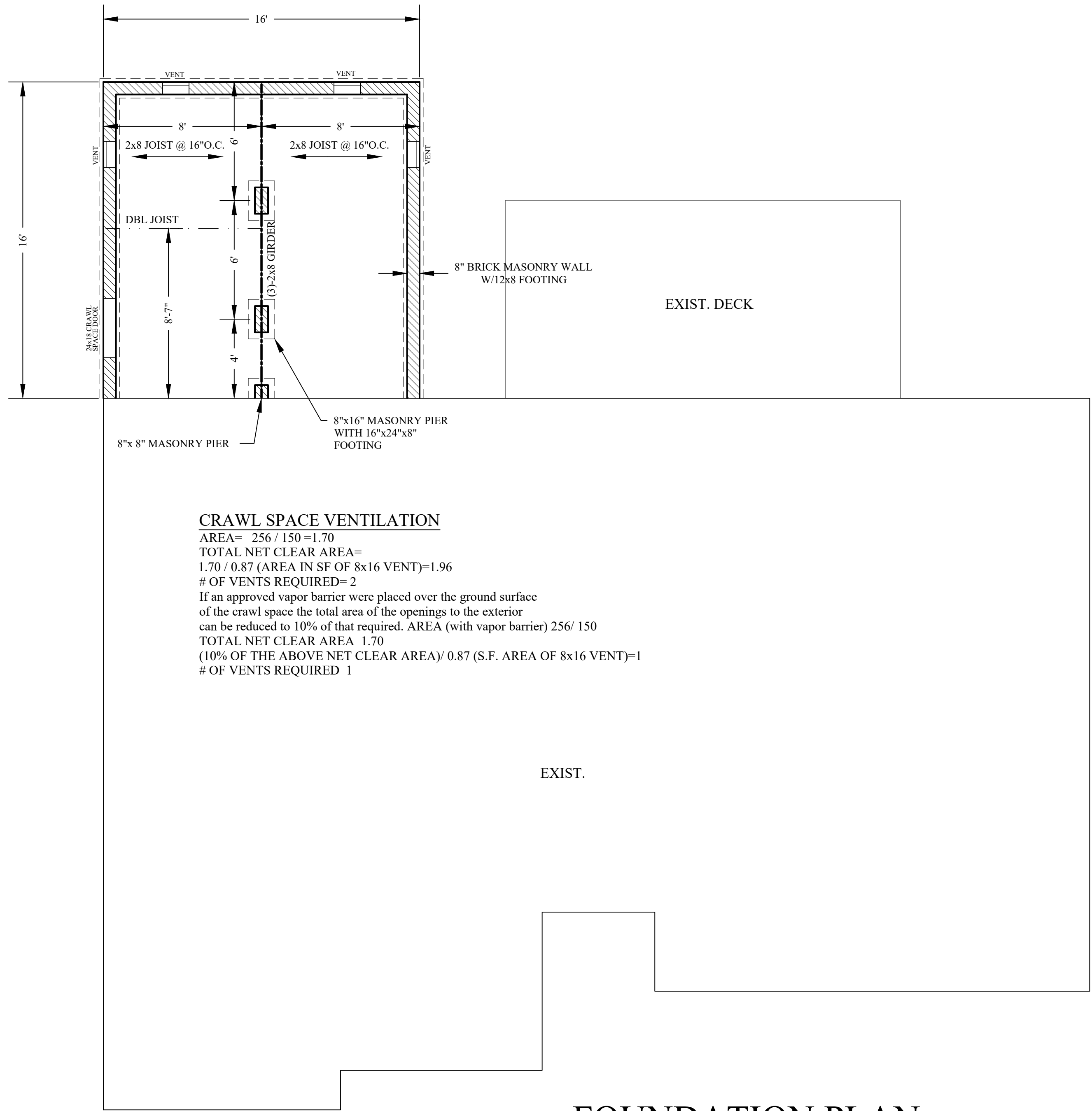
1" = 20'

R1
1 OF 5

CHANCE RESIDENCE ADDITION
330 GREEN SPRING DRIVE
SANFORD, NORTH CAROLNA 27732

SITE PLAN
DRAWN BY: LRW
DATE: 10-May-24
REVISED:
SCALE: AS NOTED
BUILDER SHALL ENSURE COMPLIANCE WITH APPLICABLE BUILDING CODES AND ZONING REGULATIONS. ALL PERMITS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE CONSTRUCTION BEGINS.

WHITE HOUSE
BUILDING ASSOCIATES LLC
WHITE HOUSE BUILDING ASSOCIATES LLC
WWW.WHITEHOUSEBUILDINGASSOCIATES.COM
WILMINGTON, NORTH CAROLINA
910.785.5195



CRAWL SPACE VENTILATION

AREA= 256 / 150 = 1.70
 TOTAL NET CLEAR AREA=
 1.70 / 0.87 (AREA IN SF OF 8x16 VENT)=1.96
 # OF VENTS REQUIRED= 2
 If an approved vapor barrier were placed over the ground surface
 of the crawl space the total area of the openings to the exterior
 can be reduced to 10% of that required. AREA (with vapor barrier) 256/ 150
 TOTAL NET CLEAR AREA 1.70
 (10% OF THE ABOVE NET CLEAR AREA)/ 0.87 (S.F. AREA OF 8x16 VENT)=1
 # OF VENTS REQUIRED 1

NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes
 and is subject to field inspection and verification.
APPROVED
 Limited building only review
 Permit holder responsible for
 full compliance with the code
 05/28/2024

FOUNDATION PLAN

1/4"=1'-0"

WHITE HOUSE BUILDING ASSOCIATES LLC
 1000 WILKINSON ROAD, SUITE 100
 WILMINGTON, NORTH CAROLINA
 910.785.5195

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 DATE: 10-May-24
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 BUILDER SHALL ENSURE COMPLIANCE WITH APPLICABLE BUILDING CODES AND ZONING
 REGULATIONS. ALL PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS.
 THE DESIGNER WILL BE BROUGHT TO THE ATTENTION OF

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R2
 2 OF 5



FLOOR PLAN

1/4" = 1'-0"

SQUARE FOOTAGE LEGEND	
ADDITION HEATED	256

CHANCE RESIDENCE ADDITION

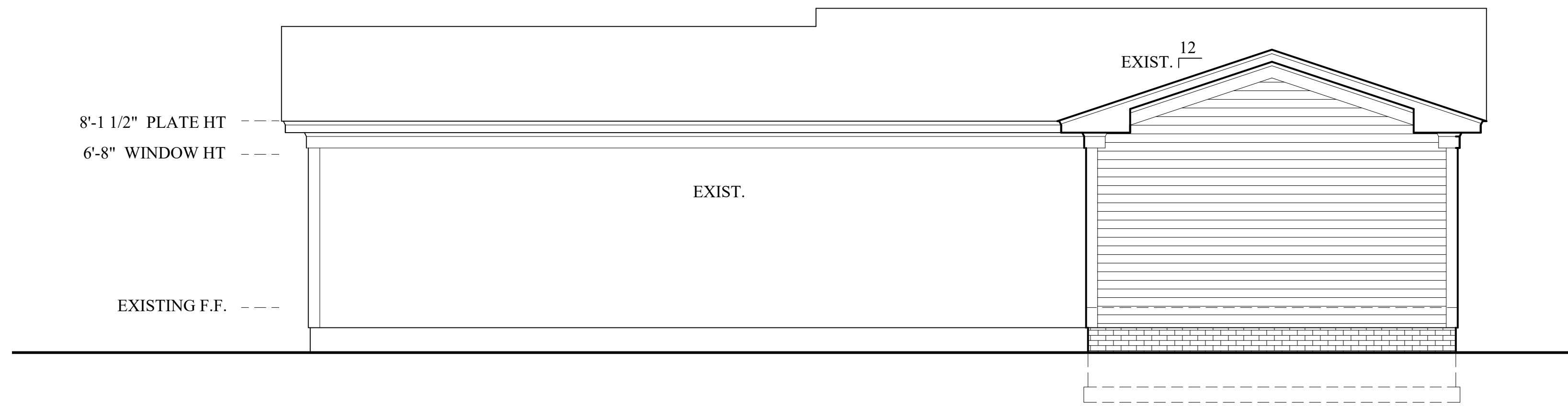
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SANFORD, NORTH CAROLNA 27732

FLOORPLAN

OWNER: CHANCE RESIDENCE
 DESIGNER: WHITE HOUSE BUILDING ASSOCIATES LLC
 DATE: 10-MAY-24
 SCALE: AS NOTED

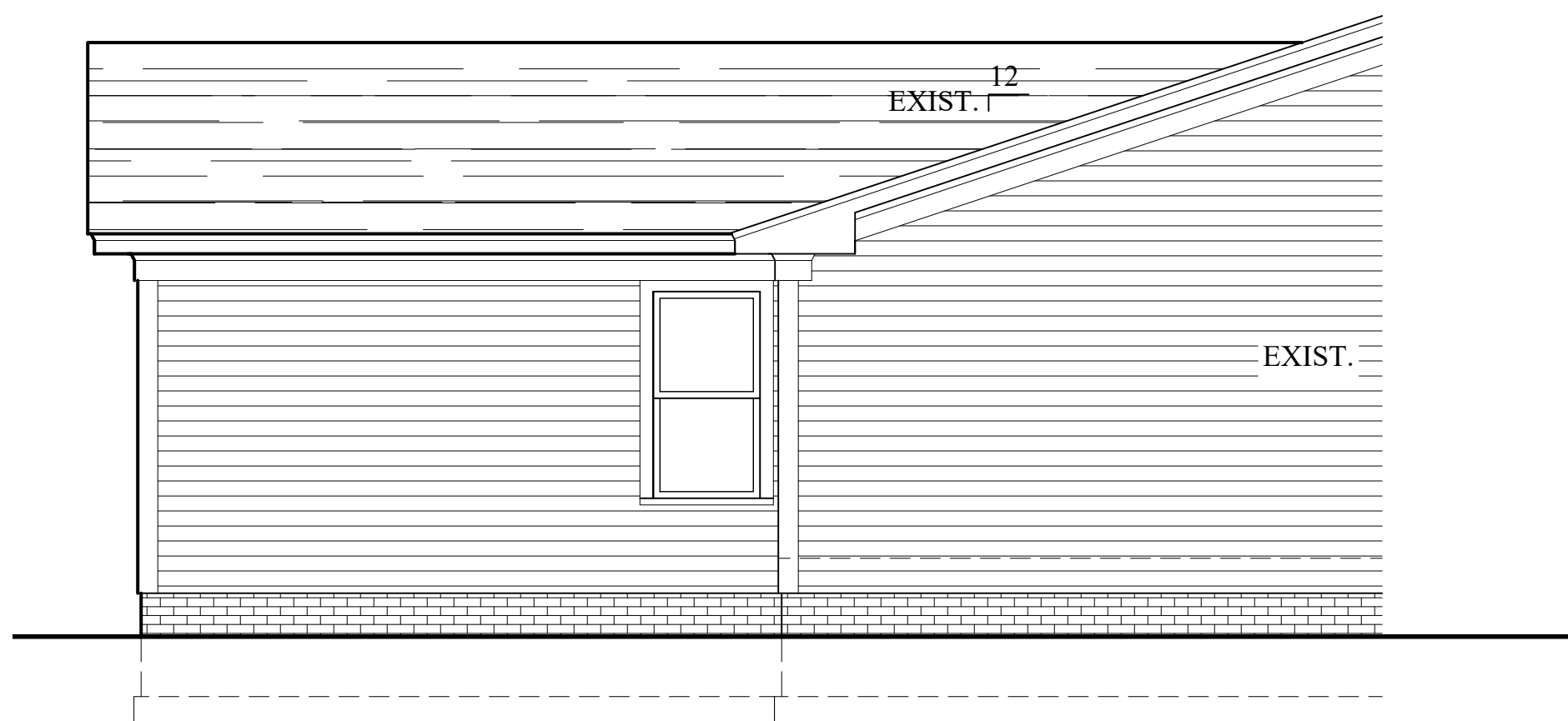
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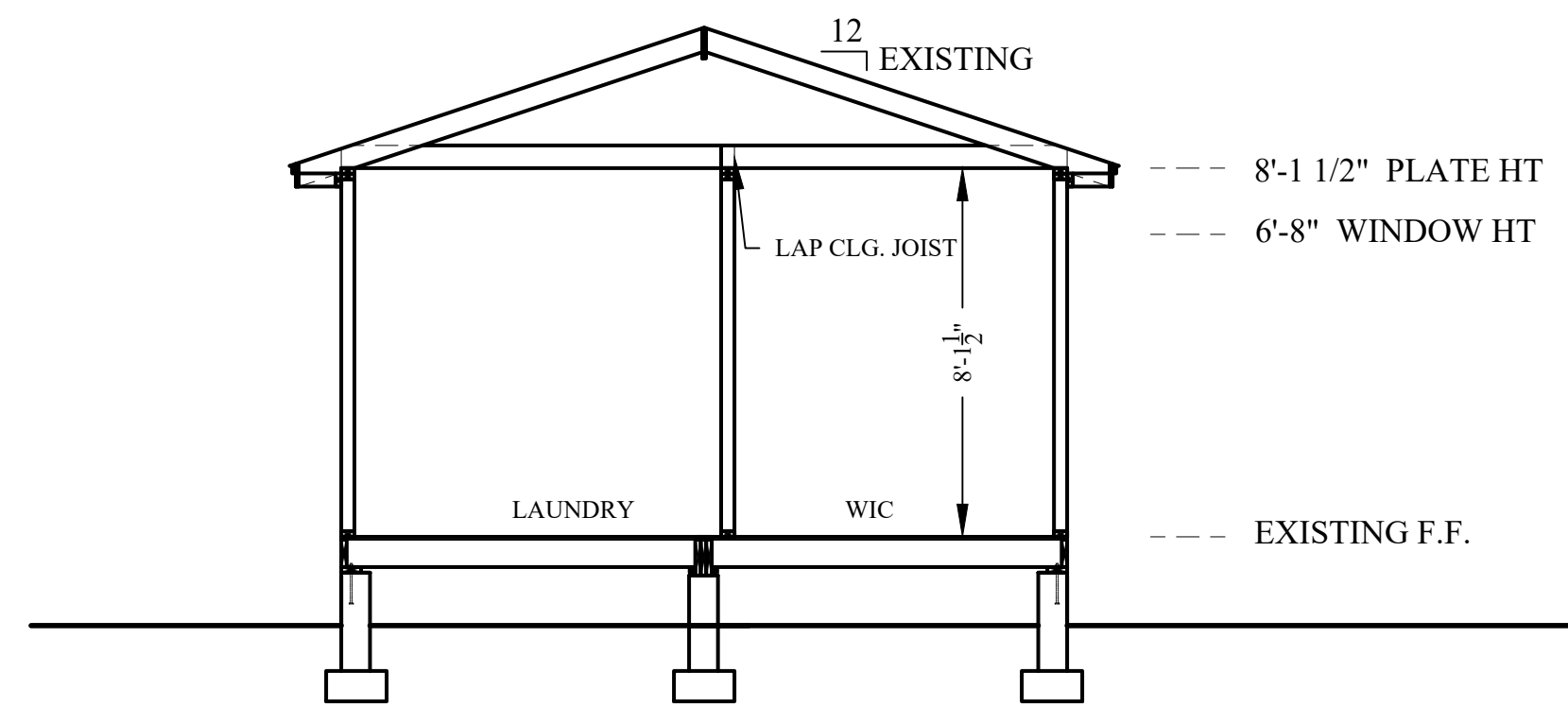
WEST ELEVATION

1/4"=1'-0"



SOUTH ELEVATION

1/4"=1'-0"



CROSS SECTION

1/4"=1'-0"



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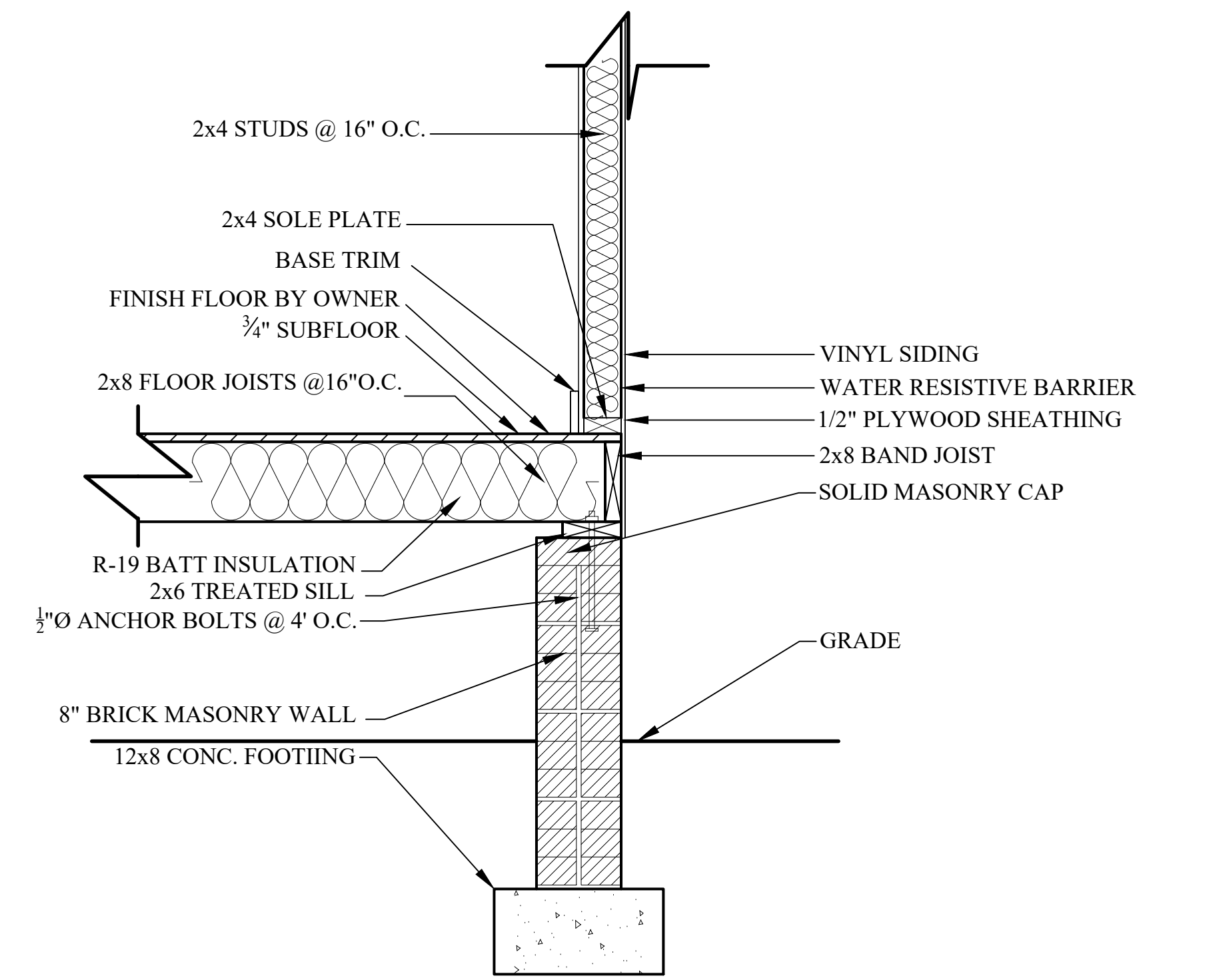
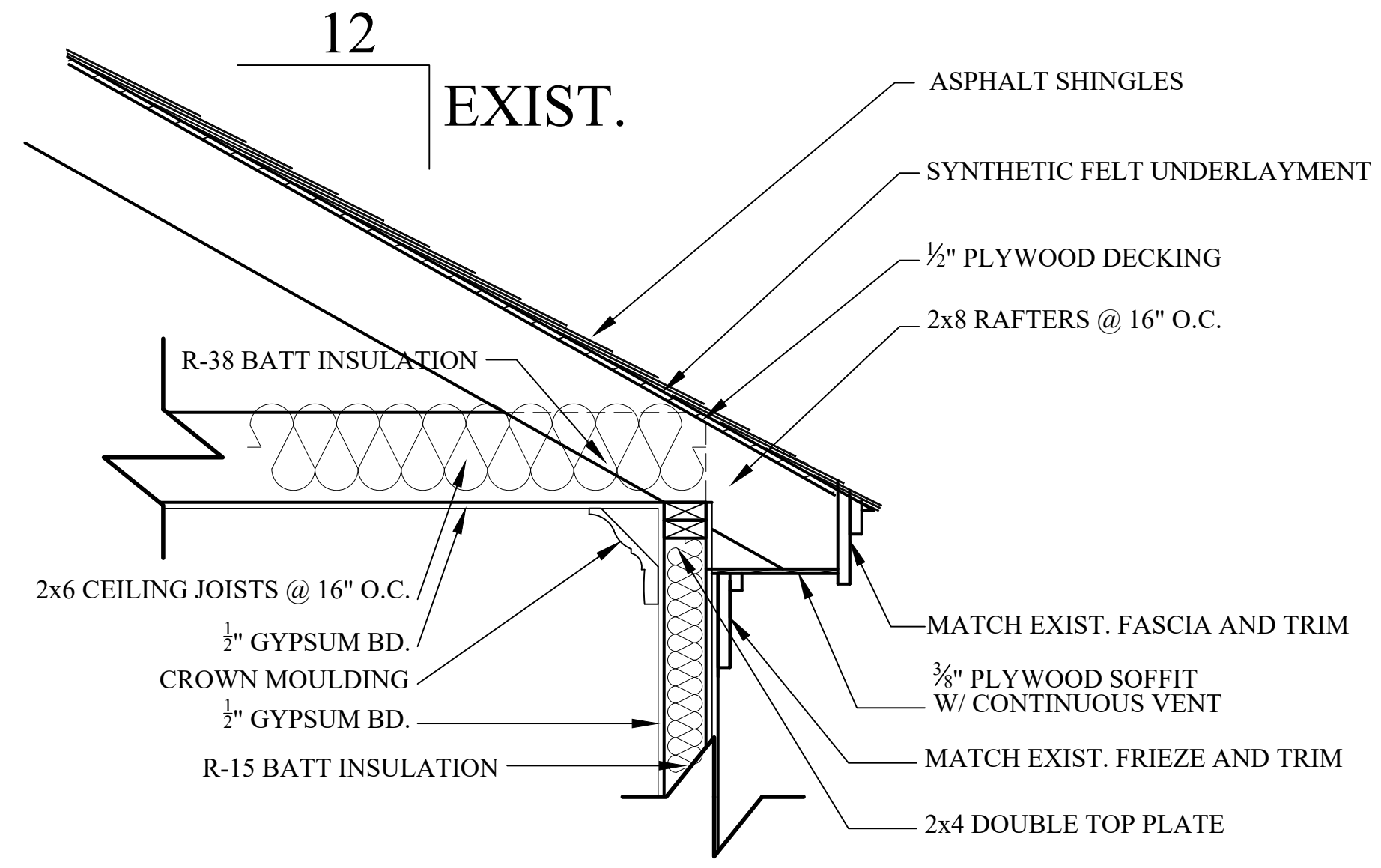
EXTERIOR ELEVATIONS

BUILDER SHALL ENSURE COMPLIANCE WITH APPLICABLE BUILDING CODES AND ZONING REGULATIONS. ALL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE CONSTRUCTION BEGINS.

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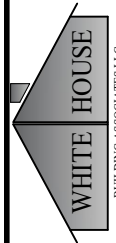
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R4



TYPICAL WALL DETAIL

1"=1'-0"


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DETAILS

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R5
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