

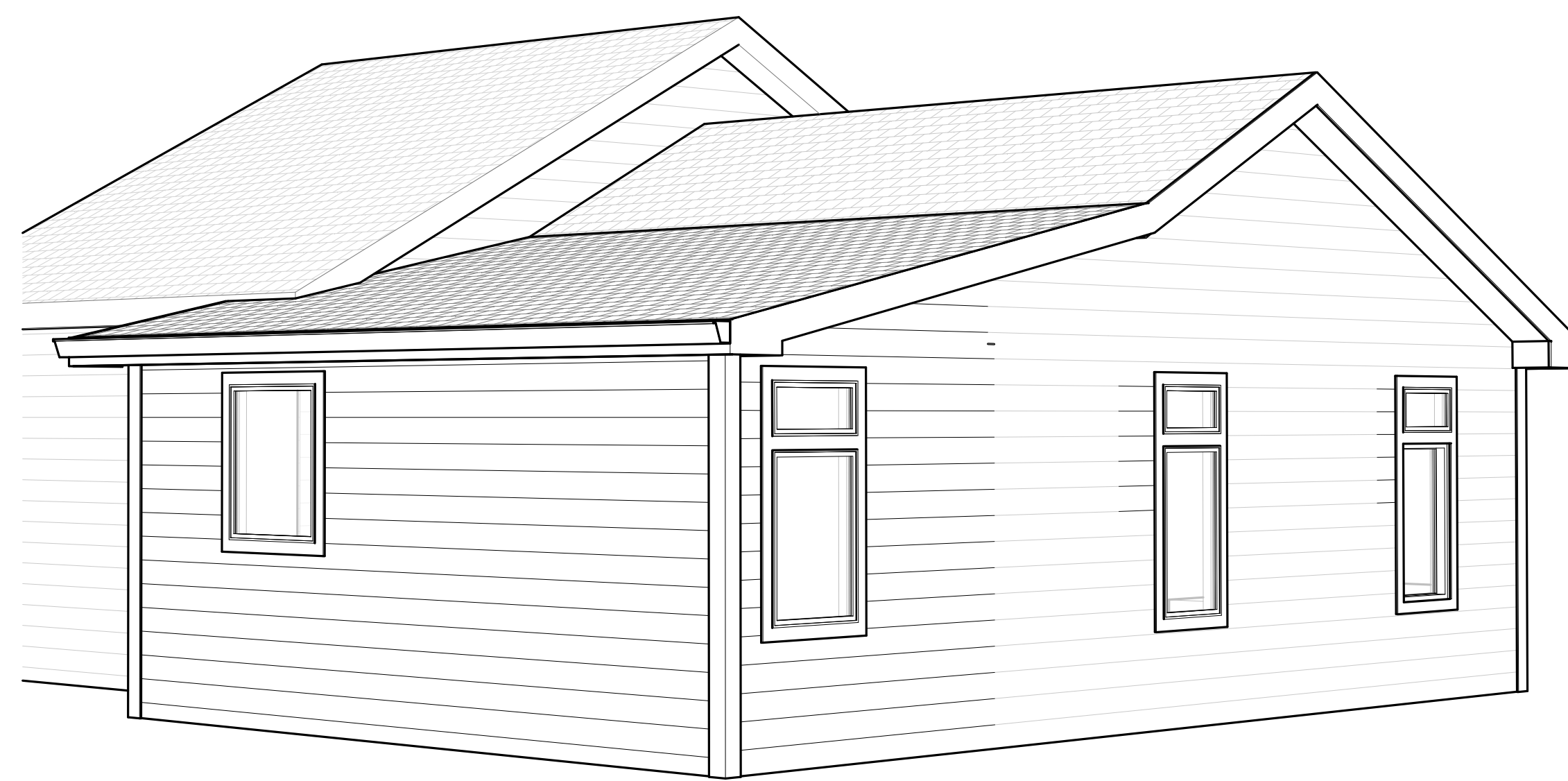
HOUSE ADDITION FOR WILSON RESIDENCE

3008 RAWLS CHURCH ROAD
FUQUAY-YARINA 27526



FRONT PERSPECTIVE

1
CI
Scale:



REAR PERSPECTIVE

2
CI
Scale:

AREA TABULATION

NEW ADDITION	
HEATED -	96 SQUARE FEET
UNHEATED -	N/A SQUARE FEET
EXISTING ADDITION	
HEATED -	335 SQUARE FEET
UNHEATED -	N/A SQUARE FEET
NEW TOTAL ADDITION	
HEATED -	431 SQUARE FEET
UNHEATED -	N/A SQUARE FEET
* AREA IS MEASURED TO INSIDE OF STUDS.	

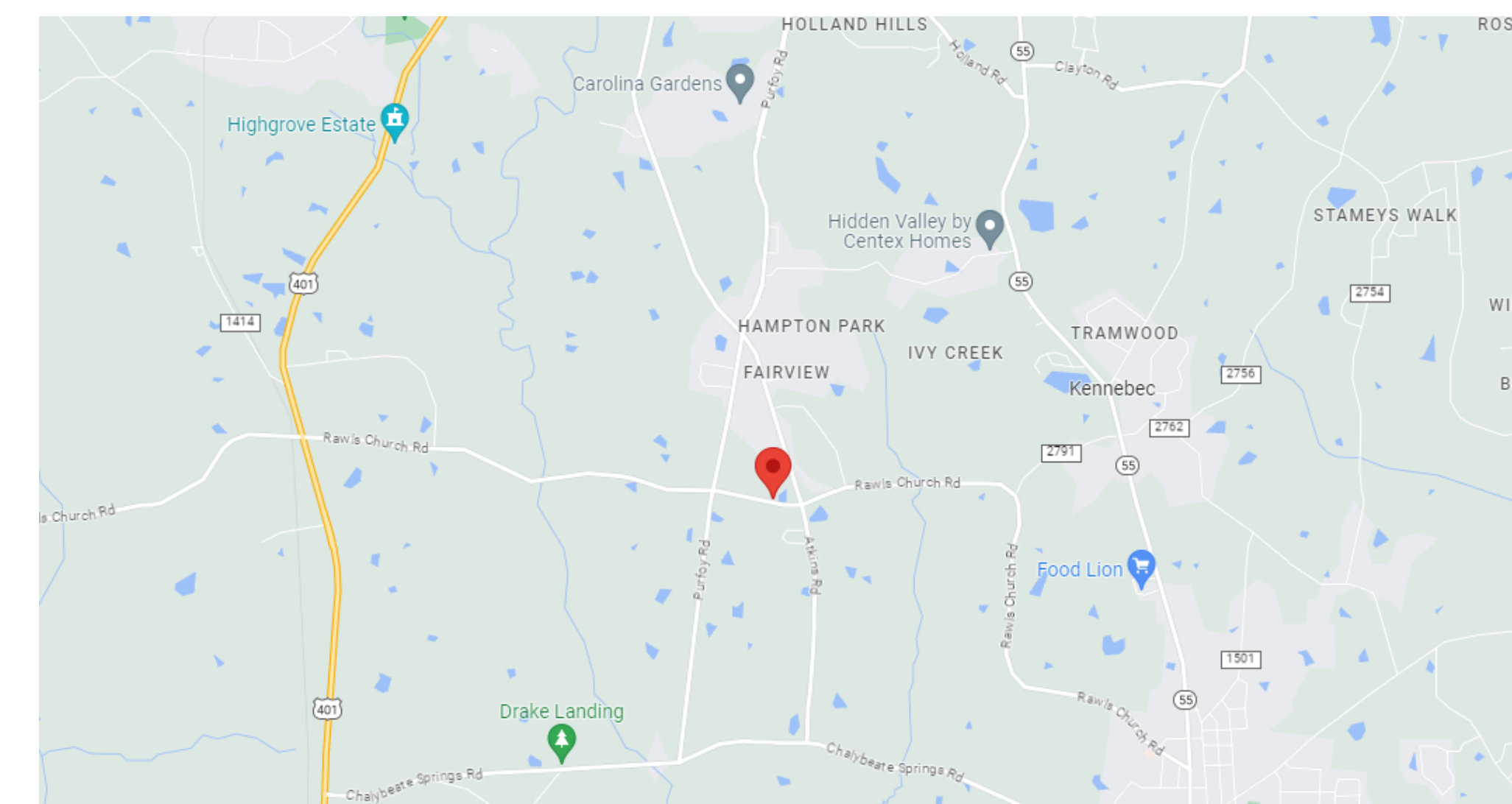
INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	ISSUE DATE / REVISION
C1	COVER SHEET	07-27-23
A1	AS-BUILT PLAN / DEMO PLAN / PLOT PLAN	07-27-23
A2	FLOOR PLAN / ROOF PLAN / EXTERIOR ELEVATIONS	07-27-23

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2018 NC IRC CODE.
- THE DOCUMENTS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS, OR FROM DRAWINGS, OR INFORMATION FURNISHED BY THE OWNER. CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED PRIOR TO CONSTRUCTION.
- THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQ'D BY GC.
- ALL INTERIOR DIMENSIONS ARE FROM WALL STUD TO WALL STUD & TO CENTERLINE OF OPENING, UNO. ALL DIMENSIONS REFERENCED HEREIN ARE IMPERIAL STANDARD, U.N.O.
- ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING, FACE OF CONCRETE, FACE OF CMU, OR TO CENTERLINE OF OPENING, U.N.O.
- EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINE.
- WALL ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.
- FOOTINGS, FOUNDATION WALLS, SUPPORT COLUMNS AND/OR PIERS ARE TO BE CONSTRUCTED TO LOCAL CODE AND SOIL REQUIREMENTS. CONTRACTOR TO PROVIDE STRUCTURAL AND SOIL INFORMATION IF REQUIRED BY LOCAL CODES. CONTRACTOR TO VERIFY EXISTING FOUNDATION CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOADS PRIOR TO CONSTRUCTION.
- PENETRATIONS THROUGH THE FOUNDATION OR PERIMETER FLOOR FRAMING OF THE BUILDING, FOR INSTALLATIONS OF PIPES, VENTS, ETC. SHALL BE IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
- ALL POSTS AND EXTERIOR FRAMING TO BE MINIMUM #2 GRADE, PRESSURE TREATED WOOD.
- EXTERIOR WALLS TO BE BRACED PER TABLE R602.10.1 OF THE NC IRC BUILDING CODE.
- ALL NOMINAL LUMBER TO BE #2 SOUTHERN YELLOW PINE AND ALL LUMBER IN CONTACT WITH GRADE, EXPOSED, OR CONCRETE SLAB TO BE PRESSURE TREATED.
- PROVIDE SUPPLEMENTAL FRAMING, METAL BLOCKING / STRAPPING AND BRACING AS REQ'D FOR SUPPORT OF FIXTURES, EQUIPMENT, TOILET ACCESSORIES, FURNISHINGS, FURNITURE / EQUIPMENT, AND SIMILAR CONSTRUCTION.

VICINITY MAP



OWNER:
JOHN WILSON

WILSON ADDITION
3008 Rawls Church Rd.
Fuquay-Yarina 27526

CAROLINA EAST DESIGNS

1602 TOMMY'S ROAD
GOLDSBORO, NC 27534
Phone: (919)-288-9012
Email: Cedesigns00@gmail.com



DESCRIPTION

DATE

REV

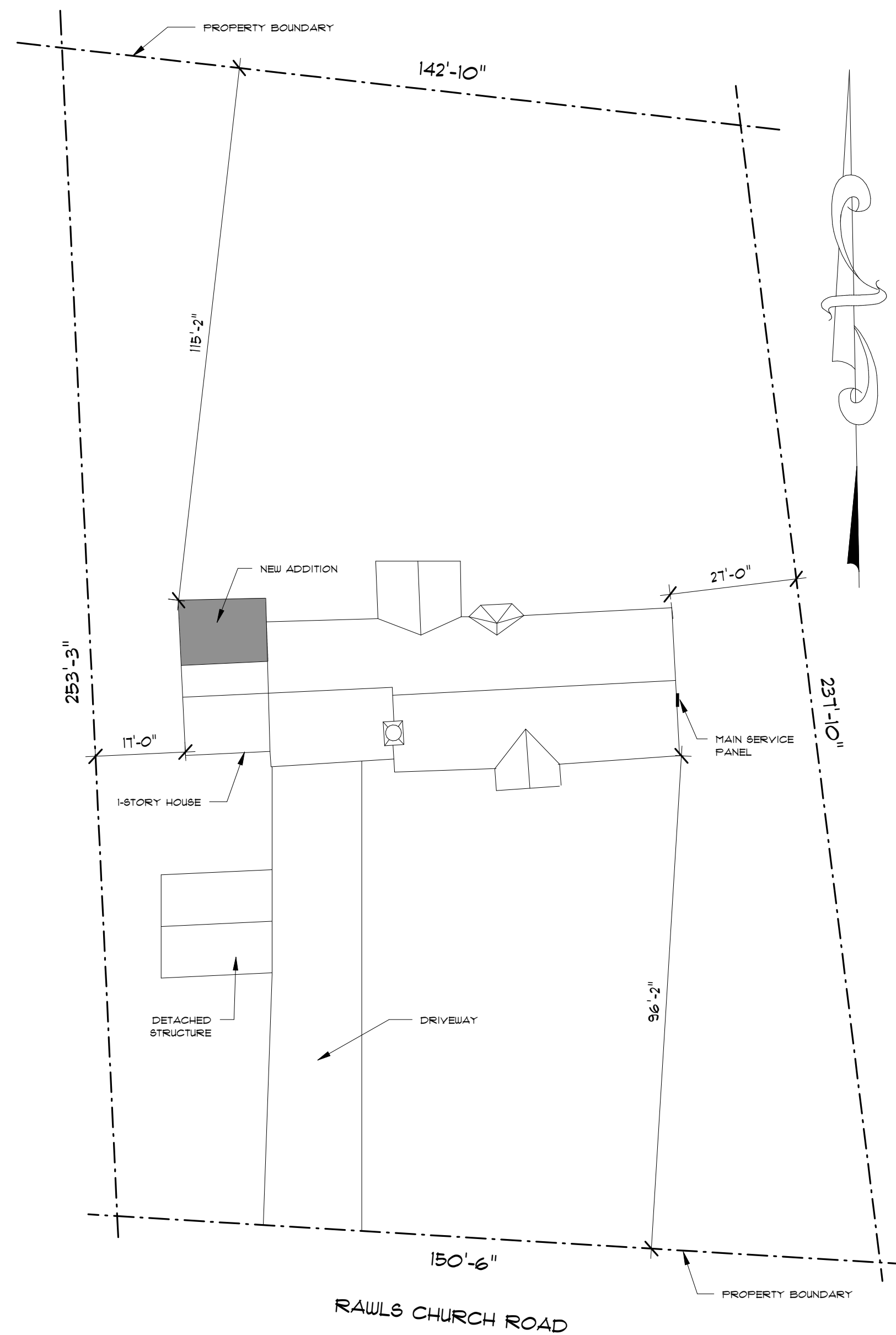
COVER SHEET

Title Sheet

R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

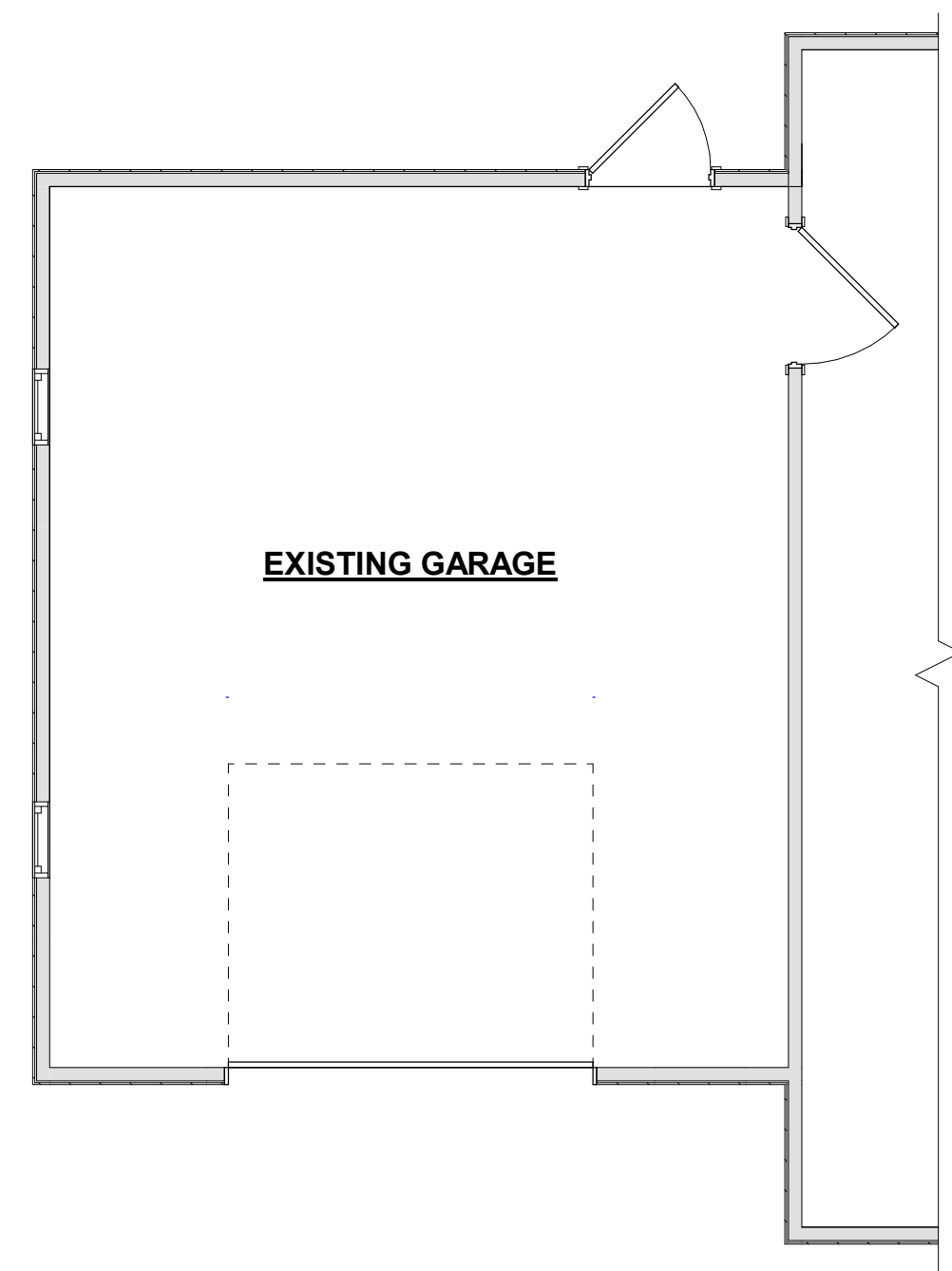
Date: 07-27-23
Scale: AS NOTED
Project Number: 230101
Sheet:

C1



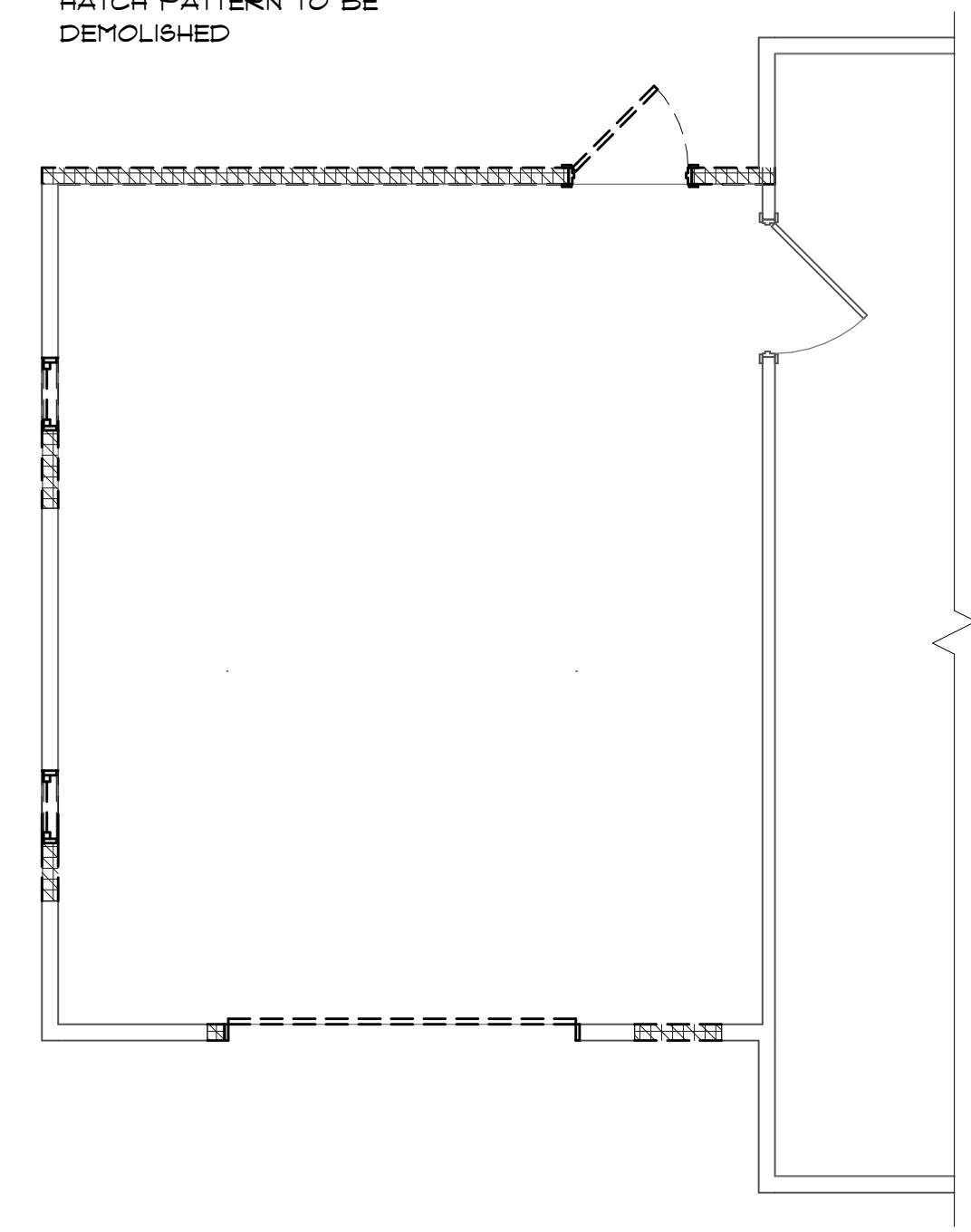
3
AI
PLOT PLAN
Scale: 1" = 20'-0"

NOTE: OPTION TO INSTALL
NEW 32" X 54" WINDOWS



2
AI
EXISTING PLAN
Scale: 1/4" = 1'-0"

NOTE: ALL ITEMS SHOWN
AS DASHED LINES OR
HATCH PATTERN TO BE
DEMOLISHED



1
AI
DEMOLITION PLAN
Scale: 1/4" = 1'-0"

DEMOLITION NOTES:

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL CHECK, AND IDENTIFY ALL EXISTING WATER, SANITARY AND ELECTRIC LINES WHICH ARE TO REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION OF WORK.
2. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PENETRATING EXISTING WALLS OR FLOOR/CEILING SLABS SO STRUCTURAL INTEGRITY OF SUCH ELEMENTS IS NOT DEGRADED. CONTRACTOR SHALL RESTORE EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY SCOPE OF WORK.
3. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/OR UTILITIES, AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR TO RECEIVE NEW SCHEDULED FINISHES. DEMOLISH AND REMOVE EXISTING CONDITIONS AS SHOWN BY DASHED LINES/ OR AS NOTED, U.N.O. REFER TO DEMOLITION LEGEND.
4. CONTRACTOR SHALL CHECK AND VERIFY ALL NOTES AND DIMENSIONS BEFORE PROCEEDING WITH WORK.
5. CONTRACTOR TO BUILD EXISTING WALL UP TO EXISTING TOP PLATE HEIGHT. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. CONTRACTOR TO STRIP EXISTING EXTERIOR SIDING OF EXISTING WALL AND PREP FOR NEW EXTERIOR SIDING.
6. ONLY ITEMS DEMOLISHED IN NON-SHADED AREA ARE ITEMS THAT ARE NOTED TO BE DEMOLISHED OR SHOW A DEMOLITION SYMBOL. EVERYTHING ELSE IN NON-SHADED AREA SHALL REMAIN.

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	ITEM TO BE DEMOLISHED
	ITEM TO BE DEMOLISHED

OWNER:
JOHN WILSON
WILSON ADDITION
3008 Rawls Church Rd.
Fuquay-Varian 27526

CAROLINA EAST DESIGNS
1602 TOMMY'S ROAD
GOLDSBORO, NC 27534
Phone: (919)-288-9012
Email: Cedesigns00@gmail.com



REV	DATE	DESCRIPTION

Title Sheet:
ASBUILT PLAN / DEMO PLAN / PLOT PLAN
Project:
R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 07-27-23
Scale: AS NOTED
Project Number: 230101
Sheet:

A1

ROOF PLAN NOTES

1. ROOF DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF WALL TO EXTERIOR EDGE OF RAFTER / TRUSS.
2. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUC., MECH. AND PLUMBING DWGS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND /OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATERTIGHT, WATERPROOF INSTALLATION.
4. ROOF DRAINAGE IS CALCULATED FOR A 100-YEAR, 1-HR. RAINFALL AS REQUIRED BY THE NCIBC PLUMBING CODE FOR PRIMARY ROOF DRAINS (FIGURE 1106.1(a)).
5. CONDUCTORS, DOWNSPOUTS, & SCUPPERS TO BE LOCATED BY CONTRACTOR IN FIELD.

ATTIC VENTILATION

R806.2 MINIMUM VENT AREA

TOTAL NET FREE VENTILATING AREA RATIO = 1/150.

TOTAL ATTIC AREA (SF) = 2341 (SF)

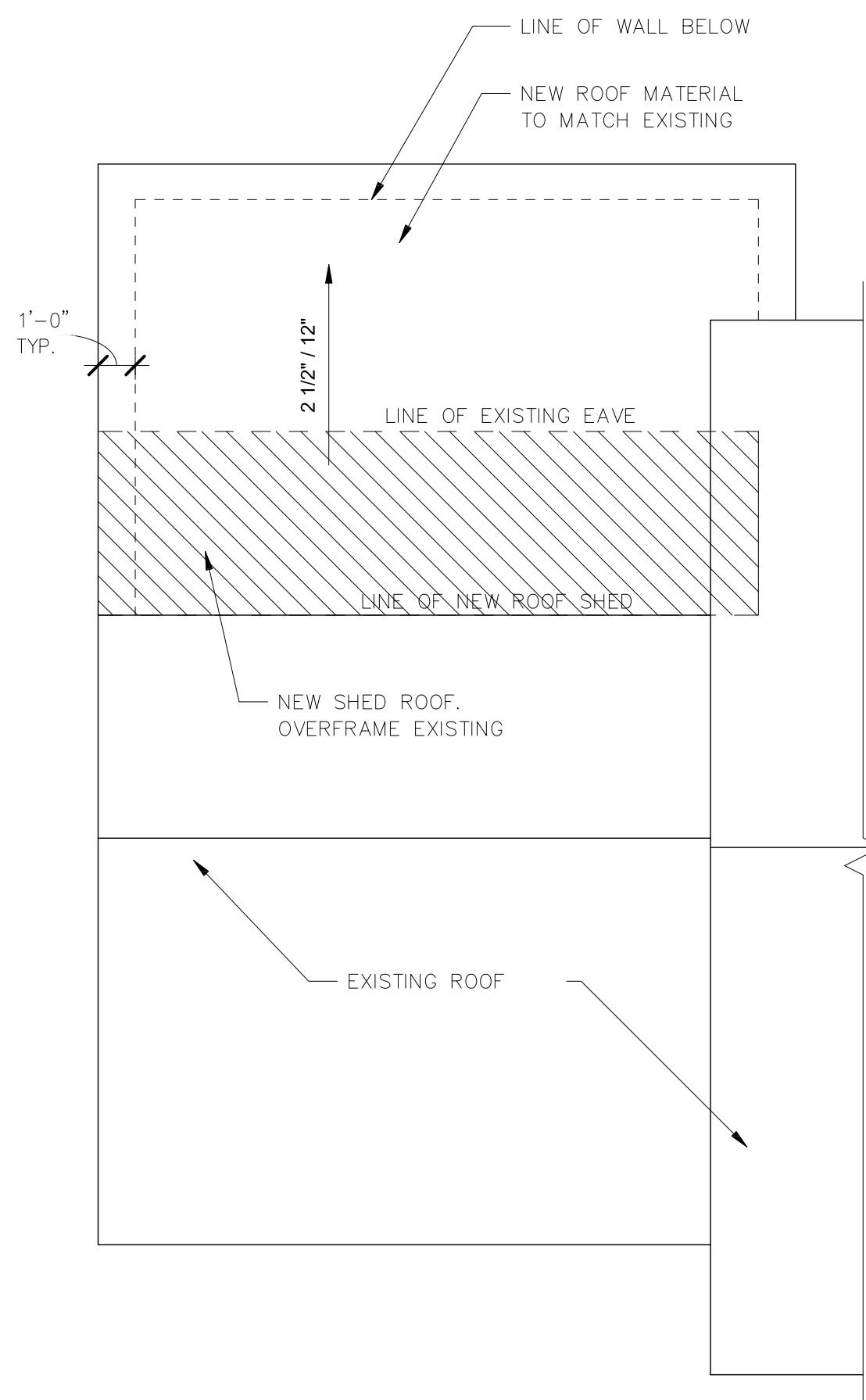
203 (SF) / 150 = 1.3 (SF) OF TOTAL NET FREE AREA

1.3 (SF) / 2 = .67 (SF) OF INTAKE NET FREE AREA & .67 (SF) OF EXHAUST NET FREE AREA

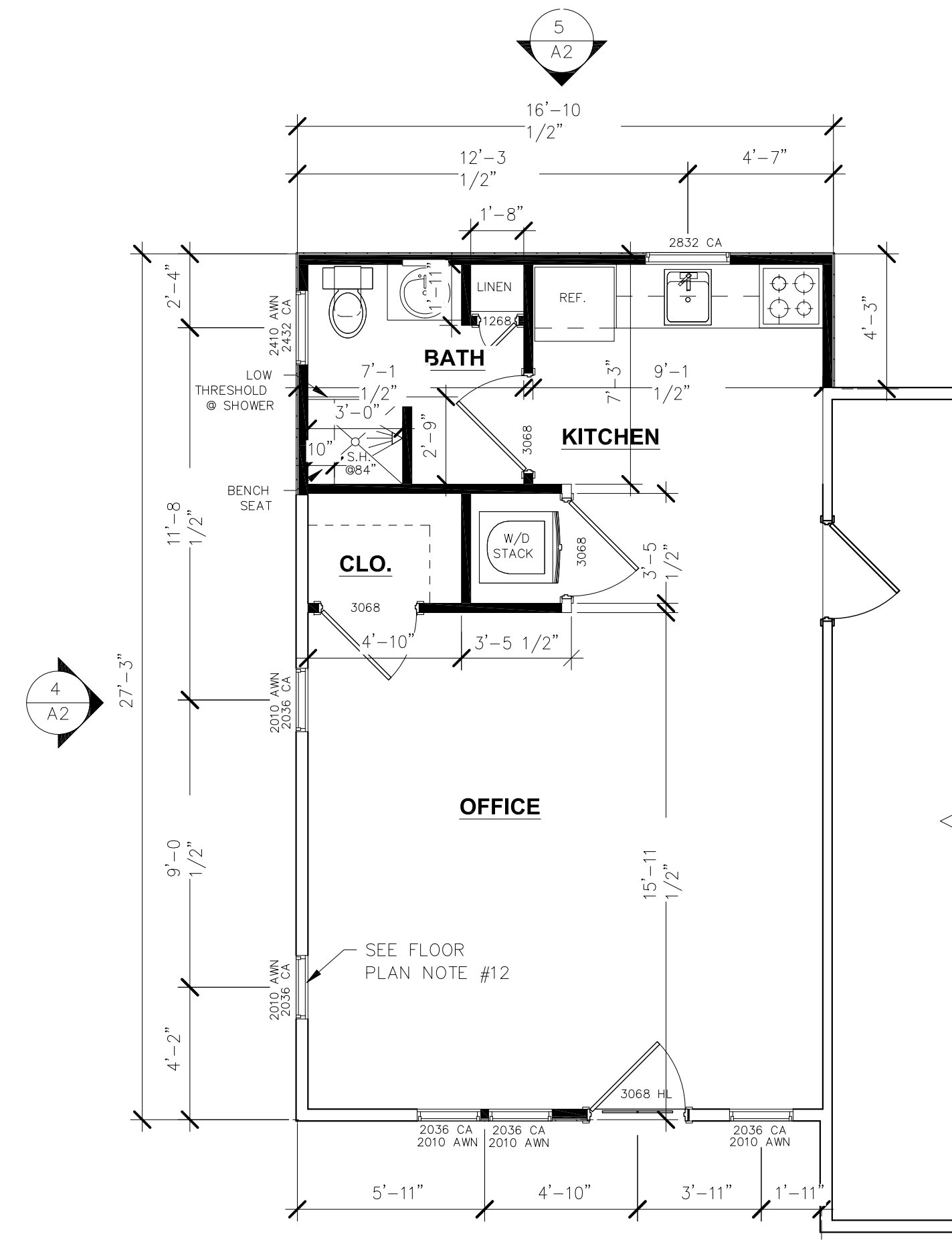
.67 (SF) X 144 = 96 (SQ. IN.) OF INTAKE NET FREE ARE & 96 (SQ. IN.) OF EXHAUST NET FREE AREA.

MINIMUM EAVE VENT PER UNIT = (2) PIECES OF 12" X 12" PERFORATED EAVE VENT.

MINIMUM EAVE VENT PER UNIT = (2) PIECES OF 6" X 12" PERFORATED EAVE VENT.



3 A2 ROOF PLAN
Scale: 1/4" = 1'-0"



1 A2 FLOOR PLAN
Scale: 1/4" = 1'-0"



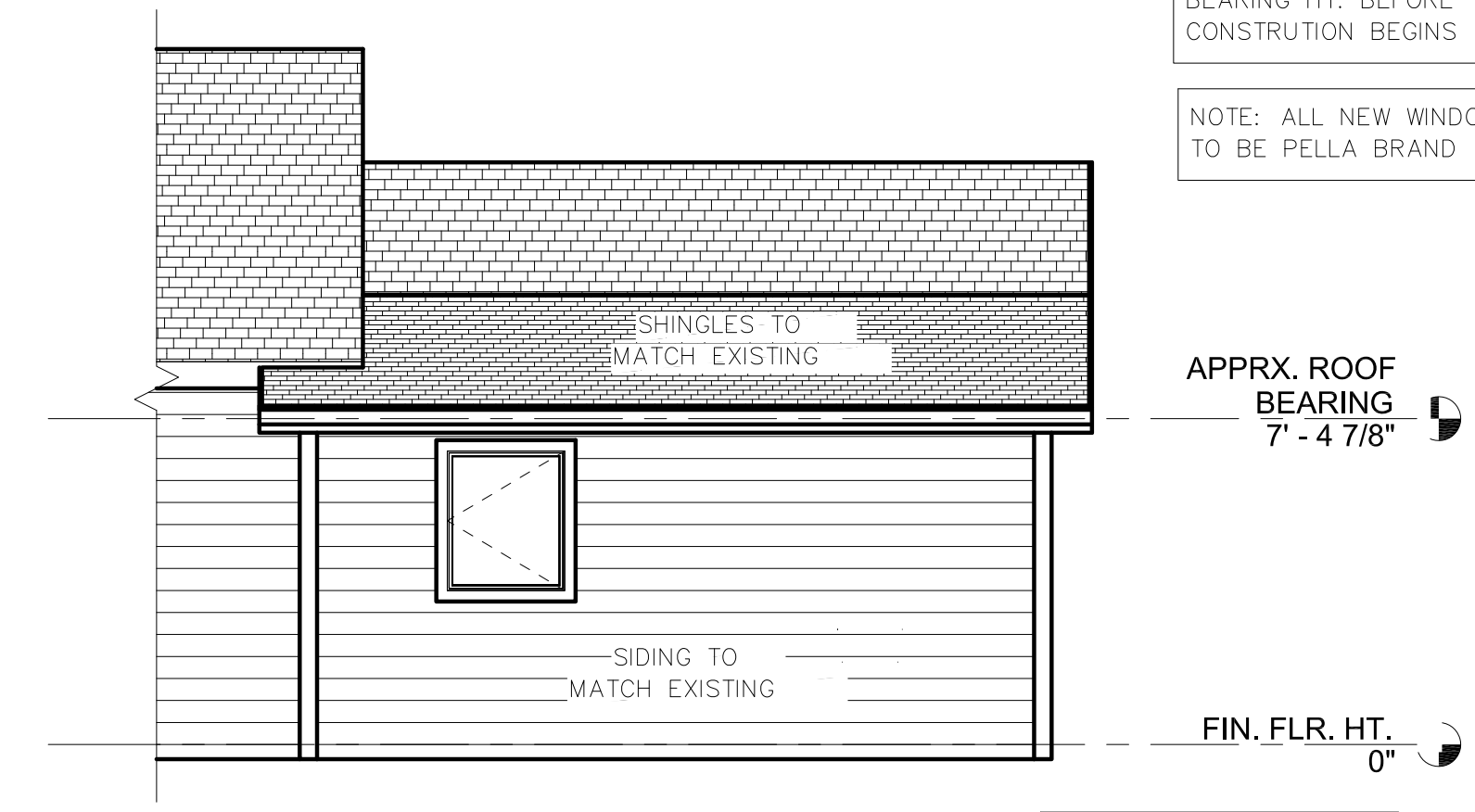
4 A2 RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL INTERIOR DIMENSIONS ARE FROM WALL STUD TO WALL STUD & TO CENTERLINE OF OPENING, U.N.O. ALL DIMENSIONS REFERENCED HEREIN ARE IMPERIAL STANDARD, U.N.O.
2. ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING, FACE OF CONCRETE, FACE OF CMU., OR TO CENTERLINE OF OPENING, U.N.O.
3. EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINE.
4. WALL ANGLES ARE PARALLEL, PERPENDICULAR OR 45 DEGREE ANGLES TO BUILDING PERIMETER UNLESS NOTED OTHERWISE.
5. DO NOT SCALE DIMENSIONS FROM PRINTS. USE DIMENSIONS GIVEN OR CONSULT DESIGNER FOR FURTHER CLARIFICATION.
6. ALL INTERIOR WALLS AT BATHROOMS ARE TO BE INSULATED WITH SOUND BATT INSULATION.
7. MIN. R-13 BATT INSULATION TO BE PROVIDED TO ALL EXTERIOR WALLS U.N.O.
8. PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT ALL WET WALLS INCLUDING, BUT NOT LIMITED TO WALLS AT BATHROOMS AND KITCHEN.
9. PROVIDE SUPPLEMENTAL FRAMING, METAL BLOCKING / STRAPPING AND BRACING AS REQ'D FOR SUPPORT OF FIXTURES, EQUIPMENT, TOILET ACCESSORIES, FURNISHINGS, FURNITURE / EQUIPMENT, AND SIMILAR CONSTRUCTION.
10. ALL DOORS TO BE POSITIONED WITH MIN. 2" GAP BETWEEN DOOR FRAME AND ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
11. ALL WALLS AT TUB & SHOWER TO RECEIVE WALL TILE.
12. ALL NEW WINDOWS ARE TO BE PELLA BRAND.



2 A2 FRONT ELEVATION
Scale: 1/4" = 1'-0"



5 A2 REAR ELEVATION
Scale: 1/4" = 1'-0"

NOTE: CONTRACTOR TO FIELD VERIFY EXISTING BEARING HT. BEFORE CONSTRUCTION BEGINS

NOTE: ALL NEW WINDOWS TO BE PELLA BRAND

NOTE: CONTRACTOR TO FIELD VERIFY EXISTING FOUNDATION CONDITION BEFORE CONSTRUCTION BEGINS

OWNER:
JOHN WILSON
WILSON ADDITION
3008 Rawls Church Rd.
Fuquay-Varian 27526

CAROLINA EAST DESIGNS
1602 TOMMY'S ROAD
GOLDSBORO, NC 27534
Phone: (919)-288-9012
Email: Cedesigns00@gmail.com

REV	DATE	DESCRIPTION

Title Sheet:
FLOOR PLAN / ROOF PLAN / EXTERIOR ELEVATIONS
Project:
R.B. ROUSE, LLC
P.O. BOX 1
SEVEN SPRINGS, NC 28578
919-920-2224

Date: 07-27-23
Scale: AS NOTED
Project Number: 230101
Sheet: A2

Engineers seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviations or discrepancies on plans are to be brought to the immediate attention of Mark E. Jones, P.E. Failure to do so will void Mark E. Jones, P.E. liability. Please review these documents carefully. Mark E. Jones, P.E. will interpret that all dimensions, recommendations, etc. presented in these documents were deemed acceptable once construction begins.

Mark E. Jones, PE
 6425 Glen Dean Court
 Raleigh, NC 27603
 (919) 395-5618

Wilson Addition
 3008 Rawls Church Rd.
 Fuquay-Varina, NC 27526

R.B. Rouse, LLC
 P.O. Box 1
 Seven Springs, NC 28578

Project #: 06CAB-001
 Date: 1/30/2006
 Drawn/Design By: MEJ
 DWG. Checked By: MEJ
 Scale: 1/4" = 1'-0"

REVISIONS		
No.	Date	Remarks
1		
2		
3		
4		

STRUCTURAL
 Sheet Number
S1
 of 1

STRUCTURAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF "NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE", IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- DESIGN LOADS:

	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (DL & LL)
ALL FLOORS	40	10	L/360
ATTIC (pull down access)	20	10	L/240
ATTIC (no access)	10	5	L/240
EXTERNAL BALCONY	60	10	L/360
ROOF	20	10	L/180
ROOF TRUSS	20	20	L/240
WIND LOAD	[BASED ON 120MPH (3-second gusts)]		
- MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF
- CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF FIVE INCHES UNLESS NOTED OTHERWISE (UNO).
- MAXIMUM DEPTH OF UNBALANCED FILL AGAINST FOUNDATION WALLS TO BE LESS THAN 4'-0" WITHOUT USING SUFFICIENT WALL BRACING. REFER TO SECTION R404 OF 2018 NC BUILDING CODE FOR BACKFILL LIMITATIONS BASED ON WALL HEIGHT, WALL THICKNESS, SOIL TYPE, AND UNBALANCED BACKFILL HEIGHT
- ALL FRAMING LUMBER SHALL BE SYP #2 (Fb = 800 PSI) UNO. ALL FRAMING LUMBER EXPOSED TO THE ELEMENTS SHALL BE TREATED MATERIAL.
- ALL LOAD BEARING HEADERS SHALL BE (2)x10 (UNO). ALL WINDOW AND DOOR HEADERS SHALL BE SUPPORTED BY (1) JACK STUD AND (1) KING STUD AT EACH END UNLESS NOTED. ALL OTHER BEAMS SHALL BE SUPPORTED BY 2 STUDS OR THE AMOUNT OF STUDS REQUIRED FOR FULL BEARING AT EACH END UNLESS NOTED. POINT LOADS (STIFF KNEES, ETC.) SHALL CONSIST OF 2 STUDS UNLESS NOTED. ALL SUPPORTS OF 2 STUDS OR MORE SHALL BE TRANSFERRED THROUGH EACH FLOOR TO THE FOUNDATION.
- ALL EXTERIOR WALLS TO BE SHEATHED WITH MIN. 7/16" WOOD STRUCTURAL PANELS FASTENED WITH 8D NAILS 6" O.C. AT EDGES AND 12" O.C. AT INT. SUPPORTS. BLOCKING SHALL BE INSTALLED IF LESS THAN 50 PERCENT OF THE WALL LENGTH IS SHEATHED. WHERE BLOCKING IS REQ'D, ALL PANELS SHALL BE FASTENED AT 3' O.C. AT EDGES AND 6' O.C. AT INT. SUPPORTS.
- ALL STRUCTURAL STEEL SHALL ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3-1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER AND 4" LONG), LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE SOLE PLATES, AND THE SOLE PLATES ARE NAILED OR BOLTED TO THE BEAM FLANGES @ 48" O.C.
- ANCHOR BOLT PLACEMENT PER SECTION R403.1.6. 1/2" DIAMETER ANCHOR BOLTS SPACED AT 6'-0" O.C. AND PLACED 12" FROM THE END OF EACH PLATE SECTION
- FOUNDATION DRAINAGE-DAMP PROOFING OR WATERPROOFING PER SECTION 405 AND 406 OF 2018 NC BUILDING CODE
- WALL AND ROOF CLADDING VALUES:
 WALL CLADDING SHALL BE DESIGNED FOR A 24.1 SQ.FT. OR GREATER POSITIVE AND NEGATIVE PRESSURE
 ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE AS FOLLOWS:
 45.5 LBS/SQFT FOR ROOF PITCHES OF 0/12 TO 2.25/12
 34.8 LBS/SQFT FOR ROOF PITCHES OF 2.25/12 TO 7/12
 21.0 LBS/SQFT FOR ROOF PITCHES OF 7/12 TO 12/12
 ** MEAN ROOF HEIGHT 30' OR LESS
- FOR ROOF SLOPES FROM 2:12 THROUGH 4:12, BUILDER TO INSTALL 2 LAYERS OF 15# FELT PAPER
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQ. FTG. ARE CORRECT PRIOR TO CONSTRUCTION. DESIGNER IS NOT RESPONSIBLE FOR DIMENSIONING OR SQ. FTG. ERRORS ONCE CONSTRUCTION BEGINS

