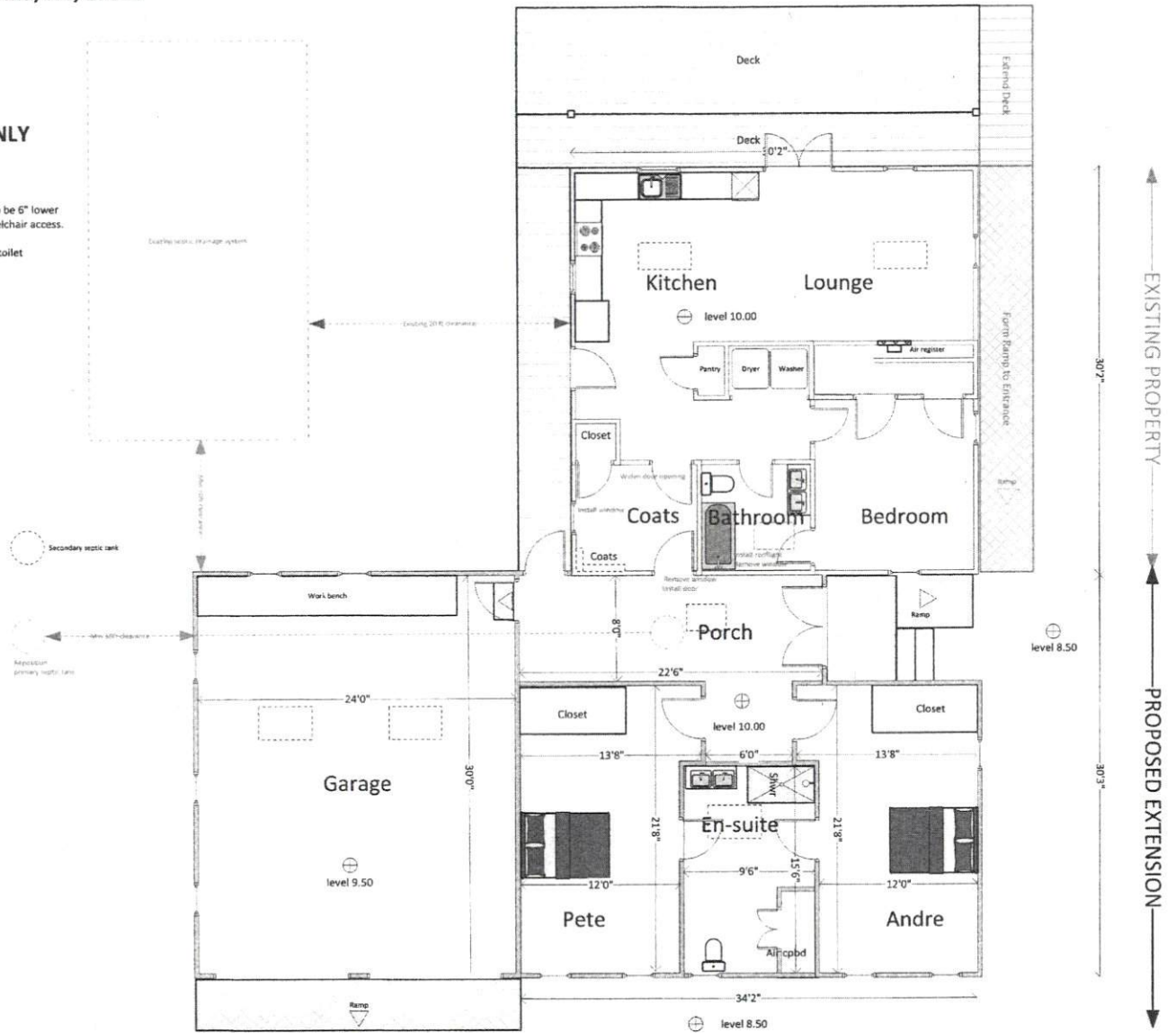


187, Dewar Street, Fuquay Varina, NC, 27526
 For Peter & Andre Sturgess
 October 2023

FLOOR PLAN – rev.10
USE FIGURED DIMENSIONS ONLY
DO NOT SCALE

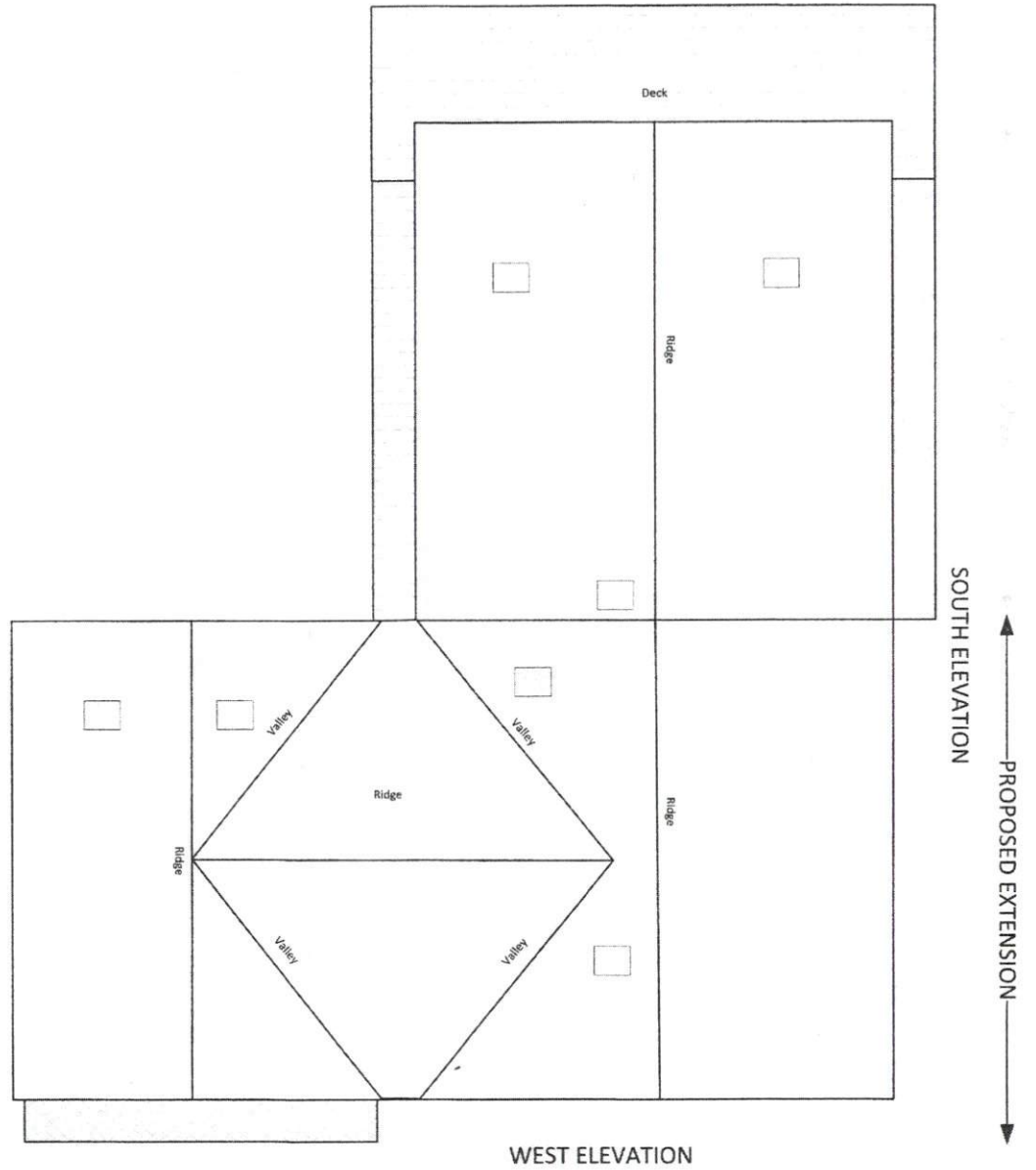
Note:
 Floors to be level through house and porch. Garage floor to be 6" lower
 All new external and internal doors to be suitable for wheelchair access.
 Toilet and Shower to be wheelchair accessible.
 Provide shower seat and provide grab rails to shower and toilet
 Rooflights to Porch, Bathroom, En-suite and Garage
 Alteration in RED



187, Dewar Street, Fuquay Varina, NC, 27526
For Peter & Andre Sturgess
October 2023

ROOF PLAN – rev.10
USE FIGURED DIMENSIONS ONLY
DO NOT SCALE

Note:
Rooflights to Porch, Bathrooms and Garage



187, Dewar Street, Fuquay Varina, NC, 27526
For Peter & Andre Sturgess
October 2023

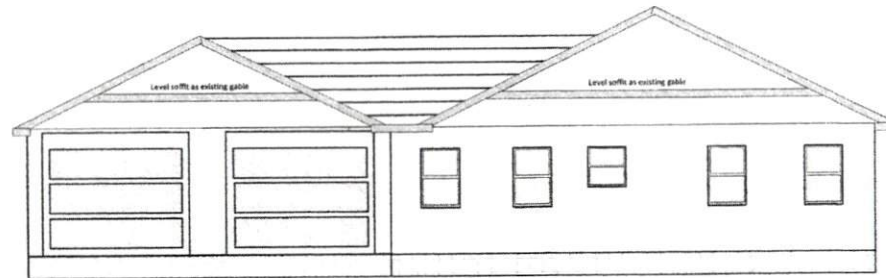
ELEVATIONS – rev.10
USE FIGURED DIMENSIONS ONLY
DO NOT SCALE

SOUTH ELEVATION



← PROPOSED EXTENSION →

WEST ELEVATION



← PROPOSED EXTENSION →

DESIGN CRITERIA

1. SOUTH CAROLINA STATE BUILDING CODE
2. ASCE 7-10
3. DESIGN LOADS
 - a. LIVE LOAD (SEE DP 1) + 20 PSF
 - b. LIVE LOAD (SEASONAL STORAGE) = 10 PSF
 - c. LIVE LOAD (DECK) = 40 PSF
 - d. WINDING MACHINE LOAD = 10 PSF
 - e. ULTIMATE WIND VELOCITY = 119 MPH
 - f. GROUND REACTION = 1.19 KIP/FT
 - g. ASSUMED GROUND BEARING CAPACITY = 1.5 KIP/FT² (SEE ALSO 2.00 PSF/CONTRACTOR RESPONSIBLE FOR VERIFICATION)

GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR OWNER REPRESENTATIVE.
3. CONTRACTOR SHALL MAKE A GENERAL INSPECTION OF THE SITE TO FAMILIARIZE HIMSELF WITH THE ACTUAL CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL CHECK AND REPORT ANY DISCREPANCIES, TAKE ADDITIONAL DIMENSIONS AND ACQUIRED AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE BEGINNING CONSTRUCTION.
5. ALL WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE NORTH CAROLINA STATE BUILDING CODE, THE ASCE CODES, THE IBC CODE AND THE AMERICAN WELDING SOCIETY CODE, ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS IN CARES OF COMPLET THE BEST STRONGEST, BEST AND SAFEST GOVERN.
6. CONTRACTOR SHALL COORDINATE WITH THE STATE LOCATION TYPE AND DIRECTION OF ALL PADE DRIVEWAYS, BOLLARDS, LIGHT FIXTURES, OPENINGS ETC. TO BE SET ON CAST IN CONCRETE OR OTHER PERMANENT FOUNDATION.
7. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECTURAL ENGINEER PRIOR TO FOUNDATION LAYOUT AND FABRICATION. ALL STRUCTURAL DETAILS, DIMENSIONS AND FINISHES ARE BASED ON PRELIMINARY DRAWINGS PROVIDED BY THE ARCHITECT/CONTRACTOR AND/OR SITE INSPECTION. THESE DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL DESIGN AND INSTALL ALL EARTHQUAKE BRACING REQUIRED TO STABILIZE EXISTING STRUCTURES AND FOUNDATION DETAILS. CONSTRUCTION IS COMPLETE WHEN ALL BRACING IS INSTALLED AND ALL DIMENSIONS ARE WITHIN THE TOLERANCES SPECIFIED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL BRACING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL BRACING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL BRACING.

REINFORCING

1. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318).
2. CLEAR CONCRETE COVER OVER REINFORCING SHALL BE AS SHOWN ON PLANS FOR EACH BAR AGAINST ALL SIDES. CONCRETE COVER SHALL BE AS SHOWN ON PLANS FOR EACH BAR AGAINST ALL SIDES.
3. PROVIDE CORNER BARS AT ALL INTERSECTIONS AND CORNERS. THE REINFORCING BARS SHALL BE A MINIMUM OF 2# BARS PER CORNER AND SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
4. LAP ALL BARS IN CONCRETE. BARS SHALL BE LAPPED FOR NOT AT LEAST 36 BAR DIAMETERS FOR TENSION OR DEVELOPMENT LENGTH AS NOTED OTHERWISE.
5. PROVIDE VERTICAL REINFORCEMENT IN POINTS OF WALLS FOR UNBALANCED SHAPING IN ACCORDANCE WITH APPROPRIATE DESIGN STANDARDS. WELDED WIRE FABRIC REINFORCEMENT SHALL BE INSTALLED WITH THE REINFORCING STEEL IN THE POINTS OF UNBALANCED SHAPING.
6. REINFORCING BARS SHALL BE USED EXCEPT WHERE CALUMINUM STEEL CONFORMING TO ASTM A618, GRADE 60.
7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A653 AND BE SUPPLIED IN SHEETS NOT ROLLS. UNLESS OTHERWISE NOTED, WELDED WIRE FABRIC SHALL BE SUPPLIED FROM BOTTOM OF CONCRETE SLAB ON GRADE.

CONCRETE NOTES

1. FOUNDATION SHALL CONFORM TO THE LATEST EDITIONS OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318).
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3. ALL INTERIOR WALLS SHALL BE FINISHED WITH 2# STUDS SPACED UP TO 16" O.C. UNLESS OTHERWISE NOTED.
4. USE 1/2" DIAMETER ANCHOR BOLTS WITH 3/4" DIAMETER EMBEDMENT IN CONCRETE AT A MINIMUM OF 8" ON CENTER AND A MINIMUM OF 12" FROM CORNERS. ALL ANCHOR BOLTS SHALL EXCEED 4" IN LENGTH AND BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318).
5. INSTALL METAL HANGERS, TRUSS CLIPS, ETC. IN ACCORDANCE WITH THE LATEST EDITIONS OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318).
6. DO NOT BRACE MULTIFAMILY WALLS. ALL SUPPORTS SHALL BE UNLESS OTHERWISE INDICATED.
7. WHERE MULTIFAMILY WALLS OR OTHER 2" THICK DIMENSIONAL LAMBS ON EDGE ARE PROVIDED, FASTEN TOGETHER WITH 1/2" x 1/2" x 2" WOOD NAILS SPACED NOT LESS THAN 24" O.C. LOCATED ONE ROW 18" FROM TOP EDGE AND ONE ROW 18" FROM BOTTOM EDGE.

TYPICAL ABBREVIATIONS

A	= AND	FJ	= FLOOR JOISTS
B	= BAY	FTC	= FOOTING
CA	= PLUS OR MINUS	GA	= GAUGE
CAF	= ARCHITECT/ENGINEER	H	= HEIGHT
AF	= ABOVE FINISHED FLOOR	MAX.	= MAXIMUM
ARCH	= ARCHITECTURAL	MCH	= MECHANICAL
B.C.	= BY OTHER	MFR.	= MANUFACTURER
C.C.A.	= CONCRETE CONTROL JOINT	MIN.	= MINIMUM
C.D.	= CENTERLINE	N.T.S.	= NOT TO SCALE
C.L.	= CENTER LINE	O.C.	= ON CENTER
C.M.U.	= CONCRETE MASONRY UNIT	P.B.	= PERIMETER BAND
CONC.	= CONCRETE	PL	= PLATE
CONT.	= CONTIGUOUS	R/S	= REINFORCED
DETL.	= DETAIL	ROOF	= ROUGH OPENING
DIA.	= DIAMETER	SM	= SHEAR
D.W.	= DRAWING	STL	= STEEL
ELEV.	= ELEVATION	STR.	= STRUCTURAL
ENGR.	= ENGINEER	TEMP.	= TEMPORARY
EQ.	= EQUAL	TYP.	= TYPICAL
EX.	= EXISTING	UNL.D.	= UNLESS NOTED OTHERWISE
EXH.	= EXHIBIT	VERT.	= VERTICAL
FL.	= FLOOR	WF	= WELDED WIRE FABRIC
F.L.C.	= FLOOR	WT.	= WEIGHT

GENERAL NOTES

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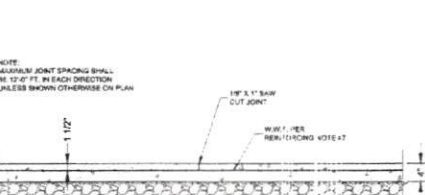
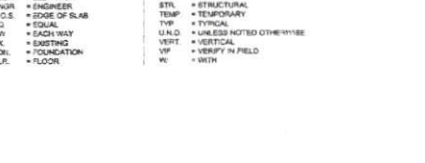
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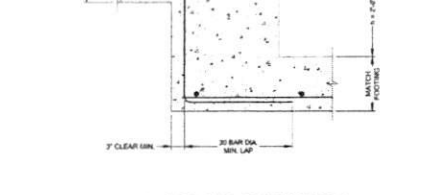
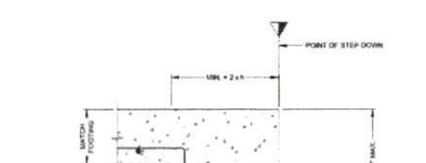
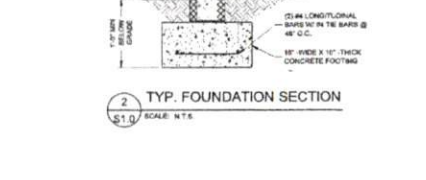
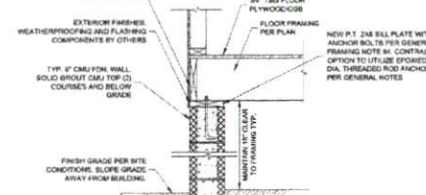
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SHEET INDEX

B18	COVER SHEET & GENERAL NOTES
B19	FOUNDATION PLAN
B20	FLOOR FINISHING PLAN
B21	CEILING FINISHING PLAN
B22	ROOF FINISHING PLAN



GILES+FLYTHE
 ENGINEERS
 1034 HANDEL HILL ROAD, SUITE 200
 HALLS BATH, NC 27626
 PHONE: 919.487.1234
 FAX: 919.487.1235



Digitally signed by Sean M. McDonald
 Date: 2024.03.12 12:28:11 -04'00'

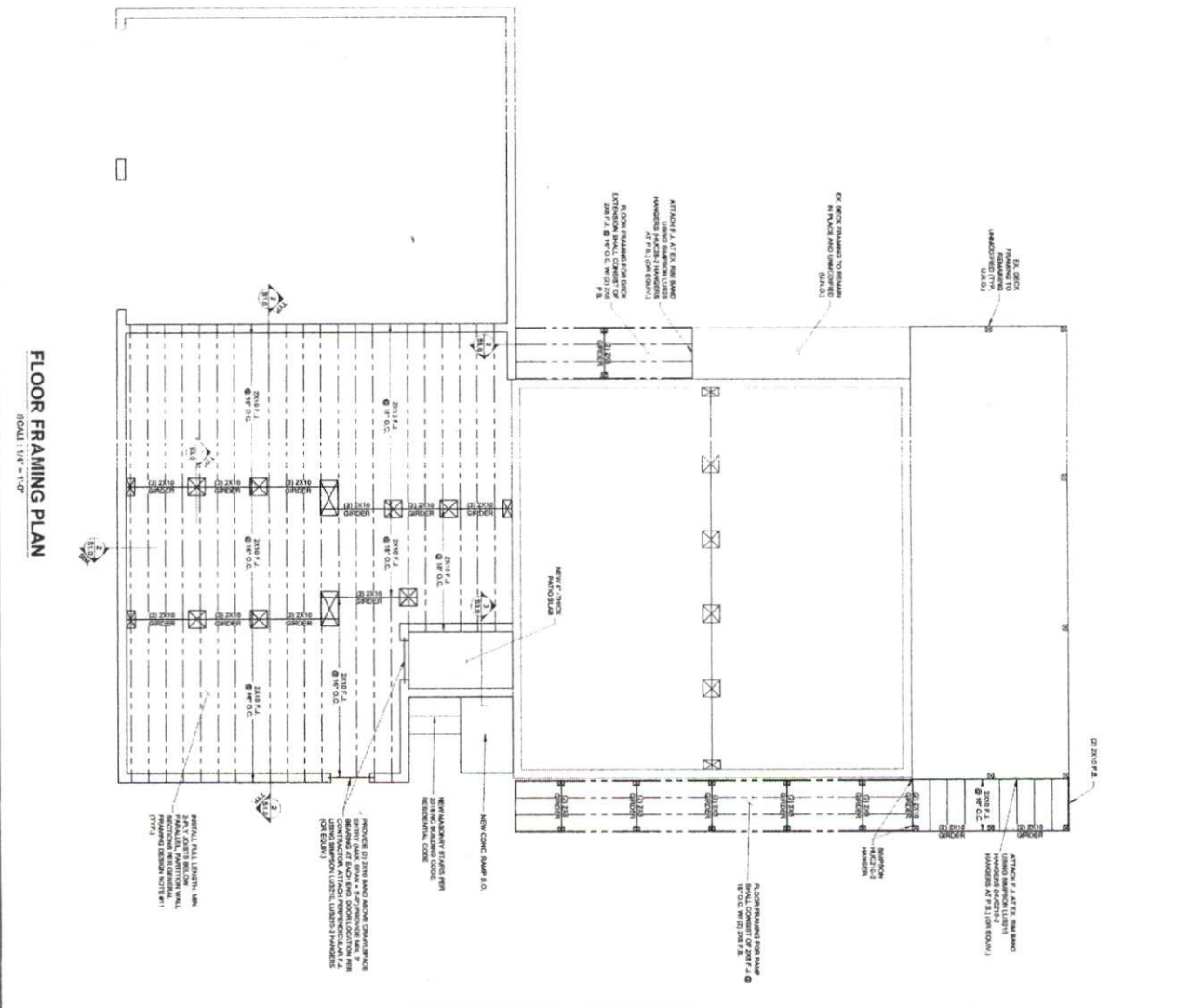
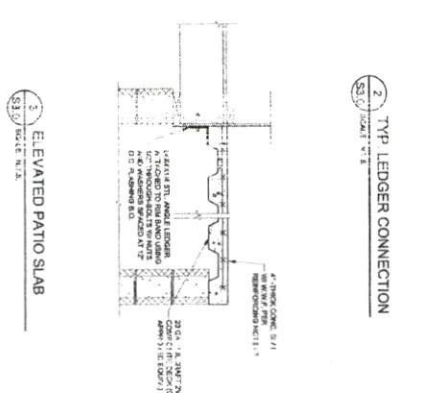
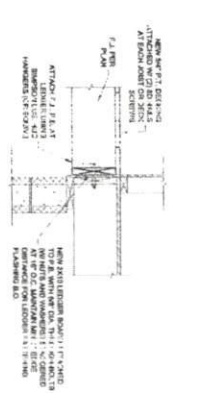
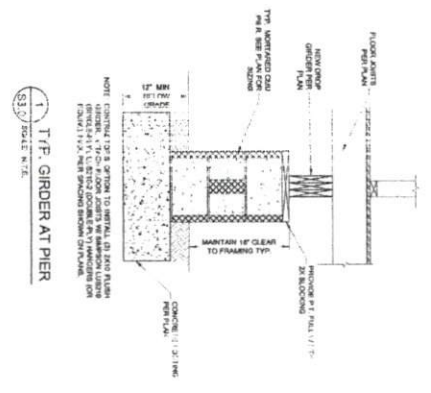
ADDITION STRUCTURAL PLAN DRAWINGS
BUTLER HOMES, LLC C/O STEVEN EISENBERG
 165 DEWAR AVENUE
 FLOUARY VARIANA, NC

REVISIONS

NO.	DATE	REVISION
1	03/12/24	FOR DESIGN REVIEW

SCALE: AS SHOWN
 REVISIONS BY: GJM
 DRAWN BY: GJM
 DATE: MARCH 12, 2024

S1.0



NO.	DATE	REVISIONS
1	02/20/24	CONSTRUCTION SET
2	02/20/24	ISSUE FOR PERMIT
3	02/20/24	ISSUE FOR CONSTRUCTION

DESIGNED BY: [Name]
CHECKED BY: [Name]
DATE: 02/20/24

ADDITION STRUCTURAL PLAN DRAWINGS
 BUTLER HOMES, LLC C/O STEVEN EISENBERG
 185 DEWAR STREET
 FUQUAY-VARINA, NC

Digitally signed
 by Sean M
 McDonald
 Date: 2024.03.12
 12:29:10 -0700

GILES FLYTHE
 ENGINEERS
 7134 CHAPEL HILL ROAD, SUITE 200
 RALEIGH, NC 27607 (919) 455-3801
 NC LICENSE NO. C-2671

