

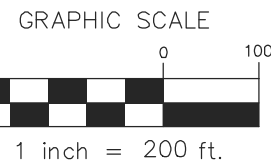
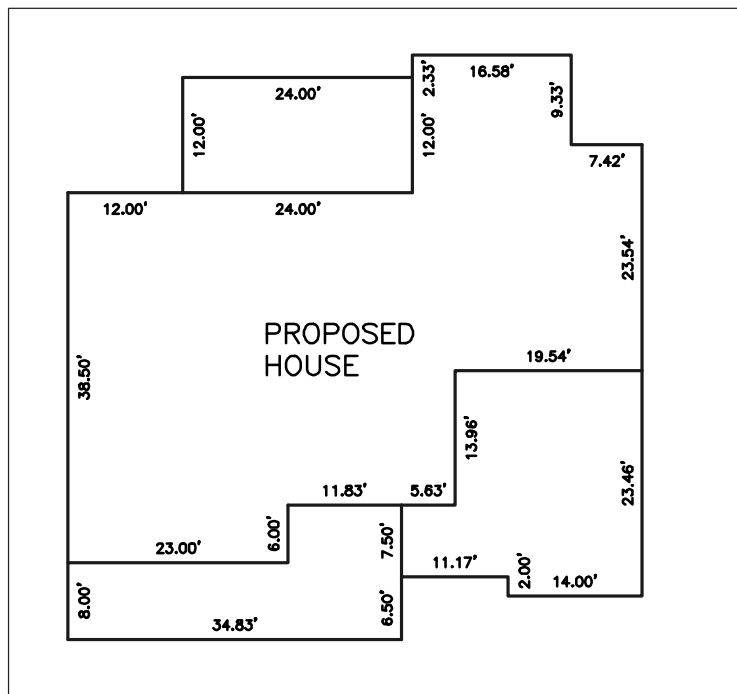
VICINITY MAP (NTS)

LEGEND
 CF=CHAIN LINK FENCE
 DW=DRIVEWAY
 EP=EDGE OF PAVEMENT
 MF=METAL FENCE
 OHPL=OVERHEAD POWER LINE
 PP=POWER POLE
 R/W=RIGHT OF WAY
 SD=SHED
 UGW=UNDERGROUND WATER LINE
 WL=WOOD LINE

○=EXISTING IRON PIPE (EIP)
 ○=EXISTING IRON ROD (EIR)
 ○=NEW IRON PIPE (NIP)
 ○=COMPUTED POINT (CP)

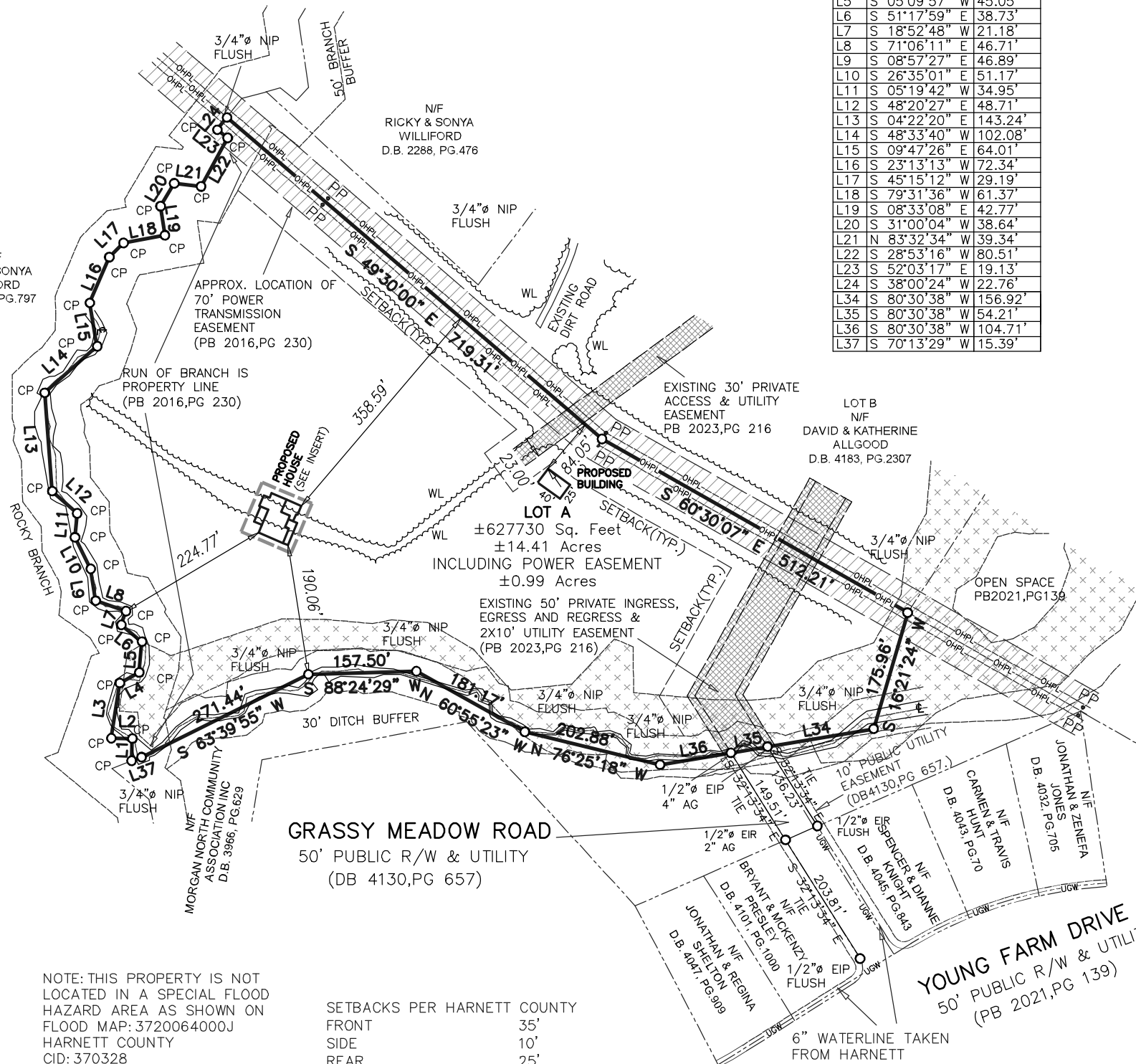
AG=ABOVE GROUND
 BG=BELOW GROUND

INSERT(NTS)



PLOT PLAN

N/F
 RICKY & SONYA
 WILLIFORD
 D.B. 1183, PG.797



NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD MAP: 3720064000J HARNETT COUNTY
 CID: 370328
 PANEL: 0640
 SUFFIX: J
 EFFECTIVE DATE: 10/03/2006

SETBACKS PER HARNETT COUNTY
 FRONT 35'
 SIDE 10'
 REAR 25'
 SIDE STREET 20'
 ZONING RA-30

LINE	BEARING	DISTANCE
L1	S 02°01'23" W	32.29'
L2	S 89°14'40" E	30.81'
L3	S 08°50'38" W	81.29'
L4	S 61°39'41" W	32.13'
L5	S 05°09'57" W	45.05'
L6	S 51°17'59" E	38.73'
L7	S 18°52'48" W	21.18'
L8	S 71°06'11" E	46.71'
L9	S 08°57'27" E	46.89'
L10	S 26°35'01" E	51.17'
L11	S 05°19'42" W	34.95'
L12	S 48°20'27" E	48.71'
L13	S 04°22'20" E	143.24'
L14	S 48°33'40" W	102.08'
L15	S 09°47'26" E	64.01'
L16	S 23°13'13" W	72.34'
L17	S 45°15'12" W	29.19'
L18	S 79°31'36" W	61.37'
L19	S 08°33'08" E	42.77'
L20	S 31°00'04" W	38.64'
L21	N 83°32'34" W	39.34'
L22	S 28°53'16" W	80.51'
L23	S 52°03'17" E	19.13'
L24	S 38°00'24" W	22.76'
L34	S 80°30'38" W	156.92'
L35	S 80°30'38" W	54.21'
L36	S 80°30'38" W	104.71'
L37	S 70°13'29" W	15.39'

THIS EXHIBIT MAP IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

PRELIMINARY

NICHOLAS M. FRENCH, PLS L-4817 DATE

THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED.

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.



IMPERVIOUS AREA PROPOSED	
HOUSE	3,217 SQ.FT.
BUILDING	1,000 SQ.FT.
TOTAL	4,217 SQ.FT.

NOTES:

- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
- AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
- LINE NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS PLAT.
- PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OR DEEDED AND HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.

STCS
 PROJECT: 20-554 LOT A
 SURVEY BY: ANTONY
 DRAWN BY: JX WANG
 SCALE: 1"=200'
 DATE: 05/17/2023

FOR
 WILLIAM ALLGOOD & KATHERINE ALLGOOD
 LOT A 185 SPENCE ROAD, LILLINGTON
 HECTORS CREEK TWP., HARNETT CO., N. C.
 P.B.2023 PG.216 PIN:0641-94-6680

DATE OF SURVEY: 12/10/2020
 REVISION: 07/13/2023

ECLS GLOBAL, INC.
 U.S. VETERAN-OWNED
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