

SHEET NUMBER	SHEET NAME
E-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION
F-1.1	CRAWL W/BRICK FOUNDATION DETAILS
F-1.2	CRAWL W/BRICK VENEER DETAILS
F-2	FIRST FLOOR PLAN
G-1	GARAGE DOOR DETAILS
H-1	FIRST FLOOR ELEC & HVAC
S-1	WALL SECTIONS
S-2	DETAILS
S-3	INTERIOR DETAILS
S-4	8" SITE BUILT COLUMN W/ FIR
S-5	STANDARD DECK DETAILS
S-6	FRAMING DETAILS

SH.-	FIVE SHELVES	HDWD-	HARDWOOD
6 SH.-	SIX SHELVES	HDR.-	HEADER
A.F.F.-	ABOVE FINISHED FLOOR	HT.-	HEIGHT
B.C.-	BLIND CORNER (CABINET)	INT.-	INTERIOR
C.J.-	CEILING JOIST	K.S.-	KNEE SPACE
C.M.U.-	CONCRETE MASONRY UNIT	KDAT-	KILN DRIED AFTER TREATMENT
C.O.-	CASED OPENING	L.B.W.-	LOAD BEARING WALL
CONC.-	CONCRETE	L.S.-	LAUNDRY SINK or LAZY SUSAN
C.R.V.-	CONTINUOUS RIDGE VENT	LVP-	LUXURY VINYL PLANK
DBL SH-RD-	DOUBLE SHELF AND ROD	LVT-	LUXURY VINYL TILE
DH-	DOUBLE HUNG	O.C.-	ON CENTER
DR. or DRWR-	DRAWER	O.H.-	OVERHEAD
D.S.-	DRAWER SPACE	OPT.-	OPTIONAL
EXT.-	EXTERIOR	O.W. H.-	OVER THE WALL HEIGHT
F.J.-	FLOOR JOIST	P.T.-	PRESSURE TREATED
FS-	SUPPLY IN FLOOR (HVAC)	PANT.-	PANTRY
FTG.-	FOOTING	R/A-	RETURN AIR (HVAC)
GYP. BD.-	GYPSUM BOARD	REINF.-	REINFORCED
HB-	HOSE BIBB	R.O.-	ROUGH OPENING
HDG.-	HOT DIPPED GALVANIZED	SC-	SUPPLY IN CEILING (HVAC)

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8"d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS U.N.O.
- STANDARD FIRST FLOOR WINDOW HEADERS SHALL BE FRAMED DOWN 2'-2" FROM T.O.P., U.N.O.
- WINDOW HEADERS FOR WINDOWS LOCATED ABOVE KITCHEN SINK SHALL BE FRAMED DOWN 1'-5" FROM T.O.P., U.N.O.
- STANDARD SECOND FLOOR WINDOW HEADERS SHALL BE FRAMED DOWN 1'-2" FROM T.O.P., U.N.O.
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- ALL SHELVES TO BE 12" DEEP U.N.O.
- HEIGHT OFF FLOOR TO BE:
 1. SINGLE 68"
 2. DOUBLE 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- PORCH, STOOP, & DECK HANDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH FROM FINISHED GRADE



OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

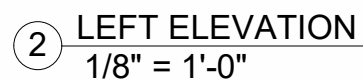
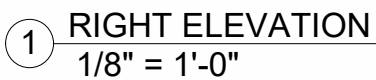
FINAL CONSTRUCTION PLANS

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PAPER SIZE: 11" x 17"

COVER SHEET		PROPERTY OF:		DRAWN BY:		JOB #		THE:		AREAS:			
SCALE: 1/8" = 1'-0"				© COPYRIGHT - 2024		ALEXIA L.		141-24-020		LENOX 'A'			
						CHECKED BY:		2x6 EXTERIOR WALLS		FOR:			
						R.T. / J.D.				KENI & TRAVIS BARNARD			
						PRINTED:		FOUNDATION TYPE:		1421 JOSEY WILLIAMS RD.			
						2/19/2025		CRAWL SPACE		ERWIN NC 28339			
						5:22:39 PM							
										OFFICE:		SOLD BY:	
				FAYETTEVILLE		A.V.							
				</									

DRAWN BY: ALEXIA L.	JOB # 141-24-020	THE:	LENOX 'A' KENI & TRAVIS BARNARD 1421 JOSEY WILLIAMS RD. ERWIN NC 28339	AREAS:	REVISION SCHEDULE		
CHECKED BY: R.T. / J.D.	2x6 EXTERIOR WALLS	FOR:		FRONT PORCH	REV #	DESCRIPTION	DATE
PRINTED: 2/19/2025 5:22:43 PM	FOUNDATION TYPE: CRAWL SPACE			GARAGE			
				REAR PORCH			
				SIDE GARAGE			
			FIRST FLOOR HEATED				
		OFFICE:		2,490 SF			
		FAYETTEVILLE		TOTAL UNDER ROOF			
				3,637 SF			



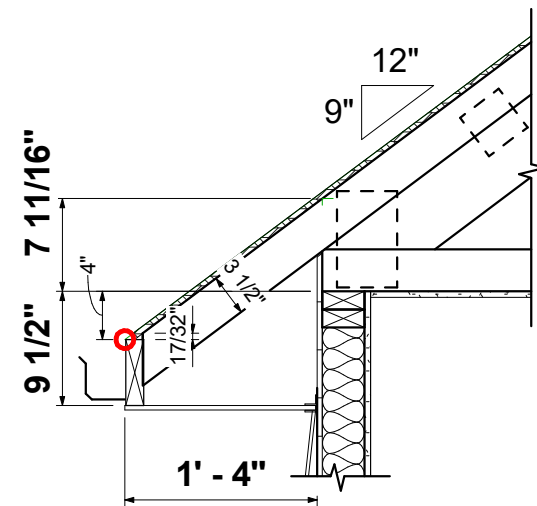
- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

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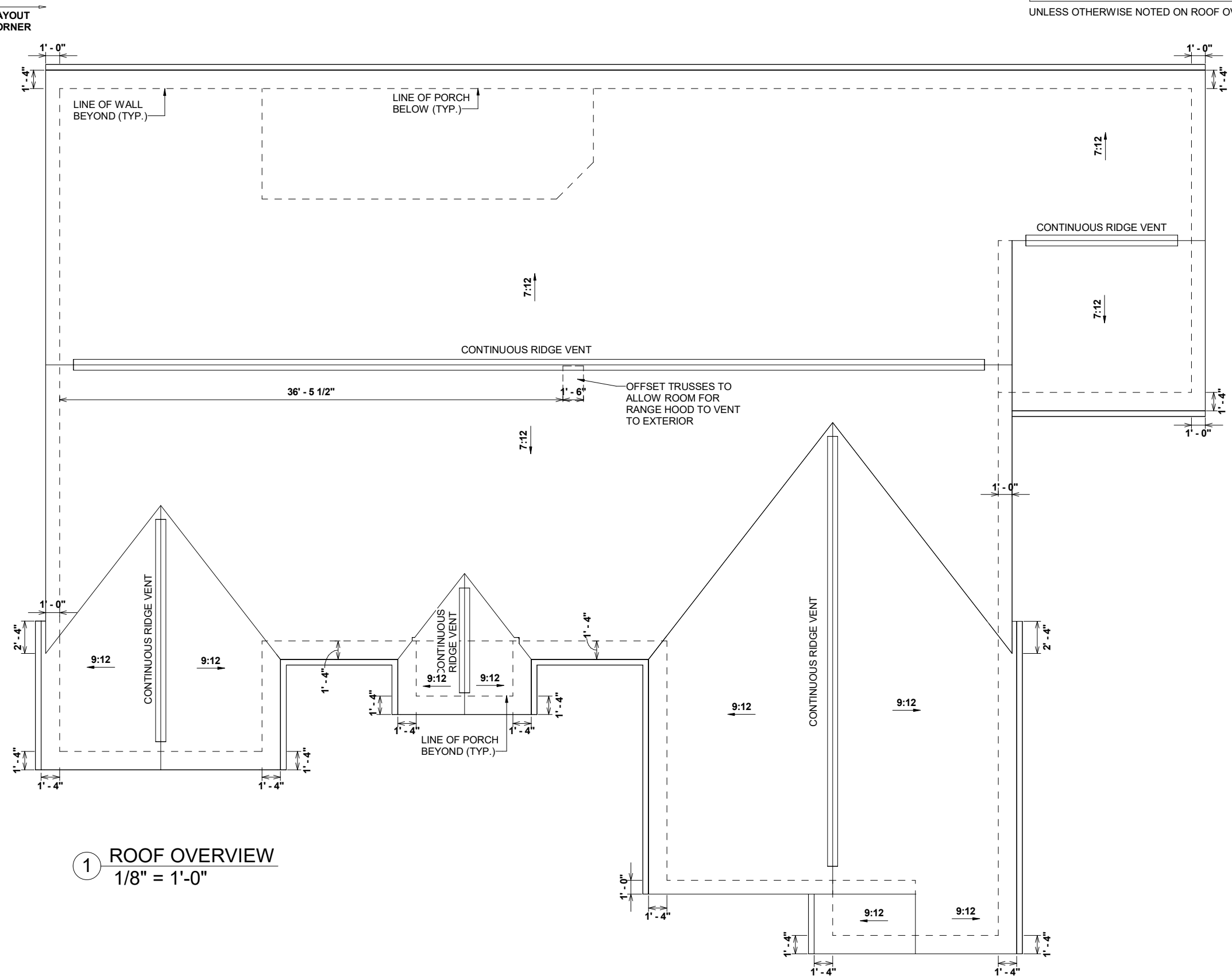
PAPER SIZE: 11" x 17"

SCALE: 1/8" = 1'-0"

LEFT & RIGHT ELEVATION



2 OVER WALL HEIGHT W/ SIDING C
3/4" = 1'-0"



1 ROOF OVERVIEW
1/8" = 1'-0"

7:12 O.W.H. = 5 1/16"
9:12 O.W.H. = 7 11/16"

UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

[illegible]

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

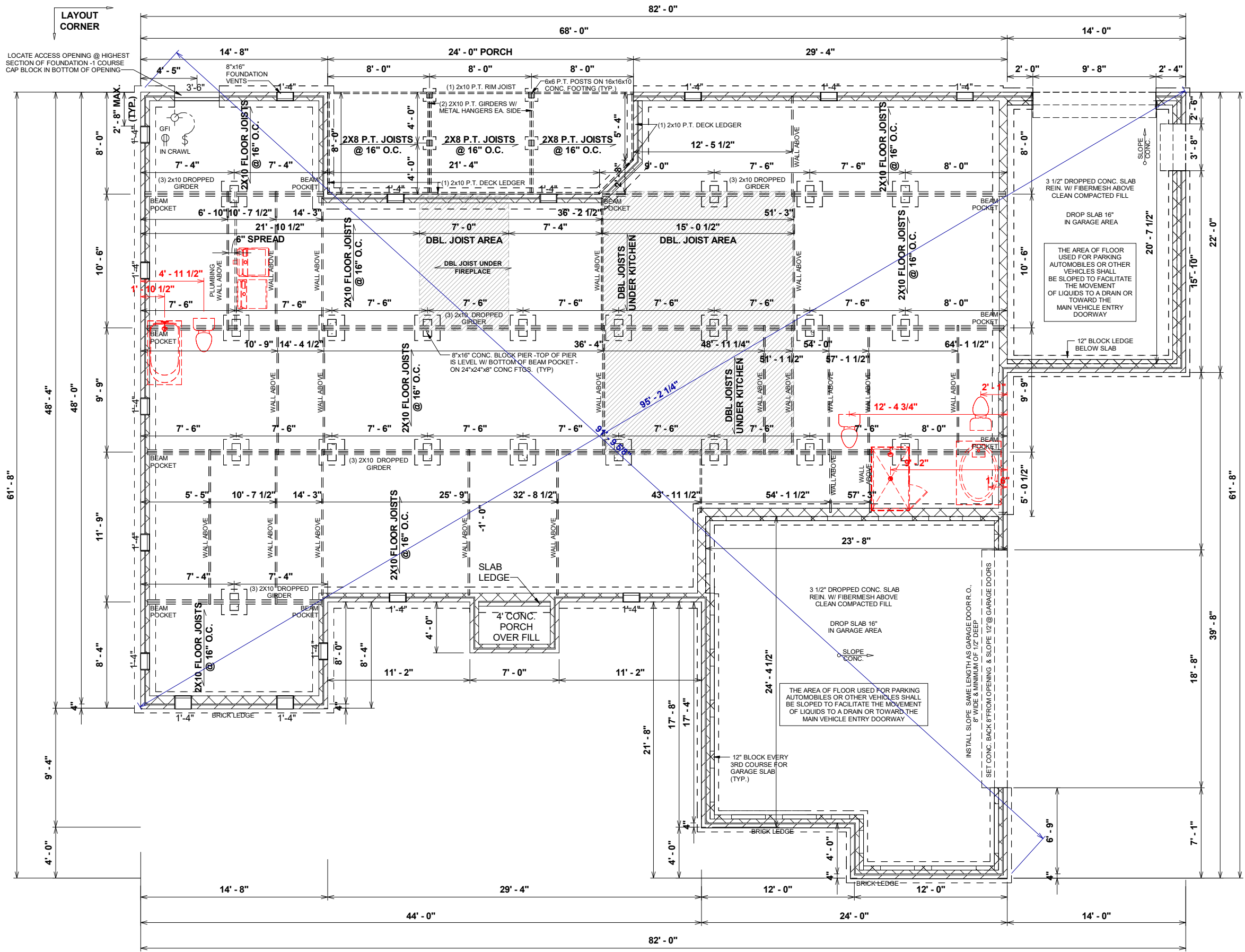
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PAPER SIZE: 11" x 17"

SCALE: As indicated

ROOF OVERVIEW

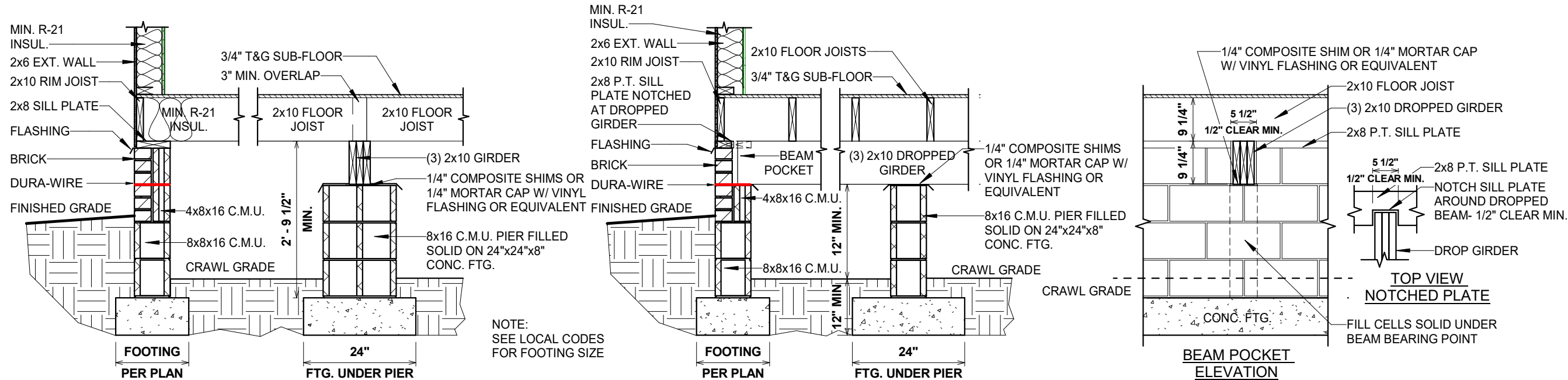


- FOUNDATION NOTES**
- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8"d POURED CONCRETE FOOTING
 - CRAWL SPACE ACCESS TO BE 42" WIDE
 - ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
 - CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
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 - POLY REQ'D IN CRAWL
 - GRAVEL REQ'D UNDER GARAGE SLAB
 - POLY REQ'D UNDER GARAGE SLAB

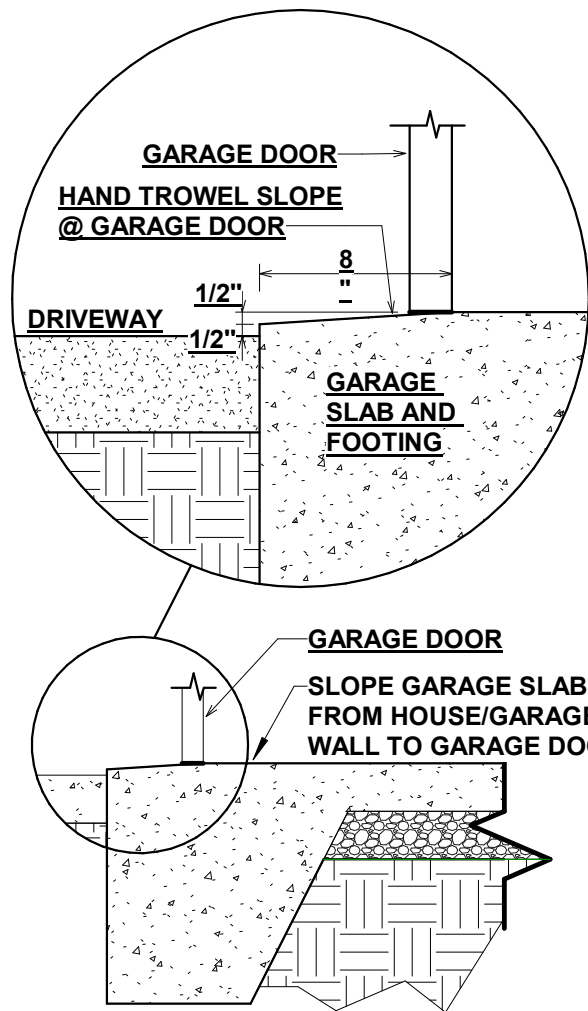
1 FOUNDATION PLAN
1/8" = 1'-0"

FINAL CONSTRUCTION PLANS

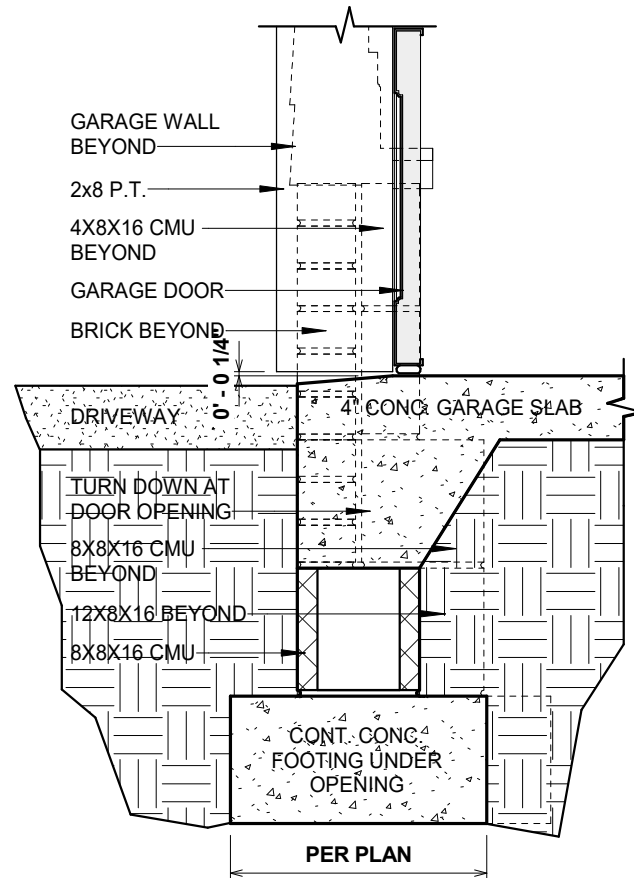
SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	AREAS:		REVISION SCHEDULE	
					FRONT PORCH	REAR PORCH	REV #	DESCRIPTION
F-1	AMERICA'S HOME PLACE	ALEXIA L.	141-24-020	FOR:	LENOX 'A'			
					KENI & TRAVIS BARNARD			
					2X6 EXTERIOR WALLS			
					FOUNDATION TYPE:			
					CRAWL SPACE			
FOUNDATION	© COPYRIGHT - 2024	CHECKED BY:	PRINTED:	OFFICE:	1421 JOSEY WILLIAMS RD.			
					ERWIN NC 28339			
					SOLD BY:			
					FAYETTEVILLE			
					TOTAL UNDER ROOF			
					28 SF			
					623 SF			
					188 SF			
					308 SF			
					1,147 SF			
					2,490 SF			
					2,490 SF			
					3,637 SF			



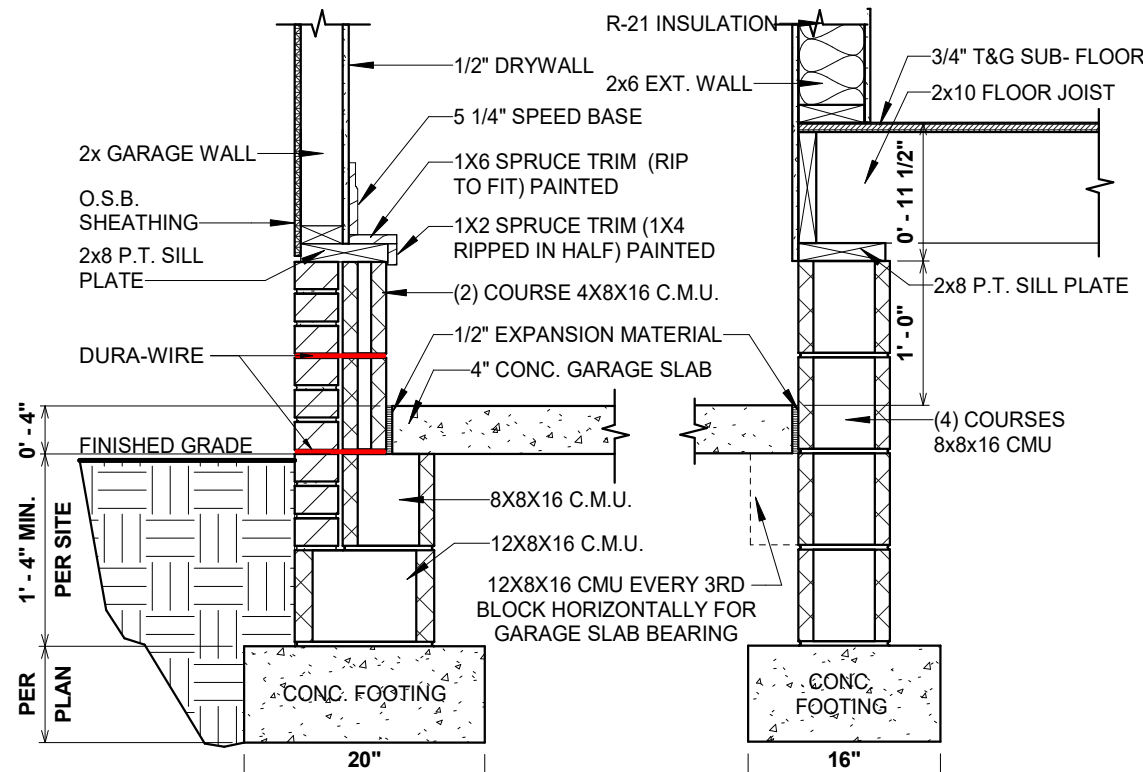
1 141-600.41 CRAWL FOUNDATION W/BRICK DETAIL
1/2" = 1'-0"



4 141-GARAGE DOOR SLOPE DETAIL
3/4" = 1'-0"



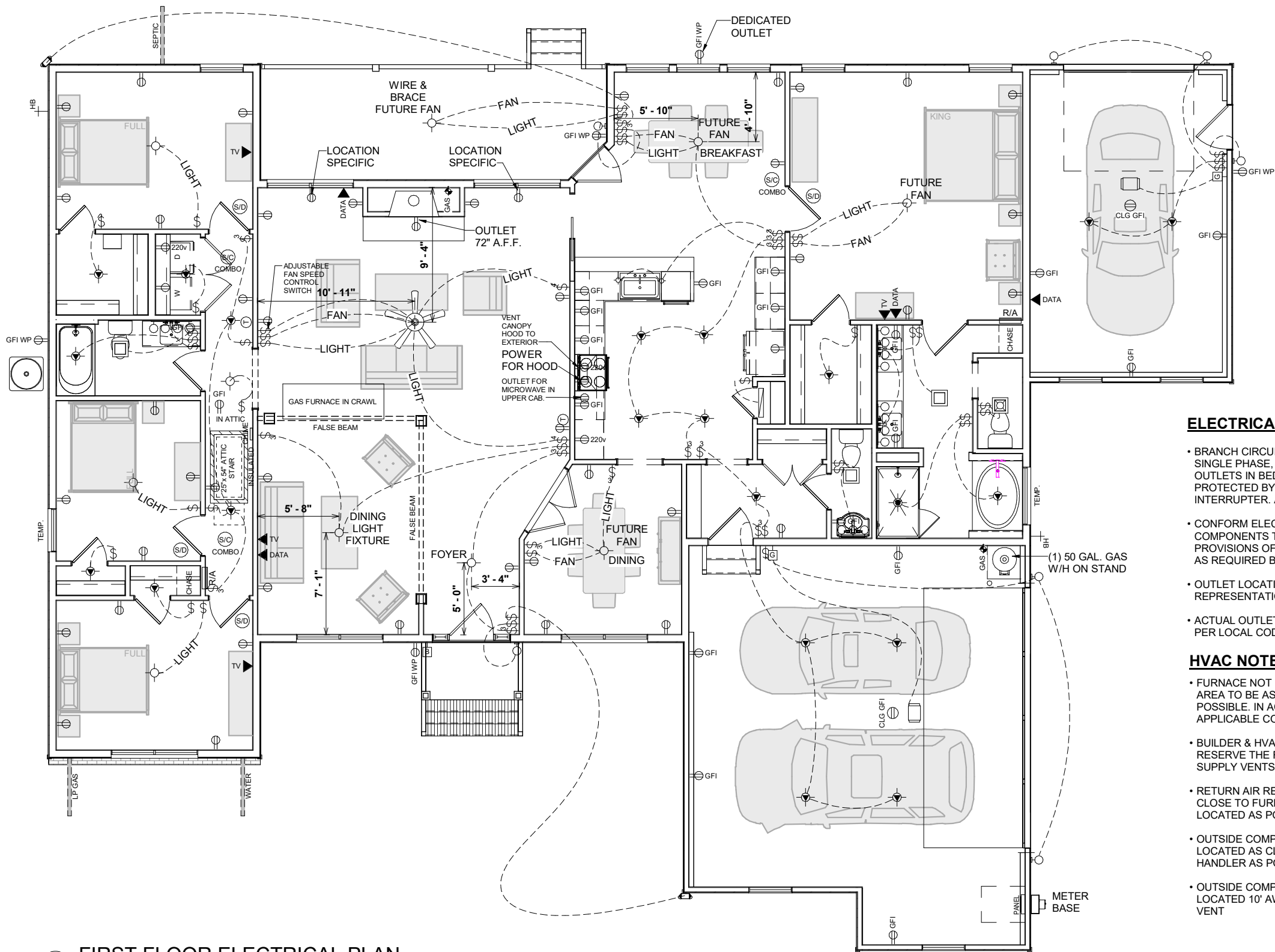
3 141.91- FOUNDATION @ GARAGE DOOR
1" = 1'-0"



2 141-530.41 GARAGE CRAWL FOUNDATION W/BRICK DETAIL
3/4" = 1'-0"

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	FOR:	REVISION SCHEDULE	
						REV #	DESCRIPTION
F-1.1	 © COPYRIGHT - 2024 CRAWL W/BRICK FOUNDATION DETAILS	ALEXIA L.	141-24-020	LENOX 'A'	FRONT PORCH		28 SF
		RT / J.D.	2x6 EXTERIOR WALLS	KENI & TRAVIS BARNARD	GARAGE		623 SF
		PRINTED: 2/19/2025 5:22:50 PM	FOUNDATION TYPE: CRAWL SPACE	1421 JOSEY WILLIAMS RD. ERWIN NC 28339	REAR PORCH		188 SF
				OFFICE: FAYETTEVILLE	SIDE GARAGE		308 SF
				SOLD BY: A.V.	FIRST FLOOR HEATED		1,147 SF
					TOTAL UNDER ROOF		2,490 SF
							3,637 SF

FINAL CONSTRUCTION PLANS



1 FIRST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

ELECTRICAL LEGEND	
LIGHT FIXTURES	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXHAUST FAN W/ LIGHT	
EXTERIOR FLOOD	
FLUORESCENT - CEILING	
FLUORESCENT - WALL	
LED	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
UNDER / OVER CABINET LIGHT	
VANITY	
ELECTRICAL FIXTURES	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER. ART. 210-12(b) 2017 NEC
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET LOCATIONS ARE REPRESENTATION ONLY
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MIN. FROM DRYER VENT

SPECIAL NOTES

- 4 TON 15 SEER GAS PACK AND HEAT PUMP
- DO NOT WIRE FOR FUTURE FAN IN BEDROOM 2, BEDROOM 3, & BEDROOM 4
- WIRE FOR FUTURE FAN IN DINING ROOM, EATING AREA, AND REAR PORCH
- ADD ADJUSTABLE FAN SPEED CONTROL SWITCH TO FAN IN GREAT ROOM

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	FOR:	REVISION SCHEDULE	
						REV #	DATE
H-1		ALEXIA L.	141-24-020	LENOX 'A'	KENI & TRAVIS BARNARD	28 SF	
						623 SF	
						188 SF	
						308 SF	
						1,147 SF	
FIRST FLOOR ELEC & HVAC	© COPYRIGHT - 2024	PRINTED: 2/19/2025 5:22:55 PM	FOUNDATION TYPE: CRAWL SPACE	OFFICE: FAYETTEVILLE	SOLD BY: A.V.	2,490 SF	
						2,490 SF	
						3,637 SF	

FINAL CONSTRUCTION PLANS



SHEET #	SCALE: As indicated	PROPERTY OF:	DRAWN BY: ALEXIA L.	JOB # 141-24-020	THE: LENOX 'A'	AREAS:	REVISION SCHEDULE
S-1	© COPYRIGHT - 2024 	CHECKED BY: R.T. / J.D.	2x6 EXTERIOR WALLS	FOR: KENI & TRAVIS BARNARD	FRONT PORCH	REV #	DESCRIPTION
		PRINTED: 2/19/2025 5:22:55 PM	FOUNDATION TYPE: CRAWL SPACE	1421 JOSEY WILLIAMS RD. ERWIN NC 28339	GARAGE		DATE
					REAR PORCH		
					SIDE GARAGE		
					FIRST FLOOR HEATED		
					TOTAL UNDER ROOF		
WALL SECTIONS		OFFICE: FAYETTEVILLE	SOLD BY: A.V.				

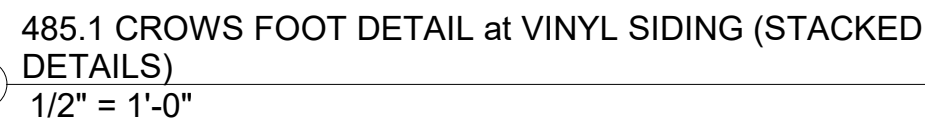
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PAPER SIZE: 11" x 17"

SCALE: As indicated

WALL SECTIONS



"A" = MAX. HORIZONTAL SPAN FOR OVERFRAME RAFTER*		
2X4	16" O.C.	9'-5"
	24" O.C.	8'-0"
2X6	16" O.C.	14'-4"
	24" O.C.	11'-9"
2X8	16" O.C.	18'-2"
	24" O.C.	14'-10"
2X10	16" O.C.	22'-3"
	24" O.C.	18'-2"

* 2018 IRC TABLE R802.4.1(1)

* 2018 IRC TABLE R802.4.1(1)

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

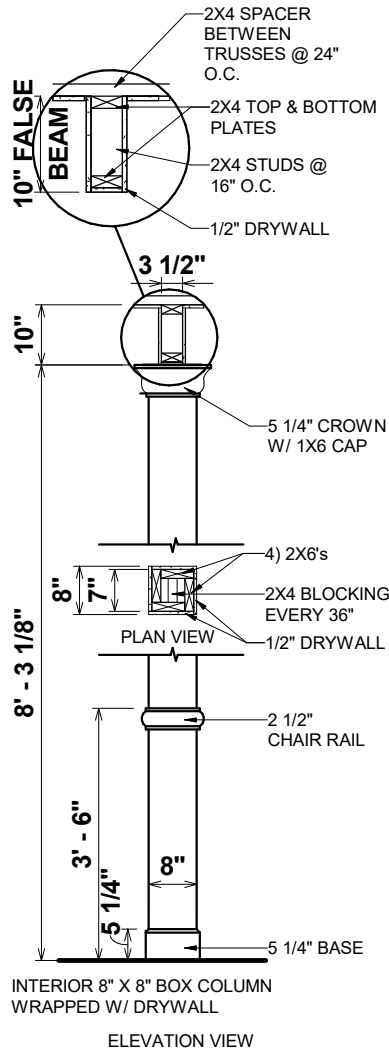
SHEET #		PROPERTY OF:		DRAWN BY:		JOB #		THE:		AREAS:		REVISION SCHEDULE	
SCALE: As indicated				ALEXIA L.		141-24-020						REV #	
S-2				CHECKED BY:		2x6 EXTERIOR WALLS		FOR:		FRONT PORCH			
				R.T. / J.D.						GARAGE		28 SF	
				PRINTED:		FOUNDATION TYPE:				REAR PORCH		623 SF	
				2/19/2025		CRAWL SPACE		1421 JOSEY WILLIAMS RD.		SIDE GARAGE		188 SF	
				5:22:56 PM				ERWIN NC 28339				308 SF	
										FIRST FLOOR HEATED		1,147 SF	
												2,490 SF	
										TOTAL UNDER ROOF		3,637 SF	
DETAILS				OFFICE:				SOLD BY:					
				FAYETTEVILLE				A.V.					

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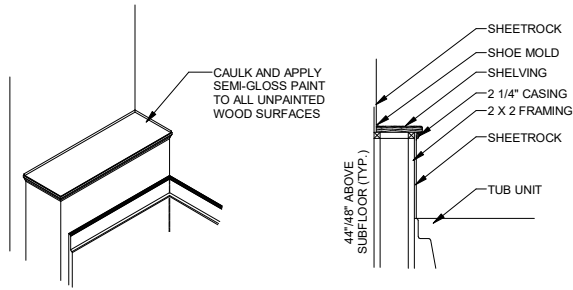
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SCALE: As indicated

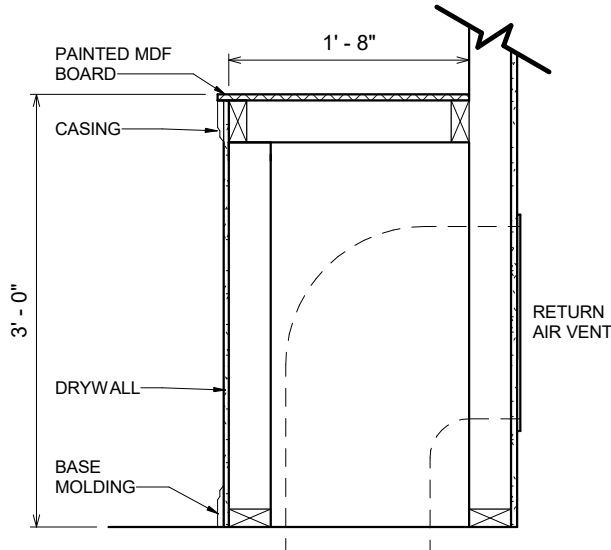
DETAILS



1 890.2a INTERIOR 8" BOX COLUMN DETAILS
3/8" = 1'-0"



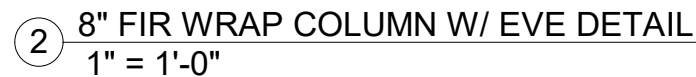
BATHROOM KNEEWALL



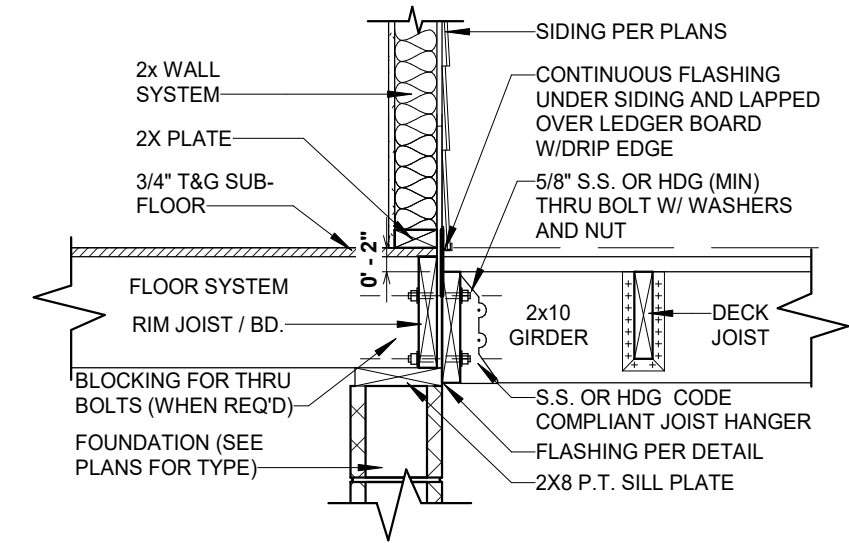
4 900.1 RETURN AIR DETAIL
3/4" = 1'-0"

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	LENOX 'A'	REVISION SCHEDULE		
						REV #	DESCRIPTION	DATE
S-3	 © COPYRIGHT - 2024	ALEXIA L.	141-24-020					
		CHECKED BY:	2x6 EXTERIOR WALLS		FRONT PORCH		28 SF	
		R.T. / J.D.			GARAGE		623 SF	
		PRINTED:	FOUNDATION TYPE:		REAR PORCH		188 SF	
		2/19/2025	CRAWL SPACE		SIDE GARAGE		308 SF	
		5:22:57 PM					1,147 SF	
					FIRST FLOOR HEATED		2,490 SF	
					TOTAL UNDER ROOF	3,637 SF		
INTERIOR DETAILS								

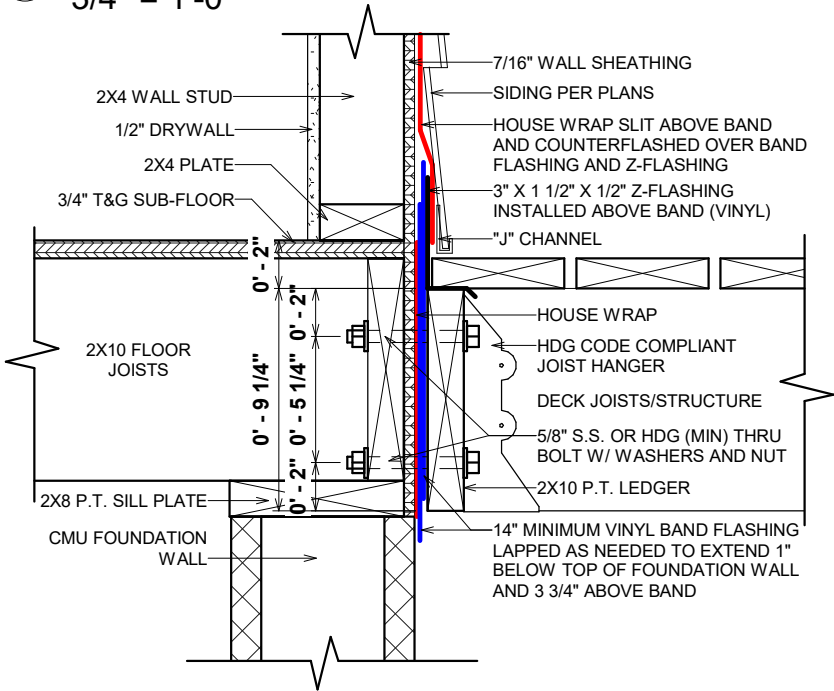
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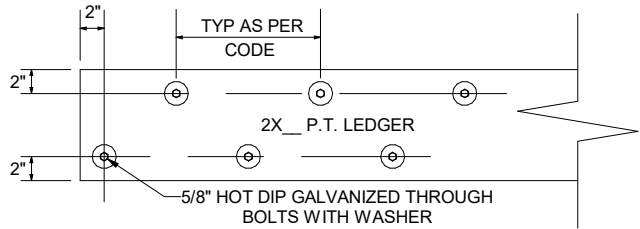
1 87-0.6-DECK LEDGER CONNECTION
3/4" = 1'-0"



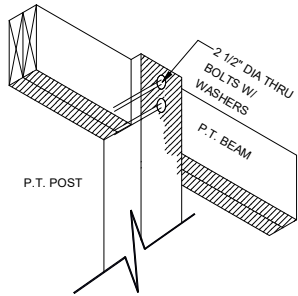
2 87-480.2 PORCH LEDGER FLASHING
1 1/2" = 1'-0"

FASTNERS	8' MAX. JOIST SPAN	16' MAX. JOIST SPAN
5/8" HOT DIPPED GALV.BOLTS WITH NUT AND WASHER	1 @ 3'-6" O.C.	1 @ 1'-8" O.C.
AND	AND	AND
12 D COMMON HOT DIPPED GALV. NAILS	2 @ 8" O.C.	3 @ 6" O.C.

AM104.1.1 ALL STRUCTURES EXCEPT BRICK VENEER STRUCTURES



LEDGER BOARD AND FASTENER DETAIL



POST TO BEAM CONNECTION

SCALE: As indicated		SHEET #		PROPERTY OF:		DRAWN BY:		JOB #		THE:		AREAS:		REVISION SCHEDULE	
S-5				© COPYRIGHT - 2024		ALEXIA L.		141-24-020		LENOX 'A'		FRONT PORCH GARAGE REAR PORCH SIDE GARAGE FIRST FLOOR HEATED TOTAL UNDER ROOF		28 SF	
														623 SF	
														188 SF	
														308 SF	
														1,147 SF	
														2,490 SF	
														3,637 SF	
STANDARD DECK DETAILS															
						CHECKED BY:		2x6 EXTERIOR WALLS		FOR:		KENI & TRAVIS BARNARD			
						R.T. / J.D.						1421 JOSEY WILLIAMS RD. ERWIN NC 28339			
						PRINTED:		FOUNDATION TYPE:							
						2/19/2025 5:22:58 PM		CRAWL SPACE							
										OFFICE:		SOLD BY:			
										FAYETTEVILLE		A.V.			

FINAL CONSTRUCTION PLANS

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

SINGLE WINDOW UNITS

CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

TWIN/TRIPLE WINDOW UNITS

2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

TRANSOM WINDOW UNITS

3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

SPECIALTY WINDOWS

4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE. 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

INSWING UNITS

2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN	65 1/4" X 96"

OUTSWING UNITS

2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

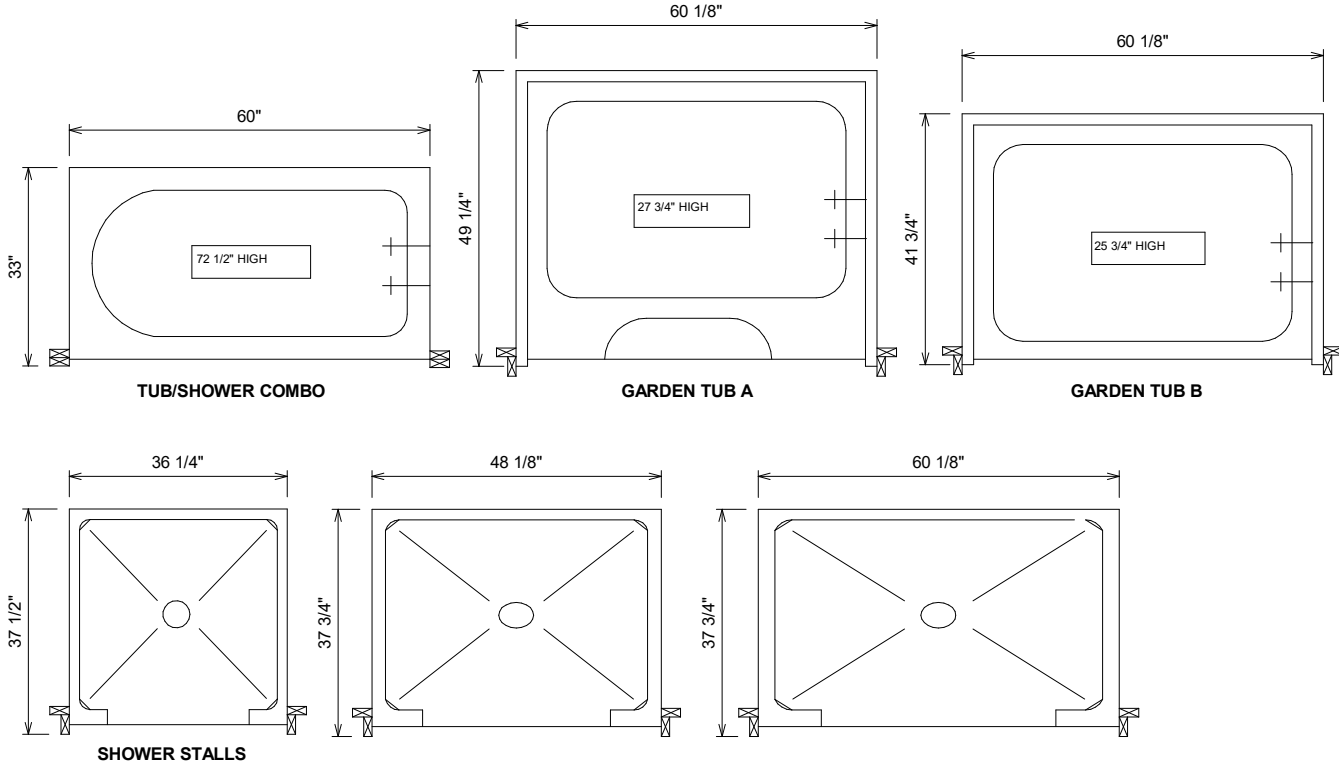
CENTER HINGED/ FRENCH DOOR...

6-0 X 6-8 CENTER HINGED(INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

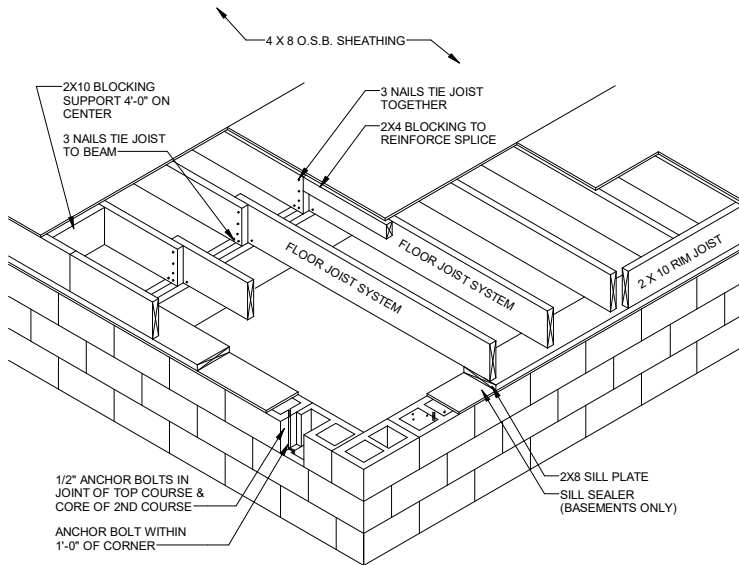
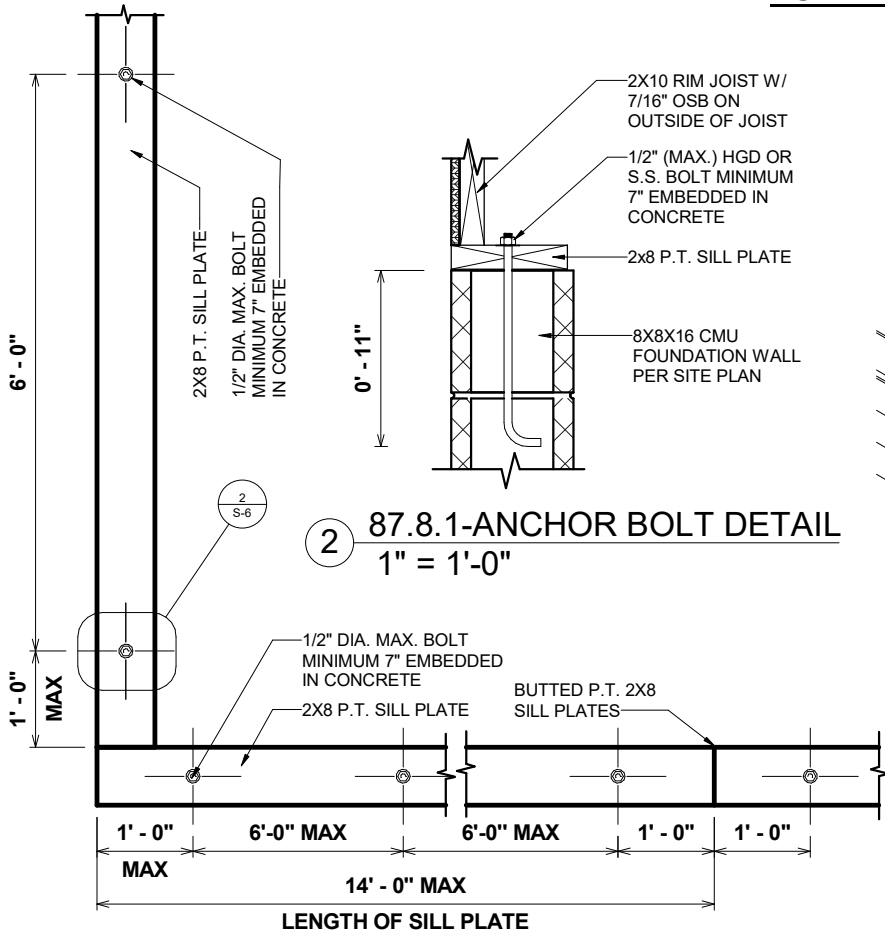
SLIDING GLASS DOORS

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

*** FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT***



TUB DETAILS



- GENERAL NOTES:
- 1.) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
- 2.) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

FLOOR FRAMING DETAIL

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

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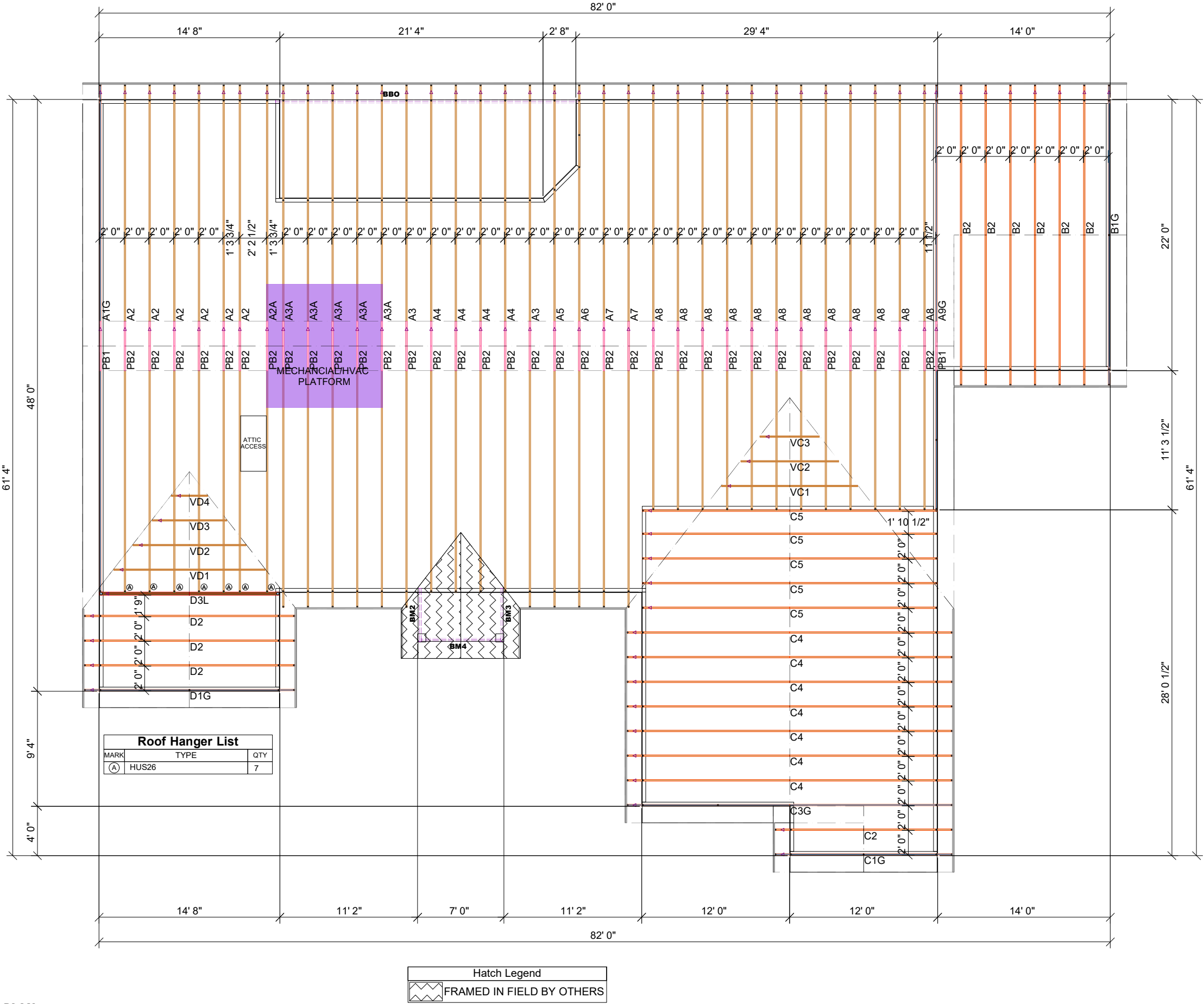
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PAPER SIZE: 11" x 17"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
AREAS:	FRONT PORCH	28 SF	
		623 SF	
		188 SF	
	SIDE GARAGE	308 SF	
		1,147 SF	
	FIRST FLOOR HEATED	2,490 SF	
		2,490 SF	
TOTAL UNDER ROOF	3,637 SF		
THE:	FOR:	1421 JOSEY WILLIAMS RD. ERWIN NC 28339	SOLD BY: A.V.
JOB #	FOUNDATION TYPE:	CRAWL SPACE	OFFICE: FAYETTEVILLE
DRAWN BY:	CHECKED BY:	PRINTED:	© COPYRIGHT - 2023
PROPERTY OF:	S-6	AMERICA'S HOME PLACE	FRAMING DETAILS
SHEET #	SCALE: As indicated		

THIS IS A TRUSS PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and requirements for the permanent restraint/bracing of truss systems may be met by following the methods outlined in ANSI-TPI 1-2014 - 2.3.3. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcacomponents.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

PLACEMENT PLAN



△ INDICATES LEFT END OF TRUSS SCALE: N.T.S

ROOF AREA: 4808.56 ft² sqft

RIDGE LINE: 153.88 ft

VALLEY LINES: 96.24 ft

HIP LINES: 0 ft

THESE VALUES ARE APPROXIMATE ONLY

REVISIONS

DATE	DESCRIPTION	DSN
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

BARNARD RESIDENCE

1399 JOSEY WILLIAMS RD
ERWIN NC 28339

AHP - FAYETTEVILLE

UFP SITE BUILT

TRUSS TRAX

UPFCONSTRUCTION

QR CODE

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