

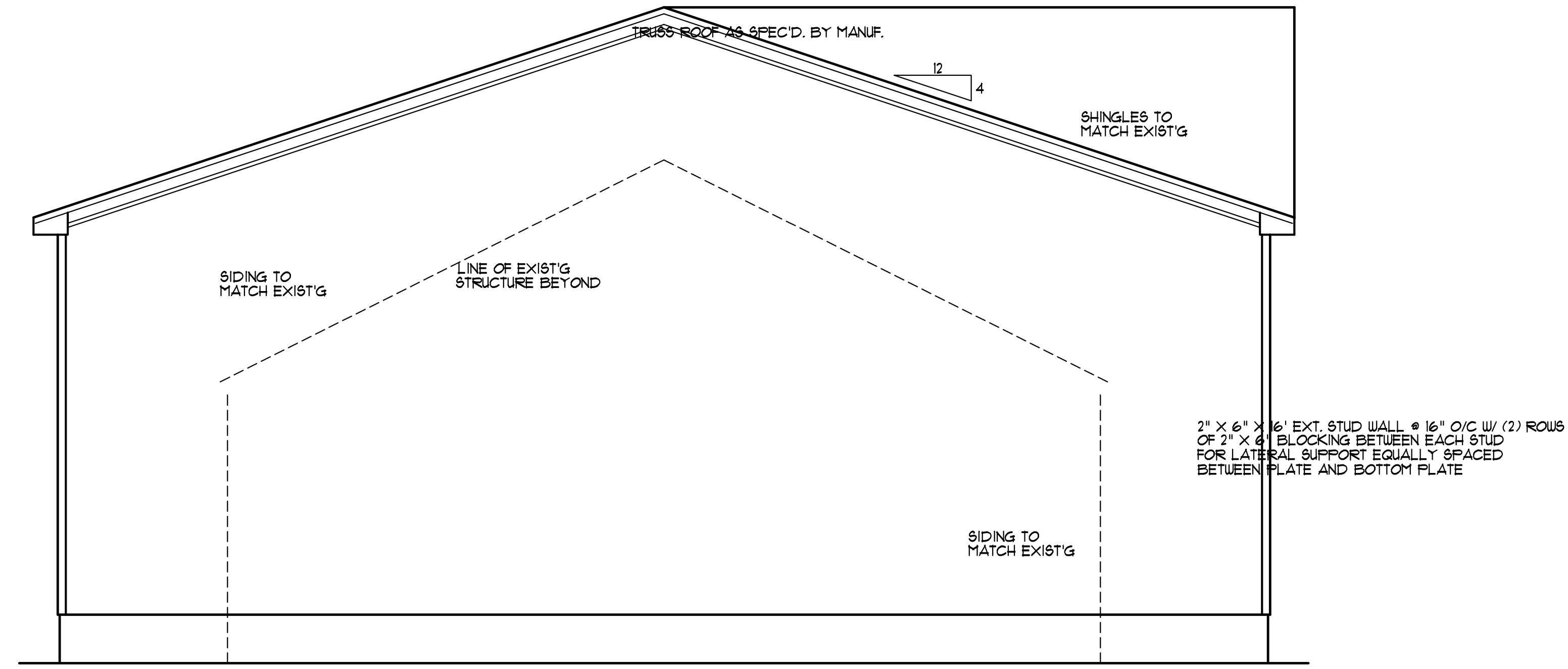
BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.

ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE.

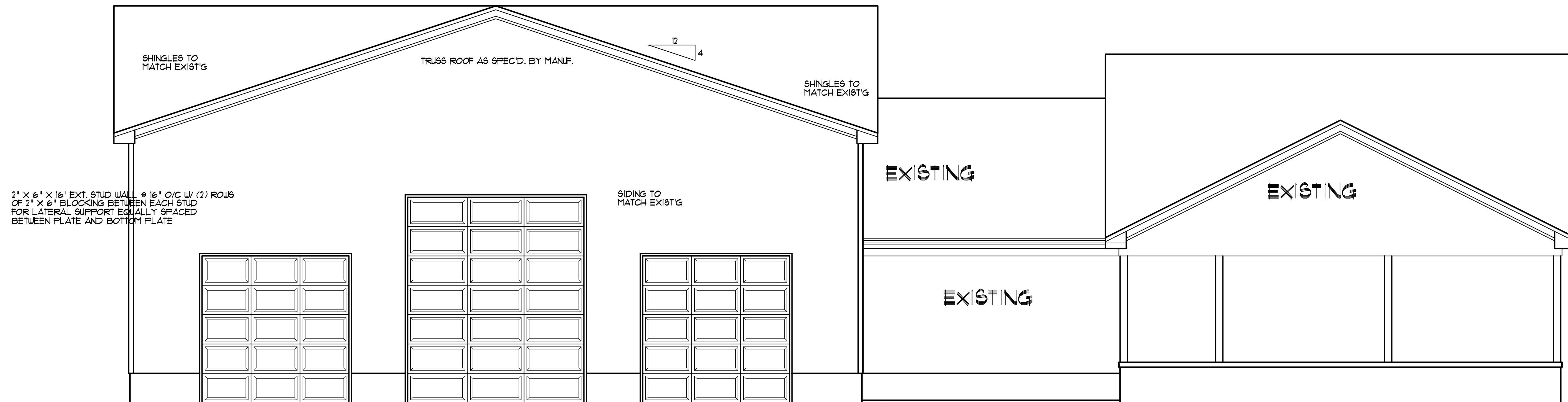
CODES GOVERN OVER DRAWINGS.
DIMENSIONS GOVERN OVER SCALE.

VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FRAMING.

YUNCANNON DESIGNS DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Robert Cooley
1564 Thompson Road
Bumlevel, NC

YUNCANNON DESIGNS
CUSTOM HOME PLANS
FLOUAT-VARINA, NC • (919) 421-1314

DRAWN BY : WRY
CHK'D BY : WRY
DATE : 05/02/23
REVISIONS :

SHEET
1 = 1

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GENERAL FRAMING NOTES:

- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
- GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF N1102.1, RESIDENTIAL BUILDING, TYPE A-1.
- WALL CLADDING IS DESIGNED FOR A 24J #5F OR GREATER POSITIVE/NEGATIVE PRESSURE.
- ALL WALLS, FLOORS AND CEILING SHALL BE INSULATED IN ACCORDANCE WITH PART IV, ENERGY CONSERVATION, CHAPTER 11, ENERGY EFFICIENCY OF THE CODE FOR ZONE 1 (TABLE N1102.2).
- DESIGN CRITERIA

	DEAD	LIVE
PRIMARY FLOOR	10 PSF	40 PSF
SECONDARY FLOOR	10 PSF	40 PSF
SLEEPING AREAS	10 PSF	30 PSF
ATTIC	10 PSF	20 PSF
ROOF	10 PSF	20 PSF
WIND		100 MPH
- DEFLECTION LIMITS FLOOR - L/360
(LIVE LOAD ONLY) ROOF - L/240
- ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10.
- ALL WALLS ARE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
- FLOOR INSULATION = R-19, EXTERIOR +R-15 AND CEILING = R-38.
- PROVIDE DOUBLE FLOOR JOISTS OR TRUSSES UNDER WALLS ABOVE.

R602.15. SUPPORTS FOR HEADERS:

HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH TABLE R602.1(1) OR R602.1(2). THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH FOUR-16D NAILS (3.5 INCHES X 0.135 INCHES). THE MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF A HEADER SHALL BE IN ACCORDANCE WITH TABLE R602.1.5.

TABLE R602.1.5

MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN	MAXIMUM STUD SPACING (INCHES) PER TABLE R602.3(5)	
	16	24
LESS THAN/EQUAL TO 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

BRACED WALL NOTES:

- BRACED WALLS ARE REQUIRED PER SECTION R602.10.1 2018 NCBC RESIDENTIAL CODE.
- THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY SHEATHED, FULL HEIGHT WITH MIN. THICKNESS 7/16" OSB. THESE WALLS SHALL BE CONSTRUCTED IN CONFORMANCE TO TYPE C5-W5P DETAILS.
- BASIS OF DESIGN FOR INTERIOR BRACE WALLS IS GYPSUM BOARD METHOD AS DETAILED PER CODE TABLE R602.10.2.
- SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED WHERE WALLS DO NOT MEET THE MINIMUM REQUIREMENTS FOR SUPPORT. REFER TO GARAGE OPENING, PORTAL FRAMING DETAILS.

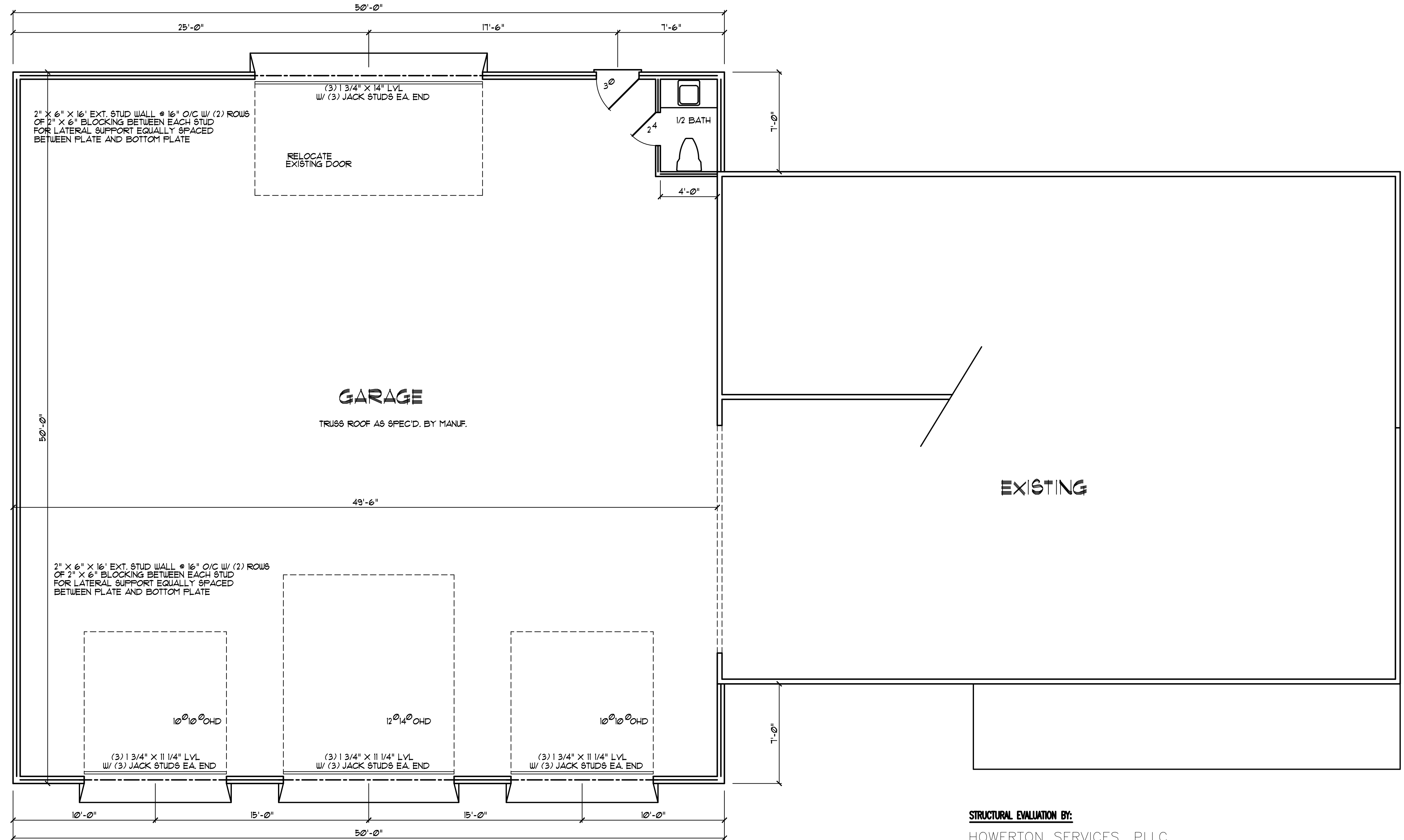
**ATTIC SPACE VENTILATION
(IN ADDITION TO EXISTING)**

MAIN ROOF = 2482 SQ. FT.
ATTIC AREA = 2482 SQ. FT.
REQUIRED AREA = A/3.00 = 827 SQ. FT.

NOTE:
ALL EAVES TO HAVE 2" CONTINUOUS SOFFIT VENT
ALLOW 1" AIR SPACE ABOVE INSULATION FOR AIR FLOW

**NOTE:
FIELD VERIFY ALL DIMENSIONS**

WALL BRACING FOR THE GARAGE DOORS WILL BE DONE USING FRG METHOD IN ACCORDANCE WITH FIGURE 602.10.3.4 OF THE NORTH CAROLINA BUILDING CODE 2018 ED. FOR RESIDENCES.



NEW WALLS
EXISTING WALLS
EXISTING WALLS TO BE REMOVED

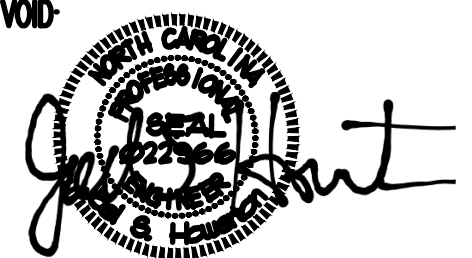
FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA: APPROX. 2482 SQ. FT.

STRUCTURAL EVALUATION BY:

HOWERTON SERVICES, PLLC
3513 CATHEDRAL BELL ROAD RALEIGH, NC 27614
LICENSE P-1716

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.
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- DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 05/01/2024



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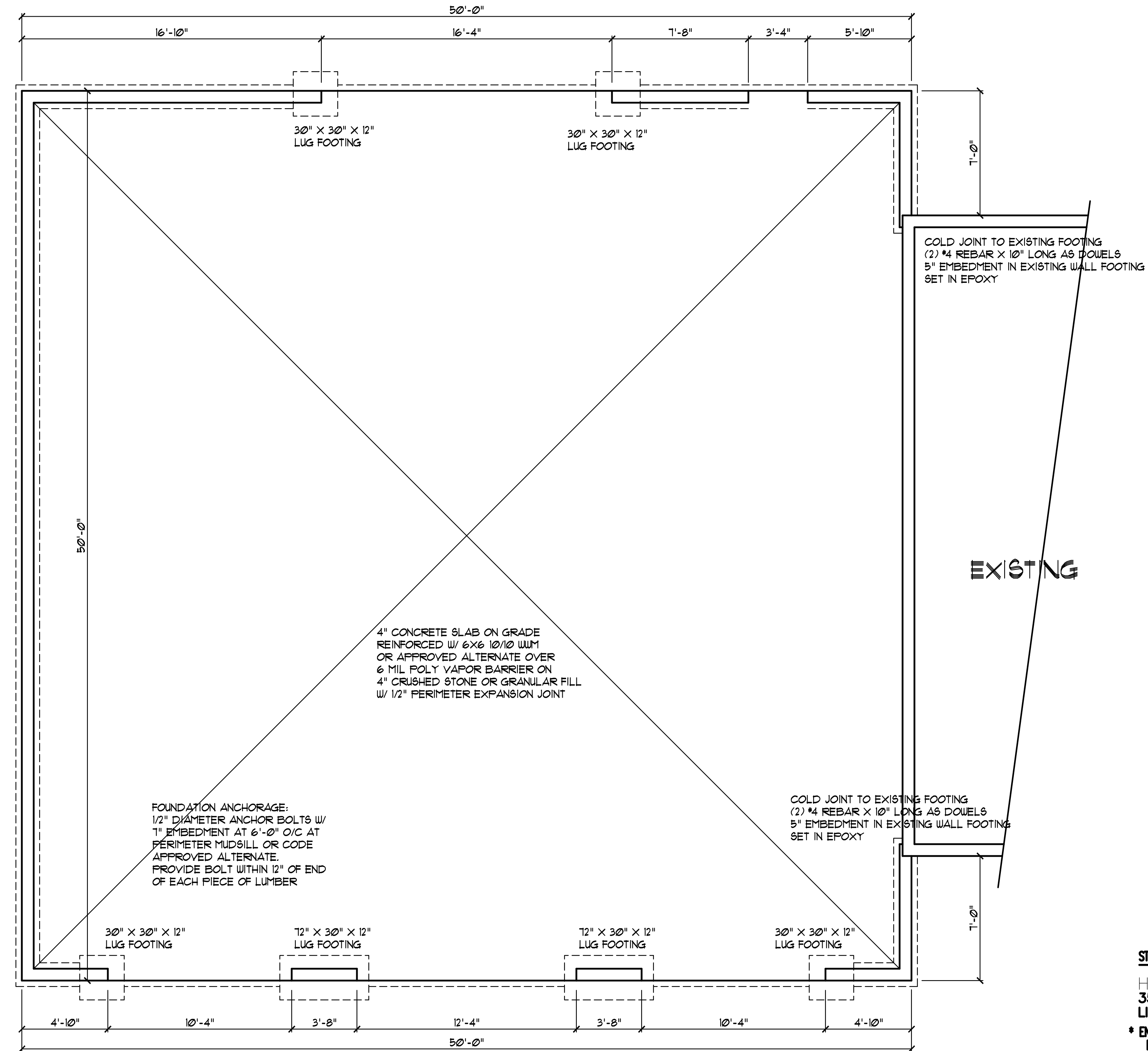
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GENERAL FOUNDATION NOTES:

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. EXTERIOR WALL FOOTING WHERE NOTED TO BE 16" X 10" 3000 PSI STRUCTURAL CONCRETE UNLESS OTHERWISE NOTED. CONCRETE TO BE PREPARED AND PLACED IN ACCORDANCE WITH ACI 318. FOR FOUNDATION WALL HEIGHT, THICKNESS AND BACKFILL REQUIREMENTS, REFER TO STATE AND LOCAL BUILDING CODES. NOTE: ASSUMED SOIL BEARING CAPACITY = 2000 PSF. CONTRACTOR MUST VERIFY CONDITIONS AND CONTACT SOIL ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.
3. FOOTINGS TO BEAR ON UNDISTURBED EARTH A MIN. OF 12" BELOW ADJACENT FINISH GRADE OR AS OTHERWISE DIRECTED BY LOCAL INSPECTOR.
4. FOUNDATION DRAINAGE SHALL BE IN ACCORDANCE WITH SECTION R405 OF THE CODE "FOUNDATION DRAINAGE".
5. THE FOUNDATION SHALL BE TREATED IN ACCORDANCE W/SECTION R406 OF THE CODE "FOUNDATION WATERPROOFING AND DAMPPROOFING".
6. THIS FOUNDATION DESIGN IS VALID FOR 115 MPH WIND ZONES ONLY.
7. FOUNDATION WALLS SHALL BE 8" BLOCK UNLESS NOTED OTHERWISE.
8. (2) #4 BARS IN FOOTINGS RUN CONTINUOUSLY.

⊙ INDICATES POINT LOAD ABOVE



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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