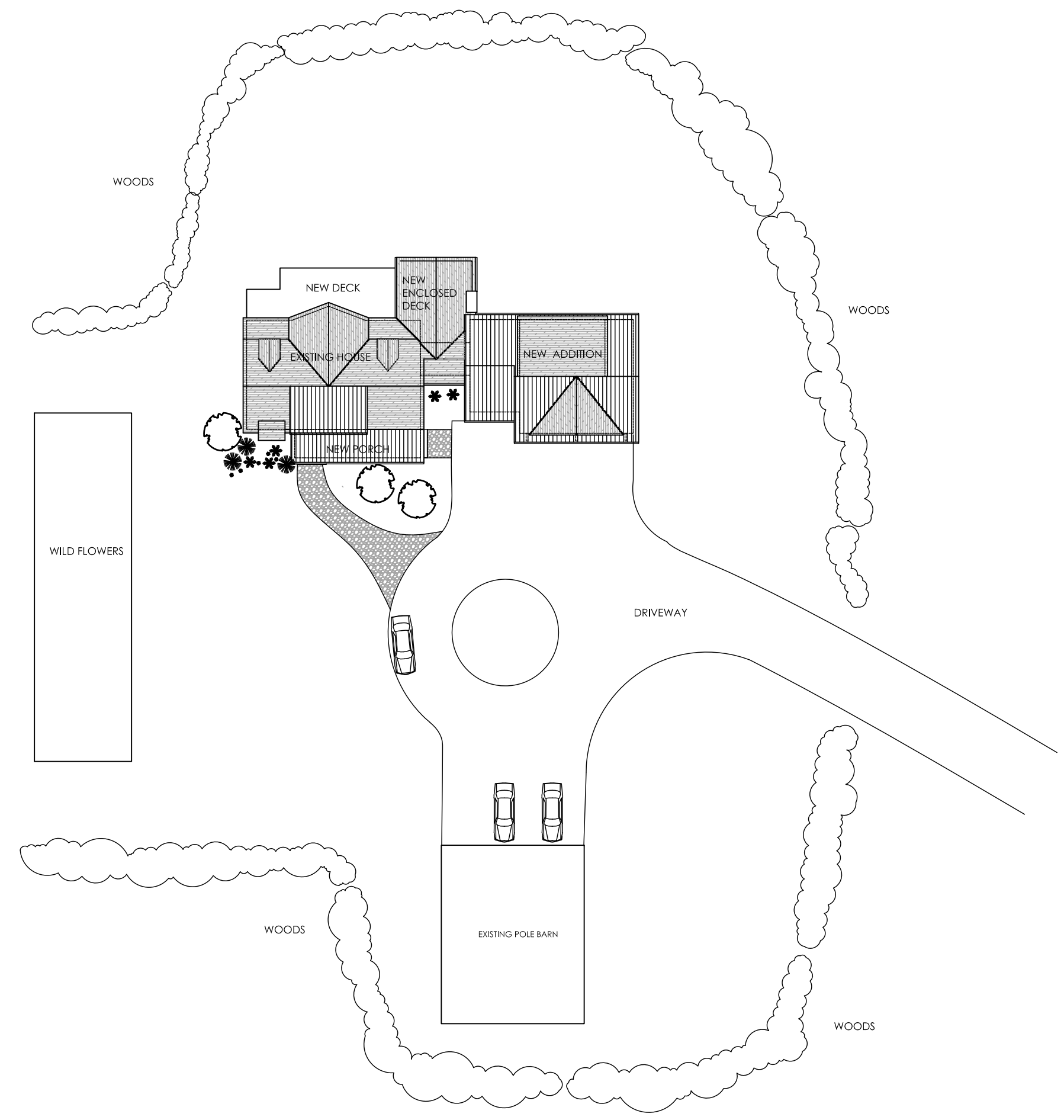


GENERAL NOTES

- THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATIONS AND LOCAL CODE REQUIREMENTS, WHEN IN EXCESS OF MINIMUM SPECIFICATIONS, SHALL CONTROL.
- THE DRAWINGS SHOW THE INTENT, ARRANGEMENT AND EXTENT OF WORK TO BE PERFORMED TO OBTAIN A BUILDING PERMIT.
 - ALL DESIGN IN CONFORMANCE WITH INTERNATIONAL RESIDENTIAL CODE (I.R.C.) 2018
 - THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO BEGINNING THIS PROJECT, AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE STARTING THE WORK.
 - THE ARCHITECT IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE PROJECT.
 - LIVE LOAD DESIGN CRITERIA PER IRC 2018. SEE MIN. STRUCTURAL LOADING REQUIREMENTS THIS SHEET.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
 - FOUNDATIONS ARE DESIGNED FOR GROSS SOIL BEARING CAPACITY MINIMUM OF 3000 P.S.F. NOTIFY ARCHITECT FOR FOUNDATION REDESIGN IF ACTUAL CAPACITY IS LESS. FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED SOIL OR FILL COMPACTED TO MIN. 95% FOR MIN. 3000 P.S.F. BEARING CAPACITY. BUILDER SHALL BE RESPONSIBLE FOR VERIFYING ALLOWABLE SOIL BEARING VALUE. BOTTOM OF FOOTING MUST BE INSPECTED AND APPROVED IN WRITING INDICATING THE SOIL IS ADEQUATE TO SAFELY SUSTAIN THE ASSUMED BEARING PRESSURE.
 - FOUNDATIONS SHALL REST ON UNDISTURBED SOIL OR COMPACTED GRAVEL BACKFILL 3'-0" MINIMUM BELOW FINISHED GRADE.
 - FOUNDATION CONCRETE SHALL TEST AT A MINIMUM OF 3000 P.S.I. AT 28 DAYS. CONCRETE WALKS AND GARAGE SLAB SHALL BE 3500 P.S.I. CONCRETE
 - ALL MASONRY WORK TO CONFORM TO THE LATEST EDITION OF AMERICAN STANDARD BUILDING CODE REQUIREMENTS FOR MASONRY. LOAD BEARING MASONRY SHALL BE ASTM C-90. MINIMUM WALL BEARING SHALL BE 8" AT BEAMS AND LINTELS.
 - NO BACKFILL SHALL BE PLACED AGAINST ANY FOUNDATION WALL UNTIL WALLS ARE PROPERLY BRACED OR FLOORS ARE ERRECTED AND ANCHORED IN PLACE.
 - STRUCTURAL LUMBER SHALL BE #1 HEM-FIR UNLESS OTHERWISE NOTED. ALL STRUCTURAL WOOD SHALL HAVE A UNIT FIBER STRESS CAPACITY OF NOT LESS THAN 850 P.S.I. IN BENDING AND A HORIZONTAL SHEAR STRENGTH OF 150 P.S.I. 2x6 AND 2x4 WOOD STUDS TO BE SPRUCE.
 - ALL WOOD IN CONTACT WITH CONCRETE, MASONRY OR EXPOSED TO WEATHER SHALL BE TREATED LUMBER.
 - PROVIDE DOUBLE JOIST UNDER ALL PARTITIONS WHEN PARALLEL TO JOIST SPAN.
 - PROVIDE 2x SOLID BRIDGING BETWEEN ALL JOISTS AT A MAXIMUM OF 8'-0" O.C.
 - ALL STRUCTURAL STEEL BEAMS, COLUMNS, ANGLES AND PLATES SHALL MEET ASTM A-36 STEEL AND SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS LATEST EDITION.
 - ALL WINDOWS AND EXTERIOR DOORS SHALL BE FLASHED AT HEADS AND SILLS. PROVIDE SEALANT JOINTS AROUND ALL SIDES.
 - ALL INTERIOR AND EXTERIOR FINISHES AND COLORS ARE THE RESPONSIBILITY OF THE OWNER AND SHALL BE COORDINATED BY THE GENERAL CONTRACTOR.
 - ALL EXTERIOR AND INTERIOR FINISHES SHALL COMPLY WITH CODES FOR FLAME SPREAD RATINGS AND SMOKE GENERATION FACTORS.
 - ALL ACCESSORIES NOT SHOWN ON THE DRAWINGS OR SPECIFICALLY CALLED FOR SUCH AS SOFFITS, BLOCKING, BULKHEADS, CATS, FASTENERS, FLASHING, MISCELLANEOUS TRIM, SEALANT, ETC. REQUIRED AND CONSIDERED GENERAL BUILDING PRACTICE FOR HOME CONSTRUCTION, INCLUDING TRASH REMOVAL SHALL BE CONSIDERED PART OF THE BUILDING CONTRACT.
 - ALL DUCTWORK, WIRING AND PLUMBING SHALL BE CONCEALED WITHIN WALLS AND/OR CEILING IN FINISHED SPACES.
 - PROVIDE JOIST HANGERS AT THE ENDS OF ALL FLUSH FRAMED WOOD CONSTRUCTION.
 - PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS.
 - MECHANICALLY EXHAUST BATHROOMS, POWDER ROOMS AND KITCHEN COOKTOP HOOD TO THE EXTERIOR.
 - ALL WALLS AND CEILINGS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD NAILED AT PERIMETER AND SCREWED AT FIELD LOCATIONS, TAPED, GYPSACKLED AND PAINTED.
 - ALL WALLS SEPARATING THE GARAGE FROM HABITABLE SPACES SHALL BE OF ONE-HOUR RATED CONSTRUCTION. GENERAL CONTRACTOR SHALL FIRE STOP AROUND ANY PENETRATIONS THROUGH RATED ASSEMBLIES.
 - FLOORING: SUB FLOORING TO BE 3/4" TONGUE AND GROOVE PLYWOOD OR "ADVANTECH" GLUED AND NAILED TO FLOOR JOISTS WITH PL-400 ADHESIVE. UNDERLAYMENT (IN AREAS TO BE SHEET VINYL) TO BE 1/4" PLYWOOD GLUED AND NAILED.
 - STAIR TREAD AND RISERS TO BE SOUTHERN YELLOW PINE WITH 2x12 STRINGERS.
 - STAIR GUARDRAIL AND HANDRAIL SYSTEM SHALL BE DESIGNED AND CONSTRUCTED FOR A HORIZONTAL LOAD OF 200 LBS. APPLIED AT ANY POINT PER IBC 2018
 - STAIR BALUSTER SYSTEM SHALL COMPLY WITH THE MAX. OPENING NOT ALLOWING A 4" DIAMETER SPHERE TO PASS THRU.
 - ROOFING TO BE 30 YEAR ARCHITECTURAL ASPHALT SHINGLE OVER SYNTHETIC BUILDING FELT WITH ICE GUARD AT ALL EAVES. PROVIDE FLASHING AT ALL ROOF PENETRATIONS.
 - ALL WINDOWS ON PLAN ARE TO BE SUN RISE RESTORATION SERIES TILT-WASH WITH INSULATED GLASS AND INSECT SCREENS
 - ALL DOORS SHALL BE OF SIZE INDICATED ON PLANS AND STAINED OR PAINTD AS DIRECTED BY OWNER. ALL SMOKE DETECTORS TO BE HARD WIRED AND INTER-CONNECTED.
 - HEATING: GENERAL CONTRACTOR AND SUBCONTRACTOR MUST HAVE THE SYSTEM DESIGNED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION. ALL DUCTWORK SHALL BE CONCEALED WITHIN THE STRUCTURE. ALL NECESSARY ACCESSORIES, SAFETY SWITCHES, NOISE REDUCTION DEVICES SHALL BE PART OF THE CONTRACT AND INCLUDED IN THE INSTALLATION. THE MECHANICAL SYSTEM SHALL MEET NATIONAL, STATE AND LOCAL CODE REQUIREMENTS. GENERAL CONTRACTOR AND MECHANICAL SUBCONTRACTOR SHALL LOCATE AND SIZE CHIMNEY AND FLUES REQUIRED FOR OPERATING MECHANICAL SYSTEM.
 - PLUMBING: ALL WATER PIPING SHALL BE PEX. SANITARY LINES SHALL BE ABS PVC WITHIN THE STRUCTURE. PROVIDE VENTS AND ROOF FLASHING. THE GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY CONNECTIONS WITH EXISTING SITE UTILITIES. GENERAL CONTRACTOR TO VERIFY LOCATION OF TIE-INS OF UTILITIES. ALL AREAS SHALL HAVE SHUT OFF VALVES. PLUMBING FIXTURES SHALL BE MANUFACTURED BY MOEN CO. UNLESS NOTED OTHERWISE. ALL PLUMBING FIXTURES SHALL BE WATER SAVER TYPE 1.6 GAL PER FLUSH AND SHALL MEET NATIONAL, STATE AND LOCAL CODE REQUIREMENTS. ALL WATER LINES IN UNHEATED AREAS SHALL BE INSULATED. ALL HOSE BIBBS SHALL BE FROST FREE TYPE. PLUMBING SUBCONTRACTOR SHALL COORDINATE WITH OTHER TRADES.
 - ELECTRICAL: GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR SHALL PROVIDE NEW 200 AMP SERVICE. ALL SWITCHES SHALL BE QUIET TYPE. THE ELECTRICAL SYSTEM SHALL MEET NATIONAL, STATE AND LOCAL CODE REQUIREMENTS. ALL BATHROOMS AND POWDER ROOMS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER OUTLETS. ALL EXTERIOR OUTLETS SHALL BE GROUND FAULT CIRCUIT INTERRUPTER OUTLETS AND BE WATERPROOF.
 - GENERAL CONTRACTOR SHALL PROTECT ALL NEIGHBORING PROPERTIES FROM SOIL RUN-OFF AND PROVIDE PERIMETER SILT FENCES AS REQUIRED.

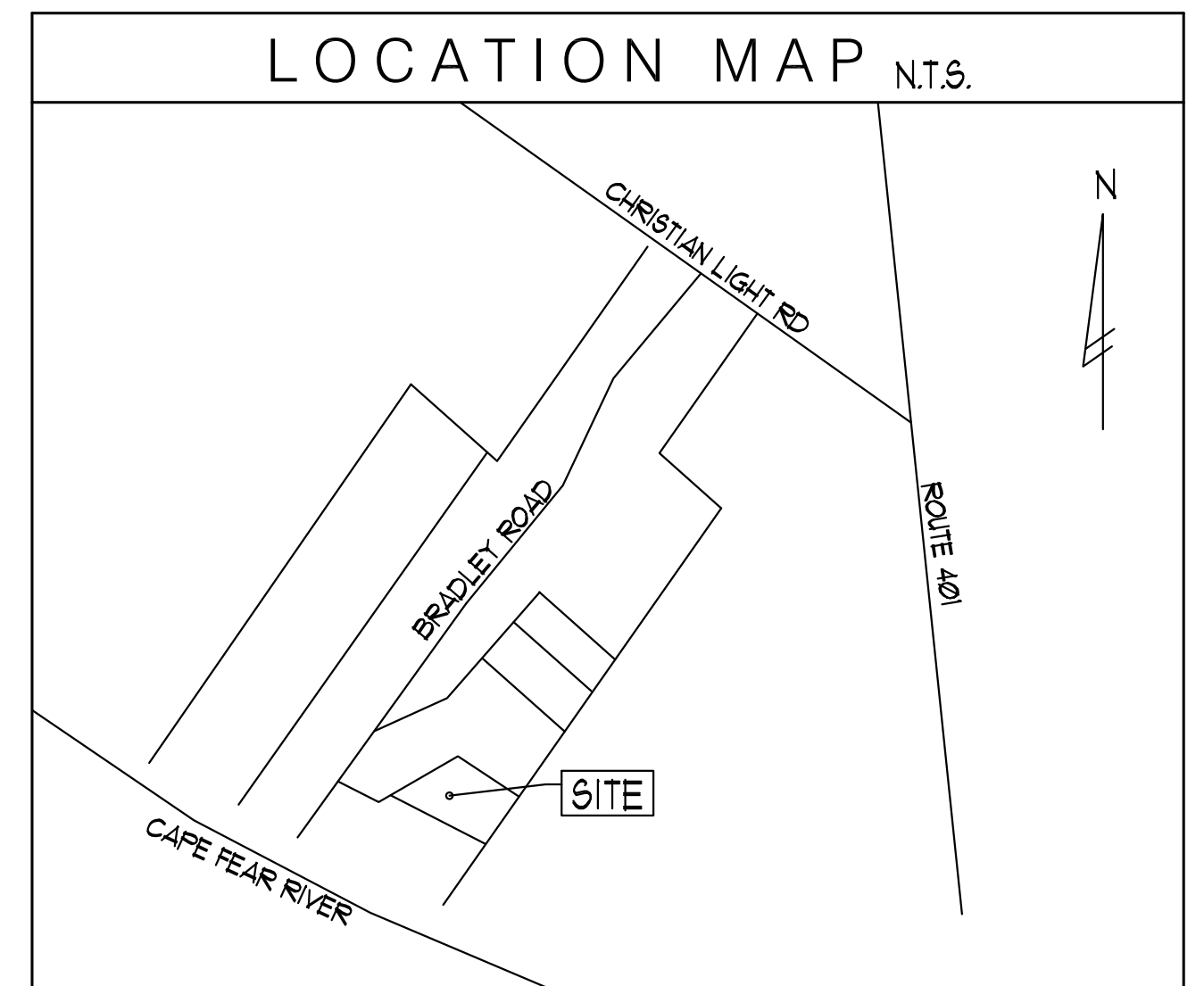


1 SITE SKETCH PLAN
A-1 SCALE: 1/32" = 1'-0"

ADDITION AND ALTERATIONS
TO THE
LANDES RESIDENCE
1199 BRADLEY ROAD
FUQUAY VARINA, NC 27526

DRAWING INDEX

DWG. NO.	DRAWING
A-1	LOCATION MAP, GENERAL NOTES, SITE SKETCH PLAN AND DATA
A-2	FIRST FLOOR PLAN, ROOM FINISHES
A-3	SECOND FLOOR PLAN, ROOF PLAN
A-4	EXTERIOR ELEVATIONS, WINDOW SCHEDULE, DETAILS
A-5	ELEVATIONS, CROSS SECTIONS AND DETAILS
A-6	CROSS SECTIONS, DETAILS
A-7	CROSS SECTIONS
S-1	FOUNDATION PLAN, FOUNDATION DETAILS
S-2	FLOOR FRAMING PLANS, STRUCTURAL NOTES
S-3	ROOF FRAMING
E-1	FIRST FLOOR ELECTRICAL PLAN, LEGEND AND NOTES
E-2	SECOND FLOOR ELECTRICAL PLAN, LEGEND AND NOTES



LOCATION MAP N.T.S.

CONSTRUCTION DOCS 7-14-2023

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SUITE B-100
DOWLESTOWN, PA. 18901
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RENOVATIONS FOR
LANDES RESIDENCE
1199 BRADLEY ROAD
FUQUAY VARINA, NC 27526

DRAWING TITLE:
LOCATION MAP, GENERAL
NOTES, SITE SKETCH
AND DATA

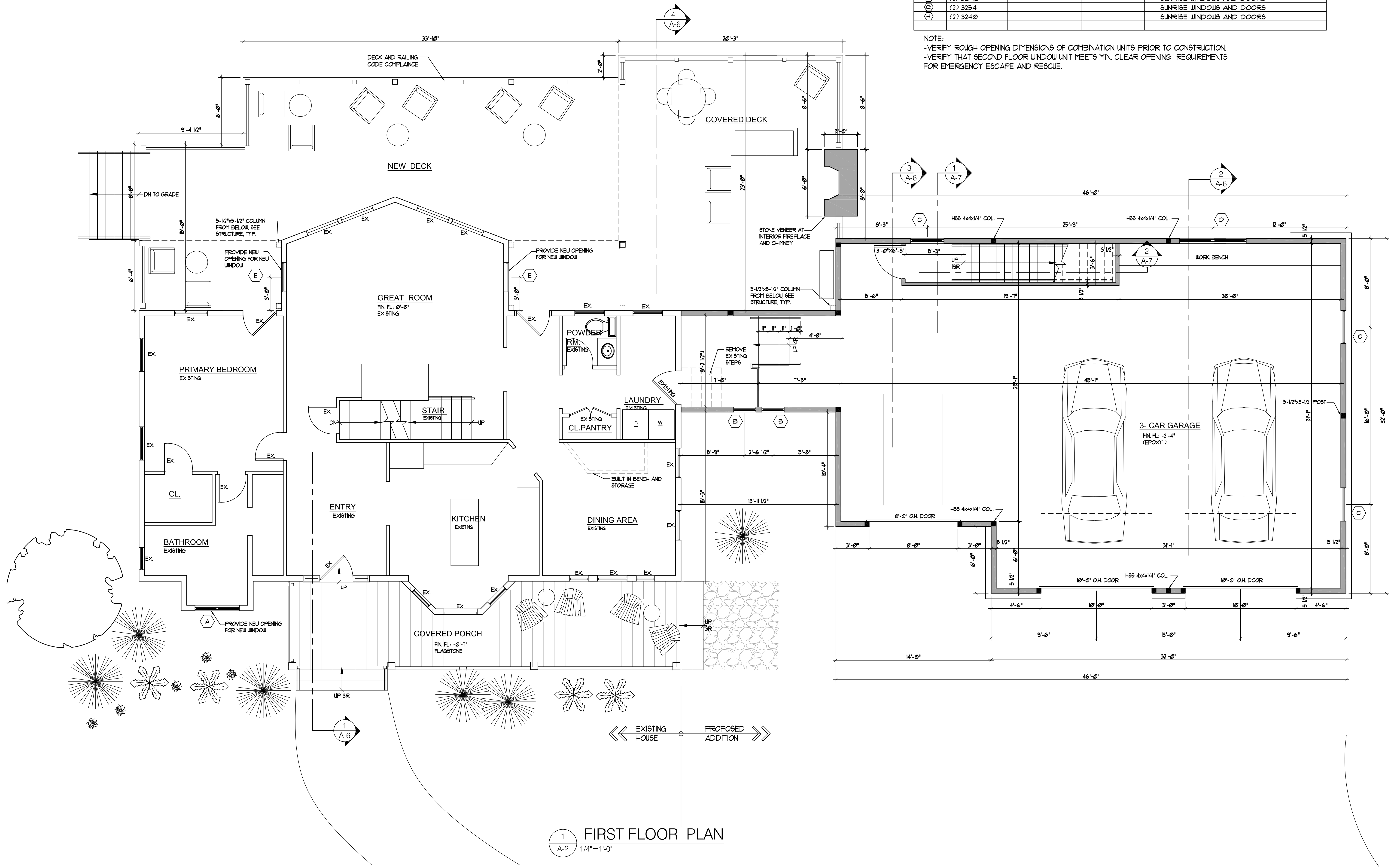
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WINDOW ROUGH OPENING SCHEDULE				
TAG	WINDOW MARK	UNIT SIZE	R. O.	REMARKS
(A)	(2) 2436			SUNRISE WINDOWS AND DOORS
(B)	2440			SUNRISE WINDOWS AND DOORS
(C)	3648			SUNRISE WINDOWS AND DOORS
(D)	(2) 3648			SUNRISE WINDOWS AND DOORS
(E)	3254			SUNRISE WINDOWS AND DOORS
(F)	(2) 3040			SUNRISE WINDOWS AND DOORS
(G)	(2) 3254			SUNRISE WINDOWS AND DOORS
(H)	(2) 3240			SUNRISE WINDOWS AND DOORS

NOTE:
 -VERIFY ROUGH OPENING DIMENSIONS OF COMBINATION UNITS PRIOR TO CONSTRUCTION.
 -VERIFY THAT SECOND FLOOR WINDOW UNIT MEETS MIN. CLEAR OPENING REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE.



1 FIRST FLOOR PLAN
 A-2 1/4" = 1'-0"

MARCHITECTURE
 RENOVATIONS FOR
LANDES RESIDENCE
 1199 BRADLEY ROAD
 FUGUAY VARINA, NC 27526

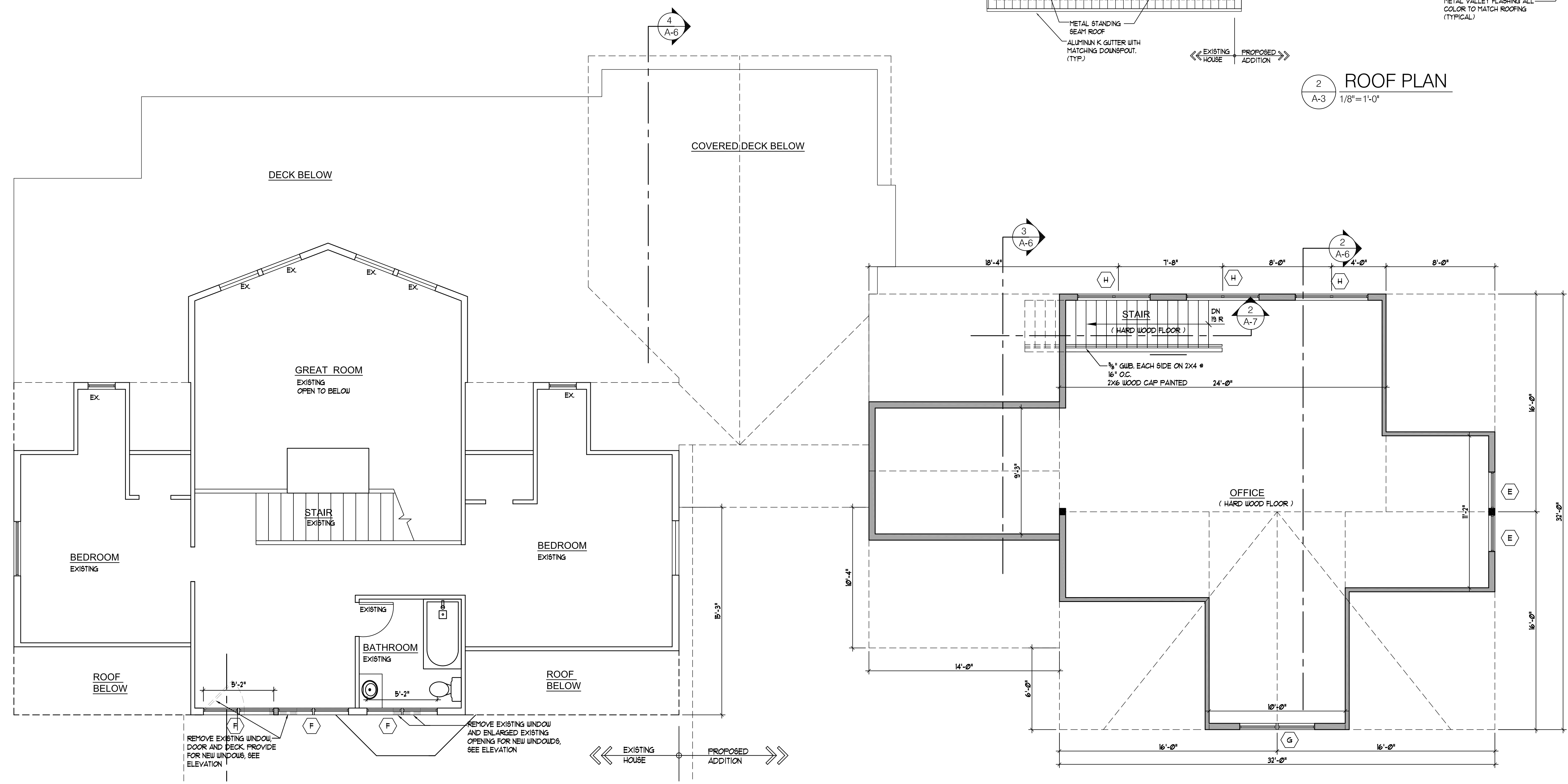
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 FIRST FLOOR AND WINDOW
 ROUGH OPENING SCHEDULE

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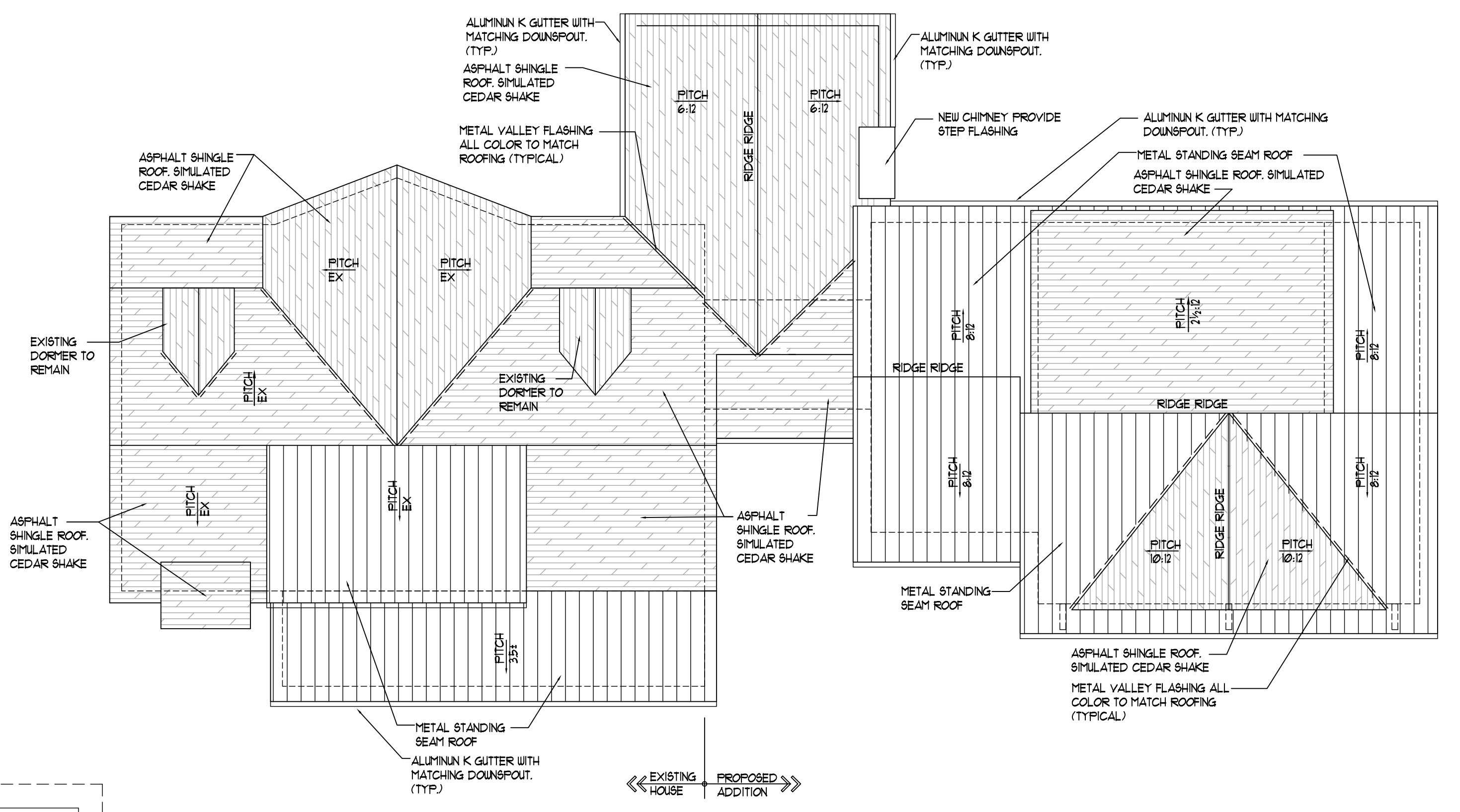
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1 SECOND FLOOR PLAN
A-3 1/4" = 1'-0"



2 ROOF PLAN
A-3 1/8" = 1'-0"

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SECOND FLOOR
AND ROOF PLAN

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Scale: AS NOTED
Comm. No: 2318

REV. NO.	DESCRIPTION	DATE

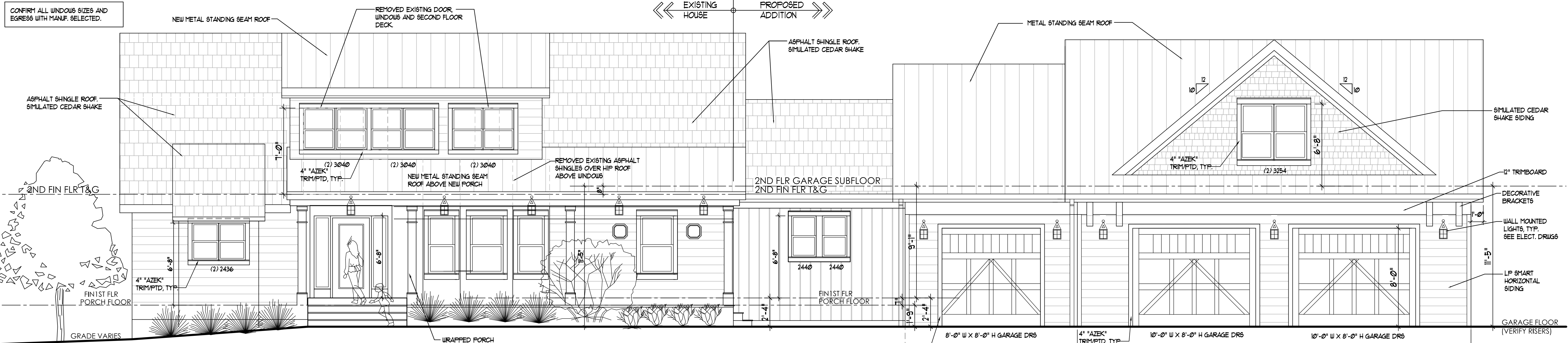
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RENOVATIONS FOR
LANDES RESIDENCE
1199 BRADLEY ROAD
FUQUAY VARINA, NC 27526

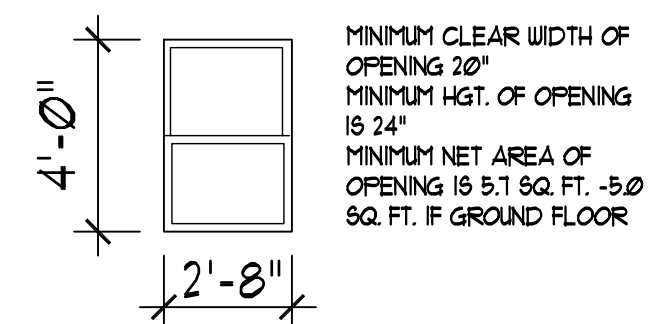
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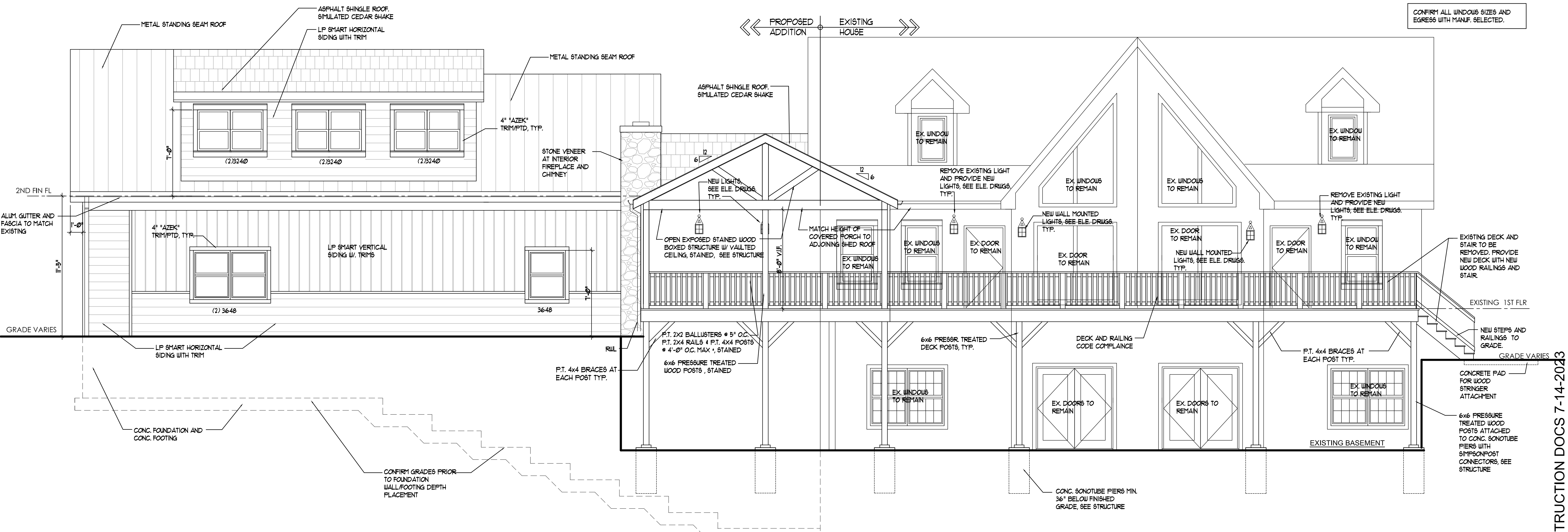


1 FRONT ELEVATION
A-4 1/4"=1'-0"

GENERAL NOTES:
 1. PROVIDE FLASHING AT WINDOW AND DOOR HEADS, TYPICAL
 2. NEW WINDOWS ARE TO PER MANUF. NOTED WITH DOUBLE FRAME INSULATED "LOW-E" GLAZING AND INSECT SCREENS AT OPERABLE UNITS. VERIFY REQUIRED ROUGH OPENING DIMENSIONS WITH MANUFACTURER.
 3. EXTERIOR COLOR TO BE WHITE !!



3 SECOND FLOOR EGRESS WINDOW
A-4 1/4"=1'-0"



2 REAR ELEVATION
A-4 1/4"=1'-0"

MARCHITECTURES
 RENOVATIONS FOR
LANDES RESIDENCE
 1199 BRADLEY ROAD
 FUQUAY VARINA, NC 27526

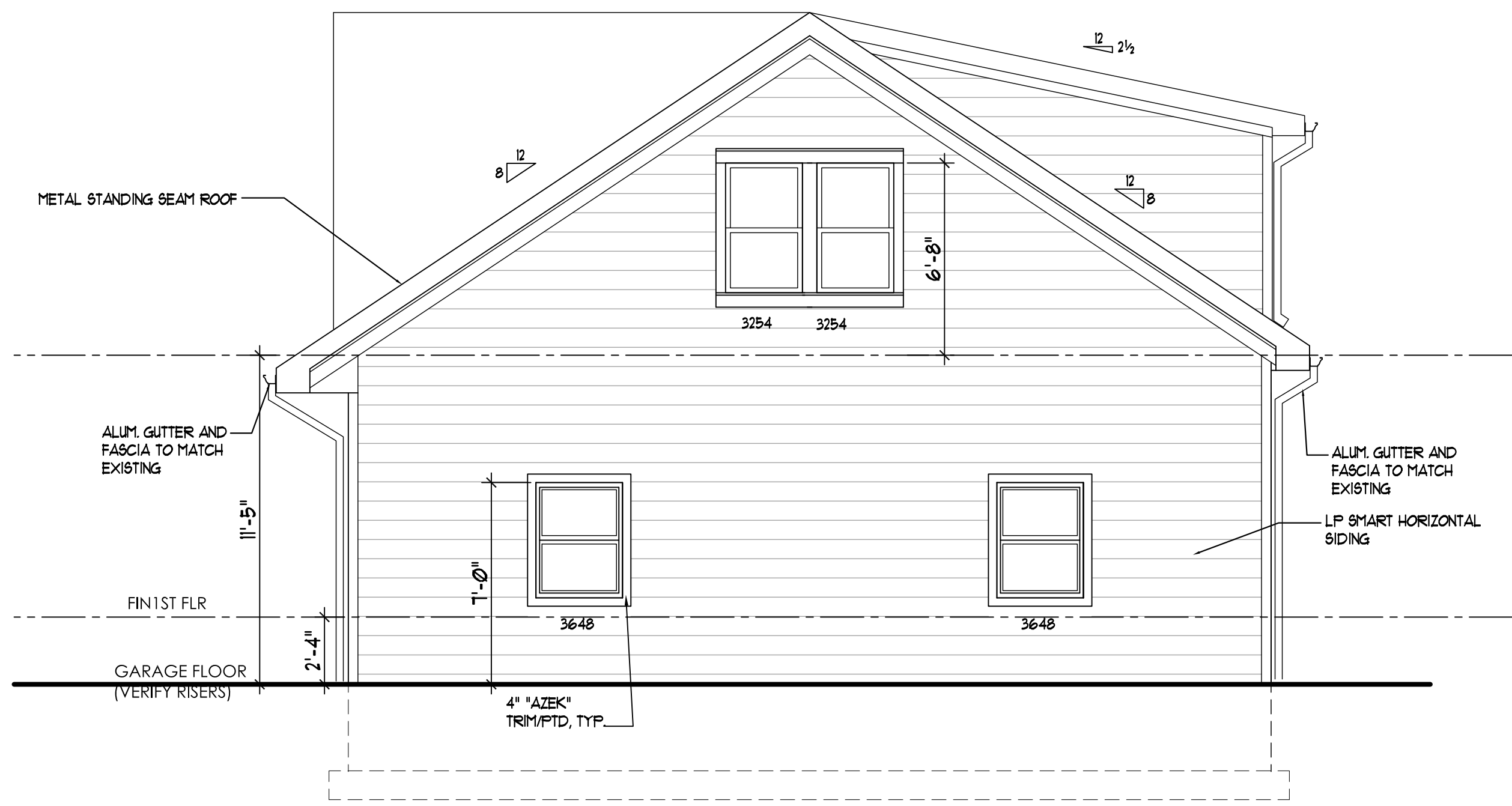
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 EXTERIOR ELEVATIONS

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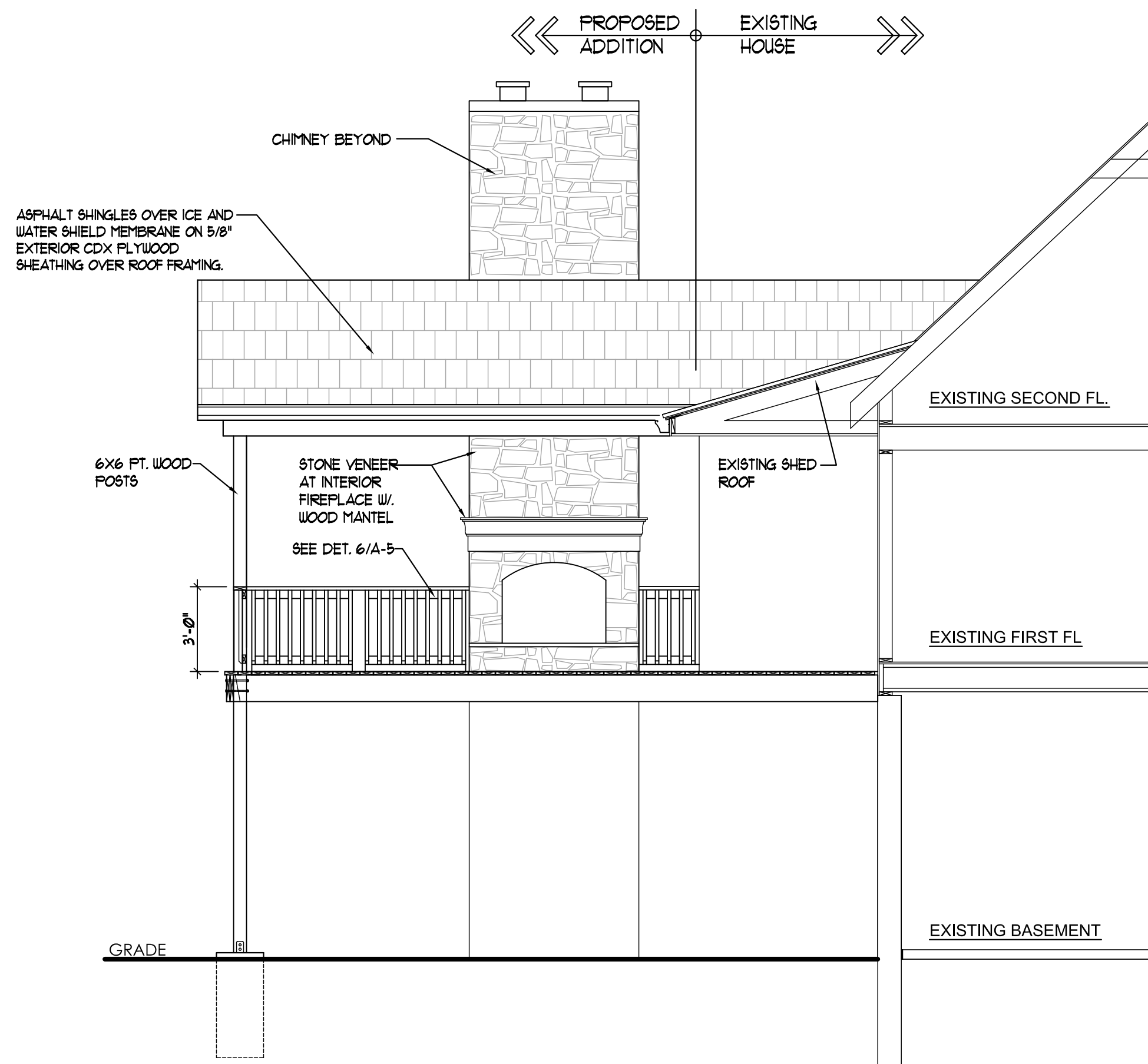
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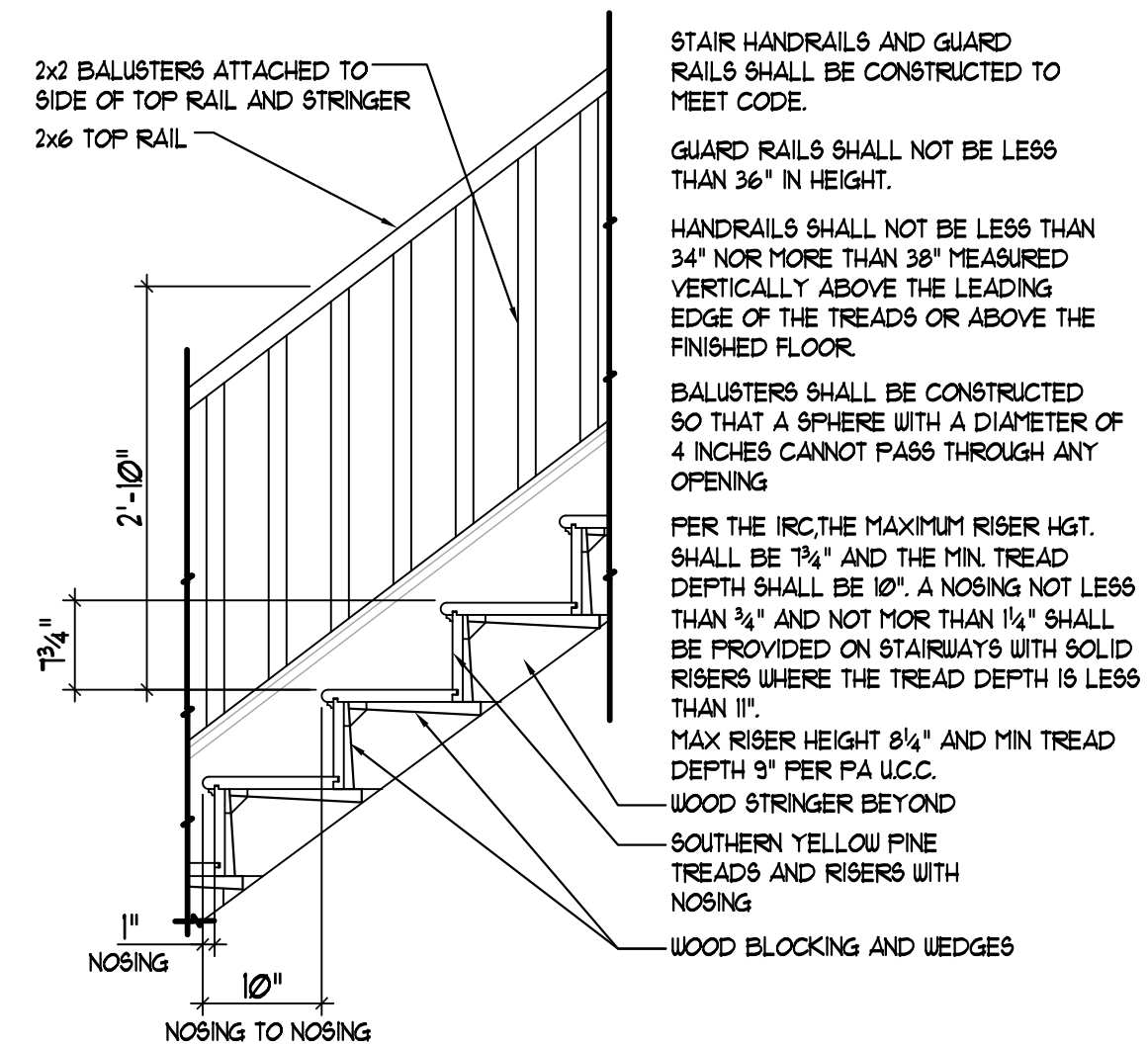
1 SIDE ELEVATION
A-5 1/4" = 1'-0"



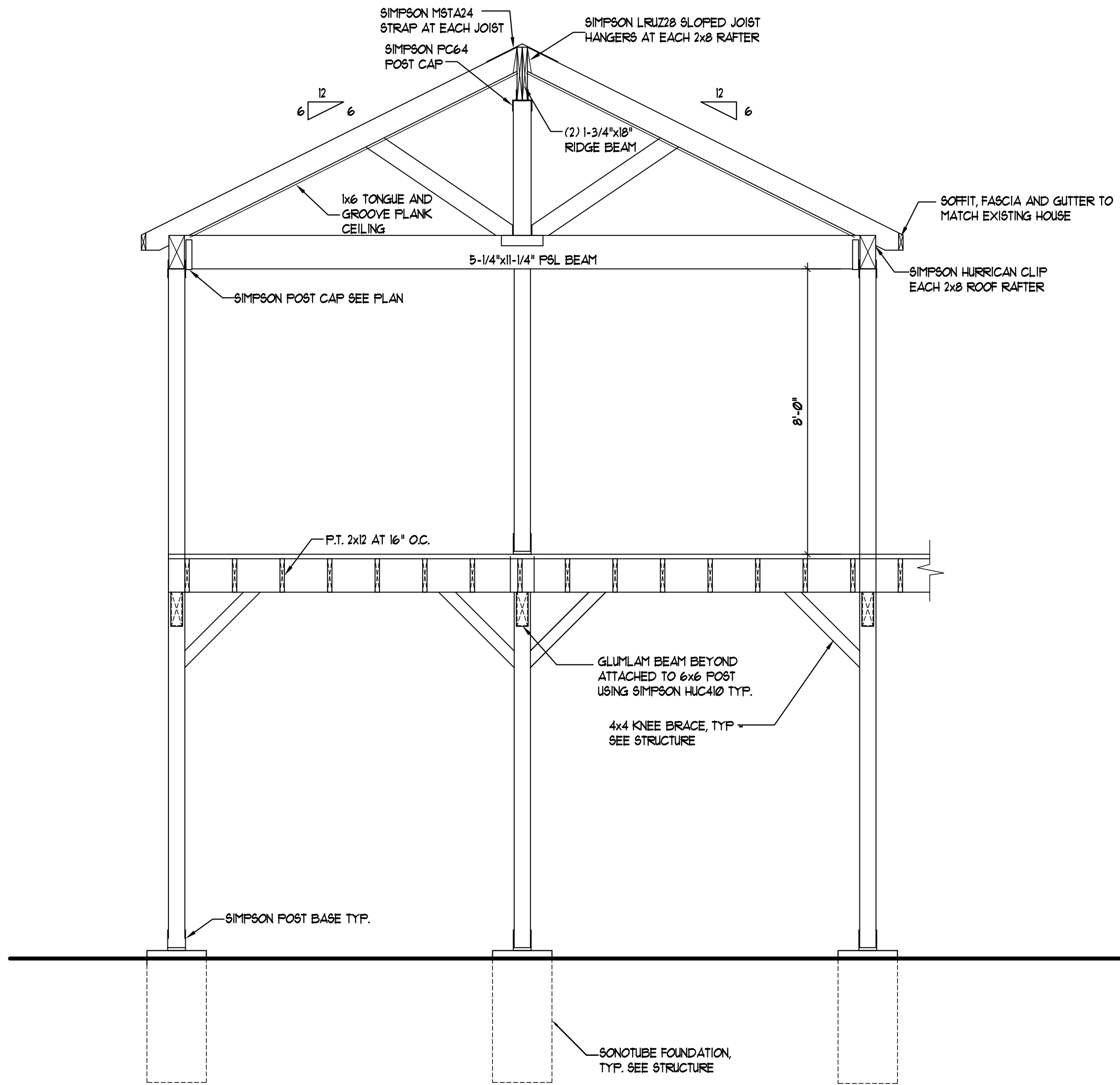
2 ENCLOSED DECK ELEVATION
A-5 1/4" = 1'-0"

HANDRAIL AND GUARDRAIL LOAD REQUIREMENTS PER IBC 2018

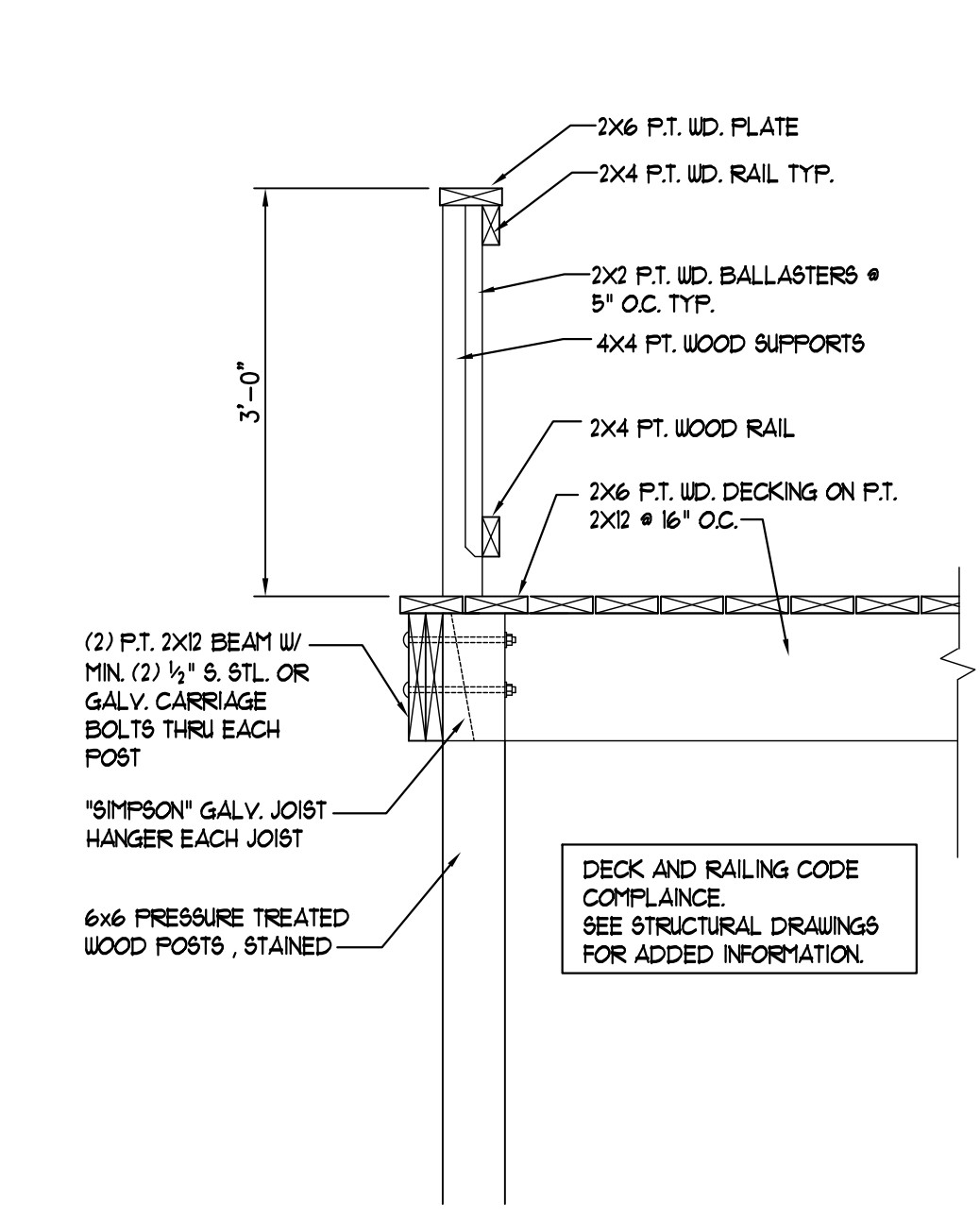
HANDRAIL ASSEMBLIES AND GUARDRAIL SYSTEMS SHALL BE DESIGNED TO RESIST A LOAD OF 50 LB/FT. (0.73 KN/M) APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. FOR ONE- AND TWO-FAMILY DWELLINGS, THE MINIMUM LOAD SHALL BE 20 LB/FT. (0.29 KN/M). FURTHER, ALL HANDRAIL ASSEMBLIES AND GUARDRAIL SYSTEMS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LB. (0.89 KN), APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH THE LOADS SPECIFIED IN THE PRECEDING PARAGRAPH. INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS, AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 LB. (0.22 KN) ON AN AREA NOT TO EXCEED 1 FT SQUARE (305 mm SQUARE) INCLUDING OPENINGS AND SPACE BETWEEN RAILS. REACTIONS DUE TO THIS LOADING ARE NOT REQUIRED TO BE SUPERIMPOSED WITH THOSE OF EITHER PRECEDING PARAGRAPH.



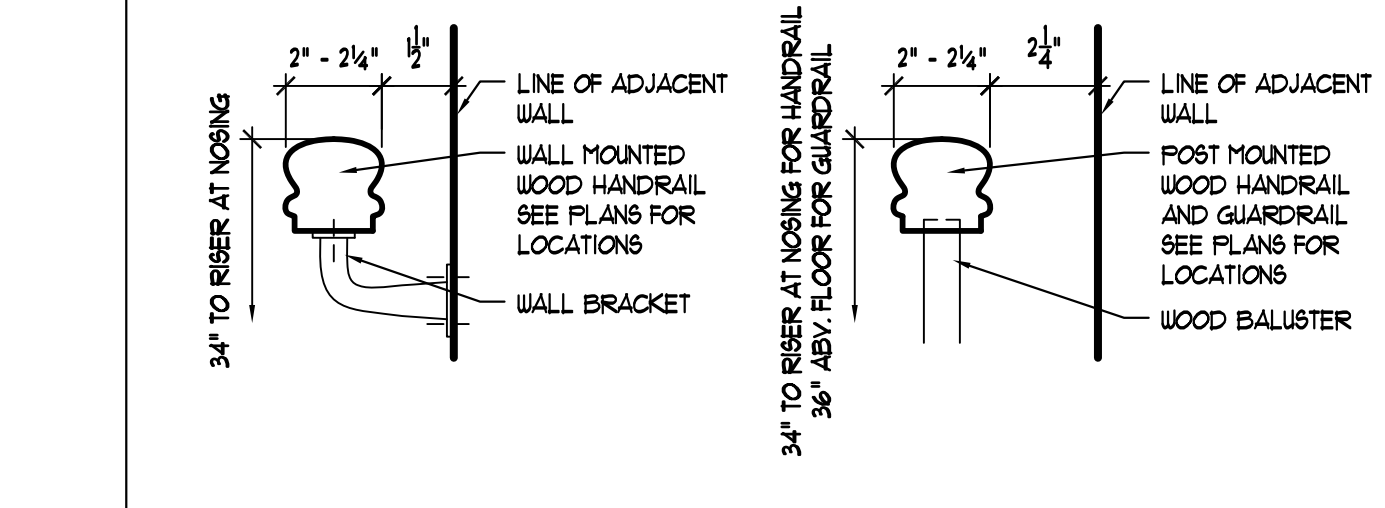
3 INTERIOR STAIR DETAIL
A-3 SCALE: 3/4" = 1'-0"



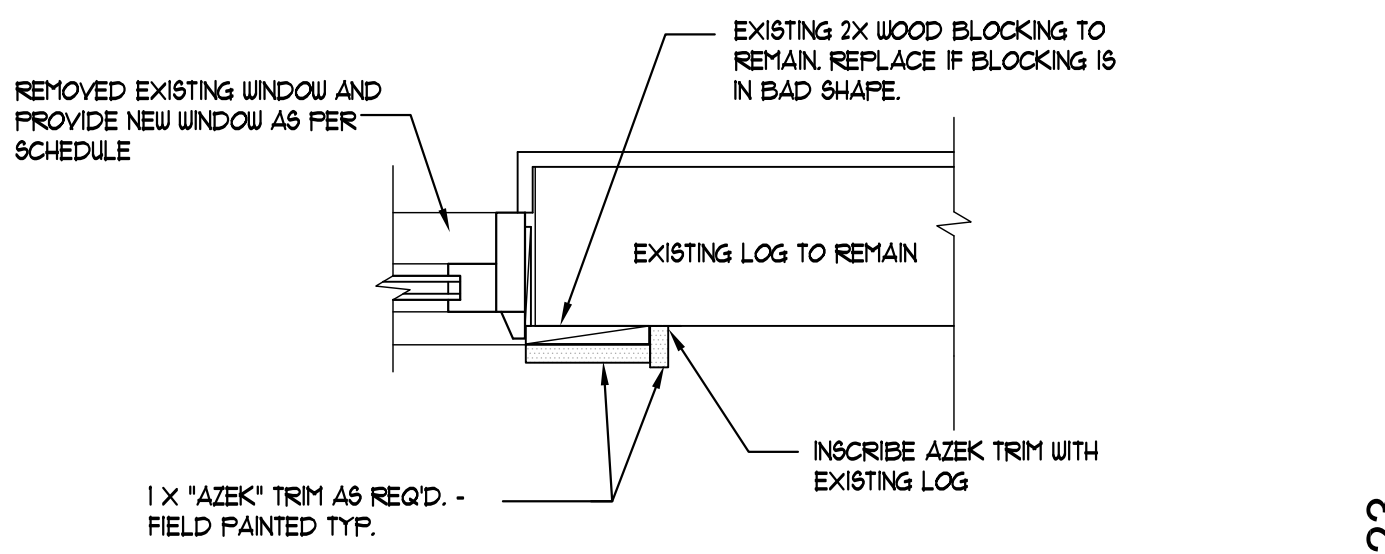
7 DECK CROSS SECTION
A-5 SCALE: 3/8" = 1'-0"



6 DETAIL @ DECK RAILING
A-5 SCALE: 1 1/2" = 1'-0"



4 PROFILE OF STAIR HANDRAILS
A-5 SCALE: 3" = 1'-0"



5 WINDOW - HEAD / JAMB DETAIL
A-5 SCALE: 1 1/2" = 1'-0" NOTE: AT ALL EXISTING WINDOWS

MARCH 11, 2023
 RENOVATIONS FOR LANDES RESIDENCE
 1199 BRADLEY ROAD
 FUQUAY VARINA, NC 27526
 ARCHITECTS

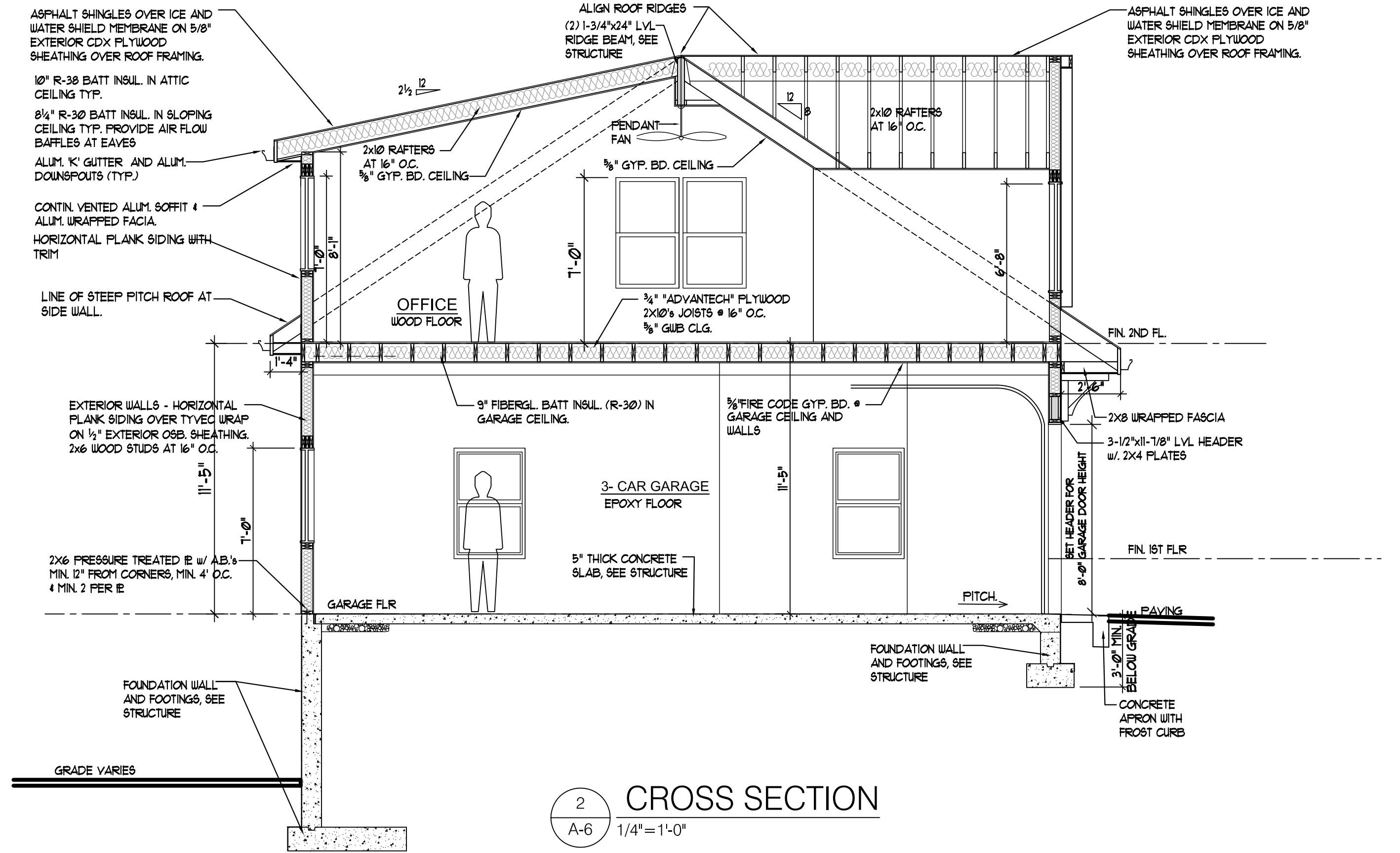
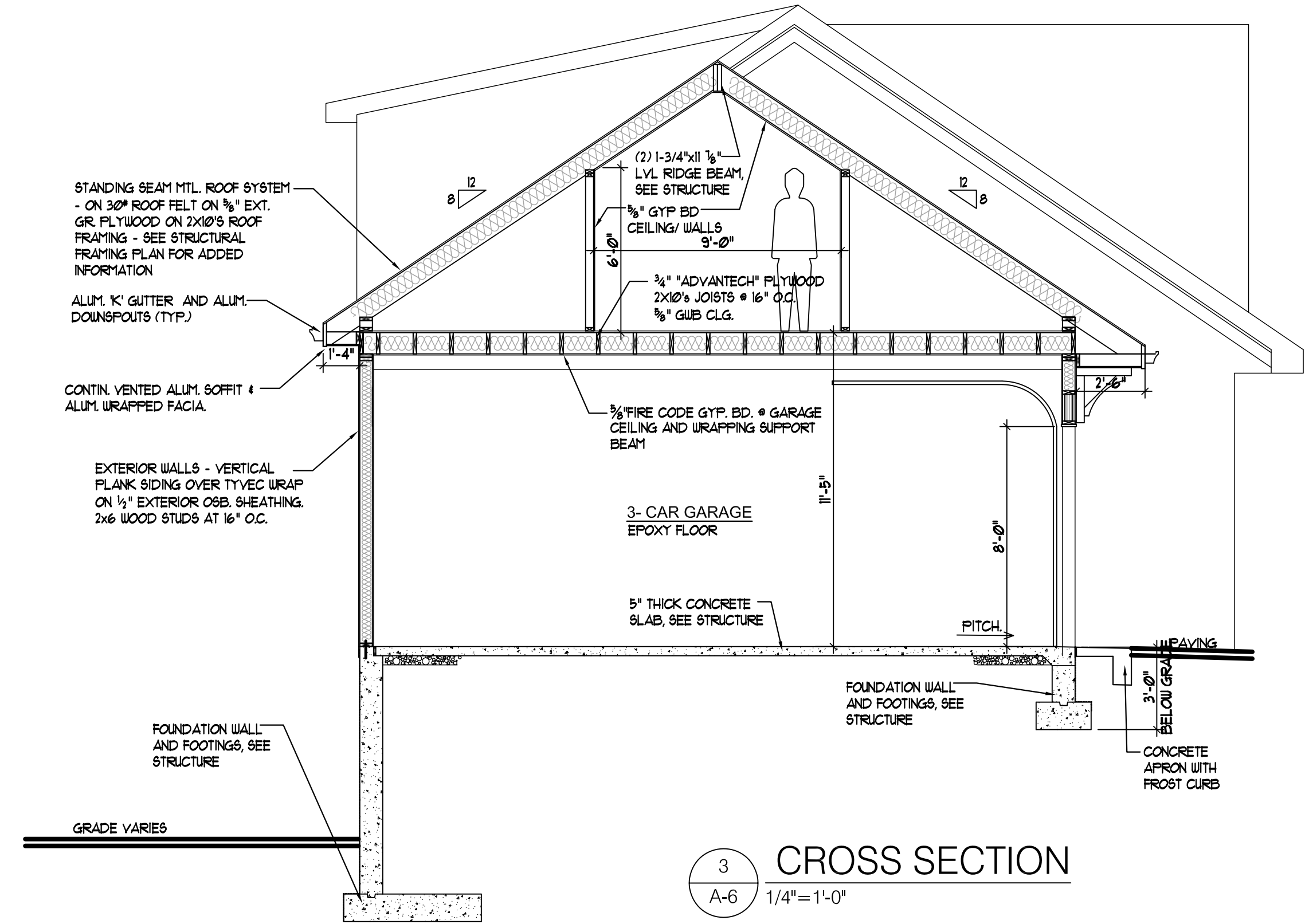
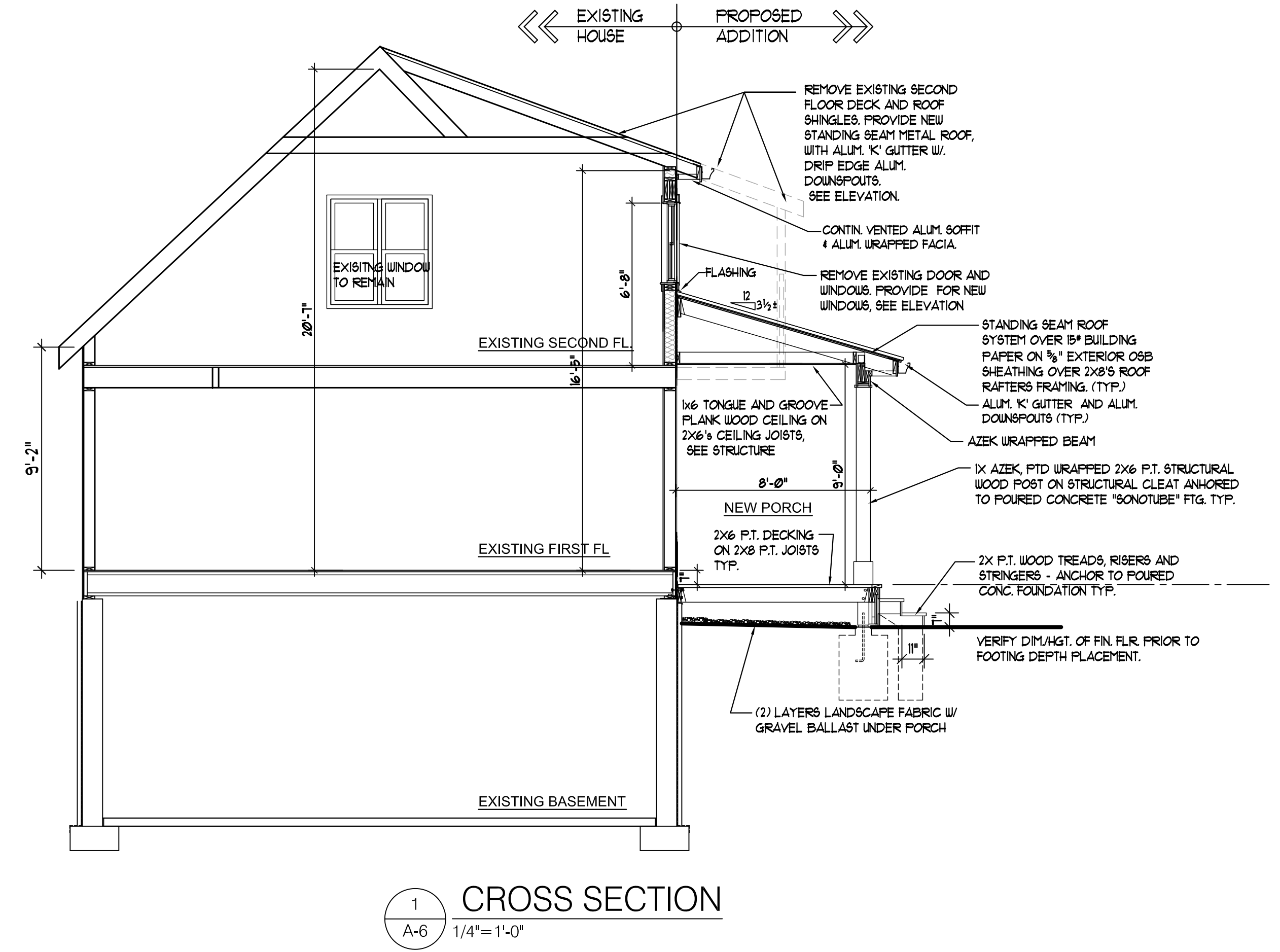
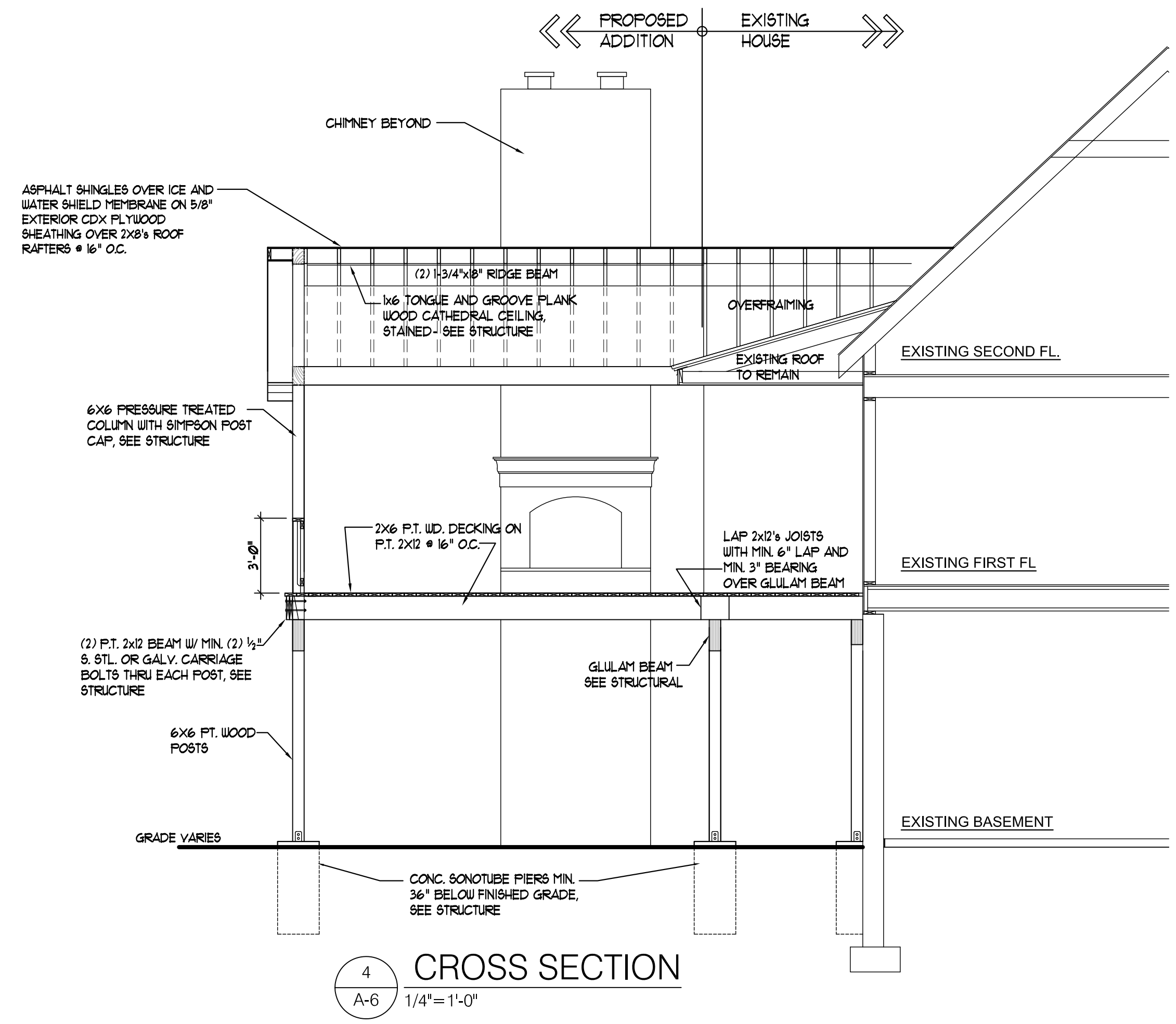
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 CROSS SECTIONS
 AND DETAILS

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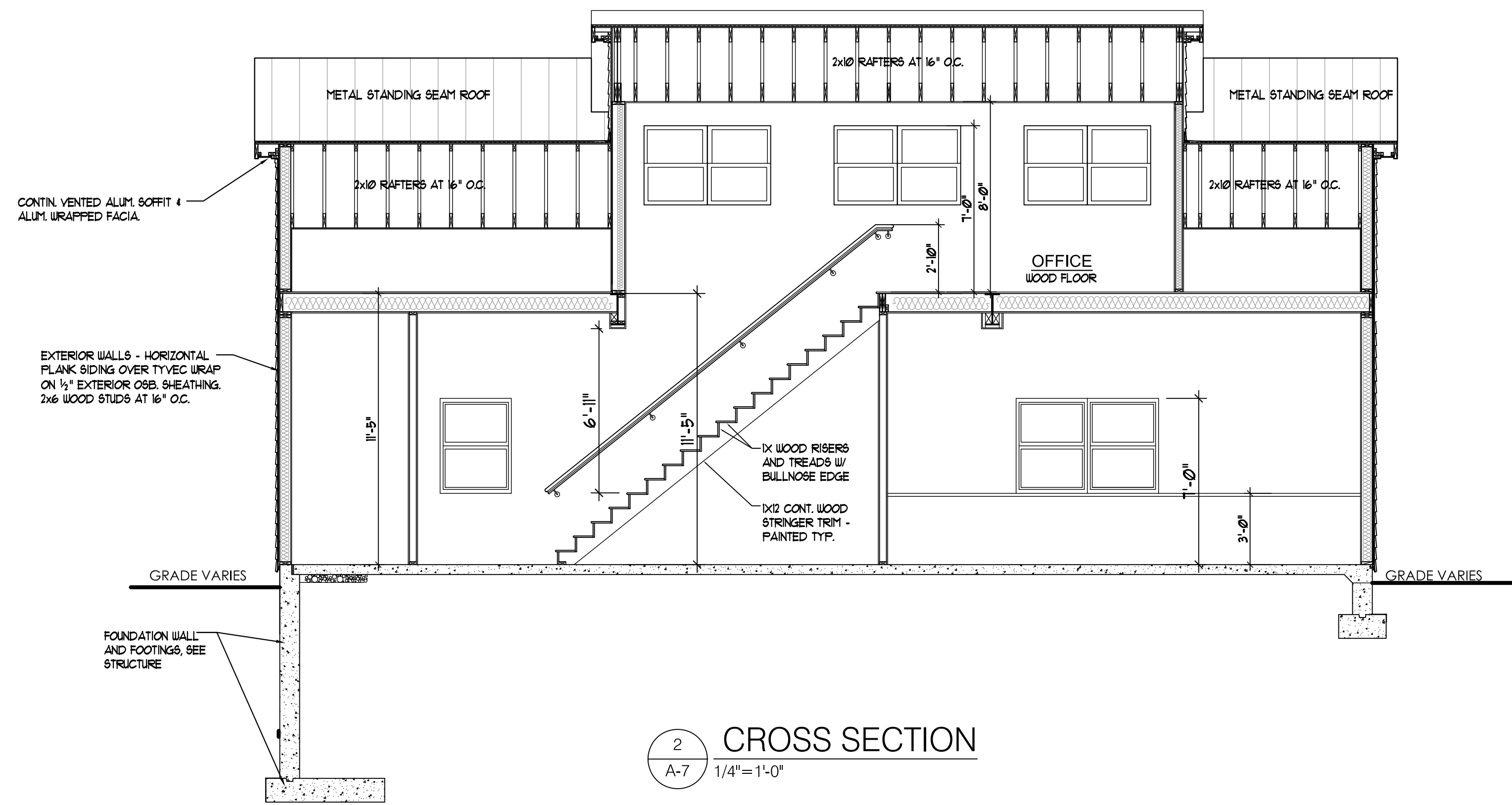
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 RENOVATIONS FOR
LANDES RESIDENCE
 1199 BRADLEY ROAD
 FUQUAY VARINA, NC 27526

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 ELEVATIONS
 AND CROSS SECTIONS

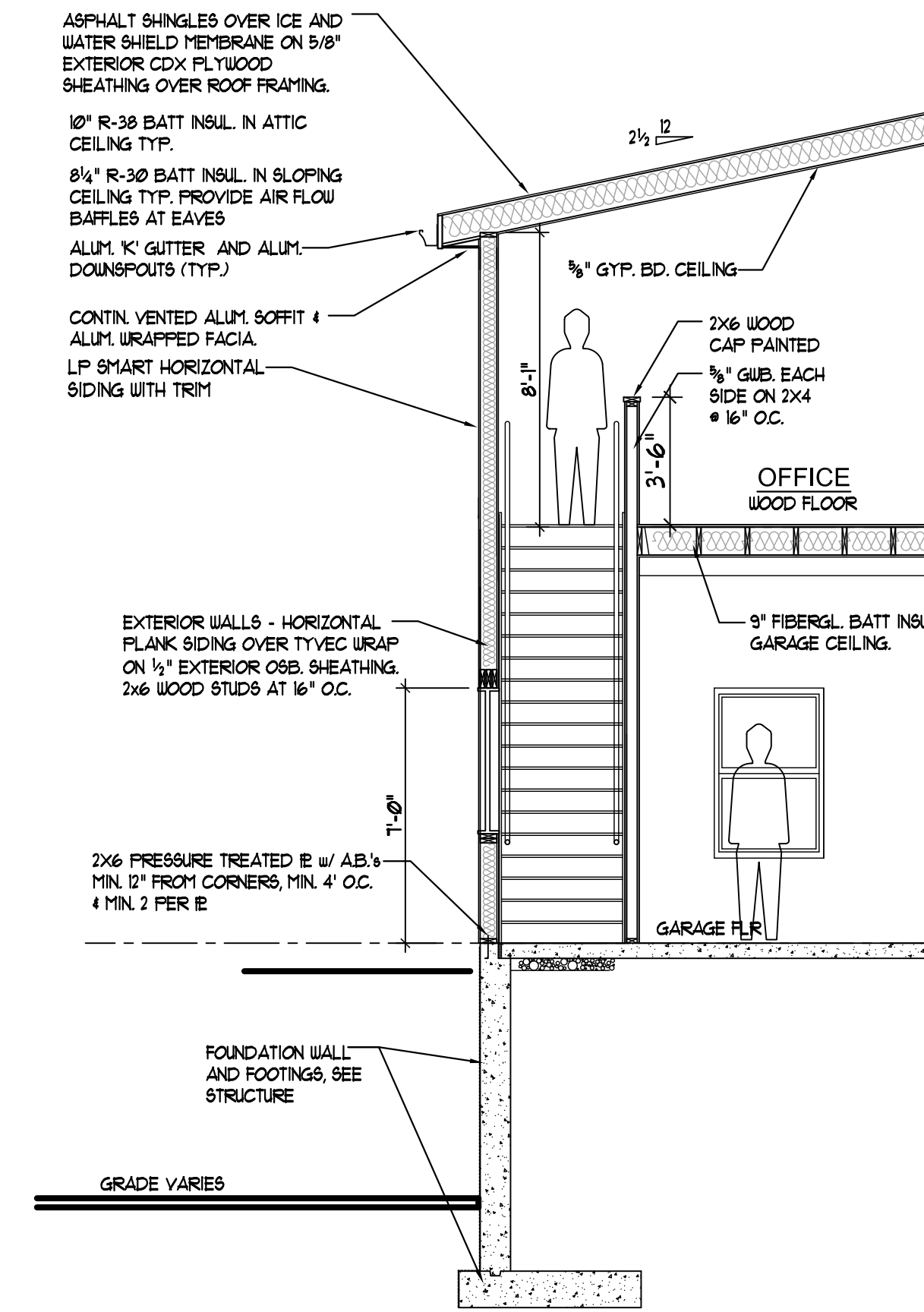
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2 CROSS SECTION
A-7 1/4" = 1'-0"



1 CROSS SECTION
A-7 1/4" = 1'-0"

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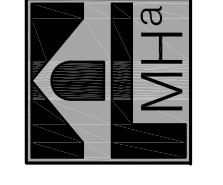
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 RENOVATIONS FOR
LANDES RESIDENCE
 1199 BRADLEY ROAD
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 CROSS SECTIONS

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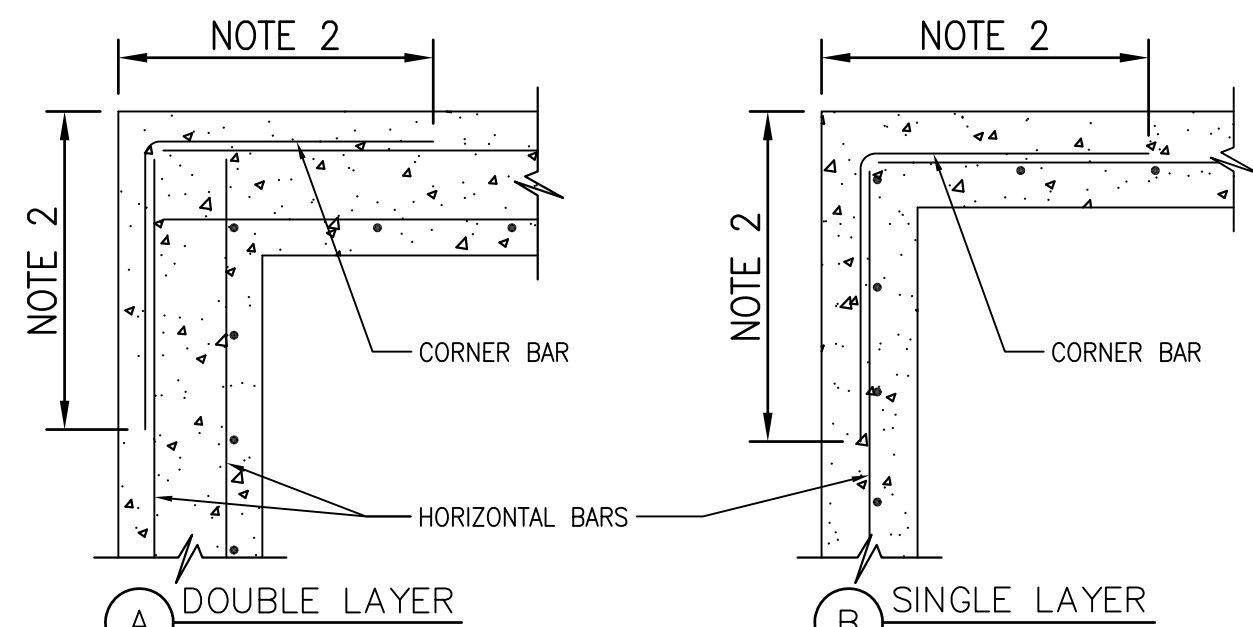
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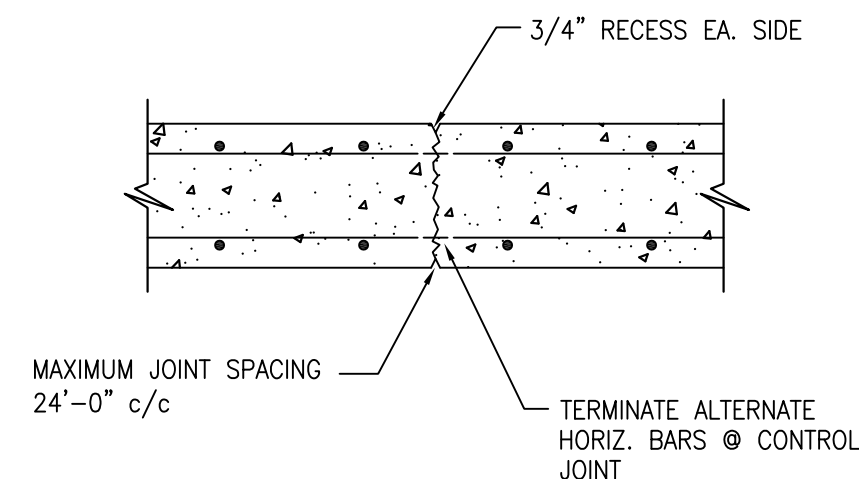
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- NOTES:**
- CORNER BARS SHALL HAVE SAME SIZE AND SPACING AS HORIZONTAL BARS.
 - FOR CORNER BAR LEG LENGTH, USE LAP SPLICE DIMENSION SHOWN IN STRUCTURAL GENERAL NOTES FOR "ALL OTHER BARS".
 - DO NOT PLACE VERTICAL CONSTRUCTION JOINTS WITHIN 5'-0" OF CORNER.

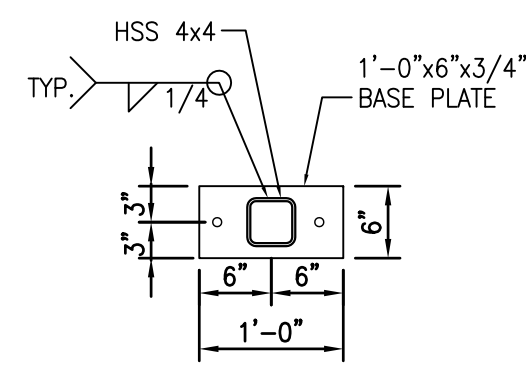
TYPICAL FOOTING OR CONCRETE WALL CORNER REINFORCING

NOT TO SCALE

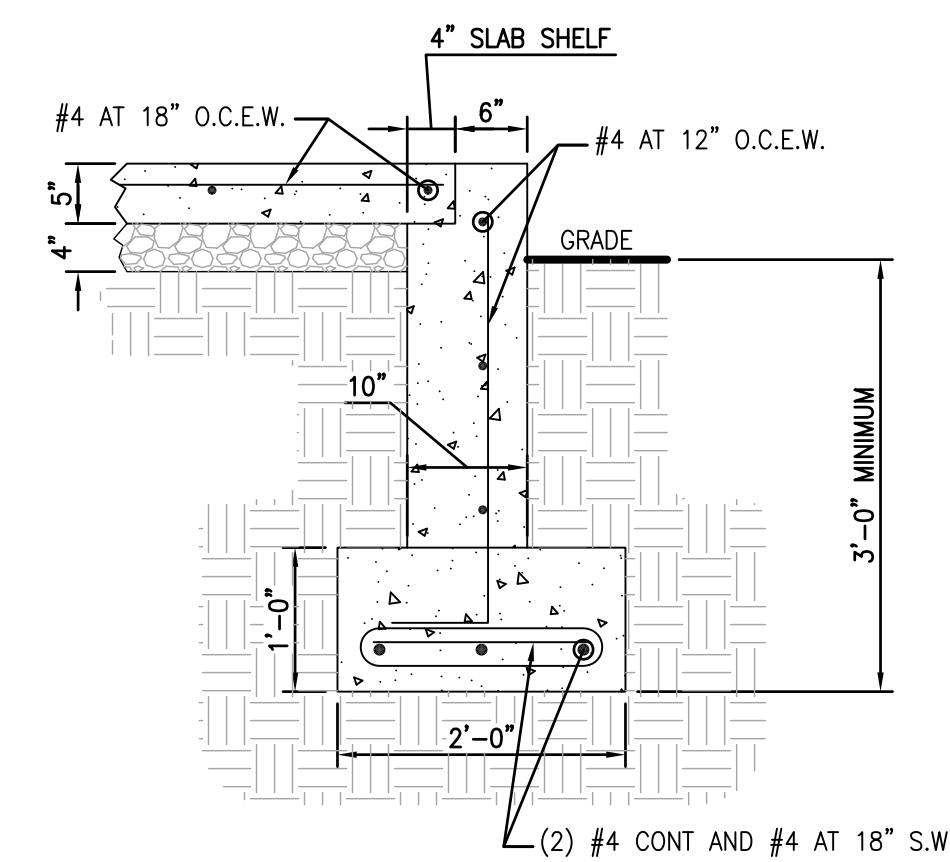


CONCRETE WALL CONTRACTION JOINT PLAN

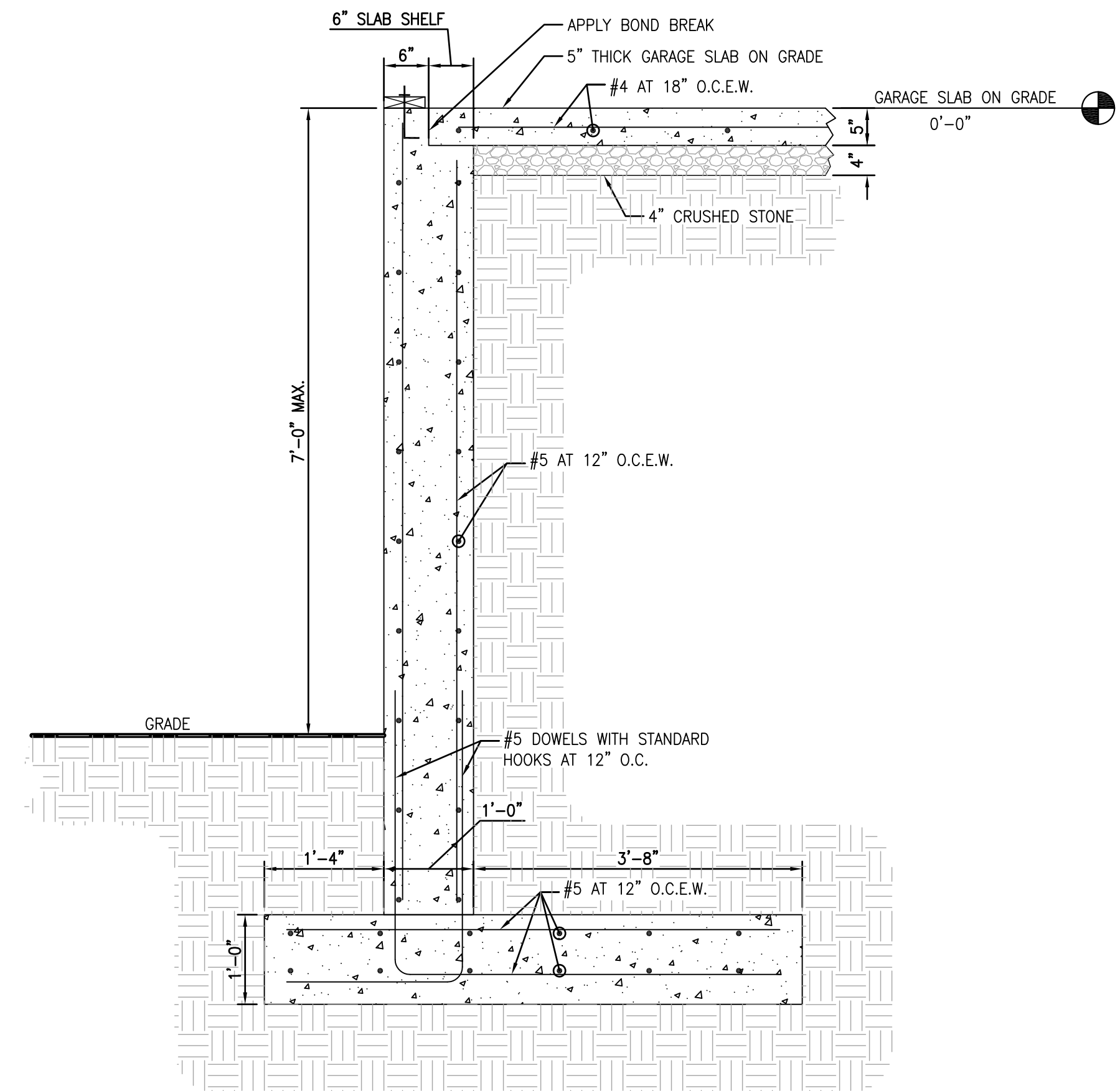
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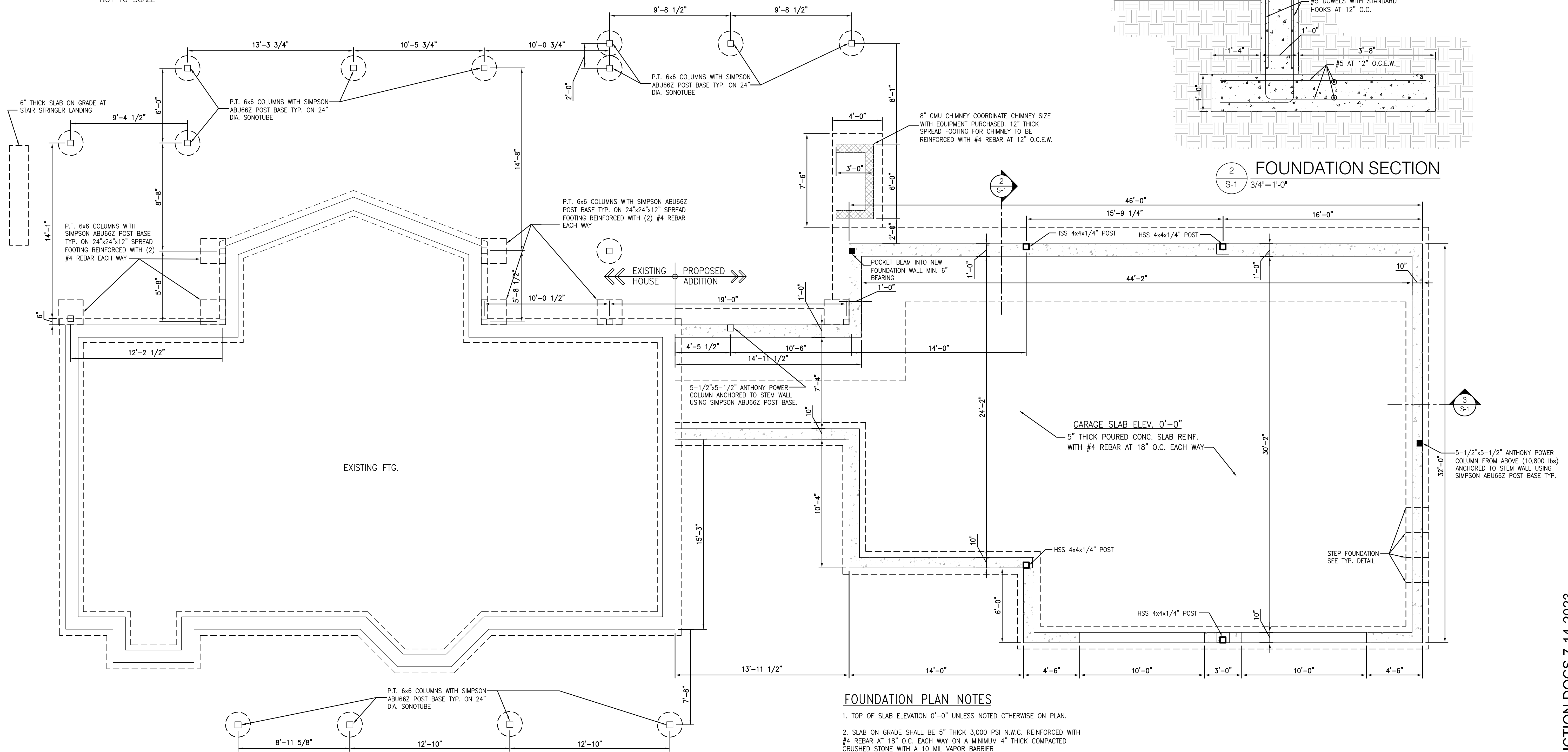
HSS 4x4 BASE PLATE DETAIL



3 FOUNDATION SECTION
S-1 3/4"=1'-0"



2 FOUNDATION SECTION
S-1 3/4"=1'-0"



1 FOUNDATION PLAN
S-1 1/4"=1'-0"

FOUNDATION PLAN NOTES

- TOP OF SLAB ELEVATION 0'-0" UNLESS NOTED OTHERWISE ON PLAN.
- SLAB ON GRADE SHALL BE 5" THICK 3,000 PSI N.W.C. REINFORCED WITH #4 REBAR AT 18" O.C. EACH WAY ON A MINIMUM 4" THICK COMPACTED CRUSHED STONE WITH A 10 MIL VAPOR BARRIER.
- ALL ELEVATIONS ARE REFERENCED TO FINISHED FLOOR.
- COORDINATE ALL DIMENSIONS AND SECTIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.

CONSTRUCTION DOCS 7-14-2023

ARCHITECTURE
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SUITE B-100
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(215) 348-5403 fax

RENOVATIONS FOR
LANDES RESIDENCE
1199 BRADLEY ROAD
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FOUNDATION PLAN

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Comm. No: 2318

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DRAWING NO.

S-1

SIGNED

STRUCTURAL NOTES:

FOUNDATIONS

1. BOTTOM OF FOOTINGS IS ASSUMED TO BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 3,000 PSF.

BOTTOM OF FOOTINGS SHALL BEAR ON

- UNDISTURBED VIRGIN SOIL
- CONTROLLED COMPACTED FILL
- DENSIFIED NATURAL SOIL
- ROCK
- OTHER SUBSURFACE CAPABLE OF SAFELY SUPPORTING 3,000 PSF

2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3'-0" FEET BELOW EXTERIOR FINISH GRADE.

3. DO NOT BACKFILL ANY BASEMENT WALLS WITH AN UNBALANCED HEIGHT OF SOIL GREATER THAN THREE FEET UNTIL ELEVATED FLOOR IS IN-PLACE AND THE WALL HAS REACHED ITS DESIGN STRENGTH OR THE WALLS ARE ADEQUATELY BRACED.

4. EXPOSED CONCRETE/CMU WALLS SHALL HAVE CONTROL JOINTS AT 30 FEET MAXIMUM ON CENTER UNLESS NOTED OTHERWISE. WALLS WITH INTEGRAL COLUMN PIERS OR PILASTERS SHALL BE POURED MONOLITHICALLY AND SHALL HAVE A FORMED CONTROL JOINT ON ONE SIDE OF EACH PIER ON THE EXPOSED FACE OF THE WALL. JOINTS SHALL BE FILLED WITH AN APPROVED SEALANT.

WOOD FRAMING

1. ALL STRUCTURAL WOOD FRAMING SHALL

A. BE HEM FIR #2 MINIMUM, STRESS GRADE LUMBER OR APPROVED EQUAL.

B. THE UNFACTORED MINIMUM ALLOWABLE PROPERTIES ARE AS FOLLOWS:

$$F_b = 850 \text{ PSI} \quad F_v = 145 \text{ PSI} \quad E = 1,600,000 \text{ PSI}$$

C. ALL STRUCTURAL TIMBER TO BE STAMPED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S "CONSTRUCTION MANUAL".

2. ALL GLUED LAMINATED BEAMS SHALL BE SOUTHERN PINE, HEM FIR OR APPROVED EQUAL.

A. CONFORMING TO LATEST AITC 117" STANDARD SPECIFICATION FOR STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES".

B. THE MINIMUM ALLOWABLE PROPERTIES FOR GLUED LAMINATED BEAMS ARE AS FOLLOWS:

$$F_b = 2200 \text{ PSI} \quad F_v = 165 \text{ PSI} \quad E = 1,500,000 \text{ PSI}$$

3. ALL MICRO-LAM BEAMS TO BE AS ENGINEERED AND MANUFACTURED BY TRUSJOIST OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES FOR MICRO-LAM BEAMS ARE AS FOLLOWS:

$$F_b = 2600 \text{ PSI} \quad F_v = 285 \text{ PSI} \quad E = 1,900,000 \text{ PSI}$$

4. ALL PARALLAM BEAMS TO BE AS ENGINEERED AND MANUFACTURED BY TRUSJOIST OR APPROVED EQUAL. THE MINIMUM ALLOWABLE PROPERTIES FOR PARALLAM BEAMS ARE AS FOLLOWS:

$$F_b = 2900 \text{ PSI} \quad F_v = 290 \text{ PSI} \quad E = 2,000,000 \text{ PSI}$$

CONCRETE

1. REINFORCING STEEL SHALL HAVE A SPECIFIED COVER AS FOLLOWS, UNLESS NOTED OTHERWISE ON DRAWINGS:

-CONCRETE POURED AGAINST EARTH 3"

-CONCRETE EXPOSED TO EARTH OR WEATHER: #5 OR SMALLER 1 1/2"

#6 OR LARGER 2"

-CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: COLUMNS (TIES AND MAIN REINFORCING) 1 1/2"

SLABS, WALLS, JOISTS: #14 OR #18 BARS 1 1/2"

#11 OR SMALLER BEAMS (STIRRUPS AND MAIN REINFORCING) 3/4"

-SPECIFIED COVER SHALL BE CLEARLY SHOWN ON ALL REINFORCING BAR DETAIL DRAWINGS.

2. ALL CONCRETE SHALL BE READY-MIX AND HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF:

SPREAD FOOTINGS/WALL FOOTINGS/FOUNDATION WALL

A. BASEMENT WALLS/RETAINING WALLS 3,000 PSI

B. SLAB-ON-GRADE 3,000 PSI

OR AS SHOWN ON DRAWINGS. CONCRETE MIX SHALL HAVE A MINIMUM OF 500 LBS. OF CEMENTITIOUS MATERIAL PER CUBIC YARD. SLUMP (AT POINT OF CONCRETE PLACEMENT) SHALL BE 3 INCH MINIMUM AND 6 INCH MAXIMUM. CONCRETE EXPOSED TO WEATHER SHALL HAVE 5 PERCENT AIR ENTRAINMENT. SUBMIT ALL CONCRETE MIX DESIGNS FOR REVIEW. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST ACI BUILDING CODE (ACI 318), THE ACI DETAILING MANUAL (ACI 315), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).

3. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A615 GRADE 60. WWF SHALL COMPLY WITH ASTM A185.

4. LAP ALL REINFORCING BARS 62 DIAMETERS MINIMUM UNLESS NOTED OTHERWISE IN SPECIFICATION OR DETAILS. LAP ALL WWF A MINIMUM OF SIX INCHES.

MASONRY

1. MASONRY UNITS SHALL BE TYPE N-1 MEDIUM WEIGHT ASTM C90 SOLID (GREATER THAN OR EQUAL TO 75 PERCENT SOLID MATERIAL) OR ASTM C90 HOLLOW GROUDED SOLID BELOW GRADE OR ASTM C90 HOLLOW ABOVE GRADE.

2. THE FOLLOWING ARE THE BLOCK STRENGTHS REQUIRED:

- A. ASTM C90 SOLID 1900 PSI ON GROSS AREA OF INDIVIDUAL UNITS.
- B. ASTM C90 HOLLOW 1900 PSI ON NET AREA OF INDIVIDUAL UNITS.
- C. IVANY 3000 PSI ON NET AREA OF INDIVIDUAL UNITS.

3. ALL MORTAR SHALL BE ASTM C270 TYPE S WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS FROM FIELD OBTAINED TEST CUBES. WHERE IVANY BLOCK IS SPECIFIED, PROVIDE ASTM C270 TYPE M MORTAR WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

4. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI FROM FIELD OBTAINED TEST CYLINDERS.

5. LAID UP MASONRY DESIGN F'M IS 1500 PSI FOR STANDARD CONCRETE MASONRY AND 2800 PSI FOR IVANY MASONRY.

6. IVANY BLOCK UNITS SHALL BE MANUFACTURED BY FIZZANO BROTHERS OR APPROVED EQUAL.

7. VERTICAL REINFORCING SHALL BE ASTM A615, GRADE 60 DEFORMED BARS. MINIMUM LAP SPICE LENGTHS SHALL BE AS FOLLOWS:

#3: 1'-6"

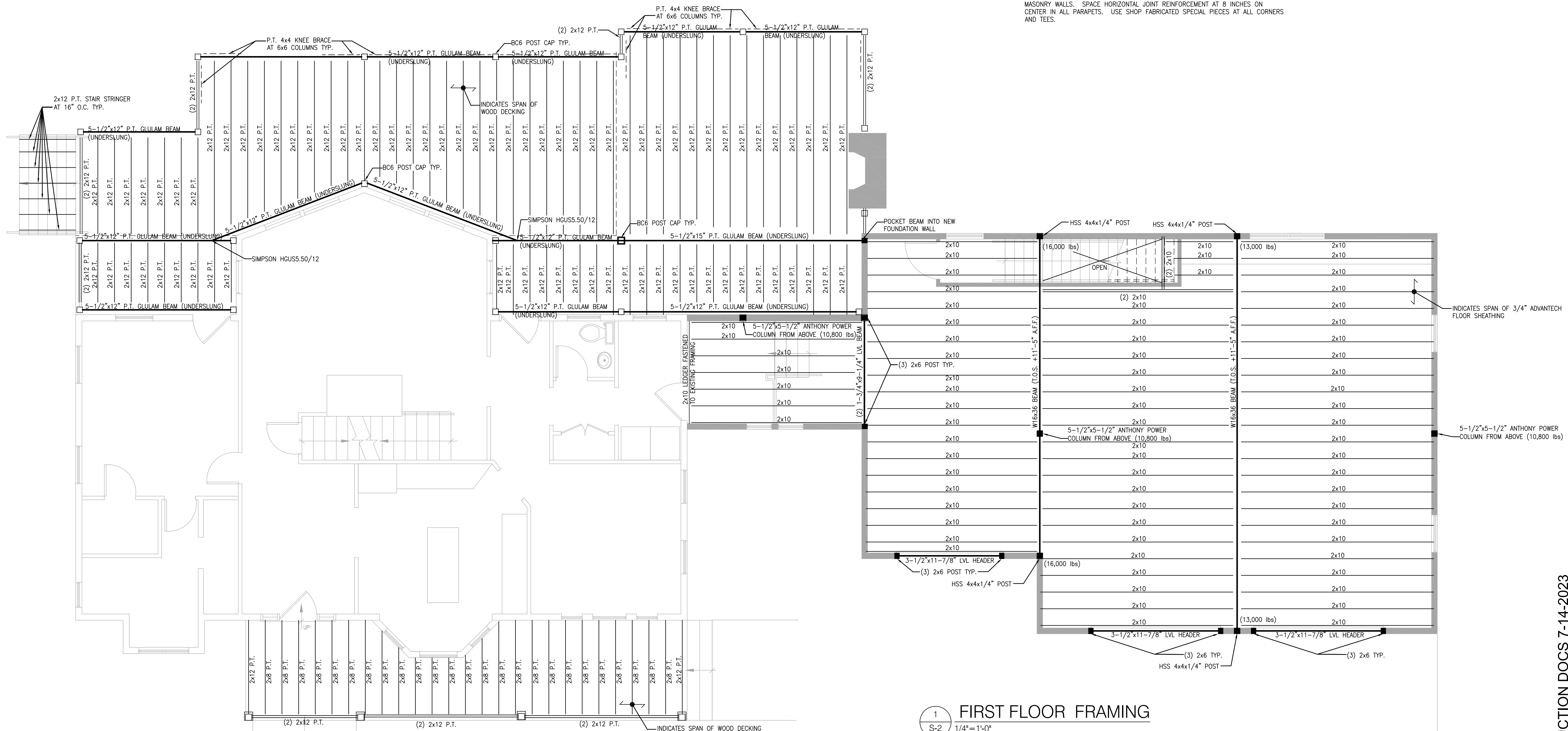
#4: 2'-0"

#5: 2'-6"

#6: 3'-0"

8. ALL CONCRETE MASONRY SHALL BE CONSTRUCTED AND ERECTED IN ACCORDANCE WITH THE LATEST ACI MASONRY CODE (ACI 530/ASCE 5/TMS 402) AND SPECIFICATIONS (ACI 530.1/ASCE 6/TMS 602).

9. PROVIDE HOT-DIPPED GALVANIZED TRUSS TYPE OR LADDER TYPE HORIZONTAL JOINT REINFORCEMENT, MINIMUM 9 GA, AT 16 INCHES ON CENTER VERTICAL IN ALL MASONRY WALLS. SPACE HORIZONTAL JOINT REINFORCEMENT AT 8 INCHES ON CENTER IN ALL PARAPETS. USE SHOP FABRICATED SPECIAL PIECES AT ALL CORNERS AND TEES.



1 FIRST FLOOR FRAMING
S-2 1/4"=1'-0"

CONSTRUCTION DOCS 7-14-2023

DRAWING TITLE:
FIRST FLOOR FRAMING PLAN

Drawn: NEC
Scale: AS NOTED
Comm. No: 2318

REV. NO.	DESCRIPTION	DATE

RENOVATIONS FOR
LANDES RESIDENCE
 1199 BRADLEY ROAD
 FUQUAY VARINA, NC 27526

MARCHITECTURE
 11 DUANE ROAD
 SUITE B-100
 DOWLESTOWN, PA. 18901
 (215) 348-1760 phone
 (215) 348-5403 fax
 SIGNED

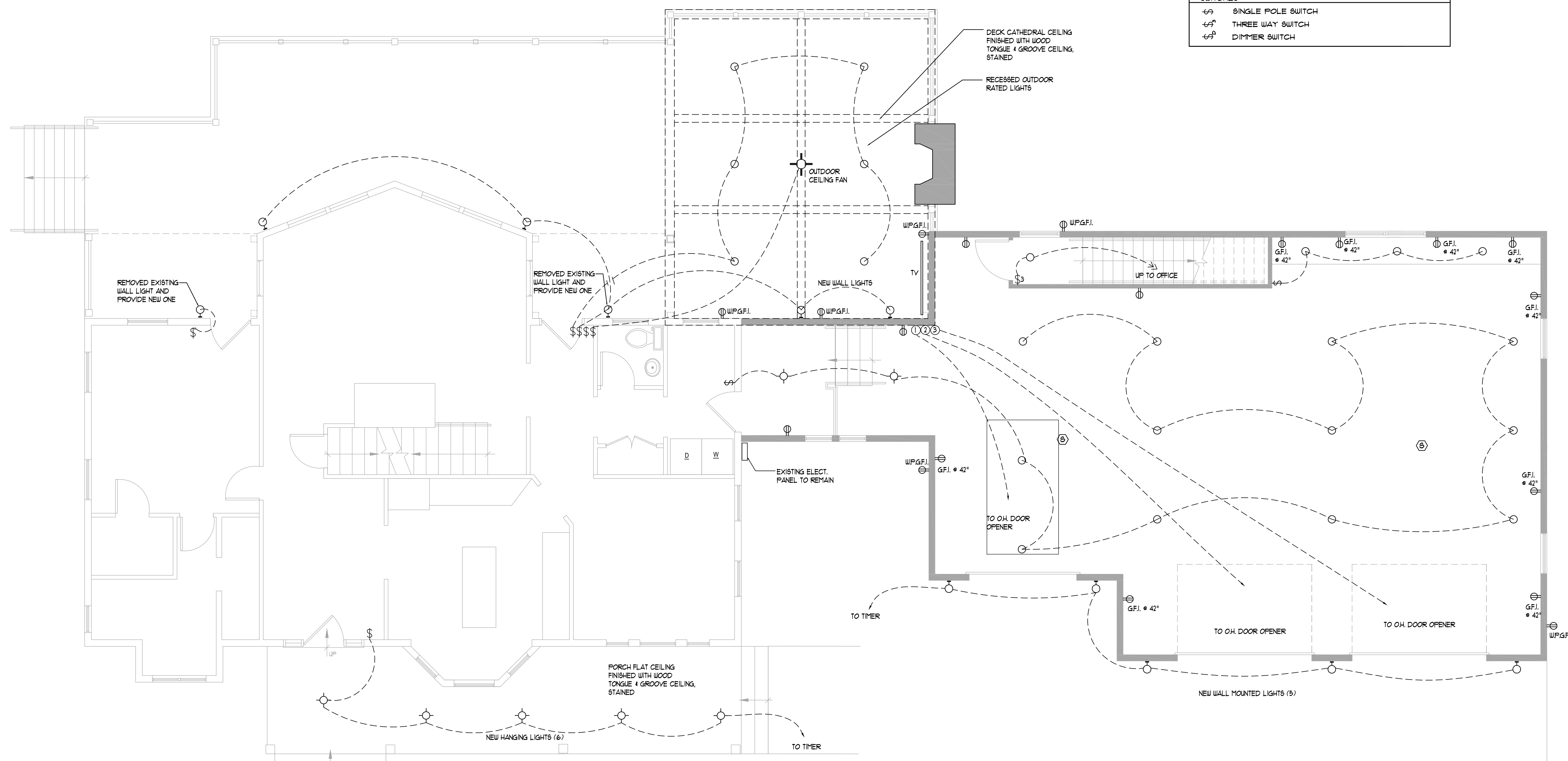
DRAWING NO.
S-2

ELECTRICAL NOTES

- ALL ELECTRICAL WORK TO BE INSTALLED AND/OR REMOVED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL ELECTRICAL CODE AND ANY OTHER GOVERNING PARTIES HAVING JURISDICTION.
- ALL ELECTRICAL MATERIALS AND EQUIPMENT FOR THE PROJECT SHALL BE NEW AND U.L. OR EQUALLY APPROVED.
- PROCURE ALL NECESSARY PERMITS, INSPECTIONS, AND LICENCES AND PAY ALL REQUIRED FEES.
- SUBMIT TO THE OWNER CERTIFICATES OF INSPECTION IN DUPLICATE FROM APPROVED INSPECTION AGENCY UPON COMPLETION.
- ON COMPLETION OF THE WORK, THE ENTIRE WIRING SYSTEM SHALL BE ENTIRELY FREE FROM GROUNDS, SHORT CIRCUITS, OPENS, OVERLOADS AND IMPROPER VOLTAGES AND THOROUGH TESTS SHALL BE MADE. FURNISH ALL LABOR, MATERIAL AND INSTRUMENTS.
- PRIOR TO FINAL ACCEPTANCE OF THE WORK, SUBMIT A WRITTEN STATEMENT TO THE OWNER GUARANTEEING ALL EQUIPMENT AND SYSTEMS AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. UPON WRITTEN NOTICE AND AT NO EXPENSE TO THE OWNER, PROMPTLY REPAIR ALL DEFECTIVE MATERIAL.
- PROVIDE NEATLY TYPED SCHEDULES OUTLINING CIRCUIT CONTROL FOR ALL PANEL BOARDS.
- CONTRACT DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC, THEREFORE, THE CONTRACTOR SHALL APPLY FOR DETAILED INFORMATION REGARDING THE LOCATION OF ALL EQUIPMENT BEFORE ROUGH-IN AS THE FINAL LOCATION MAY DIFFER FROM THAT SHOWN ON THE DRAWINGS. OUTLETS, ETC., IMPROPERLY PLACED BECAUSE OF FAILURE TO OBTAIN THIS INFORMATION LOCATED AND REINSTALLED WITHOUT ADDITIONAL EXPENSE.
- WIRE ALL FIXTURES, DEVICES, ETC., TO RESPECTIVE PANELS AND CONTROLS AS SHOWN ON THE PLANS IN SYMBOL FORM. BRANCH CIRCUIT WIRING IS NOT COMPLETELY SHOWN ON DRAWINGS. CONTRACTOR IS RESPONSIBLE TO WIRE ALL DEVICES AS CIRCUITED SYMBOLICALLY.
- WIRE AND CABLE SHALL BE COPPER, 600 VOLT INSULATION, TYPE THW, THHN OR THWN. WIRE SIZE #10 AND SMALLER SHALL BE SOLID, #8 AND LARGER SHALL BE STRANDED. MINIMUM WIRE SIZE FOR LIGHTING AND POWER CIRCUITS SHALL BE #12 AWG. ON LIGHTING AND RECEPTACLE CIRCUITS LENGTH OF UP TO 100 FEET THE MINIMUM WIRE SIZE #12 MAY BE INSTALLED. ON CIRCUIT LENGTHS 100 TO 200 FEET, #10 AWG. SHALL BE INSTALLED TO THE CENTER CIRCUIT LOAD, AND #12 TO THE OTHER OUTLETS IN THE CIRCUIT.
- VERIFY ALL DOOR SWINGS PRIOR TO SWITCH ROUGH-IN.
- VERIFY ALL CEILING CONSTRUCTION BEFORE ORDERING FIXTURES AND PROVIDE FIXTURES COMPATIBLE TO CEILING CONSTRUCTION.
- ELECTRICAL CONTRACTOR TO SECURE SHOP DRAWINGS FROM OTHER SUB-CONTRACTORS AND VERIFY EXACT ELECTRICAL CHARACTERISTICS OF EQUIPMENT TO BE WIRED PRIOR TO ELECTRICAL ROUGH-IN. DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- PROVIDE ALL WIRING, CONNECTIONS AND DEVICES, ETC., NECESSARY TO COMPLY WITH THE GROUNDING REQUIREMENTS OF THE INTERNATIONAL ELECTRICAL CODE AND AS SHOWN ON THE DRAWINGS EXCEPT WHERE SPECIFICALLY INDICATED OTHERWISE. ALL EXPOSED NON-CURRENT CARRYING METALLIC PARTS OF THE ELECTRICAL EQUIPMENT, RACEWAY SYSTEMS, GROUNDING CONDUCTORS OF NON-METALLIC COVERED CABLE AND NEUTRAL CONDUCTOR OF THE WIRING SYSTEM SHALL BE GROUNDED.
- CONTRACTOR MAY USE ARMORED CABLE TYPE "AC", METAL CLAD CABLE TYPE "MC", AND NONMETALLIC SHEATHED CABLE "NC." WHERE ALLOWED BY CODE.

ELECTRICAL LEGEND

LIGHT FIXTURES	
	CEILING MOUNTED FIXTURE
	WALL MOUNTED FIXTURE
	FIXT. RECESSED IN CEILING OR SOFFIT
	CEILING FAN
	- EXHAUST FAN 50 CFM
	FAN, LIGHT COMBINATION - EXHAUST FAN 50 CFM
CONVENIENCE OUTLETS	
	110V. DUPLEX OUTLET : 18" ABOVE FLOOR-TYPICAL
	220V. OUTLET
	110V. QUAD. OUTLET : 18" ABOVE FLOOR-TYPICAL
	110V. DUPLEX OUTLET : 1 PLUG WIRED TO SWITCH
	DISTANCE ABOVE FLOOR : OTHER THAN 18"
	GROUND FAULT INTERRUPT OUTLET - PER IRC E3902
	WEATHER PROTECTED OUTLET
GENERAL	
	CABLE TV OUTLET
	SMOKE DETECTOR - SMOKE DETECTORS TO BE HARD WIRED AND INTERCONNECTED WITH BATTERY BACK-UP. SMOKE DETECTORS TO BE WITHIN 4' OF RETURN AIR GRILLES
	COMBINATION SMOKE / CARBON MONOXIDE DETECTOR
SWITCHES	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH



1 FIRST FLOOR ELECTRICAL PLAN
E-1 1/4"=1'-0"

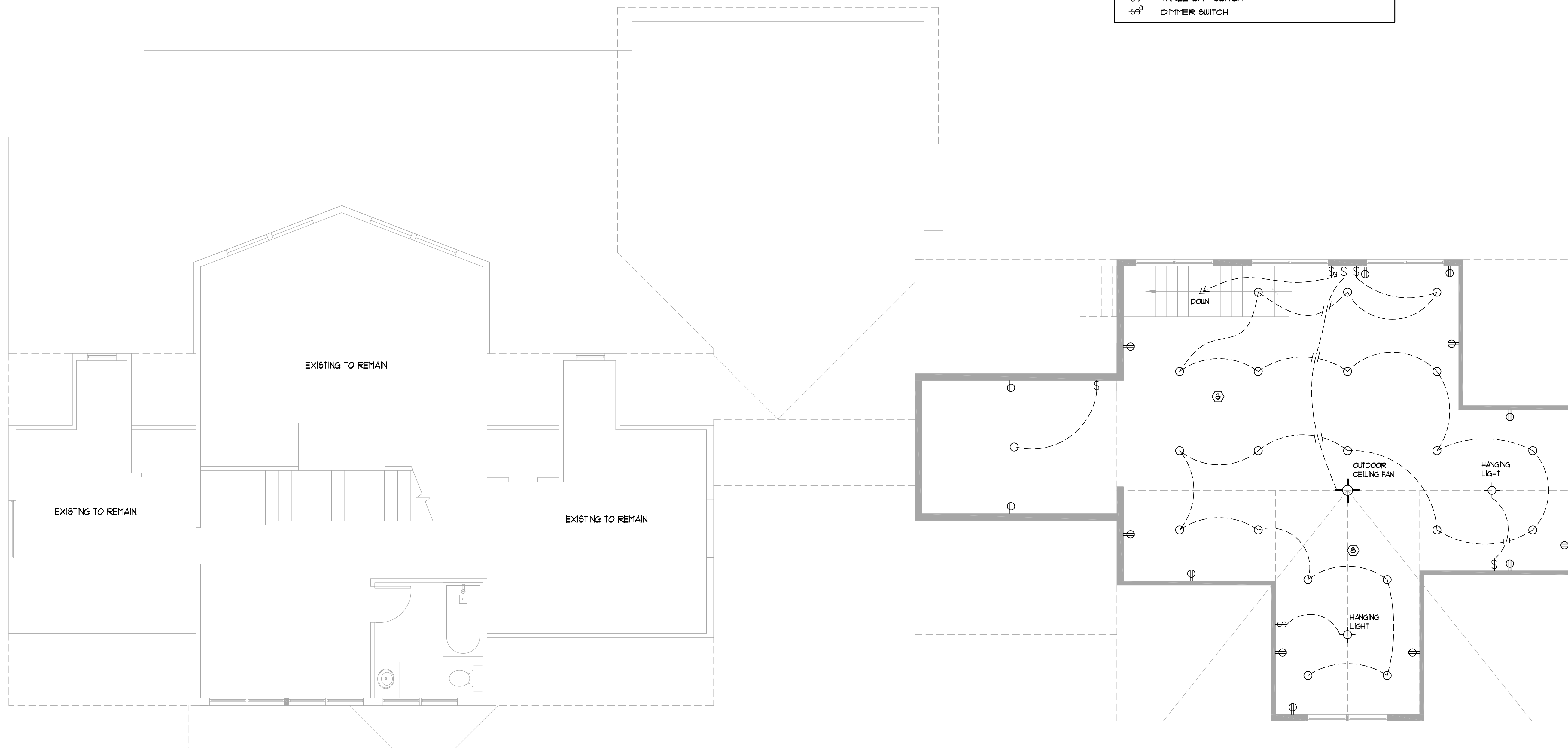
MARCH 11, 2023
 RENOVATIONS FOR LANDES RESIDENCE
 1199 BRADLEY ROAD
 FUQUAY VARINA, NC 27526
 DRAWING TITLE: FIRST FLOOR ELECTRICAL PLAN, LEGEND AND NOTES
 Drawn: NEC
 Scale: AS NOTED
 Comm. No: 2318
 CONSTRUCTION DOCS 7-14-2023
 DRAWING NO. E-1

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	COMBINATION SMOKE / CARBON MONOXIDE DETECTOR
SWITCHES	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH



1 SECOND FLOOR ELECTRICAL PLAN
E-2 1/4"=1'-0"

M A R C H I T E C T S
 M A R N I N G H U G H E S

RENOVATIONS FOR
LANDES RESIDENCE
 1199 BRADLEY ROAD
 FUGUAY VARINA, NC 27526

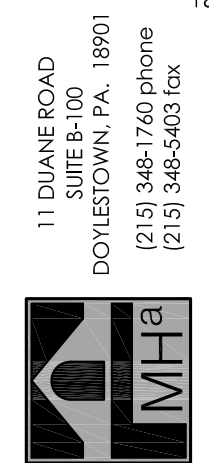
DRAWING TITLE:
 SECOND FLOOR ELECTRICAL
 PLAN, LEGEND AND
 NOTES

Drawn: **NEC**
 Scale: **A6 NOTED**
 Comm. No: **2318**

REV. NO.	DESCRIPTION	DATE

CONSTRUCTION DOCS 7-14-2023

DRAWING NO.
E-2



SIGNED