

# Residence for Gammon Construction The Jace - R



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The purpose of these drawings is to show the intent of the design and construction of this home. Contractor should verify all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

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## GENERAL NOTES:

- ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, 2018 EDITION (HEREIN WITH SHOWN AS N.C.S.R.B.C.).
- DIMENSIONS SHOWN ON DRAWINGS GOVERN OVER SCALE..
- STUD WALL DESIGN SHALL CONFORM TO ALL N.C.S.R.B.C. REQUIREMENTS.
- CONTRACTOR SHALL USE TEMPERED SAFETY GLASS IN ALL LOCATIONS AS REQUIRED BY N.C.S.R.B.C., SECTION R308.4
- ANY HABITABLE ROOM SHALL MEET ALL LIGHT/VENTILATION AND EGRESS AS REQUIRED BY N.C.S.R.B.C., SECTIONS R-309.1 AND R-310.1
- ALL WALLS SHOWN ON FLOOR PLANS ARE 2x4 FRAME UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS SHOWN ON FLOOR PLANS ARE 45° UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL HAVE A MINIMUM DPI RATINGS OF 25. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT UNITS INSTALLED MEET THESE REQUIREMENTS AS PER N.C.S.R.B.C., TABLE 301.2(6).
- ENERGY EFFICIENCY REQUIREMENTS FOR THE SPECIFIC CLIMATE ZONE WHERE STRUCTURE IS BEING BUILT SHALL BE IN ACCORDANCE WITH CHAPTER 11 OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, AS SHOWN IN TABLES N1102.1 AND N1102.1.
- TERMITE TREATMENT - BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" AFF.

## RESIDENTIAL BUILDING CODE SUMMARY

- PLANS ARE DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- HOUSE IS DESIGNED FOR 130 MPH, 3 SECOND GUST (101 MPH FASTEST WIND), EXPOSURE B.
- ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER WITH STANDARD WASHER AND NUT AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF CORNERS. ALTERNATE ANCHOR STRAPS CAN BE USED INSTEAD OF ANCHOR BOLTS SPACED AT THE EQUIVALENT SPACING AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS EXCEPT AT GARAGE LUG FTG.
- MEAN ROOF HEIGHT: 26'-10"
- COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS:  
MEAN ROOF HGT: UP TO 30' 30'-1" TO 35' 35'-1" TO 40' 40'-1" TO 45'  

ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0
- MINIMUM VALUES FOR ENERGY COMPLIANCE: ZONE 3
- MAXIMUM GLAZING U-FACTOR: 0.35
- INSULATING VALUES: CEILING: R-30\* / WALLS: R-15 / FLOOR: R-19 / SLABS: R-0. CODE REFERENCE: TABLE N1102.1 (\*R-30 ONLY IF UNCOMPRESSED, R-38 REQUIRED IF COMPRESSED)
- FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.8 OF THE N.C.R.B.C.
- FIREBLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R602.8 OF THE N.C.R.B.C.
- DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R302.12 OF THE N.C.R.B.C.

## MATERIALS LEGEND

	EARTH/COMPACT FILL		FINISH WOOD
	CONCRETE		ROUGH WOOD
	BRICK		BLOCKING
	CONCRETE BLOCK/STONE		PLYWOOD
	STEEL		BATT INSULATION
	ALUMINUM		RIGID INSULATION

## TOILET ACCESSORIES LEGEND

PROVIDE 2x4 BLOCKING IN THE WALL FOR THE FOLLOWING:

TB	TOWEL BAR
TP	TOILET PAPER HOLDER
TR	TOWEL RING
MC	MEDICINE CABINET
MR	MAGAZINE RACK

THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE INTENT OF THE DESIGN AND CONSTRUCTION OF THIS HOME. ANY ERRORS AND/OR OMISSIONS FOUND IN THIS SET SHOULD IMMEDIATELY BE REPORTED TO HOMES UNIQUE FOR CLARIFICATION OR CORRECTION. THE CONTRACTOR SHOULD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ONCE A PERMIT HAS BEEN ISSUED FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AS TO THE ACCURACY OF THE PLANS AND TO ANY CHANGES MADE BY THE CONTRACTOR AND/OR THE OWNER.

DUE TO VARYING LOCAL AND STATE CODES, HOMES UNIQUE CANNOT BE HELD RESPONSIBLE FOR ANY REQUIREMENTS THAT EXISTING SITE CONDITIONS MAY CREATE.

## AREA CALCULATIONS

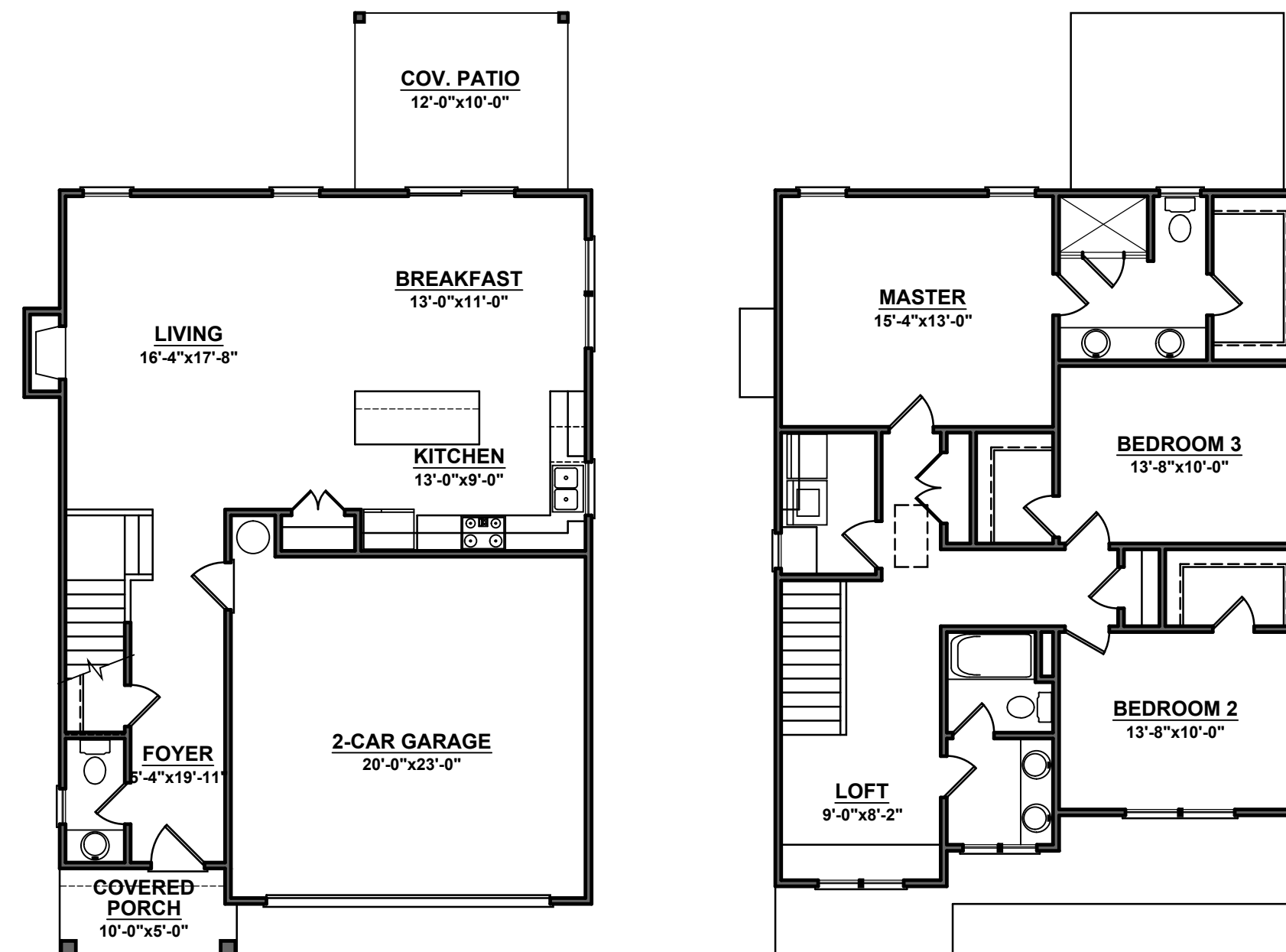
	HEATED:	UNHEATED:
1ST FLOOR:	784	GARAGE: 405
2ND FLOOR:	1077	FRONT PORCH: 49
REC ROOM:	0	REAR PORCH: 120
TOTAL:	1861	TOTAL: 574
WIDTH:	32'-0"	
DEPTH:	53'-3"	

## FOUNDATION VENTING CALCULATIONS

NOT NEEDED WITH SLAB FOUNDATION

## ATTIC VENTILATION REQUIREMENTS

NATURAL ROOF VENTILATION	MECHANICAL ROOF VENTILATOR
1350 SQ. FT.	1350 SQ. FT.
150 = 9.05 SQ. FT. VENT REQ'D.	300 = 4.53 SQ. FT. VENT REQ'D.
BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE	



PROJECT INFO:

Gammon Construction  
The Jace - R

TITLE:

Cover Sheet

PROJECT NUMBER:

4877

DRAWN BY:

J.A.D.

CHECKED BY:

J.T.S.

REVISIONS:

DATE:

5/19/2021

SHEET:

C

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NOTE - PROVIDE RAILS AT PORCH ONLY IF REQUIRED BY CODE

### FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

PROJECT INFO:  
**Gammon Construction**  
The Jace - R

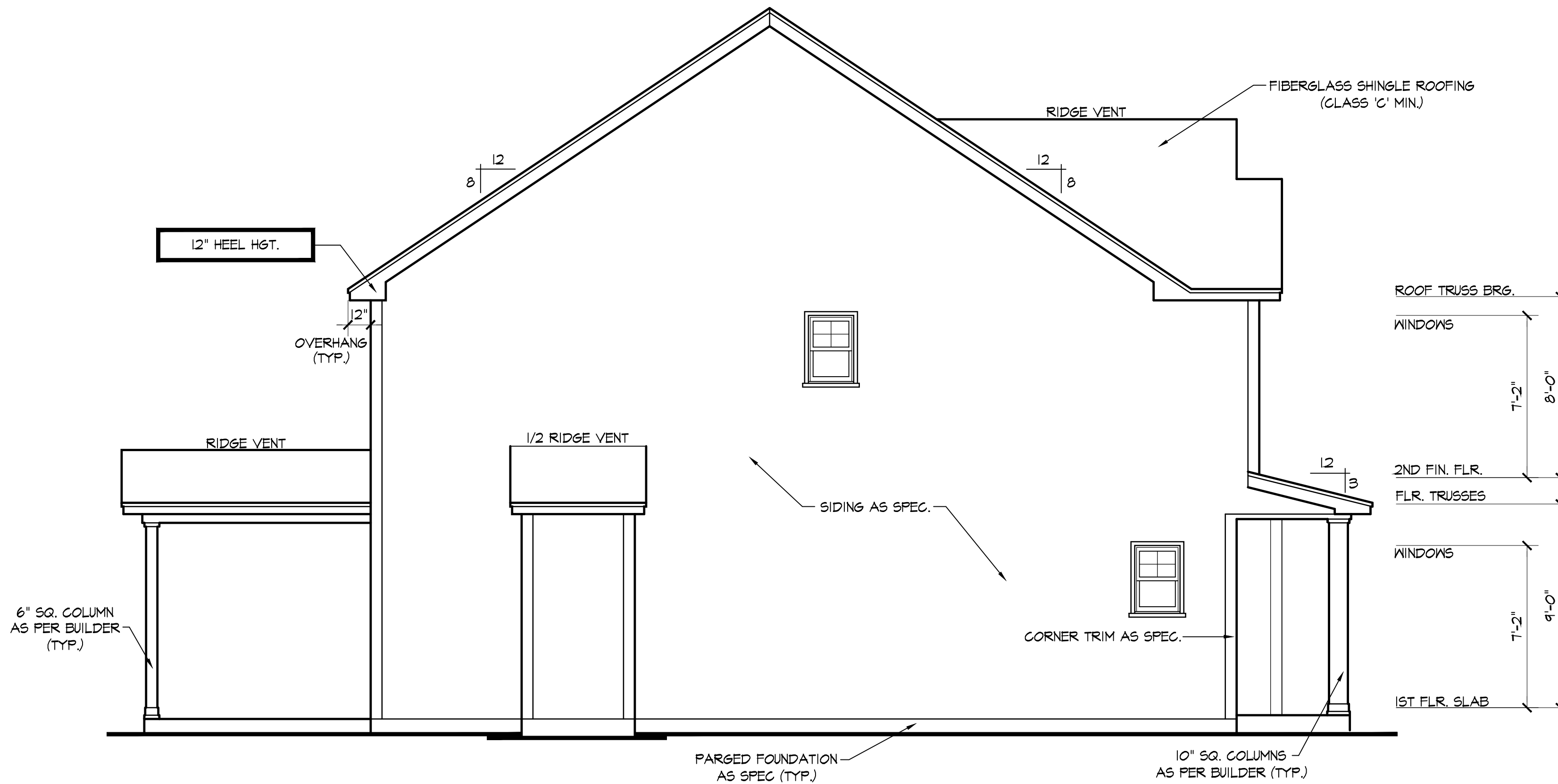
TITLE:  
**Elevations**

PROJECT NUMBER:  
**4877**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**5/19/2021**  
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### LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

PROJECT INFO:  
**Gammon Construction**  
The Jace - R

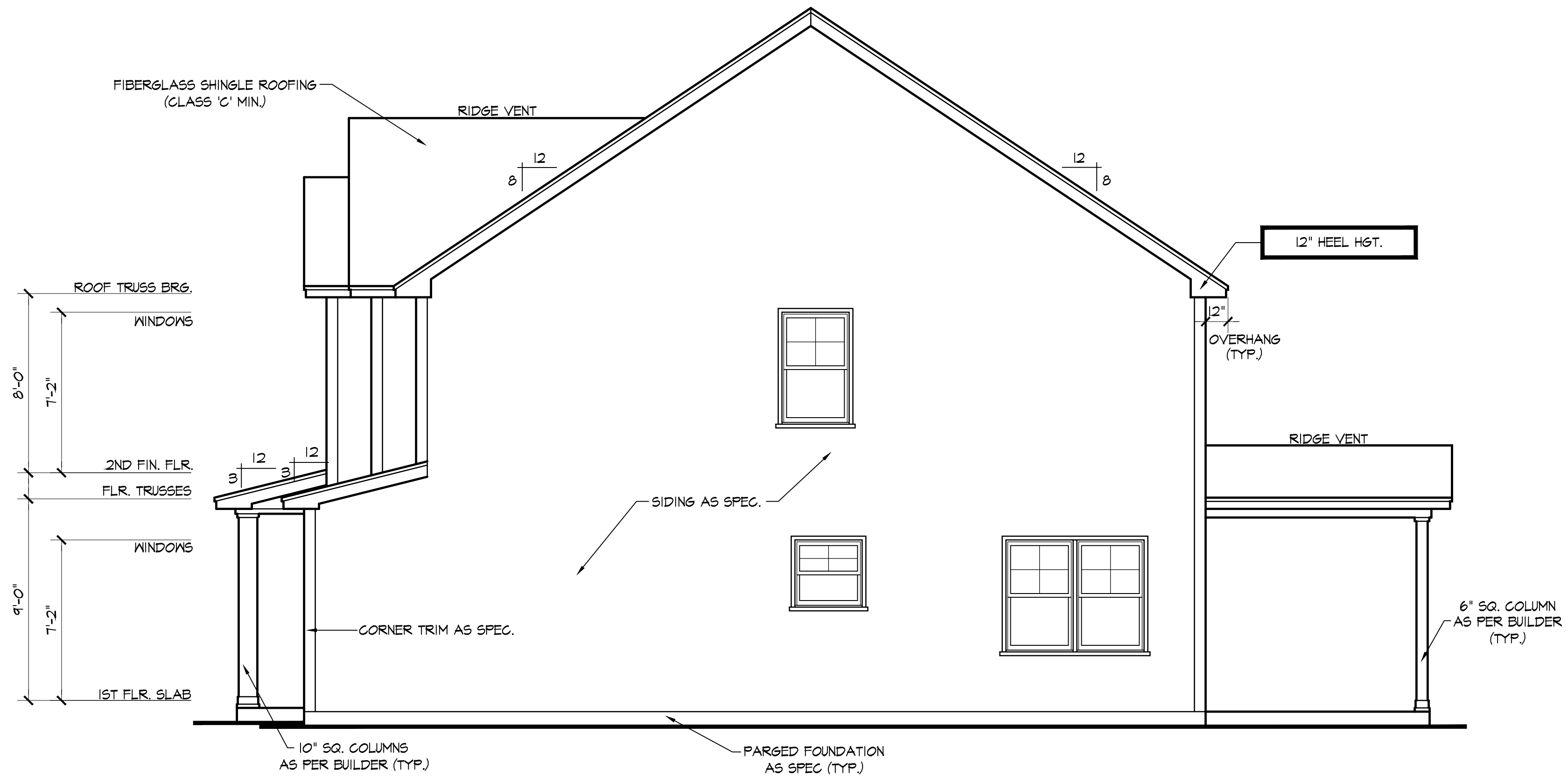
TITLE:  
**Elevations**

PROJECT NUMBER:  
**4877**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**5/19/2021**  
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### RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

PROJECT INFO:  
**Gammon Construction**  
The Jace - R

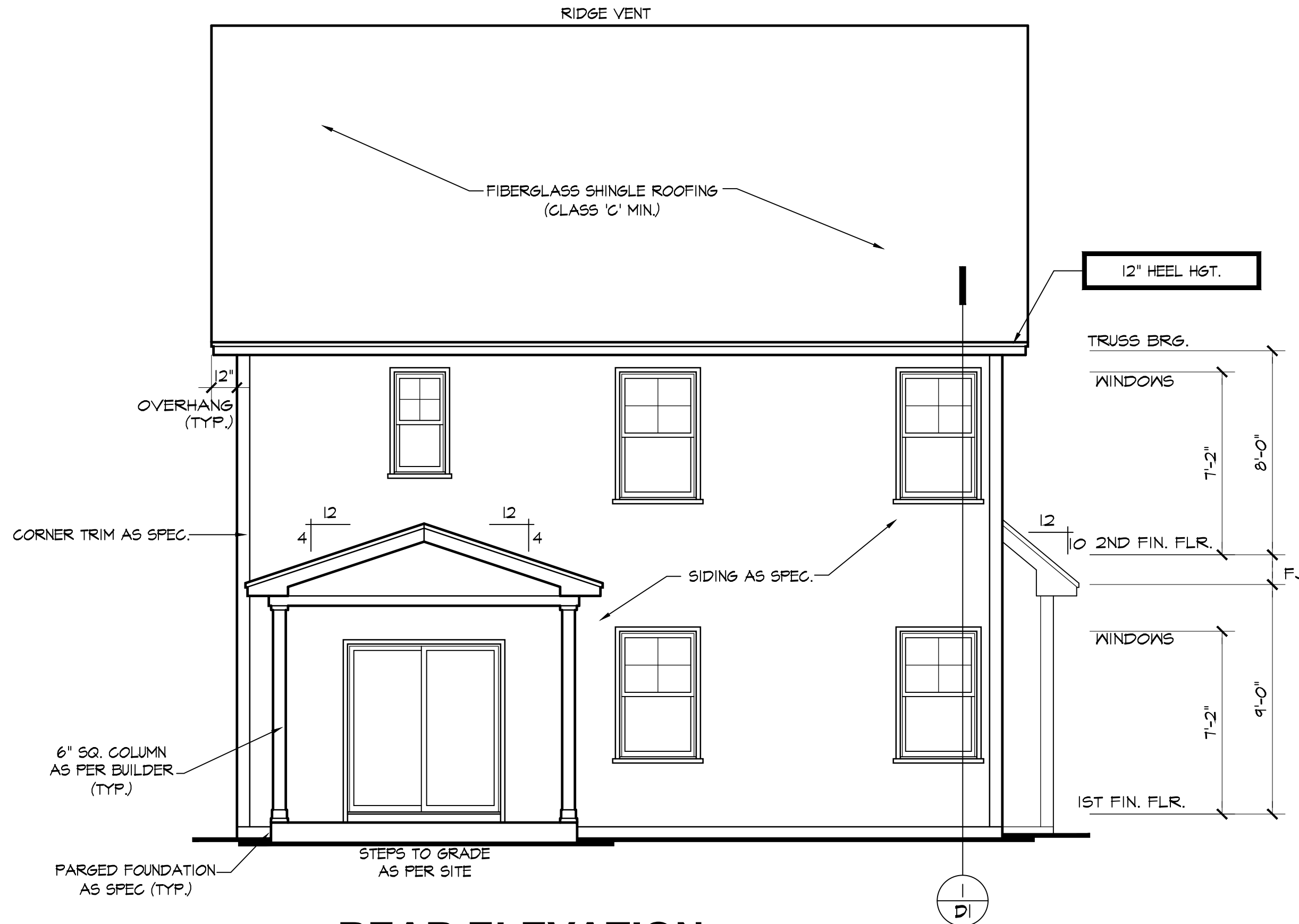
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**Elevations**

PROJECT NUMBER:  
**4877**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
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## REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

PROJECT INFO:

**Gammon Construction**  
The Jace - R

TITLE:

**Elevations**

PROJECT NUMBER:

**4877**

DRAWN BY:

**J.A.D.**

CHECKED BY:

**J.T.S.**

REVISIONS:

DATE:

**5/19/2021**

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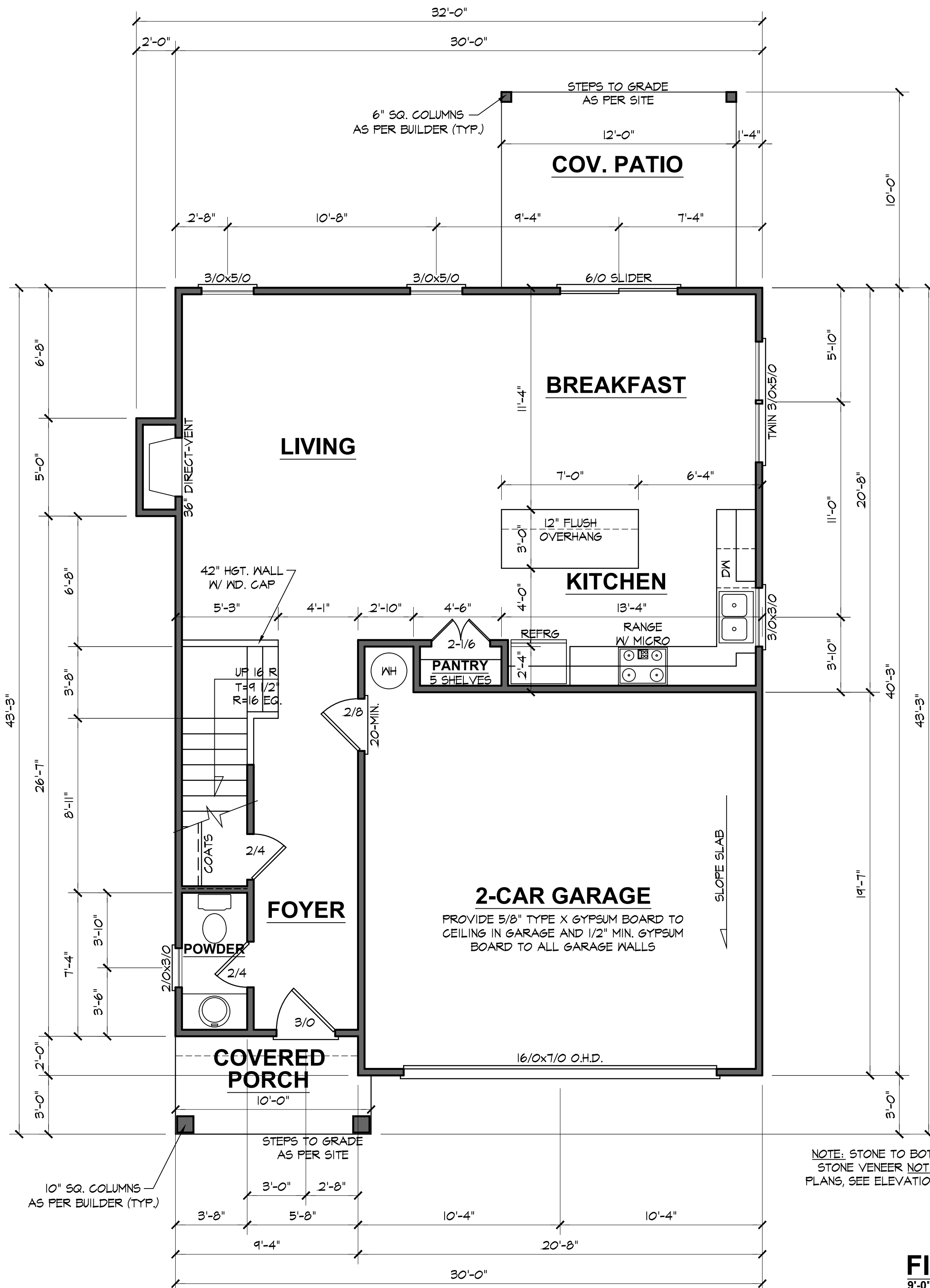
PROJECT INFO:  
**Gammon Construction**  
The Jace - R

TITLE:  
**Floor Plan**

PROJECT NUMBER:  
**4877**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**5/19/2021**  
SHEET:

**5**



NOTE - PROVIDE RAILS AT PORCH ONLY IF REQUIRED BY CODE

**NOTES:**  
ALL DOORS AND CASED OPENINGS TO BE 6'-8" TALL UNLESS NOTED OTHERWISE.

ROUGH FRAME ALL CASED OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR

BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R612.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.

NOTE: STONE TO BOTTOM OF WINDOWS. STONE VENEER NOT DIMENSIONED ON PLANS, SEE ELEVATIONS FOR LOCATIONS

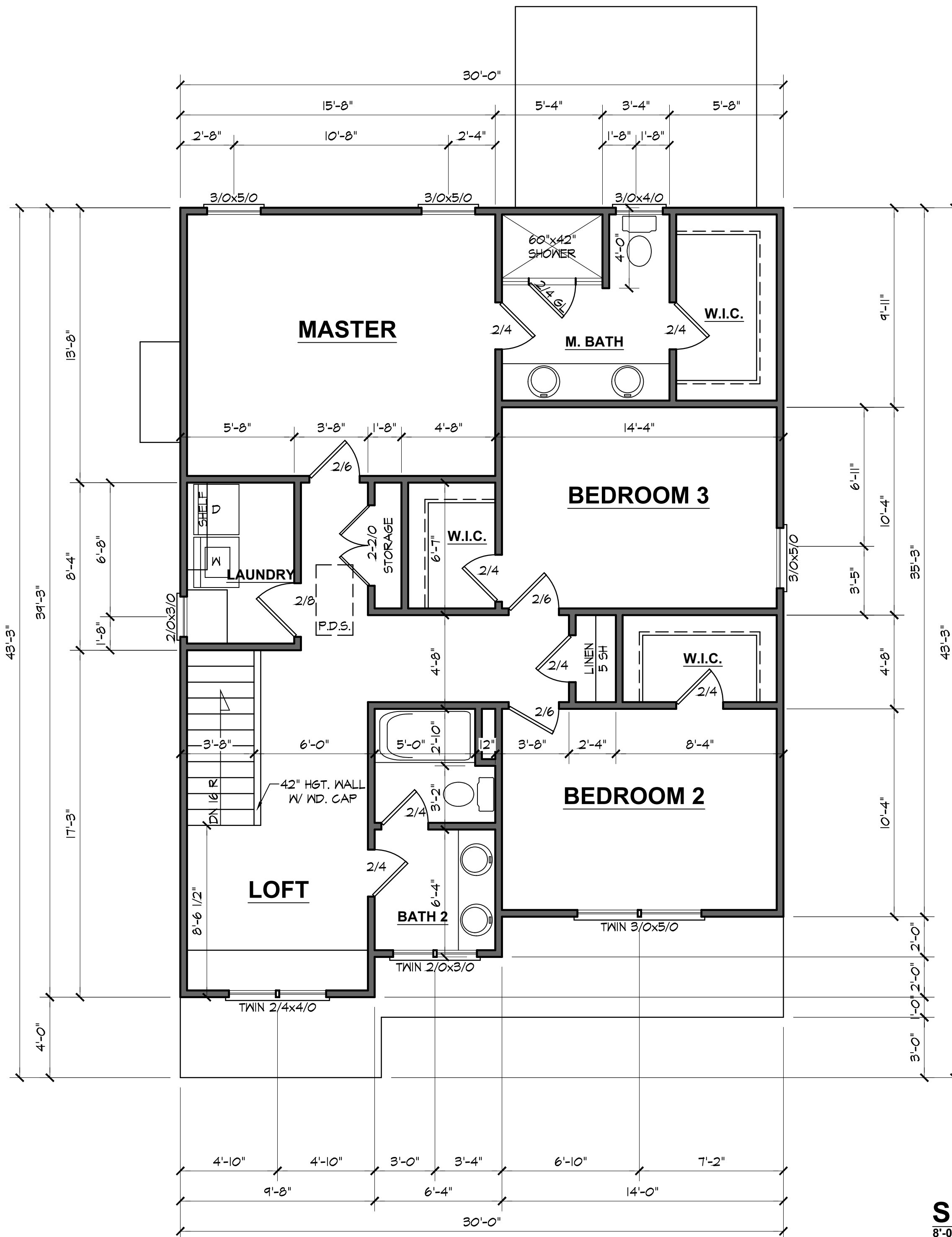
**FIRST FLOOR PLAN**

9'-0" (NOM.) CLG. HGT. U.N.O.  
SET WINDOWS @ 7'-2" U.N.O.

SCALE: 1/4"=1'-0"

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**NOTES:**

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ROUGH FRAME ALL CASSED OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR

BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R612.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.

PROJECT INFO:  
**Gammon Construction**  
The Jace - R

TITLE:  
**Floor Plan**

PROJECT NUMBER:  
**4877**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**5/19/2021**  
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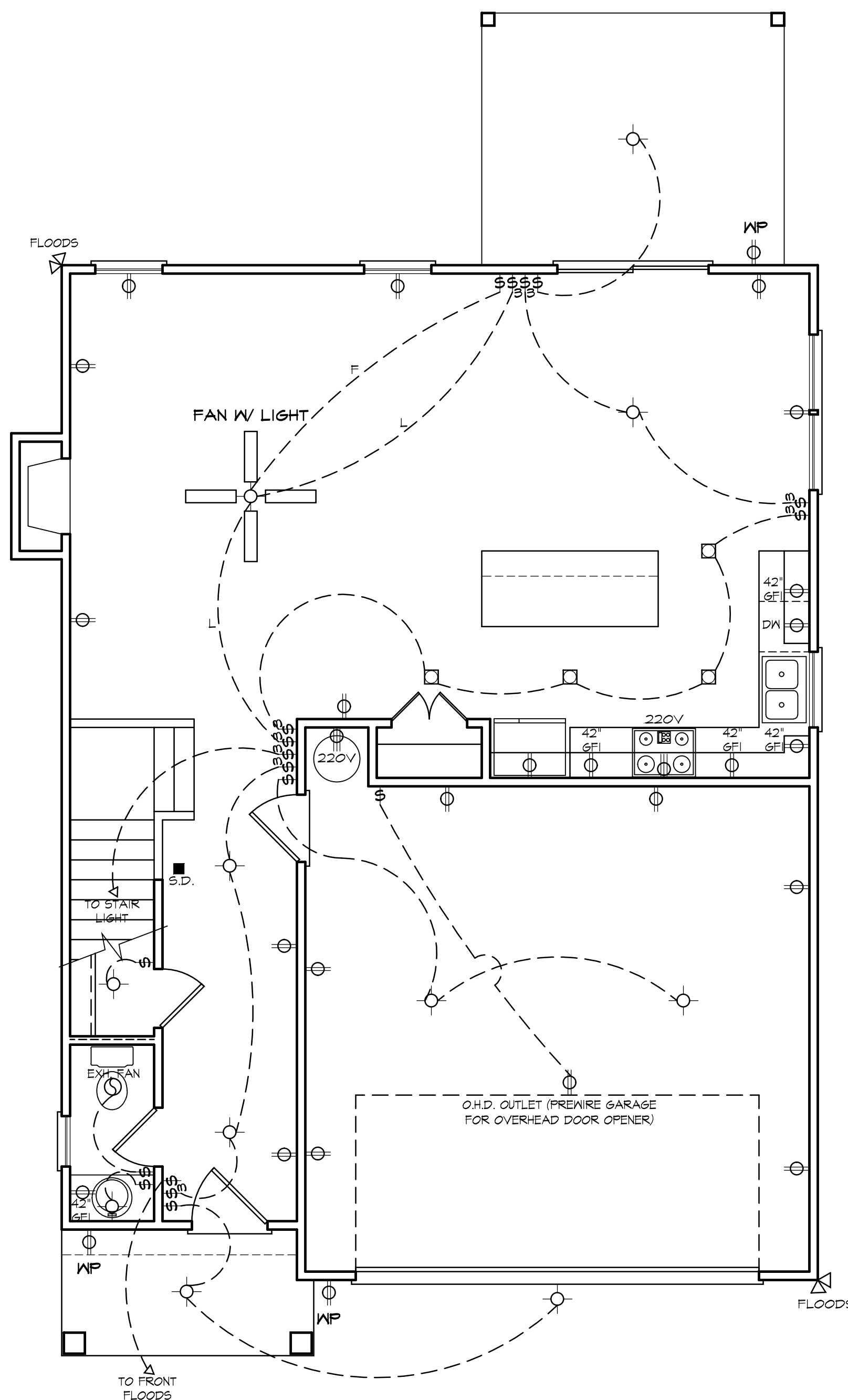
**6**

**SECOND FLOOR PLAN**

8'-0" (NOM.) CLG. HGT. U.N.O.  
SET WINDOWS @ 7'-2" U.N.O.

SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND	
○	- LIGHT FIXTURE
⊙	- FAN/LIGHT
⊕ WP	- WATERPROOF OUTLET
□	- RECESSED LIGHTING
\$	- SINGLE FULL SWITCH
\$ <sub>3</sub>	- 3-WAY SWITCH
\$ <sub>4</sub>	- 4-WAY SWITCH
\$ <sub>D</sub>	- DIMMER SWITCH
■	- SMOKE DETECTOR
⚡	- FLOOD LIGHTS
▽	- EYEBALL SPOTS
⊕	- DUPLEX RECEPTACLE (110V)
⊕	- 220 VOLT RECEPTACLE
⊕	- SWITCHED RECEPTACLE (TOP WIRE ONLY)
⊕ GFI	- GROUND FAULT CIRCUIT INTERRUPTOR
+	- CLG FAN/LIGHTS
—	- TRACK LIGHTS
—	- FLUORESCENT LIGHTING
○	- CABLE OUTLET
▲	- TELEPHONE OUTLET
△	- COMPUTER DATA OUTLET
⊗	- BURGLAR ALARM
□	- INTERCOM
NOTE: ALL ELECTRICAL TO BE VERIFIED BY OWNER/BUILDER BEFORE ROUGH-IN.	

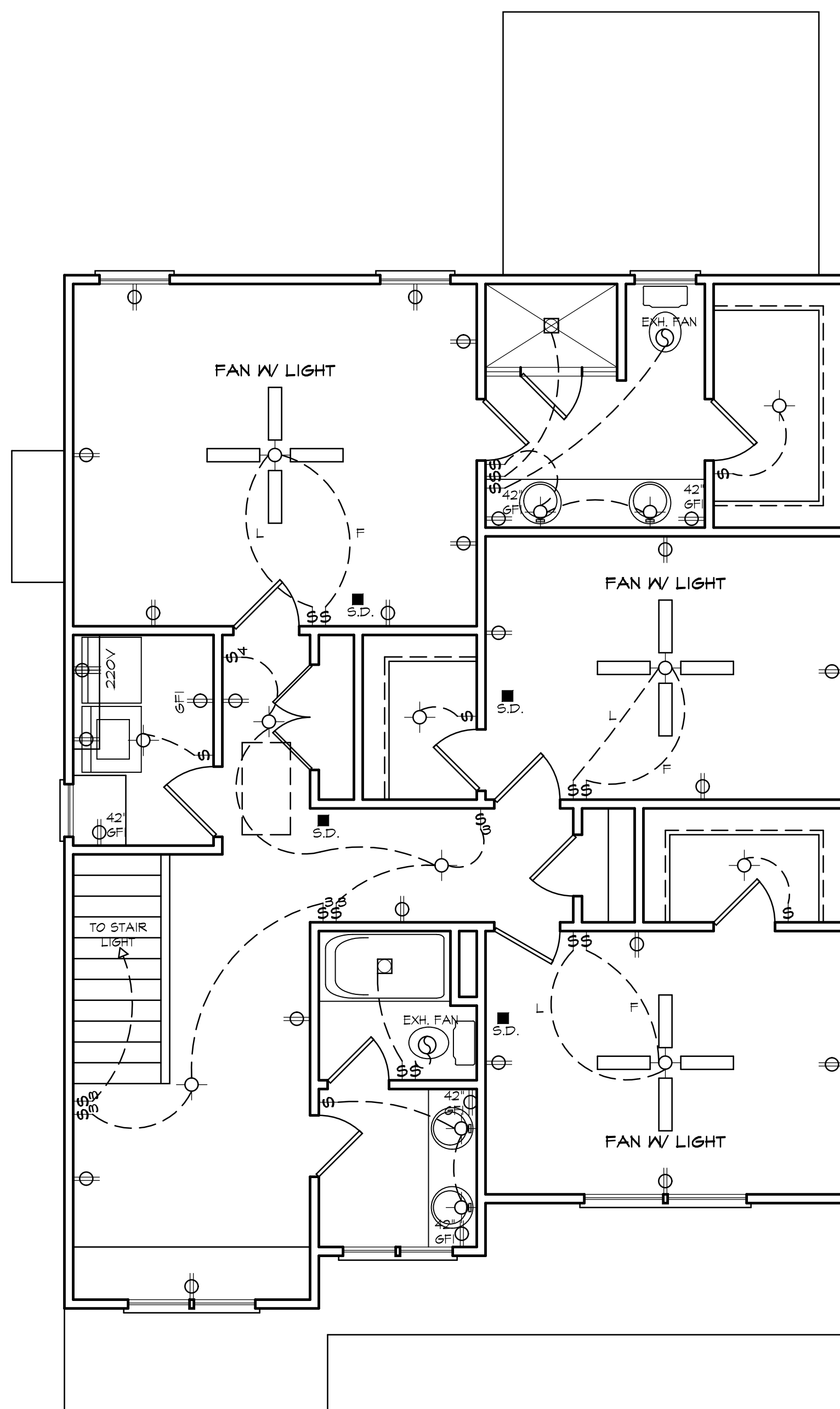


### FIRST FLOOR ELECTRICAL PLAN

NOTE - ELECTRICAL RECEPTACLE AND SWITCH QUANTITIES AND LOCATIONS SHOWN ON PLAN ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL NUMBER AND LOCATIONS SHALL BE FIELD DETERMINED AS PER CLIENT AND BUILDER EXCEPT WHERE CODE REQUIREMENTS APPLY.



ELECTRICAL LEGEND	
○	- LIGHT FIXTURE
⊙	- FAN/LIGHT
⊕ WP	- WATERPROOF OUTLET
□	- RECESSED LIGHTING
\$	- SINGLE FULL SWITCH
\$ <sub>3</sub>	- 3-WAY SWITCH
\$ <sub>4</sub>	- 4-WAY SWITCH
\$ <sub>D</sub>	- DIMMER SWITCH
■	- SMOKE DETECTOR
⊕	- FLOOD LIGHTS
▽	- EYEBALL SPOTS
⊕	- DUPLEX RECEPTACLE (110V)
⊕	- 220 VOLT RECEPTACLE
⊕	- SWITCHED RECEPTACLE (TOP WIRE ONLY)
⊕ GFI	- GROUND FAULT CIRCUIT INTERRUPTOR
+	- CLG FAN/LIGHTS
—	- TRACK LIGHTS
—	- FLUORESCENT LIGHTING
○	- CABLE OUTLET
▲	- TELEPHONE OUTLET
△	- COMPUTER DATA OUTLET
⊗	- BURGLAR ALARM
□	- INTERCOM
NOTE: ALL ELECTRICAL TO BE VERIFIED BY OWNER/BUILDER BEFORE ROUGH-IN.	

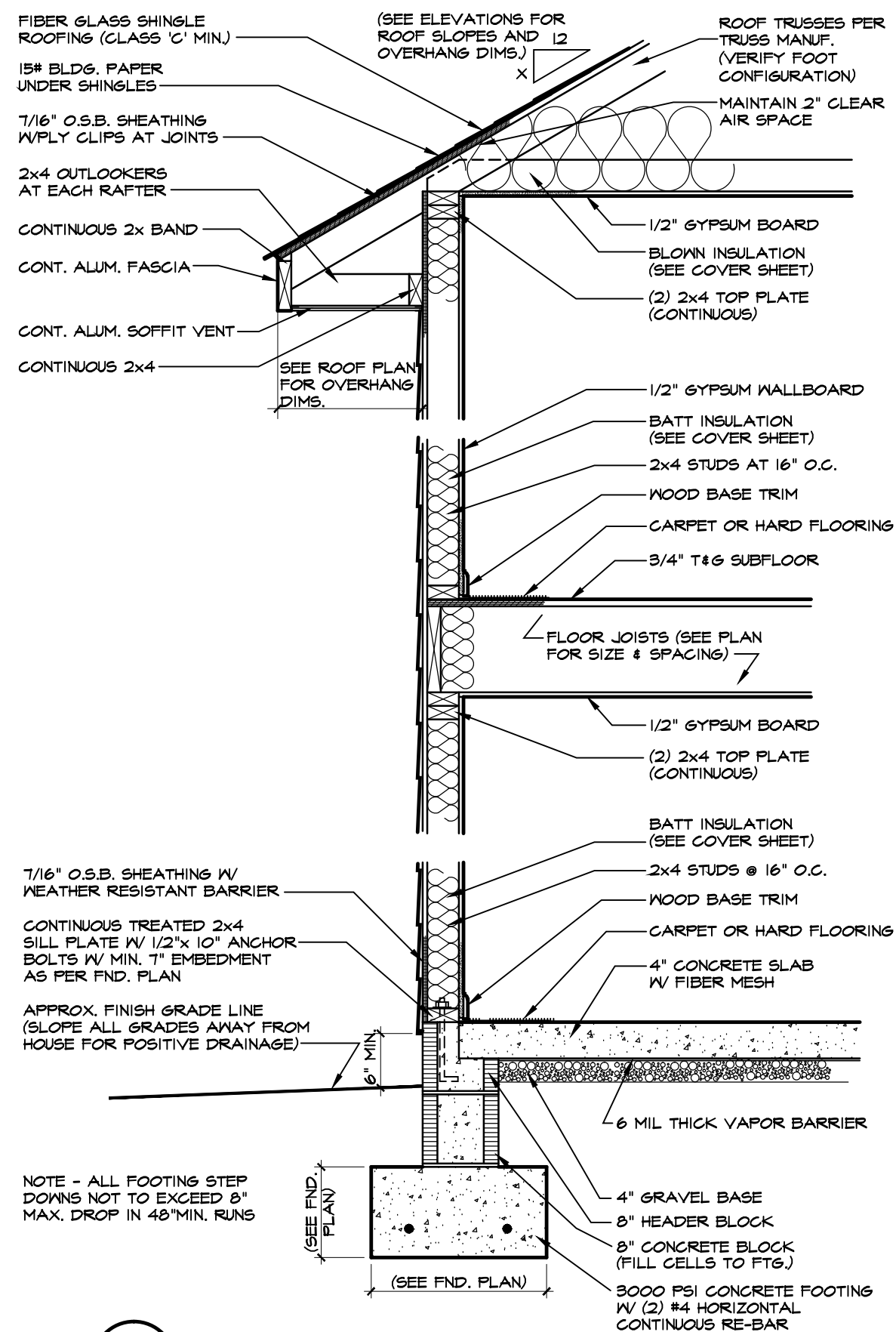


## SECOND FLOOR ELECTRICAL PLAN

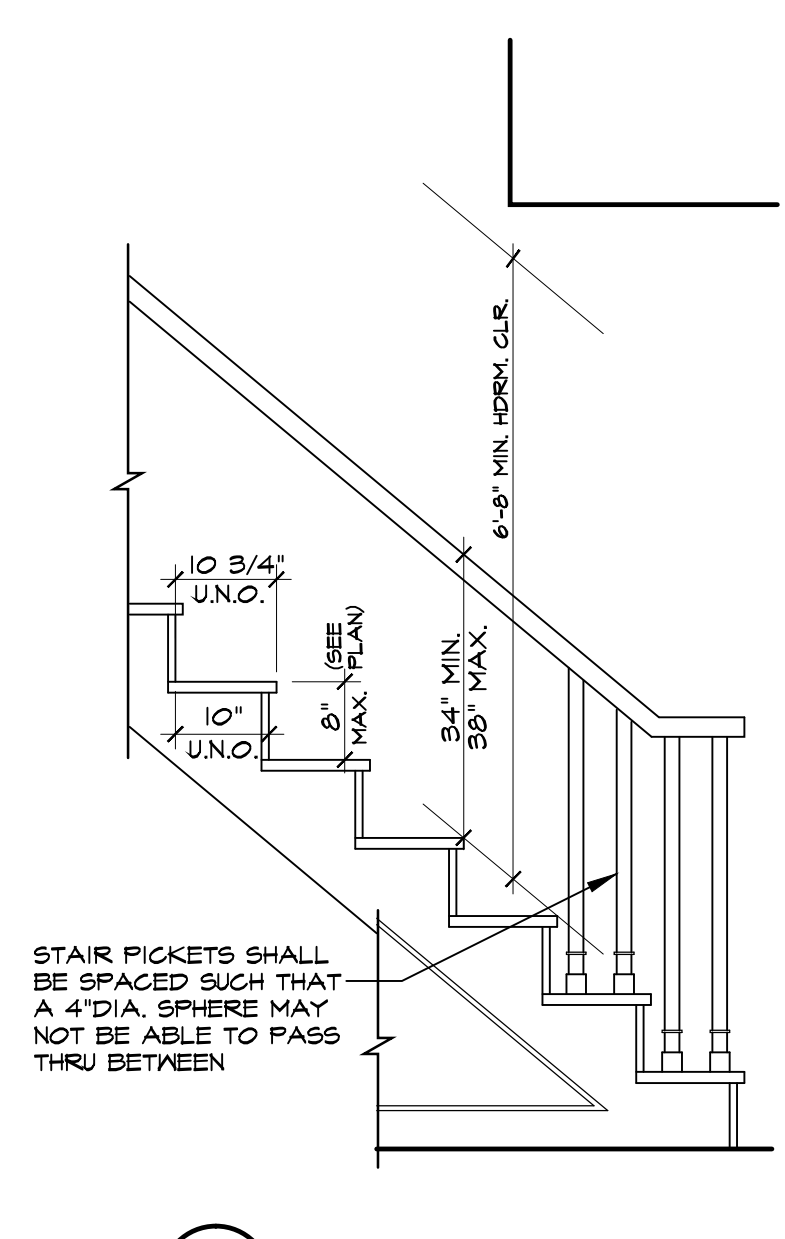
NOTE - ELECTRICAL RECEPTACLE AND SWITCH QUANTITIES AND LOCATIONS SHOWN ON PLAN ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL NUMBER AND LOCATIONS SHALL BE FIELD DETERMINED AS PER CLIENT AND BUILDER EXCEPT WHERE CODE REQUIREMENTS APPLY.

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**1 TWO STORY WALL SECTION**  
SCALE: 3/4"=1'-0" BLOCK STEM WALL



**2 TYPICAL STAIR DETAIL**  
SCALE: 3/4"=1'-0"

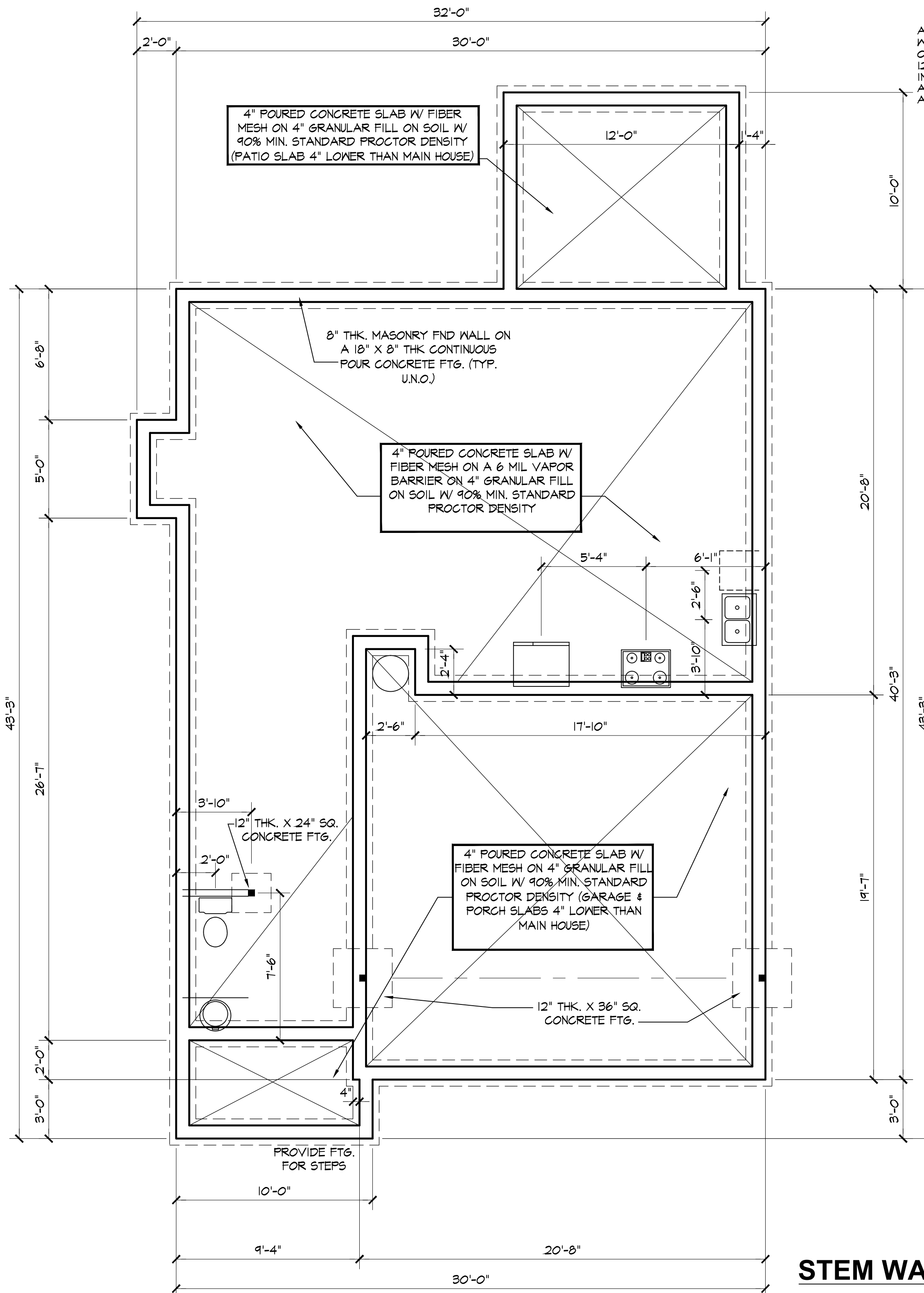
PROJECT INFO:  
**Gammon Construction**  
The Jace - R

TITLE:  
**Details**

PROJECT NUMBER:  
**4877**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**5/19/2021**  
SHEET:

**D1**



**FOUNDATION WALL ANCHOR BOLTS**

ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER WITH STANDARD WASHER AND NUT AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF CORNERS. ALTERNATE ANCHOR STRAPS CAN BE USED INSTEAD OF ANCHOR BOLTS SPACED AT THE EQUIVALENT SPACING AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS EXCEPT AT GARAGE LUG FTG.



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PROJECT INFO:  
**Gammon Construction**  
The Jace - R

TITLE:  
**Foundation**

PROJECT NUMBER:  
**4877**  
DRAWN BY:  
**J.A.D.**  
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**J.T.S.**  
REVISIONS:

DATE:  
**5/19/2021**  
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**STEM WALL SLAB FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

**S1**

**BRACED WALL NOTES**

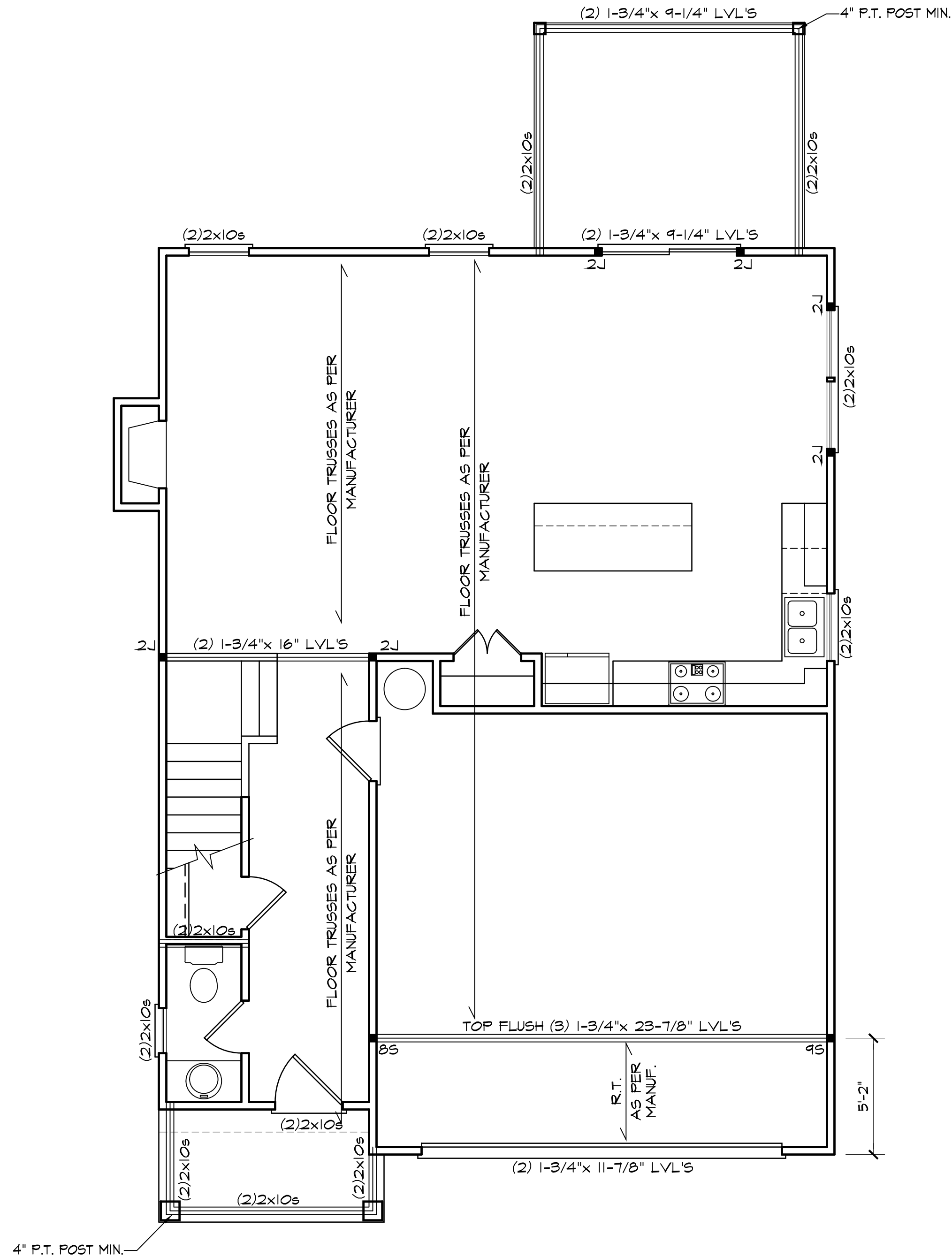
THIS PLAN SHALL BE CONTINUOUSLY BRACED WITH WOOD STRUCTURAL PANELS UTILIZING THE ALTERNATE METHOD PROVIDED BY THE TEMPORARY RULE FOR SECTION R602.10 EXCEPTION 2 OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE. ALL SHEATHABLE SURFACES SHALL BE SHEATHED WITH WOOD STRUCTURAL PANEL SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH A MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. NOTE: ALL WALLS WILL HAVE AT LEAST 50% OF THE WALL SHEATHED. THE GARAGE OPENING SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL CS-PF.

**LOAD CHART FOR JACK STUDS**

(BASED ON TABLE 502.5(1) AND (b))

NUMBER OF JACK STUDS REQUIRED AT EACH END OF HEADER OR GIRDER

END REACTION (UP TO)	REQUIRED STUDS FOR (2) PLY HDR.	END REACTION (UP TO)	REQUIRED STUDS FOR (3) PLY HDR.	END REACTION (UP TO)	REQUIRED STUDS FOR (4) PLY HDR.
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	4				



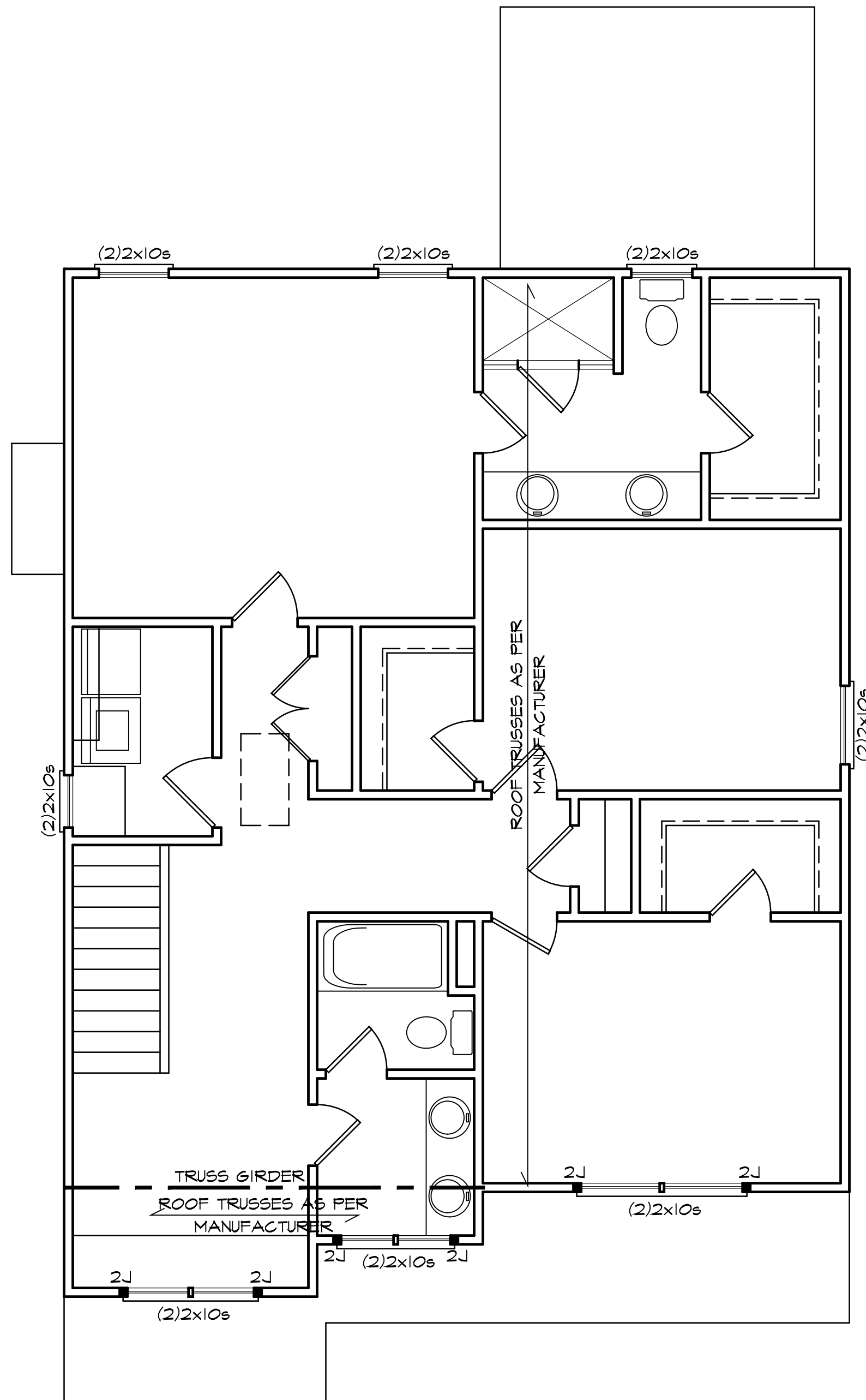
**FIRST FLOOR CEILING STRUCT PLAN**

NOTE - ALL INTERIOR WALLS NOT LOAD BEARING MAY BE FRAMED AT 24" O.C. IF SO DESIRED.

NOTE - ALL INTERIOR HEADERS NOT LABELED TO BE (2)2x4s (TYPICAL)

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## SECOND FLOOR CEILING STRUCT PLAN

NOTE - ALL INTERIOR WALLS NOT LOAD BEARING MAY BE FRAMED AT 24" O.C. IF SO DESIRED.

NOTE - ALL INTERIOR HEADERS NOT LABELED TO BE (2)2x4s (TYPICAL)

PROJECT INFO:  
**Gammon Construction**  
The Jace - R

TITLE:  
**Structural**

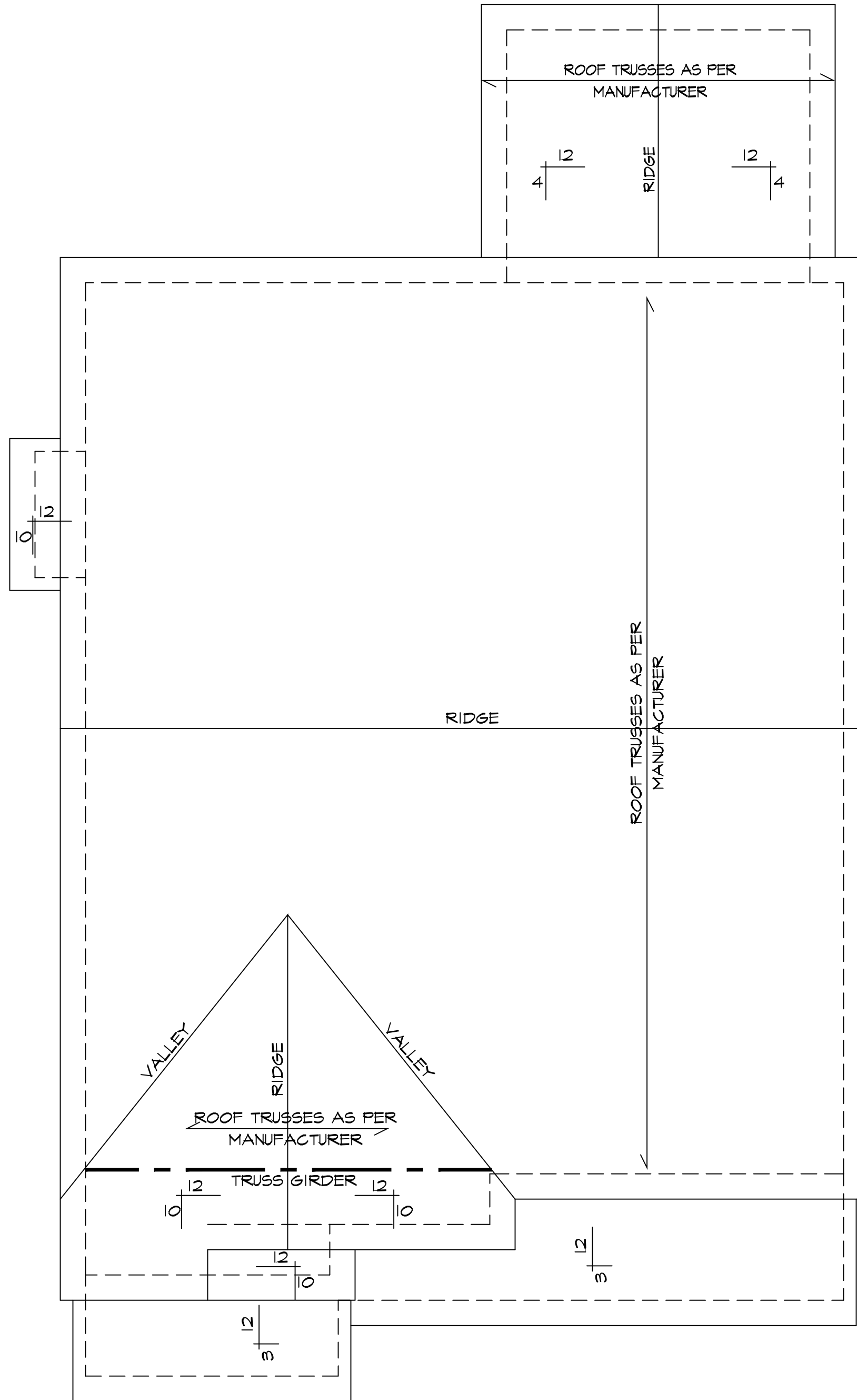
PROJECT NUMBER:  
**4877**  
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**S3**

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# ROOF PLAN

SCALE: 1/4"=1'-0"

NOTE 1 - ALL ROOF PITCHES TO BE 8/12 U.N.O.  
NOTE 2 - ALL ROOF OVERHANGS TO BE 12" U.N.O.

PROJECT INFO:  
**Gammon Construction**  
The Jace - R

TITLE:  
**Roof Plan**

PROJECT NUMBER:  
**4877**  
DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**  
REVISIONS:

DATE:  
**5/19/2021**  
SHEET:

**S4**