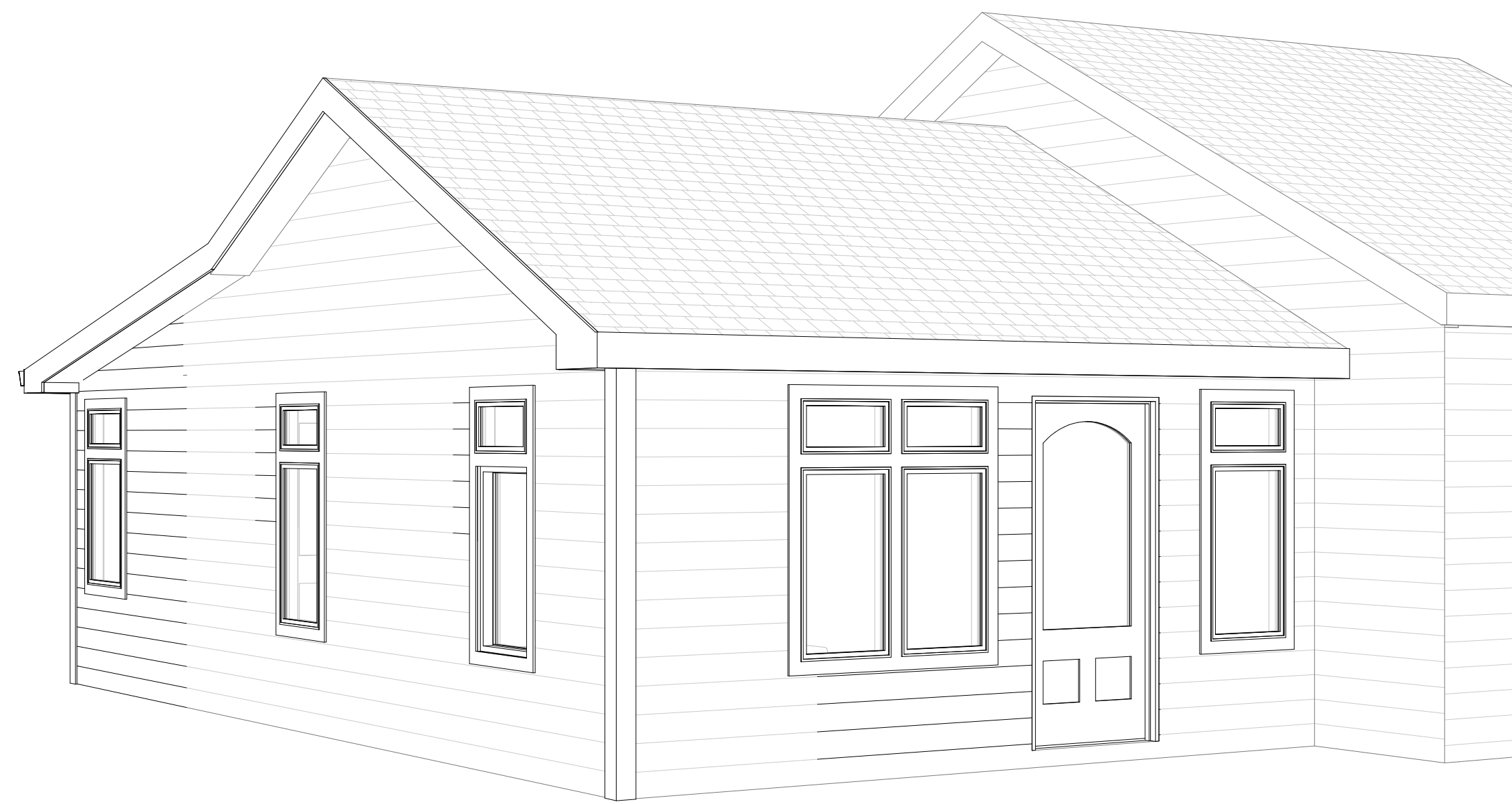


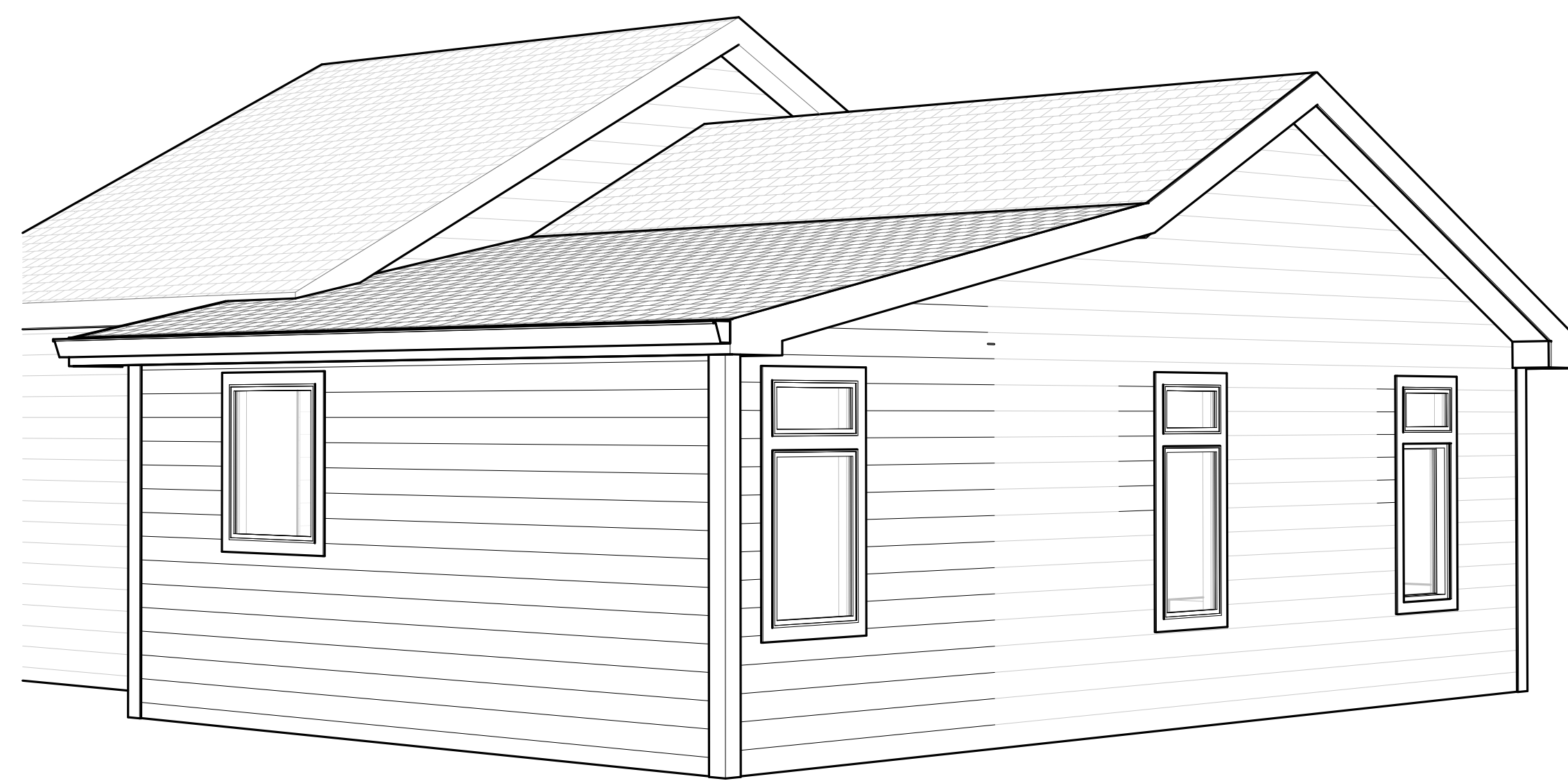
HOUSE ADDITION FOR WILSON RESIDENCE

3008 RAWLS CHURCH ROAD
FUQUAY-YARINA 27526



FRONT PERSPECTIVE

1
CI Scale:



REAR PERSPECTIVE

2
CI Scale:

AREA TABULATION

NEW ADDITION	
HEATED -	96 SQUARE FEET
UNHEATED -	N/A SQUARE FEET
EXISTING ADDITION	
HEATED -	335 SQUARE FEET
UNHEATED -	N/A SQUARE FEET
NEW TOTAL ADDITION	
HEATED -	431 SQUARE FEET
UNHEATED -	N/A SQUARE FEET
* AREA IS MEASURED TO INSIDE OF STUDS.	

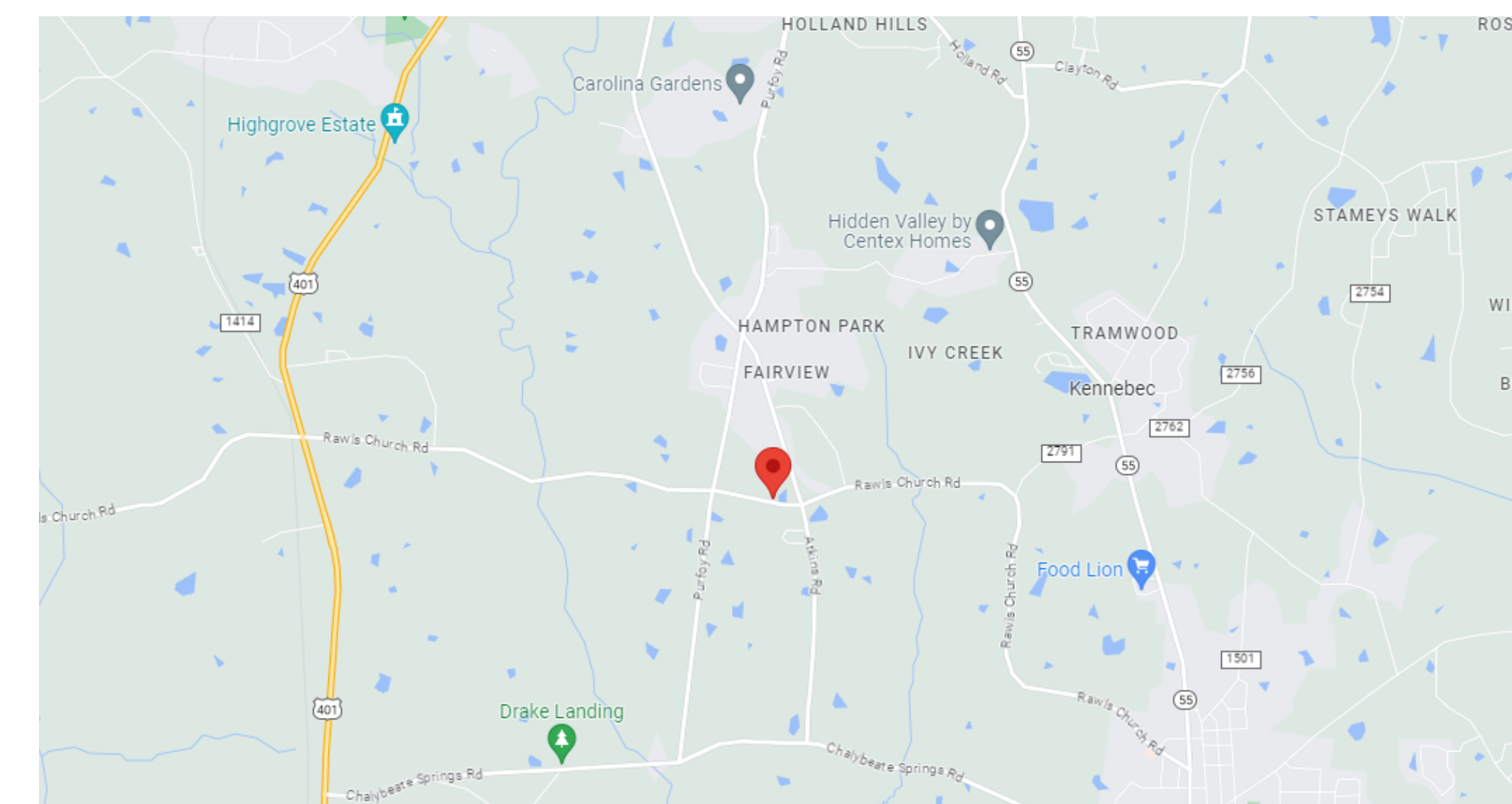
INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	ISSUE DATE REVISION
C1	COVER SHEET	07-11-23
A1	ASBUILT PLAN / DEMO PLAN / PLOT PLAN	07-11-23
A2	FLOOR PLAN / ROOF PLAN / EXTERIOR ELEVATIONS	07-11-23

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2018 NC IRC CODE.
- THE DOCUMENTS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS, OR FROM DRAWINGS, OR INFORMATION FURNISHED BY THE OWNER. CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED PRIOR TO CONSTRUCTION.
- THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQ'D BY GC.
- ALL INTERIOR DIMENSIONS ARE FROM WALL STUD TO WALL STUD & TO CENTERLINE OF OPENING, UNO. ALL DIMENSIONS REFERENCED HEREIN ARE IMPERIAL STANDARD, U.N.O.
- ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING, FACE OF CONCRETE, FACE OF CMU, OR TO CENTERLINE OF OPENING, U.N.O.
- EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINE.
- WALL ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.
- FOOTINGS, FOUNDATION WALLS, SUPPORT COLUMNS AND/OR PIERS ARE TO BE CONSTRUCTED TO LOCAL CODE AND SOIL REQUIREMENTS. CONTRACTOR TO PROVIDE STRUCTURAL AND SOIL INFORMATION IF REQUIRED BY LOCAL CODES. CONTRACTOR TO VERIFY EXISTING FOUNDATION CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOADS PRIOR TO CONSTRUCTION.
- PENETRATIONS THROUGH THE FOUNDATION OR PERIMETER FLOOR FRAMING OF THE BUILDING, FOR INSTALLATIONS OF PIPES, VENTS, ETC. SHALL BE IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
- ALL POSTS AND EXTERIOR FRAMING TO BE MINIMUM #2 GRADE, PRESSURE TREATED WOOD.
- EXTERIOR WALLS TO BE BRACED PER TABLE R602.10.1 OF THE NC IRC BUILDING CODE.
- ALL NOMINAL LUMBER TO BE #2 SOUTHERN YELLOW PINE AND ALL LUMBER IN CONTACT WITH GRADE, EXPOSED, OR CONCRETE SLAB TO BE PRESSURE TREATED.
- PROVIDE SUPPLEMENTAL FRAMING, METAL BLOCKING / STRAPPING AND BRACING AS REQ'D FOR SUPPORT OF FIXTURES, EQUIPMENT, TOILET ACCESSORIES, FURNISHINGS, FURNITURE / EQUIPMENT, AND SIMILAR CONSTRUCTION.

VICINITY MAP



OWNER:
JOHN WILSON

WILSON ADDITION
3008 Rawls Church Rd.
Fuquay-Yarina 27526

CAROLINA EAST DESIGNS

1602 TOMMY'S ROAD
GOLDSBORO, NC 27534
Phone: (919)-288-9012
Email: Cedesigns00@gmail.com



DESCRIPTION

DATE

REV

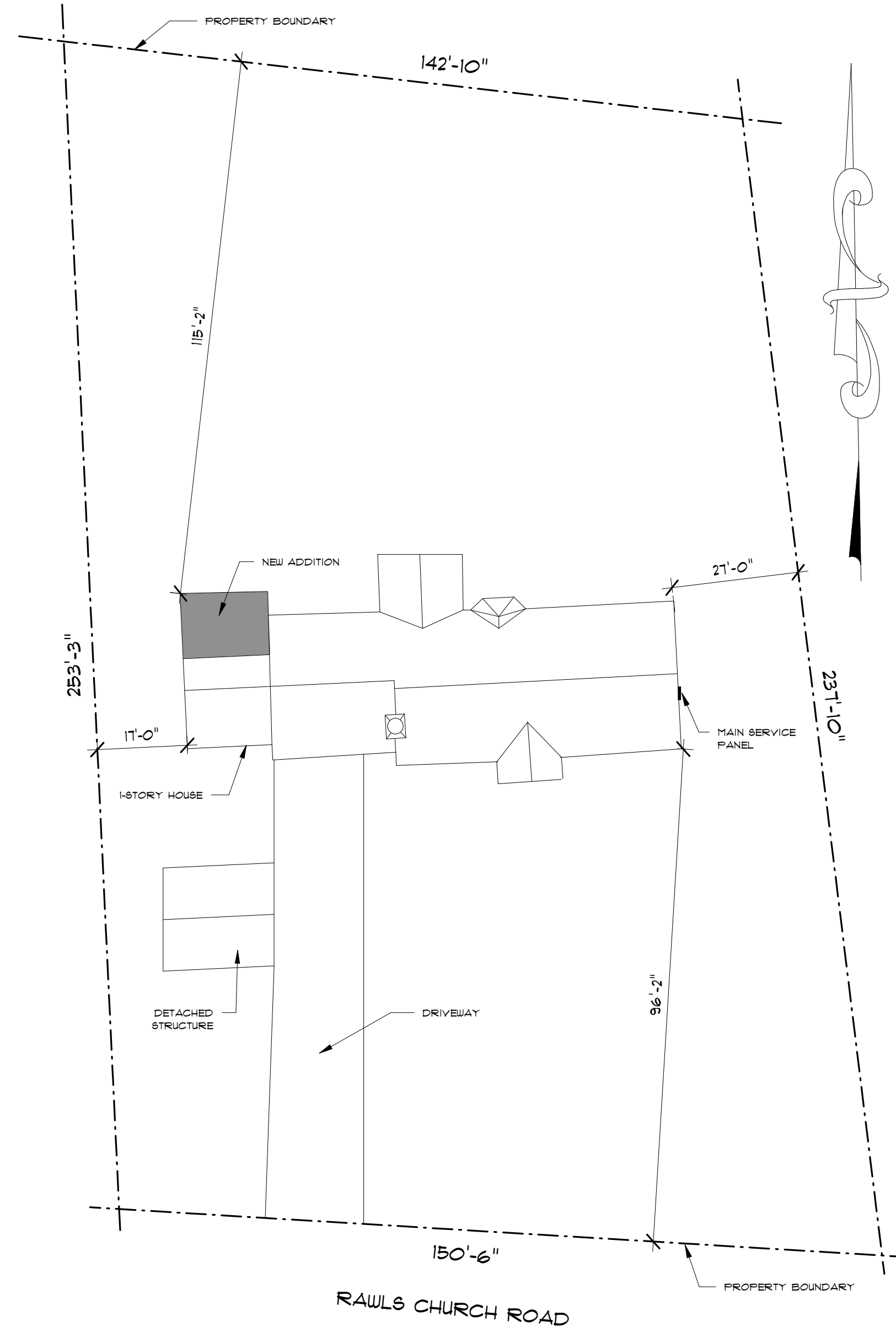
COVER SHEET

Title Sheet

R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 07-11-23
Scale: AS NOTED
Project Number: 230101
Sheet:

C1



3
A1
PLOT PLAN
Scale: 1" = 20'-0"

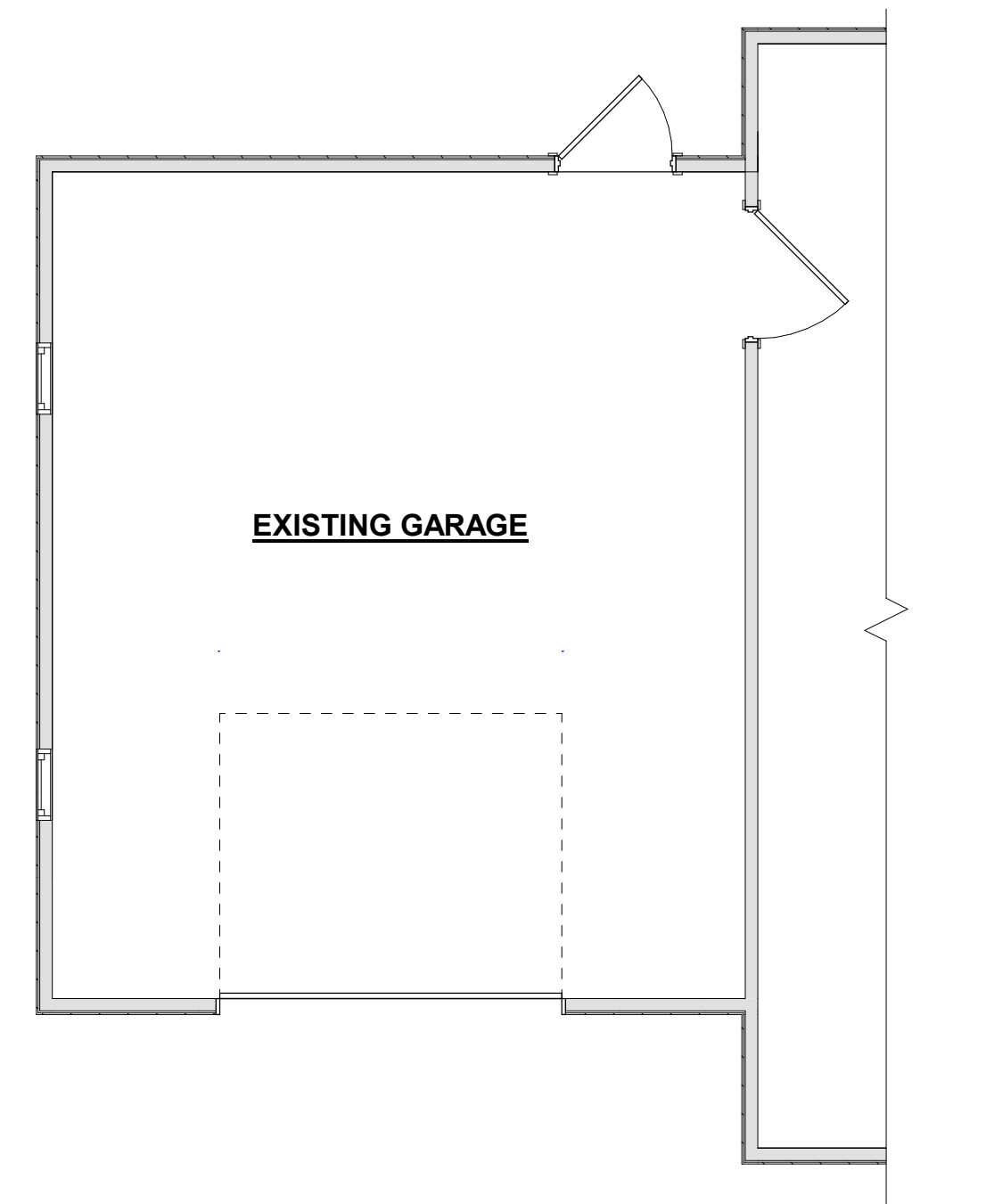
DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	ITEM TO BE DEMOLISHED
	ITEM TO BE DEMOLISHED

DEMOLITION NOTES:

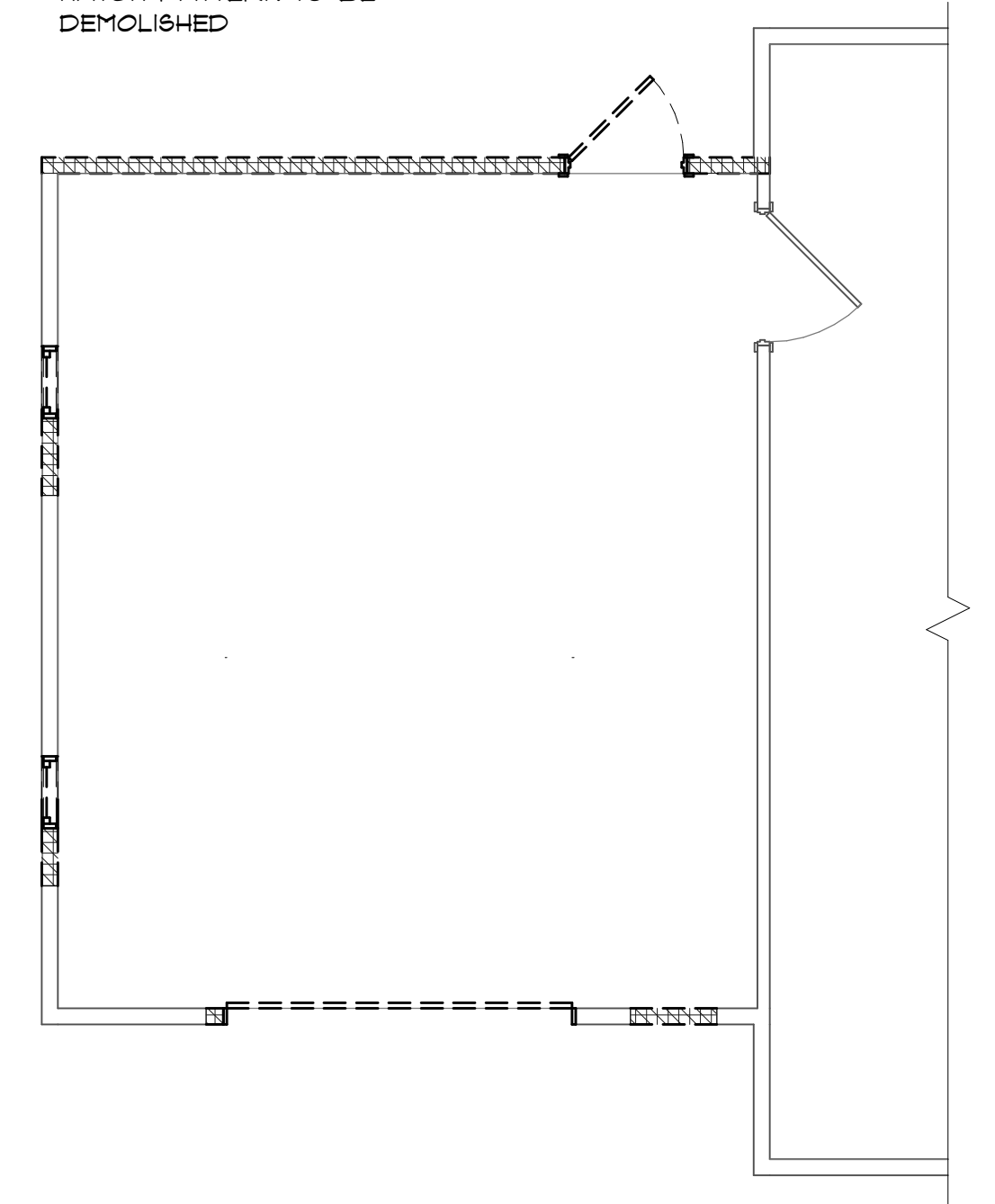
1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL CHECK, AND IDENTIFY ALL EXISTING WATER, SANITARY AND ELECTRIC LINES WHICH ARE TO REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION OF WORK.
2. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PENETRATING EXISTING WALLS OR FLOOR/CEILING SLABS SO STRUCTURAL INTEGRITY OF SUCH ELEMENTS IS NOT DEGRADED. CONTRACTOR SHALL RESTORE EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY SCOPE OF WORK.
3. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/OR UTILITIES, AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW SCHEDULED FINISHES. DEMOLISH AND REMOVE EXISTING CONDITIONS AS SHOWN BY DASHED LINES/ OR AS NOTED, U.N.O. REFER TO DEMOLITION LEGEND.
4. CONTRACTOR SHALL CHECK AND VERIFY ALL NOTES AND DIMENSIONS BEFORE PROCEEDING WITH WORK.
5. CONTRACTOR TO BUILD EXISTING WALL UP TO EXISTING TOP PLATE HEIGHT. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. CONTRACTOR TO STRIP EXISTING EXTERIOR SIDING OF EXISTING WALL AND PREP FOR NEW EXTERIOR SIDING.
6. ONLY ITEMS DEMOLISHED IN NON-SHADED AREA ARE ITEMS THAT ARE NOTED TO BE DEMOLISHED OR SHOW A DEMOLITION SYMBOL. EVERYTHING ELSE IN NON-SHADED AREA SHALL REMAIN.

NOTE: OPTION TO INSTALL NEW 32" X 54" WINDOWS



2
A1
EXISTING PLAN
Scale: 1/4" = 1'-0"

NOTE: ALL ITEMS SHOWN AS DASHED LINES OR HATCH PATTERN TO BE DEMOLISHED



1
A1
DEMOLITION PLAN
Scale: 1/4" = 1'-0"

OWNER:
JOHN WILSON
WILSON ADDITION
3008 Rawls Church Rd.
Fuquay-Varian 27526

CAROLINA EAST DESIGNS
1602 TOMMY'S ROAD
GOLDSBORO, NC 27534
Phone: (919) 288-9012
Email: Cedesigns00@gmail.com



REV	DATE	DESCRIPTION

Title Sheet:
ASBUILT PLAN / DEMO PLAN / PLOT PLAN

Project:
R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 07-11-23
Scale: AS NOTED
Project Number: 230101

Sheet:
A1

ROOF PLAN NOTES

1. ROOF DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF WALL TO EXTERIOR EDGE OF RAFTER / TRUSS.
2. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUC., MECH, AND PLUMBING DUGS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND /OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATERTIGHT, WATERPROOF INSTALLATION.
4. ROOF DRAINAGE IS CALCULATED FOR A 100-YEAR, 1-HR. RAINFALL AS REQUIRED BY THE NCIBC PLUMBING CODE FOR PRIMARY ROOF DRAINS (FIGURE 1106.1(8)). CONDUCTORS, DOWNSPOUTS, & SCUPPERS TO BE LOCATED BY CONTRACTOR IN FIELD.

ATTIC VENTILATION

R806.2 MINIMUM VENT AREA

TOTAL NET FREE VENTILATING AREA RATIO = 1/150.

TOTAL ATTIC AREA (SF) = 2341 (SF)

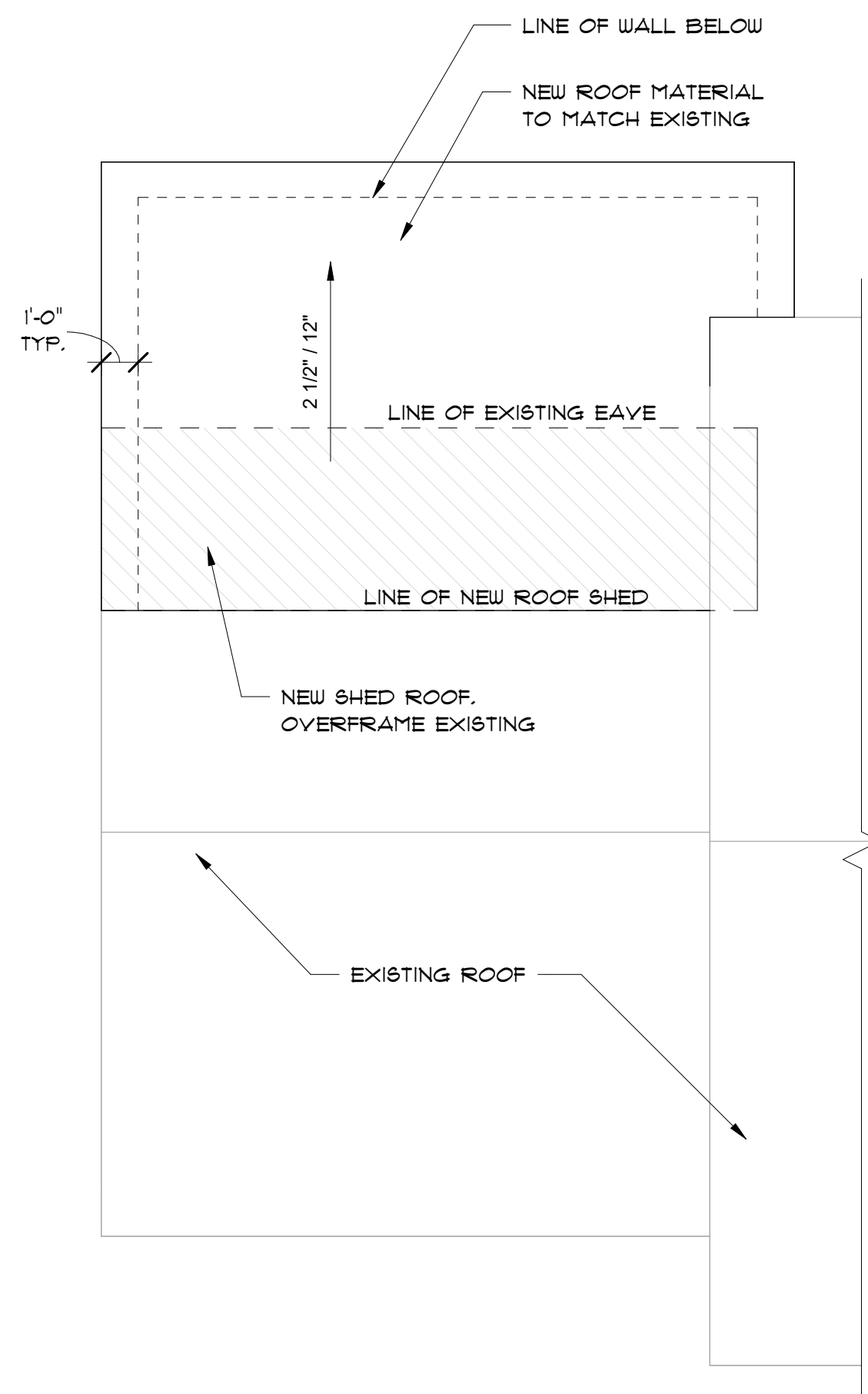
203 (SF) / 150 = 1.3 (SF) OF TOTAL NET FREE AREA

1.3 (SF) / 2 = .61 (SF) OF INTAKE NET FREE AREA & .61 (SF) OF EXHAUST NET FREE AREA

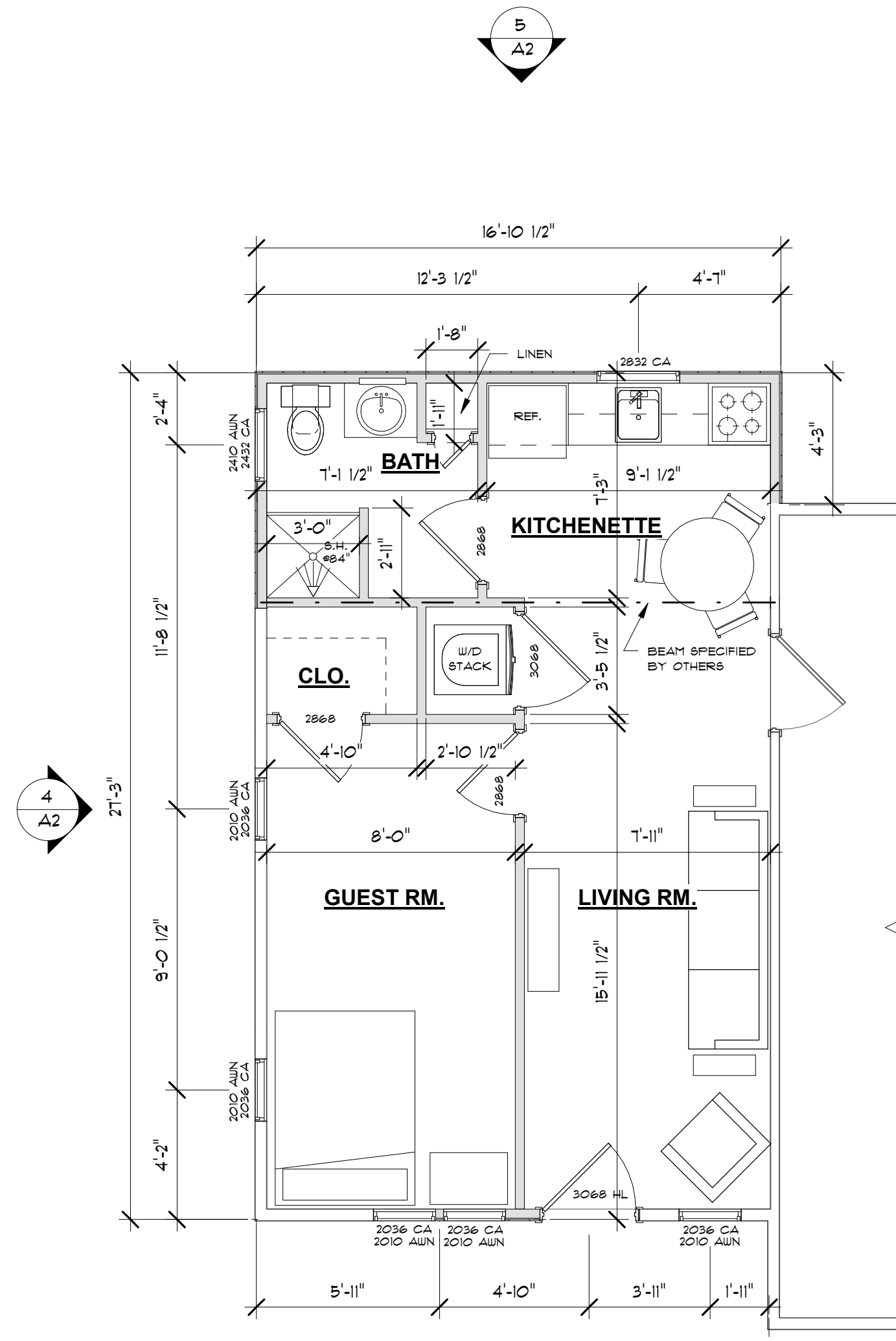
.61 (SF) X 144 = 96 (SQ. IN.) OF INTAKE NET FREE AREA & 96 (SQ. IN.) OF EXHAUST NET FREE AREA.

MINIMUM EAVE VENT PER UNIT = (2) PIECES OF 12" X 12" PERFORATED EAVE VENT.

MINIMUM EAVE VENT PER UNIT = (2) PIECES OF 6" X 12" PERFORATED EAVE VENT.



3
ROOF PLAN
Scale: 1/4" = 1'-0"



1
FLOOR PLAN
Scale: 1/4" = 1'-0"

NOTE: CONTRACTOR TO FIELD VERIFY EXISTING BEARING HT. BEFORE CONSTRUCTION BEGINS



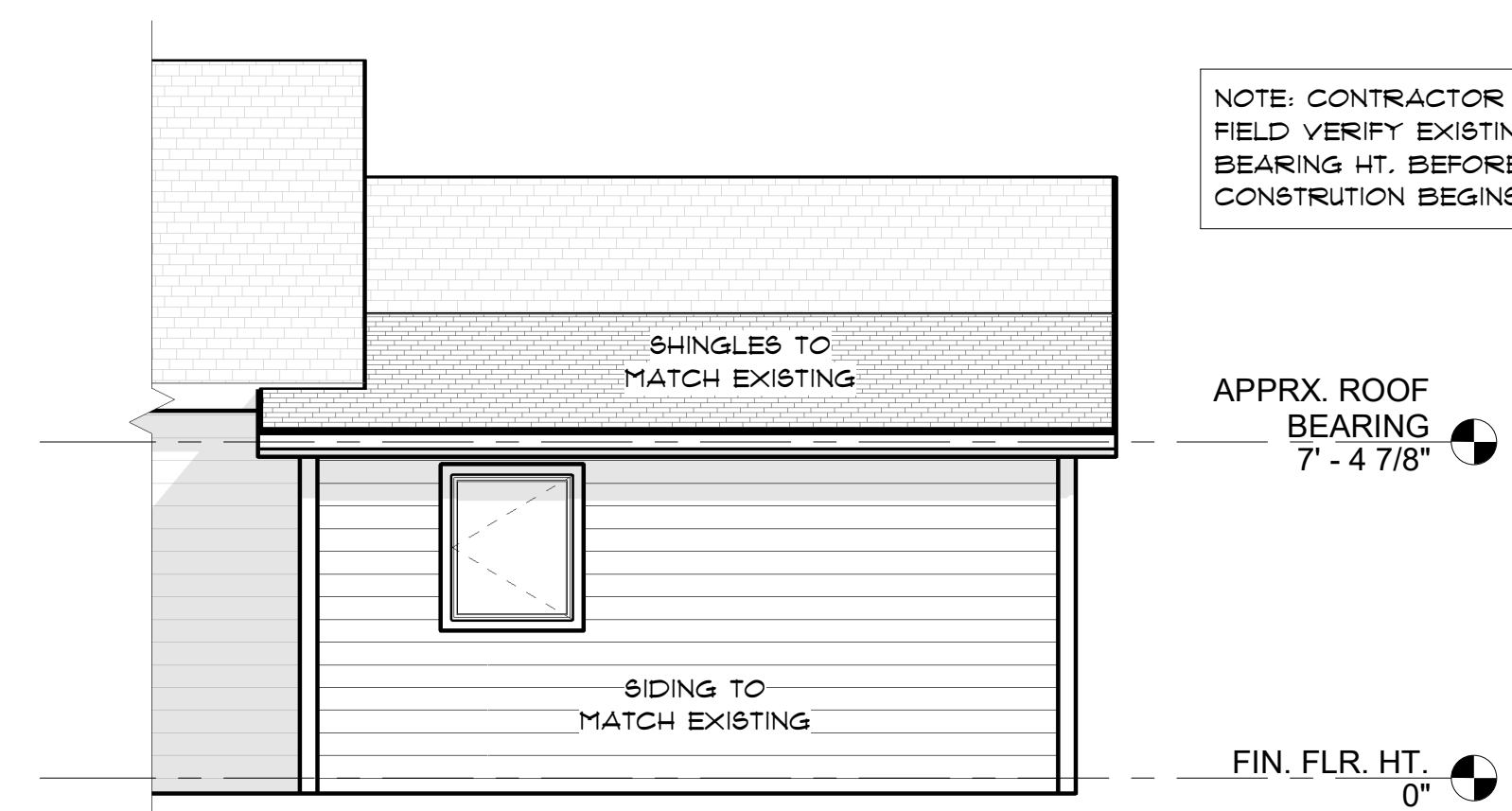
4
RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL INTERIOR DIMENSIONS ARE FROM WALL STUD TO WALL STUD & TO CENTERLINE OF OPENING, U.N.O. ALL DIMENSIONS REFERENCED HEREIN ARE IMPERIAL STANDARD, U.N.O.
2. ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING, FACE OF CONCRETE, FACE OF CMU., OR TO CENTERLINE OF OPENING, U.N.O.
3. EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINE.
4. WALL ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.
5. DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
6. ALL INTERIOR WALLS AT BATHROOMS ARE TO BE INSULATED WITH SOUND BATT INSULATION.
7. MIN. R-13 BATT INSULATION TO BE PROVIDED TO ALL EXTERIOR WALLS U.N.O.
8. PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT ALL WET WALLS INCLUDING, BUT NOT LIMITED TO WALLS AT BATHROOMS AND KITCHEN.
9. PROVIDE SUPPLEMENTAL FRAMING, METAL BLOCKING / STRAPPING AND BRACING AS REQ'D FOR SUPPORT OF FIXTURES, EQUIPMENT, TOILET ACCESSORIES, FURNISHINGS, FURNITURE / EQUIPMENT, AND SIMILAR CONSTRUCTION.
10. ALL DOORS TO BE POSITIONED WITH MIN. 2" GAP BETWEEN DOOR FRAME AND ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
11. ALL WALLS AT TUB & SHOWER TO RECEIVE WALL TILE.



2
FRONT ELEVATION
Scale: 1/4" = 1'-0"



5
REAR ELEVATION
Scale: 1/4" = 1'-0"

OWNER:
JOHN WILSON
WILSON ADDITION
3008 Rawls Church Rd.
Fuquay-Varian, 27526

CAROLINA EAST DESIGNS
1602 TOMMY'S ROAD
GOLDSBORO, NC 27534
Phone: (919)-288-9012
Email: Cedesigns00@gmail.com



REV	DATE	DESCRIPTION

FLOOR PLAN / ROOF PLAN / EXTERIOR ELEVATIONS
Project:
R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 07-11-23
Scale: AS NOTED
Project Number: 230101
Sheet:

A2