

MASON LANDING TOWNHOMES

PROJECT # DRB2201-0262_A
 DATE 10/10/2023
 DRAWN/DESIGNED BY MMB
 CHECKED BY DRB
 SCALE

PROJECT NAME
 MASON LANDING TOWNHOMES
 drbhomedesign.com

PROJECT NAME
 MASON LANDING TOWNHOMES

DRB DESIGN
 drbdesign@drbhomedesign.com 919.631.5979
 250 Shipwash Dr Suite 105 Garner, NC 27529

CLIENT NAME
 One27Design
 114 W. Main St.,
 Clayton, NC 27520
 matthew@one27design.com
 (919) 504-6387

SHEET NAME
 ELEVATIONS
 SHEET #



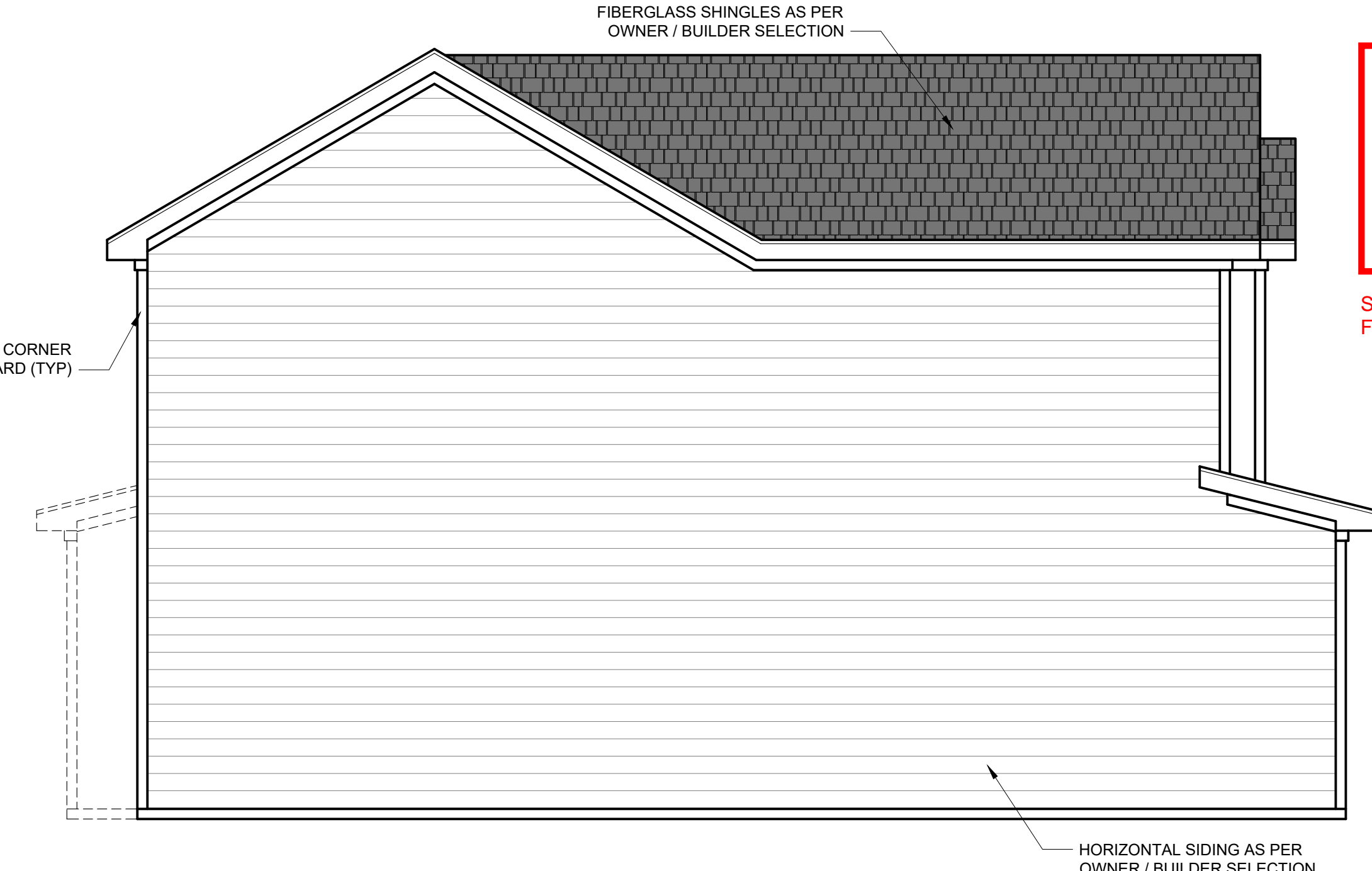
FRONT ELEVATION - ELEV. A
 1/4" = 1'-0"

FRONT ELEVATION - ELEV. B
 1/4" = 1'-0"

FRONT ELEVATION - ELEV. B
 1/4" = 1'-0"

FRONT ELEVATION - ELEV. B
 1/4" = 1'-0"

FRONT ELEVATION - ELEV. A
 1/4" = 1'-0"



LEFT ELEVATION - ELEV. A
 1/4" = 1'-0"

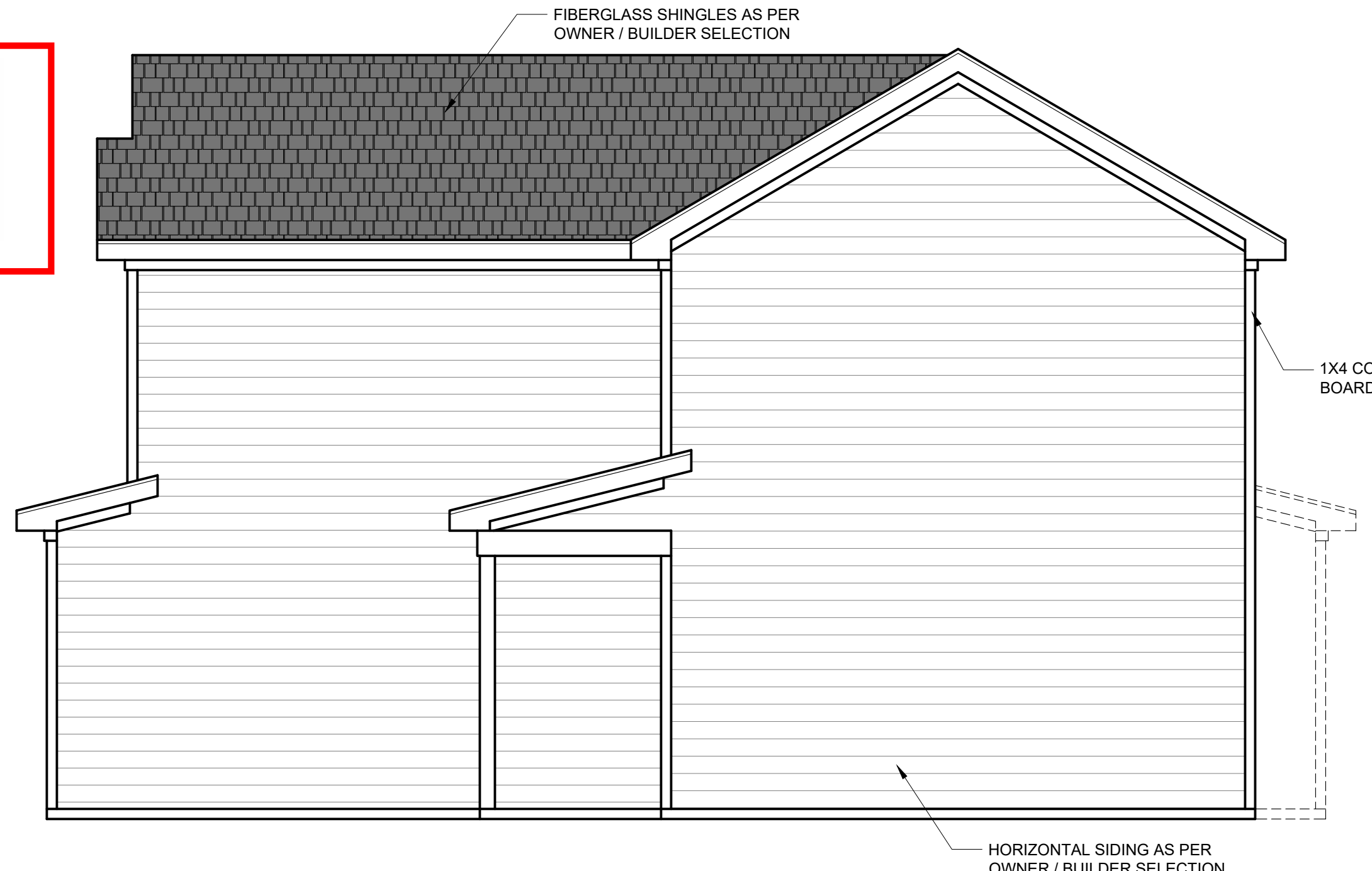
NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
 I hereby certify that the above information is true and correct to the best of my knowledge and belief.

02/20/2024

[Signature]
 Harnett COUNTY
 NORTH CAROLINA

Still waiting for 1 hour soffit design. Released for permitting.
 Field verify bedroom windows meet egress.



RIGHT ELEVATION - ELEV. A
 1/4" = 1'-0"



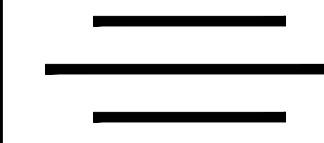
REAR ELEVATION - ELEV. A
 1/4" = 1'-0"

REAR ELEVATION - ELEV. B
 1/4" = 1'-0"

REAR ELEVATION - ELEV. B
 1/4" = 1'-0"

REAR ELEVATION - ELEV. B
 1/4" = 1'-0"

REAR ELEVATION - ELEV. A
 1/4" = 1'-0"



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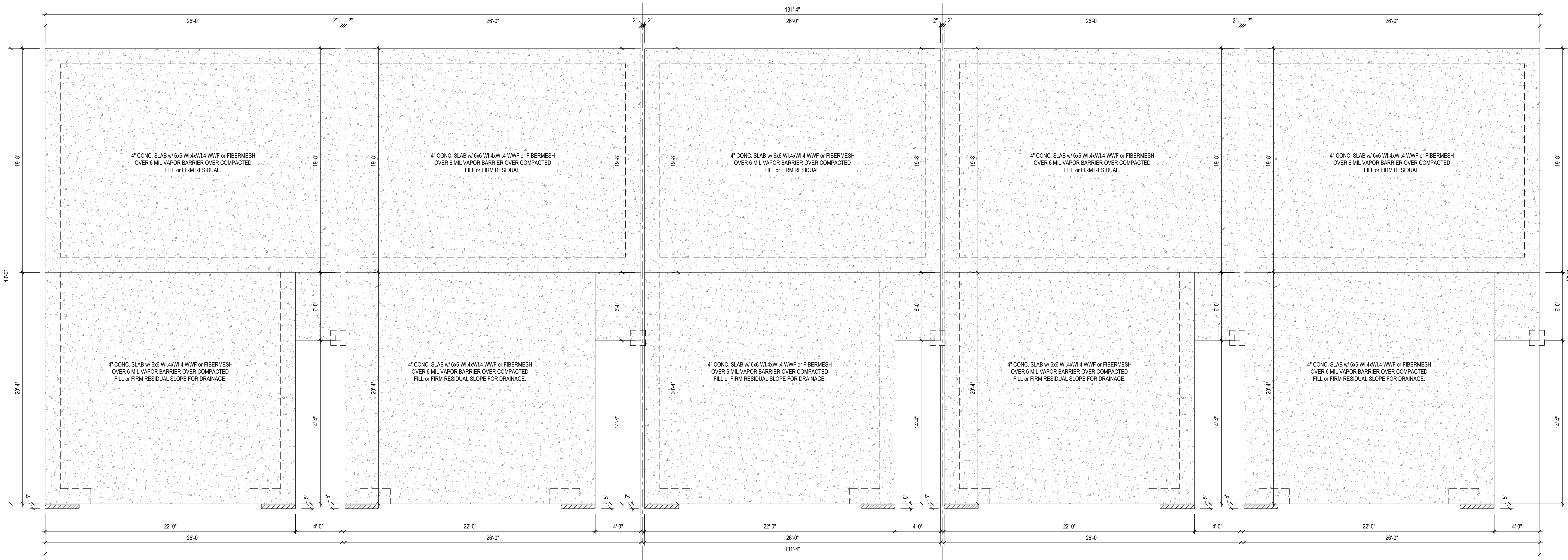
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FOUNDATION PLAN - ELEV. A
1/4" = 1'-0"

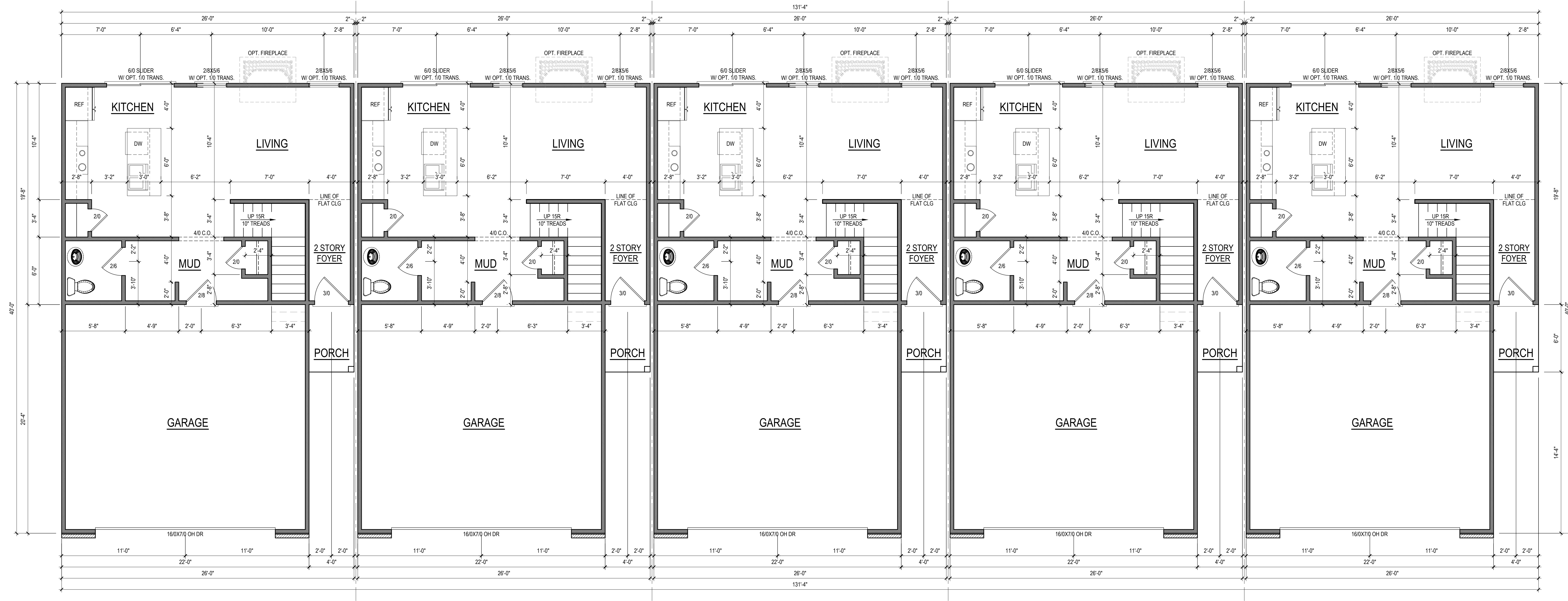
FOUNDATION PLAN - ELEV. B
1/4" = 1'-0"

FOUNDATION PLAN - ELEV. B
1/4" = 1'-0"

FOUNDATION PLAN - ELEV. B
1/4" = 1'-0"

FOUNDATION PLAN - ELEV. A
1/4" = 1'-0"

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- All construction shall conform to the latest requirements of "North Carolina State 2018 residential building code", in addition to all local codes and regulations.
- Should these plans require structural calculations for permitting the contractor shall be required to obtain the services of a structural engineer after notifying DRB DESIGN that such services are required.
- Release of these plans requires further cooperation among the owner, his/her contractor, and DRB DESIGN.
- Design and construction are complex and, although the designer performed his services with due care and diligence, perfection is not a guarantee.
- Communication is imperfect and every contingency cannot be anticipated.
- Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to DRB DESIGN. Failure to notify the DRB DESIGN compounds misunderstandings and increases construction costs.
- A failure to cooperate by a simple notice to DRB DESIGN shall relieve the designer from any and all responsibilities for all consequences.
- Changes made to these plans without the consent of the designer are unauthorized and shall relieve DRB DESIGN of responsibility for any and all consequences arising out of such changes.
- Written dimensions on these plans always have precedence over scaled dimensions.
- It is the contractor's responsibility to verify and be responsible for all dimensions and square footage prior to construction, as well as conditions on the job site. DRB DESIGN is not responsible for dimension and square footage errors once construction has begun.
- DRB DESIGN must be notified of any variations from the dimensions and conditions shown on these drawings.



FIRST FLOOR PLAN - ELEV. A
1/4" = 1'-0" CLG. HGT. = 9'-0"

FIRST FLOOR PLAN - ELEV. B
1/4" = 1'-0" CLG. HGT. = 9'-0"

FIRST FLOOR PLAN - ELEV. B
1/4" = 1'-0" CLG. HGT. = 9'-0"

FIRST FLOOR PLAN - ELEV. B
1/4" = 1'-0" CLG. HGT. = 9'-0"

FIRST FLOOR PLAN - ELEV. A
1/4" = 1'-0" CLG. HGT. = 9'-0"

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SECOND FLOOR PLAN - ELEV. A
 1/4" = 1'-0"
 CLG. HGT. = 8'-0"

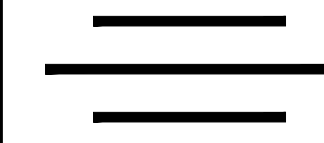
SECOND FLOOR PLAN - ELEV. B
 1/4" = 1'-0"
 CLG. HGT. = 8'-0"

SECOND FLOOR PLAN - ELEV. B
 1/4" = 1'-0"
 CLG. HGT. = 8'-0"

SECOND FLOOR PLAN - ELEV. B
 1/4" = 1'-0"
 CLG. HGT. = 8'-0"

SECOND FLOOR PLAN - ELEV. A
 1/4" = 1'-0"
 CLG. HGT. = 8'-0"

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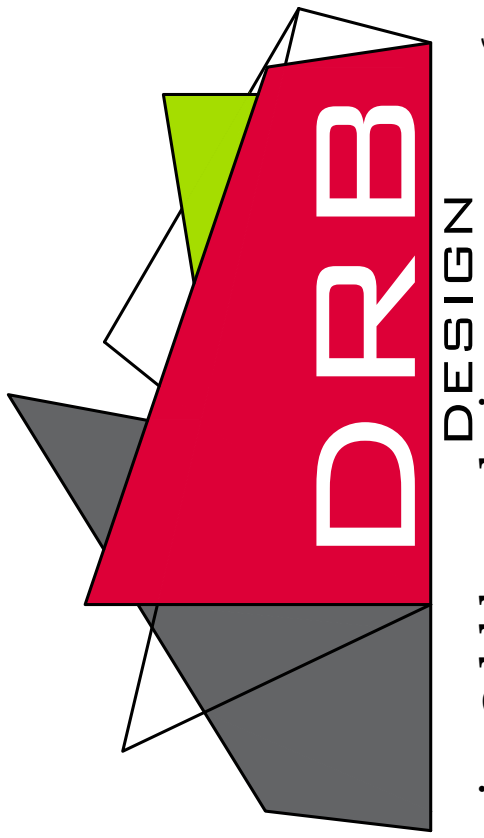
PRODUCT NAME
MASON LANDING
TOWNHOMES



PROJECT NAME
MASON LANDING
TOWNHOMES



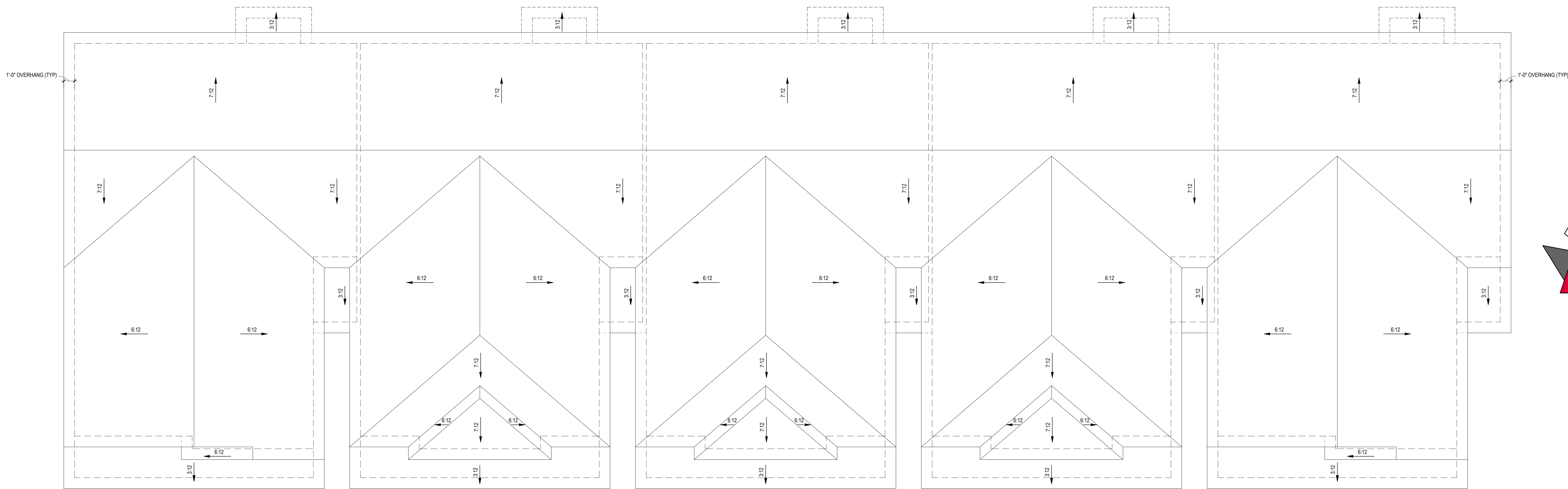
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SHEET NAME
ROOF
SHEET #
5
of 5



ROOF PLAN - ELEV. A
1/4" = 1'-0"

ROOF PLAN - ELEV. B
1/4" = 1'-0"

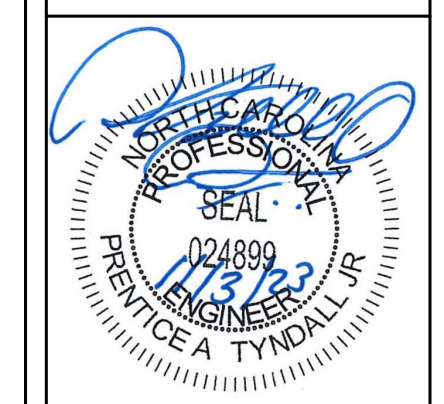
ROOF PLAN - ELEV. B
1/4" = 1'-0"

ROOF PLAN - ELEV. B
1/4" = 1'-0"

ROOF PLAN - ELEV. A
1/4" = 1'-0"

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Client: **ONE27DESIGN**
File: **MASON LANDING TOWNHOMES**

SECOND FLOOR FRAMING
SECOND FLOOR CLG FRAMING

Project #: **DRB2201-0262A**
Date: **11/03/23**
Engineered By: **AJM**
DWG. Checked By: **PTH**
Scale: **SEE PLAN**

REVISIONS		
No.	Date	Remarks

Sheet Number
S3
3 of 7



FILENAME: D:\PROJECTS\DRB2201-0262A\ONE27DESIGN\WHITE_OVA\CLG_FRAMING\DRB2201-0262A_ONE27DESIGN_WHITE_OVA_CAD_PLS\DRB2201-0262A_COMBINED_LAYOUT_SWD.DWG DATE: 11/03/2023 5:24 AM

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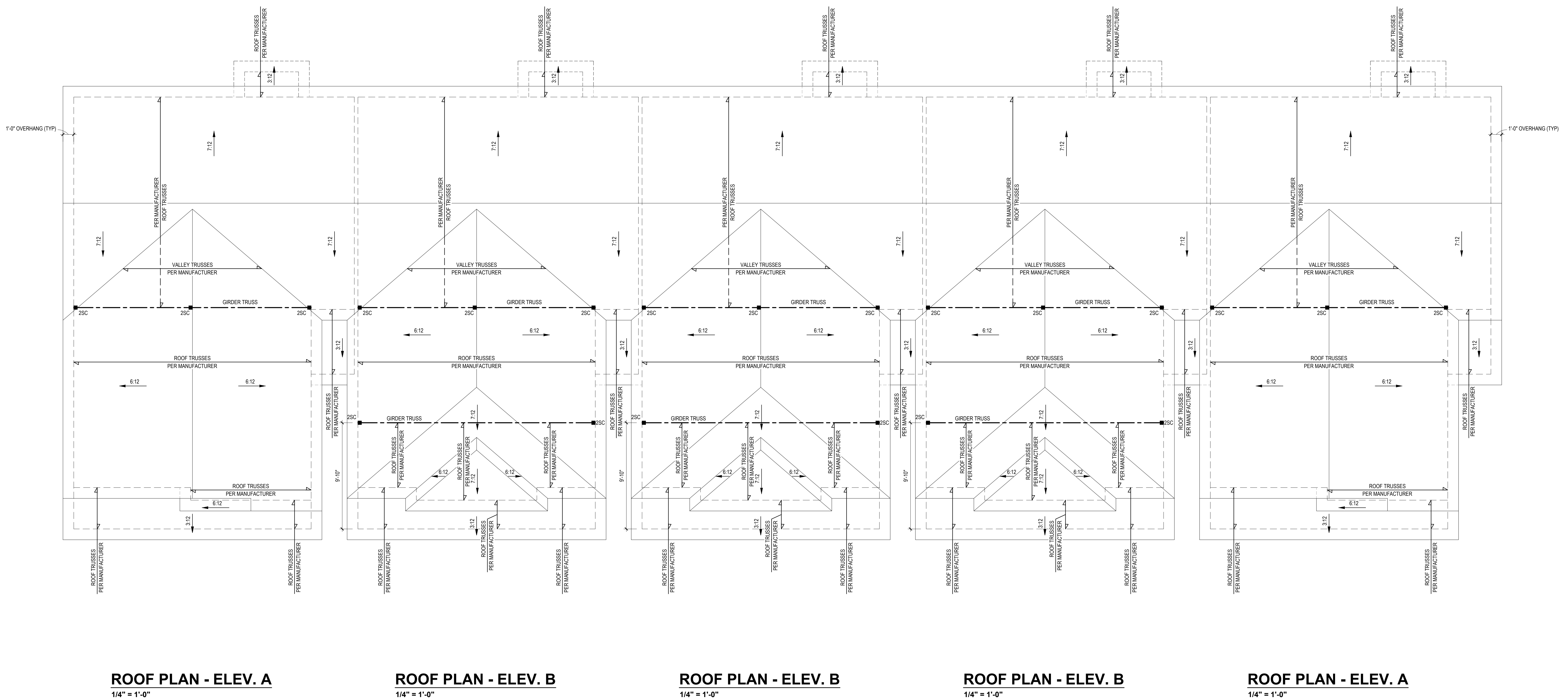
ONE27DESIGN
MASON LANDING TOWNHOMES

ROOF PLAN

Project #: DRB2201-0262A
Date: 11/03/23
Engineered By: AJM
DWG. Checked By: PTH
Scale: SEE PLAN

REVISIONS		
No.	Date	Remarks

Sheet Number
S4
4 of 7



ROOF PLAN - ELEV. A
1/4" = 1'-0"

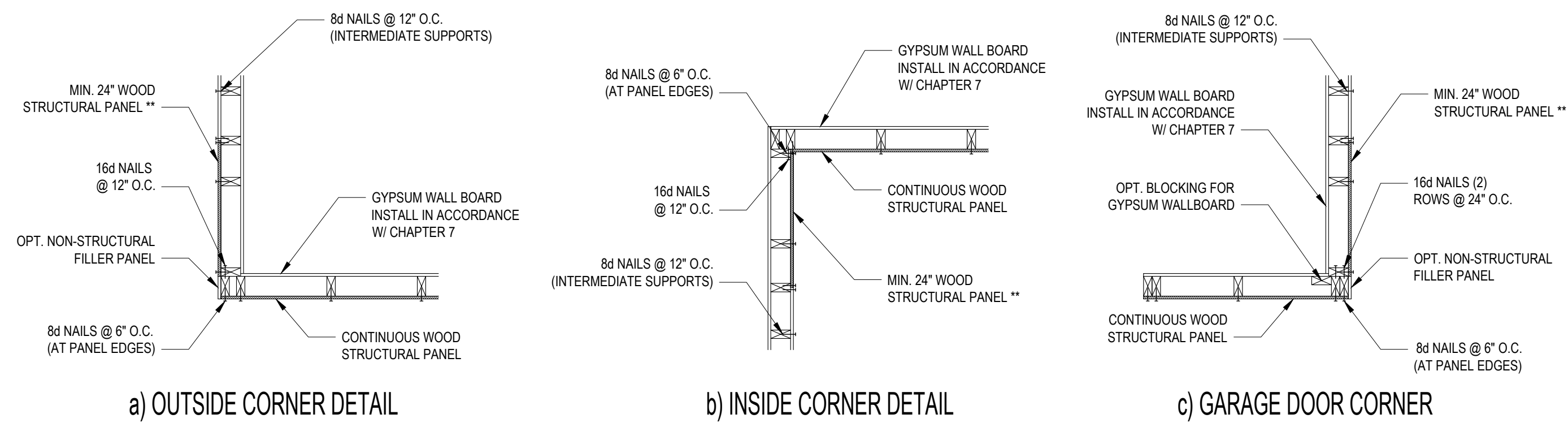
ROOF PLAN - ELEV. B
1/4" = 1'-0"

ROOF PLAN - ELEV. B
1/4" = 1'-0"

ROOF PLAN - ELEV. B
1/4" = 1'-0"

ROOF PLAN - ELEV. A
1/4" = 1'-0"

FILENAME: P:\IN\DRB2201-0262\DRB2201-0262_AONE27DESIGN\WHITE.DWG CAL_PLS\DRB2201-0262_AONE27DESIGN\WHITE.DWG SWID BR: CHROME LAST PLAT DATE: 11/03/23 5:24 AM



** IN LIEU OF THE 2" (MIN.) CORNER RETURN, A HOLD-DOWN DEVICE WITH A MINIMUM UPLIFT DESIGN VALUE OF 800# SHALL BE FASTENED TO THE CORNER STUD AND TO THE FOUNDATION OR FRAMING BELOW.

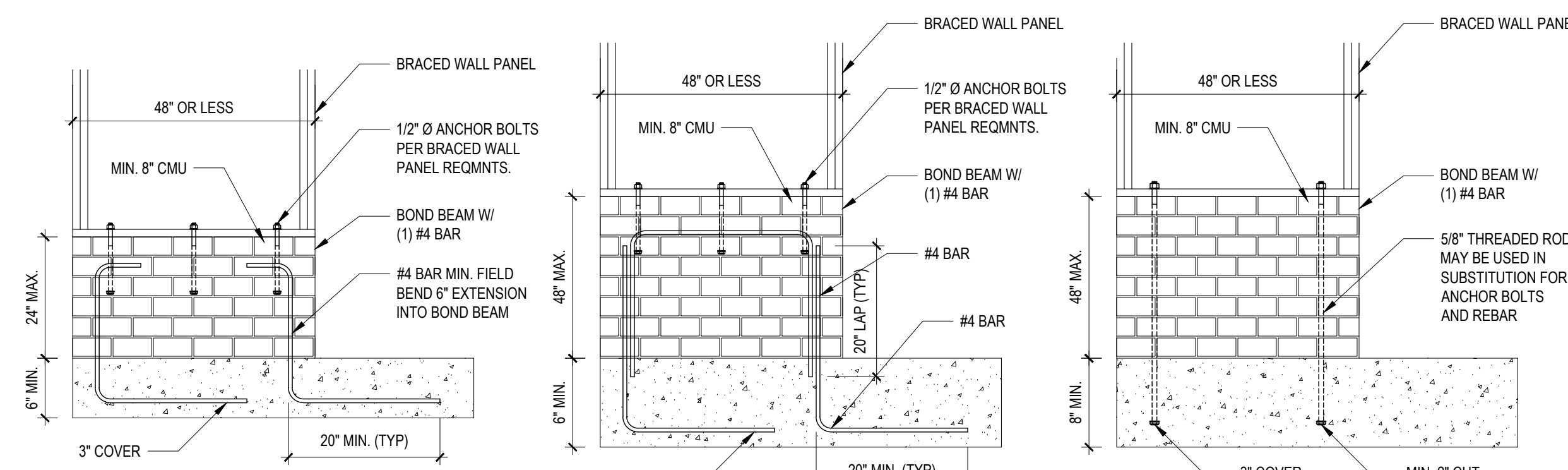
B1: TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING
NO SCALE

- STRUCTURAL SHEATHING NOTES**
- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 100 MPH OR LESS.
 - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10.3 OF THE 2018 NRC.
 - BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3. REFER TO SECTION R602.10.4 FOR LOAD PATH DETAILS INCLUDING CONNECTIONS & SUPPORT OF BRACED WALL PANELS.
 - REFERENCE FIGURE R602.10.4.3 OF THE 2018 NRC.
 - INTERIOR BRACED WALL PANELS (BWP) INDICATED SHALL BE SHEATHED IN ACCORDANCE WITH THE GB METHOD OR WSP METHOD AS PRESCRIBED IN SECTION R602.10.1 (UNO).
 - 1/2" GYPSUM BOARD (GB) MINIMUM LENGTH OF 8'-0" (SHEATHING) OR 4'-0" (CONTINUOUS SHEATHING).
 - 3/8" WOOD STRUCTURAL PANEL (WSP) SECURE W/ 6d COMMON NAILS SPACED AT 12" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
 - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-WSP METHOD AS PRESCRIBED IN SECTION R602.10.3 (UNO).
 - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8" SHEATHING SHALL BE SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS.
 - MINIMUM BRACED WALL PANEL LENGTHS WITH CS-WSP METHOD SHALL BE AS FOLLOWS:
 - 20' ADJACENT TO OPENINGS NOT MORE THAN 67% OF WALL HEIGHT
 - 30' ADJACENT TO OPENINGS GREATER THAN 67% AND LESS THAN 85% OF WALL HEIGHT
 - 45' FOR OPENINGS GREATER THAN 85% OF WALL HEIGHT
 - SHEATH INTERIOR AND EXTERIOR.
 - FOR CS-WSP METHOD, A MINIMUM 24" BRACED WALL PANEL CORNER RETURN SHALL BE PROVIDED AT BOTH ENDS OF A BRACED WALL LINE IN ACCORDANCE WITH FIGURE R602.10.3 (A) IN LIEU OF A CORNER RETURN, EITHER A MINIMUM 48" BRACED WALL PANEL SHALL BE PROVIDED AT THE CORNER OR A HOLD-DOWN DEVICE WITH A MINIMUM UPLIFT DESIGN VALUE OF 800# SHALL BE FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FRAMING BELOW.
 - MINIMUM 800# HOLD-DOWN DEVICE.

REQUIRED BRACED WALL PANEL CONNECTIONS				
METHOD	MATERIAL	MIN. THICKNESS	REQUIRED CONNECTION	
			@ PANEL EDGES	@ INTERMEDIATE SUPPORTS
CS-WSP	WOOD STRUCTURAL PANEL	3/8"	6d COMMON NAILS @ 6" O.C.	6d COMMON NAILS @ 12" O.C.
GB	GYPSUM BOARD	1/2"	5d COOLER NAIL** @ 7" O.C.	5d COOLER NAIL** @ 7" O.C.
WSP	WOOD STRUCTURAL PANEL	3/8"	6d COMMON NAILS @ 6" O.C.	6d COMMON NAILS @ 12" O.C.

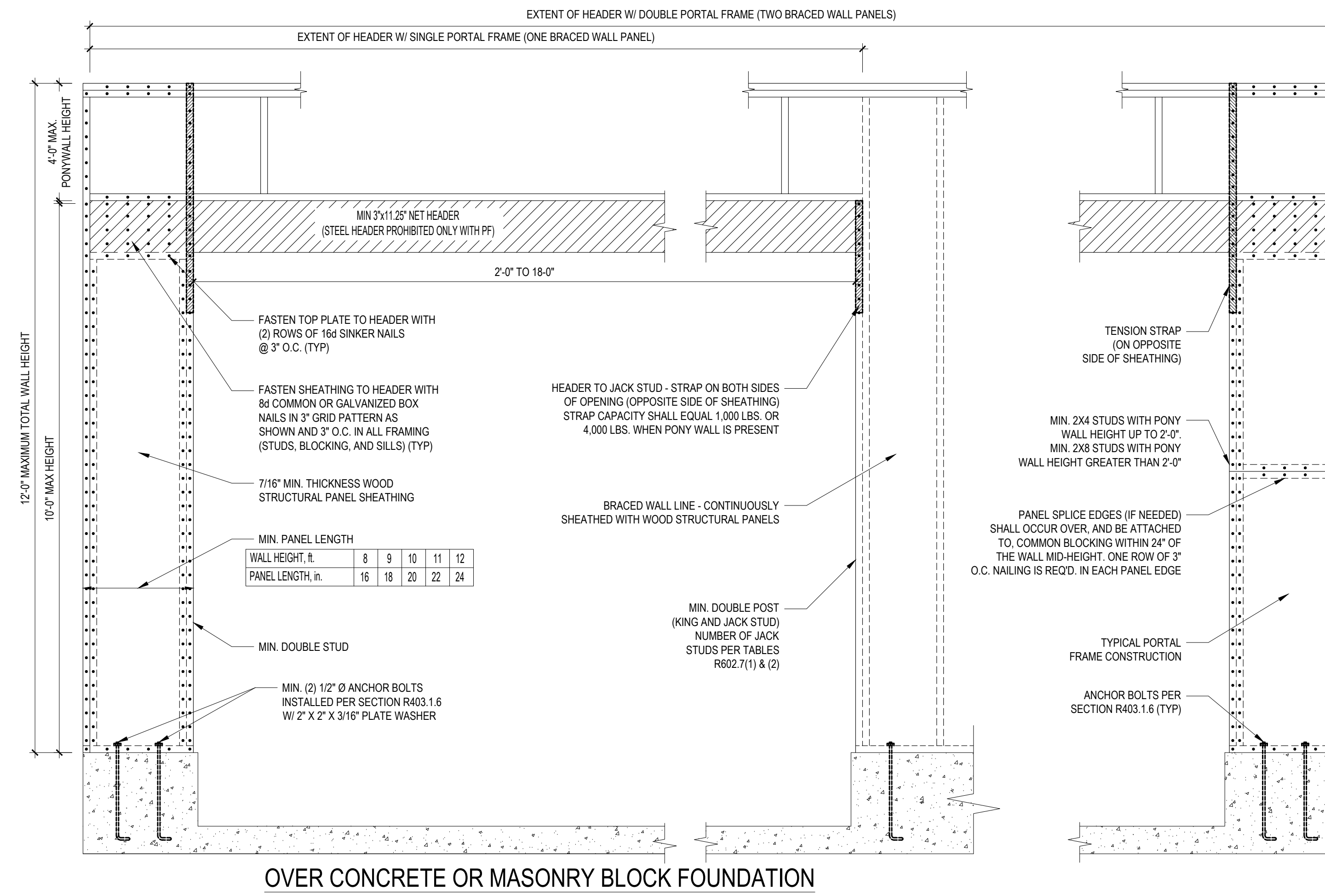
**OR EQUIVALENT PER TABLE R702.3.5

B3: BRACE WALL PANEL CONNECTIONS
NO SCALE

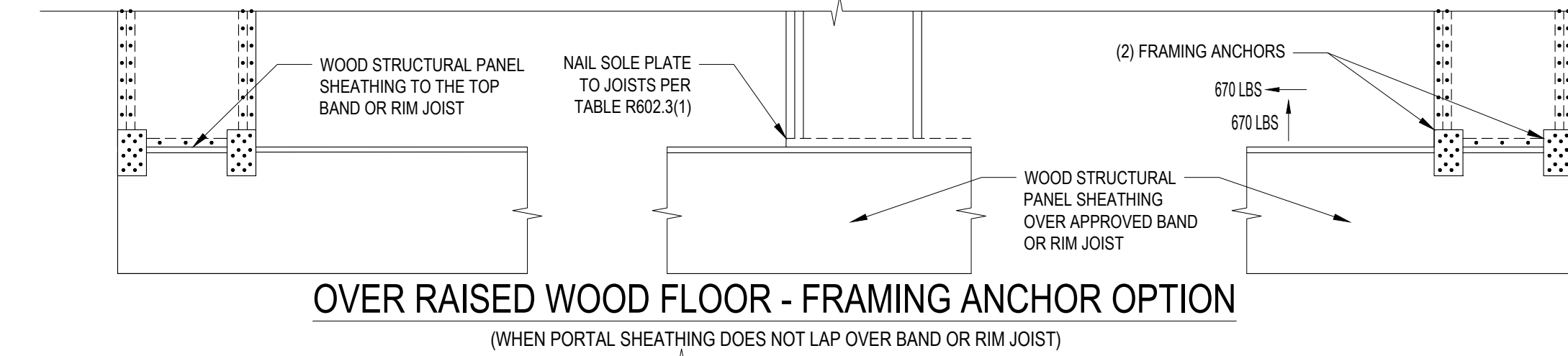


B4: MASONRY STEM WALL SUPPORTING BRACED WALL PANELS

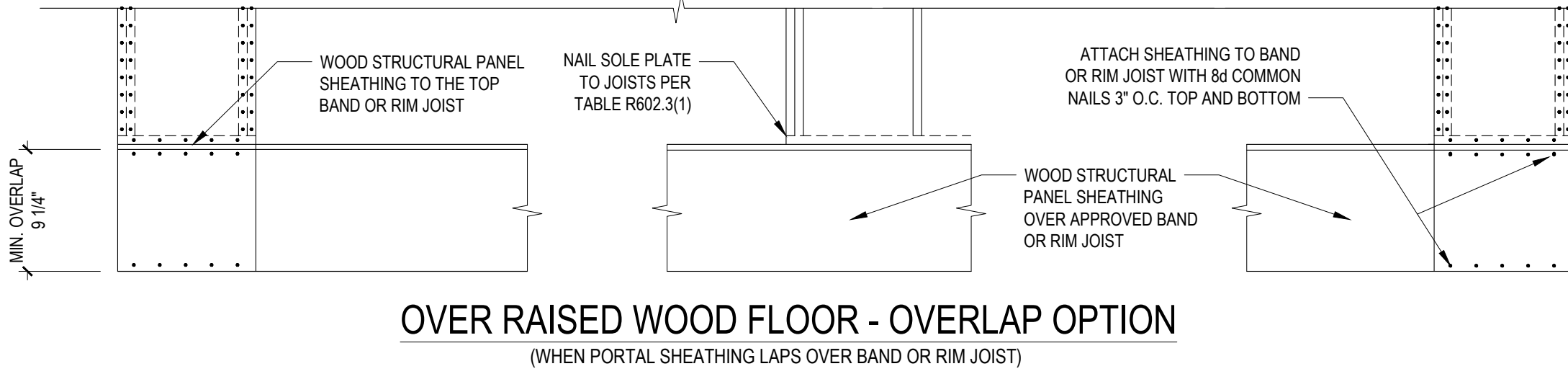
FIGURE R602.10.4.3 OF THE 2018 NRC
NOTE: GROUT BOND BEAMS AND ALL CELLS WHICH CONTAIN REBAR, THREADED RODS AND ANCHOR BOLTS



OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION
(WHEN PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM JOIST)

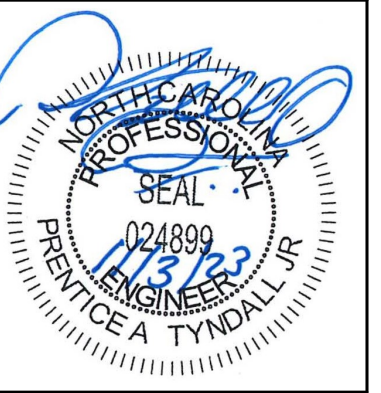


OVER RAISED WOOD FLOOR - OVERLAP OPTION
(WHEN PORTAL SHEATHING LAPS OVER BAND OR RIM JOIST)

B2: METHOD PF: PORTAL FRAME CONSTRUCTION

FIGURE R602.10.1

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MASON LANDING TOWNHOMES

SHEATHING
DETAILS

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Date:	11/03/23
Engineered By:	AJM
DWG. Checked By:	PTH
Scale:	SEE PLAN

REVISIONS		
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D3