

HARNETT COUNTY TAX ID #  
050624 0029 02

For Registration Matthew S. Willis  
Register of Deeds  
Harnett County, NC  
Electronically Recorded  
2021 Feb 03 10:07 AM NC Rev Stamp: \$ 670.00  
Book: 3933 Page: 799 - 800 Fee: \$ 26.00  
Instrument Number: 2021002505

02-02-2021 BY: KK

submitted electronically by "Newman & Newman Attorneys at Law"  
in compliance with North Carolina statutes governing recordable documents  
and the terms of the submitter agreement with the Harnett County Register of Deeds.

**NORTH CAROLINA GENERAL WARRANTY DEED**

Excise Tax: \$ 670.00

Parcel Identifier No. 050624002902 Verified by \_\_\_\_\_ County on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_  
By: \_\_\_\_\_

Mail/Box to: GRANTEE: 5908 River Road, Fuquay Varina, NC 27526

This instrument was prepared by: Jenna Bass, Attorney at Law, Newman & Newman, PLLC, 304 East Jones St, Raleigh, NC 27601

Brief description for the Index: LOT 2, Minor Subdivision Survey for Wynn C Tousley, II

THIS DEED made this 21st day of January, 2021, by and between

GRANTOR	GRANTEE
William T. Prough Mary C. Prough 6 Spyrou Kyprianou Villa 4 Peyia, Pahos 8560	Miles Wesley and wife Deneen Wesley Benedicto Santos and wife, Deneen Santos 5908 River Road Fuquay Varina, NC 27526 Tenant in Common

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot, parcel of land or condominium unit situated in the City of Fuquay Varina, \_\_\_\_\_ Township, Harnett County, North Carolina and more particularly described as follows:

BEING all of Lot 2, of the "Minor Subdivision Survey for Wynn C Tousley, II" as recorded July 9, 2009, in Book 2009, Page 475-476, Instrument No 2009010644, Harnett County Registry.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 2770 page 272. All or a portion of the property herein conveyed \_\_\_ includes or X does not include the primary residence of a Grantor.

A map showing the above described property is recorded in Plat Book 2009 page 475.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Subject to Easements, Restrictions, and Rights of Way of Record.

Subject to all ad valorem taxes not yet due and payable.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

By: \_\_\_\_\_ (Entity Name) \_\_\_\_\_ (SEAL) Print/Type Name: William T. Prough

Print/Type Name & Title: \_\_\_\_\_ (SEAL) Print/Type Name: Mary C. Prough

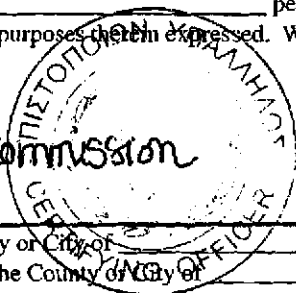
By: \_\_\_\_\_ (SEAL) Print/Type Name & Title: \_\_\_\_\_ Print/Type Name: \_\_\_\_\_

By: \_\_\_\_\_ (SEAL) Print/Type Name & Title: \_\_\_\_\_ Print/Type Name: \_\_\_\_\_

State of CYPRUS - County or City of PAPHOS

I, the undersigned Notary Public of the County or City of PAPHOS and State aforesaid, certify that William T. Prough and spouse Mary C. Prough personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 23<sup>rd</sup> day of 10/11, 2021

My Commission Expires: Indefinite Commission (Affix Seal)



MARIA ERACLEOUS  
CERTIFYING OFFICER  
PAPHOS

Notary's Printed or Typed Name

State of \_\_\_\_\_ - County or City of \_\_\_\_\_

I, the undersigned Notary Public of the County or City of \_\_\_\_\_ and State aforesaid, certify that \_\_\_\_\_ personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

My Commission Expires: \_\_\_\_\_ (Affix Seal)

\_\_\_\_\_  
Notary's Printed or Typed Name

State of \_\_\_\_\_ - County or City of \_\_\_\_\_

I, the undersigned Notary Public of the County or City of \_\_\_\_\_ and State aforesaid, certify that \_\_\_\_\_ personally came before me this day and acknowledged that he is the \_\_\_\_\_ of \_\_\_\_\_, a North Carolina or \_\_\_\_\_ corporation/limited liability company/general partnership/limited partnership (strike through the inapplicable), and that by authority duly given and as the act of such entity, he signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

My Commission Expires: \_\_\_\_\_ (Affix Seal)

\_\_\_\_\_  
Notary's Printed or Typed Name

**WESLEY MILES TIC WESLEY DENEEN TIC**  
 5908 RIVER RD FUQUAY VARINA NC 27526  
 1500040443  
 COUNTY WIDE ADVALOREM TAX (100), NORTHWEST HARNETT (100), SOLID WASTE FEE SOLID WASTE (1)  
 HARNETT (100), SOLID WASTE FEE SOLID WASTE (1)  
 LT #2 WYNN TOUSLEY II 3.57/MAR#2009-475  
 Reval Year: 2022 Tax Year: 2023  
 Appraised By: 00 on 01/01/2022 00800B NC 42, RIVER RD, COKESBURY RD

Parcel ID: 05-0624- - -0029- -02-  
 PLAT: 2009/475 UNIQ ID 280141 ID NO: 0624-34-1266.000  
 CARD NO. 1 of 1  
 3.4900 AC  
 3.5700 AC  
 TW-05 CL- FR-  
 SRC= Estimated  
 AT- LAST ACTION 20220221  
 EX- 3.4900 AC

USE	USE DESCRIPTION	MOD	MODEL DESCRIPTION	STYLE	TOTAL LIVING AREA	AYB	EYB	CORRELATION OF VALUE
50	RURAL HOME SITE	01	SINGLE FAMILY RESIDENTIAL	5 - Ranch w/ basement	2,645	2011	2011	261,295

CATEGORY	CODE	DESCRIPTION	BASE RATE	COUNT	RATE
Bathrooms				2,000	6000.00
Bedrooms				3,000	
Foundation	3	Continuous Footing			0.00
Sub Floor System	4	Plywood			0.00
Exterior Walls	10	Aluminum/Vinyl Siding			0.00
Roofing Structure	03	Gable			0.00
Roofing Cover	12	Metal			0.00
Interior Wall Construction	5	Drywall/Sheetrock			0.00
Interior Floor Cover	08	Sheet Vinyl			0.00
Interior Floor Cover	14	Carpet			0.00
Heating Fuel	04	Electric			0.00
Heating Type	10	Heat Pump			0.00
Air Conditioning Type	03	Central			0.00

TYPE	GS AREA	BASE RATE	SIZE FACTOR	RPL CS
BAS	1,000	119.50	0.7700	96635
BAS	500	119.50	0.7700	46008
FBM*	1,000	69.70	0.7700	53669
FOP	120	28.70	1.0000	3444
STP	25	15.40	1.0000	385
<b>FIREPLA 2 - Pre Fabricated</b>		1,850		

GRADE	DESCRIPTION	COUNT	LTH	WTH	UNITS	UNIT PRICE	ORIG % COND	BLDG #	---	AYB	EYB	DEP SCH	OVR	% COND	OB/XF DEPR. VALUE
B6	SHOP BLDG		20	10	200	24.00	100.00		0.94	2011	2011	S2		45	1726
03	CARPOT		24	24	576	6.00	100.00		0.90	2015	2015	S3		85	2247
03	CARPOT		30	24	720	6.00	100.00		0.90	2015	2015	S3		85	2809
<b>TOTAL OB/XF VALUE</b>															6782

LAND INFORMATION	USE CODE	LOCAL ZONING	FRONTAGE	DEPTH	DEPTH / SIZE	LND MOD	COND FACT	OTHER ADJ/NOTES	LAND UNIT PRICE	TOTAL LAND UNITS	UNIT TYPE	TOTAL ADJUST	ADJUSTED UNIT PRICE	LAND VALUE	OVERIDE VALUE	LAND NOTES
HIGHEST AND BEST USE	5010	RA-30			1.0000	0	0.7500	+00 -25 +00 +00 +00	75,000.00	1,000	AC	0.750	56,250.00	56250	0	
RURAL								Access								
WOOD I	6113	RA-30			1.0200	0	0.7500	+00 -25 +00 +00 +00	19,000.00	2,490	AC	0.770	14,630.00	36429	0	
<b>TOTAL MARKET LAND DATA</b>															92679	
<b>TOTAL PRESENT USE DATA</b>															92679	

**NOTES**  
 11/13/15 2 carports. KL  
 HEATED AREA 2,500

**SALES DATA**

OFF. RECORD	DATE	DEED	INDICATE				
BOOK	PAGE	MO	YR	Q/U	V/I	SALES PRICE	
03933	0799	2	2021	WD	Q	1	335,000
02770	0272	8	2010	WD	Q	V	34,000
01598	0521	3	2002	CD	D	V	0

**PERMIT**

BUILDING VALUE	OBXF VALUE	LAND VALUE	PRESENT USE VALUE	DEFERRED VALUE	TOTAL VALUE
134,140	19,180	24,000	0	0	177,320

**ROUT: WTRSHD:** 0

**DEPRECIATION**

DEPRECIATION	NB FACTOR
NORM	1
	0.02000

HTE# 11.5-2624512

# Harnett County Department of Public Health

PERMIT # 26435

## Operation Permit

21750

New Installation  Septic Tank  Nitrification Line  Repair  Expansion

PROPERTY LOCATION: 5214 B River RD

Name: (owner) William + Mary Probst SUBDIVISION \_\_\_\_\_ LOT # \_\_\_\_\_

System Installer: JAY ANDERSON Registration # \_\_\_\_\_

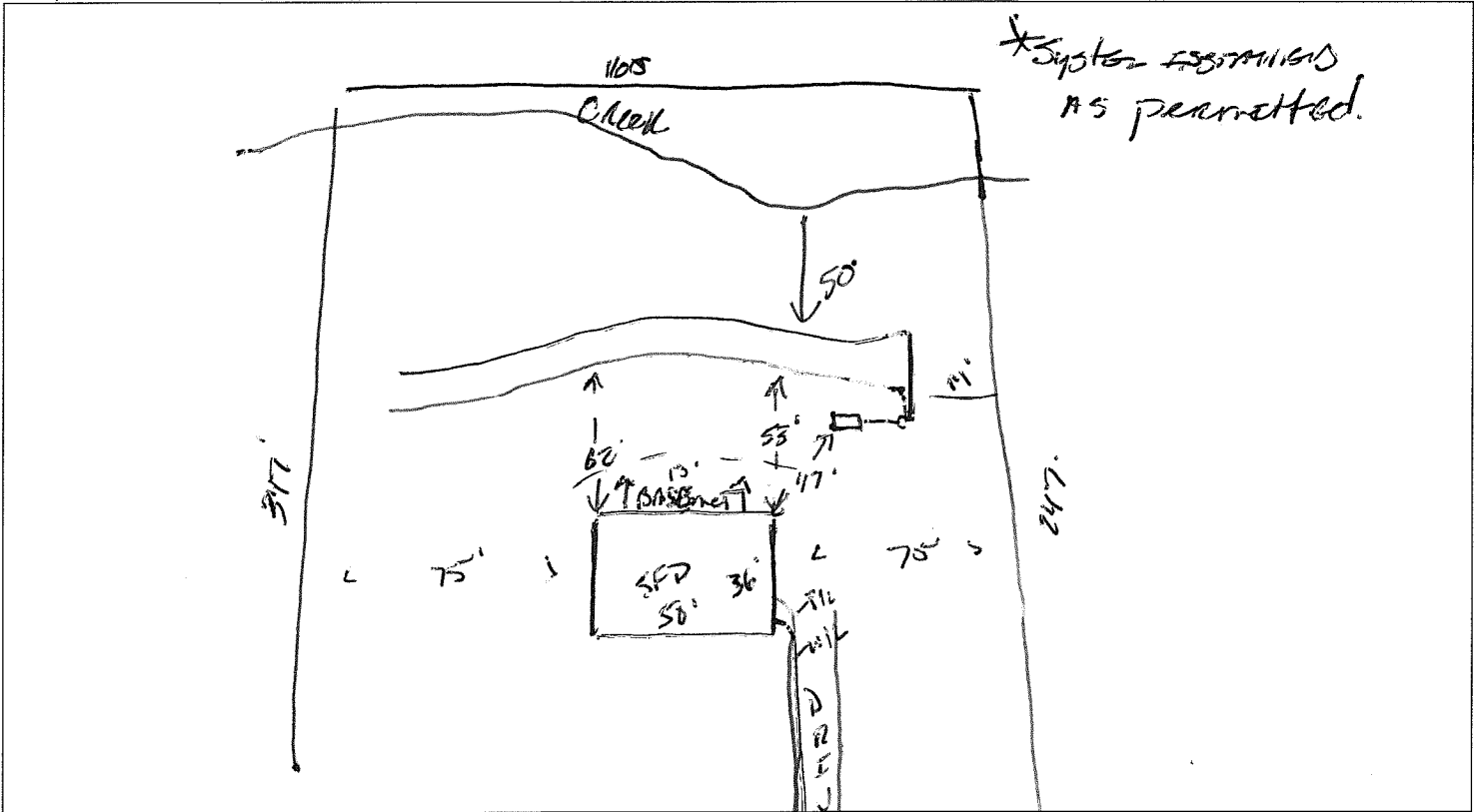
Basement with plumbing:  Garage  Number of Bedrooms 3

Type of Water Supply:  Community  Public  Well Distance from well \_\_\_\_\_ feet

System Type: 25' x 50' x 36" Septic Tank @ 60' City Types V and VI Systems expire in 5 years.

(In accordance with Table V a) Owner must contact Health Department 6 months prior to expiration for permit renewal.

This system has been installed in compliance with applicable North Carolina General Statutes, Rules for Sewage Treatment and Disposal, and all conditions of the Improvement Permit and Construction Authorization.



### PERMIT CONDITIONS:

- I. Performance: System shall perform in accordance with Rule .1961.
- II. Monitoring: As required by Rule .1961.
- III. Maintenance: As required by Rule .1961. Other: \_\_\_\_\_  
Subsurface system operator required? Yes  No   
If yes, see attached sheet for additional operation conditions, maintenance and reporting.
- IV. Operation: \_\_\_\_\_
- V. Other: \_\_\_\_\_

D-Box  Pump  Alarm  H2O Line  PWR Line

Following are the specifications for the sewage disposal system on the above captioned property.

Type of system:  Conventional  Other 25' x 50' x 36" Septic Tank @ 60' City Septic Tank: 1000 gallons Pump Tank: \_\_\_\_\_ gallons  
 Subsurface No. of exact length width of depth of  
 Drainage Field ditches 2 of each ditch 150 feet ditches 3 feet ditches 24" inches  
 French Drain Required: \_\_\_\_\_ Linear feet

Authorized State Agent Gene E. McKeefe Date 7-25-11

**Daniel V Partin**  
Professional Land Surveyor

PO Box 99  
Cary NC 27512

Office: 919-469-4683  
Fax: 919-469-0212  
Cell: 919-906-2354  
dvppls@aol.com

Date: Jan. 29, 2021

Project # 11305

TO: Newman & Newman, Attorneys at Law  
304 E. Jones St.  
Raleigh NC 27601

Fax 919 833 8787  
Email [cecil@newmanfirm.com](mailto:cecil@newmanfirm.com)  
Email [info@newmanfirm.com](mailto:info@newmanfirm.com)

SURVEY: Lot 2, Wynn Tousley, II  
5908 River Rd.  
Fuquay Varina NC 27526

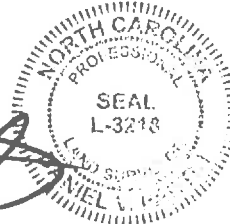
Miles and Deneen Wesley & Benedicto and Deneen Santos

Survey/plat 3.57 acres (Harnett Co.)

TOTAL DUE

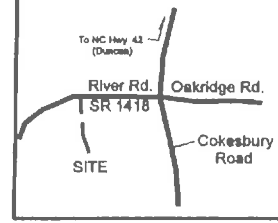
\$ 1,500.00\*

I certify that this map was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book see, Page ref or other reference source       ); that the boundaries not surveyed are indicated as drawn from information in Book see, Page plat or other reference source       ; that the ratio of precision or positional accuracy is 1/18,100; and that this map meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600).



This 28 day of Jan., 2021 SEAL

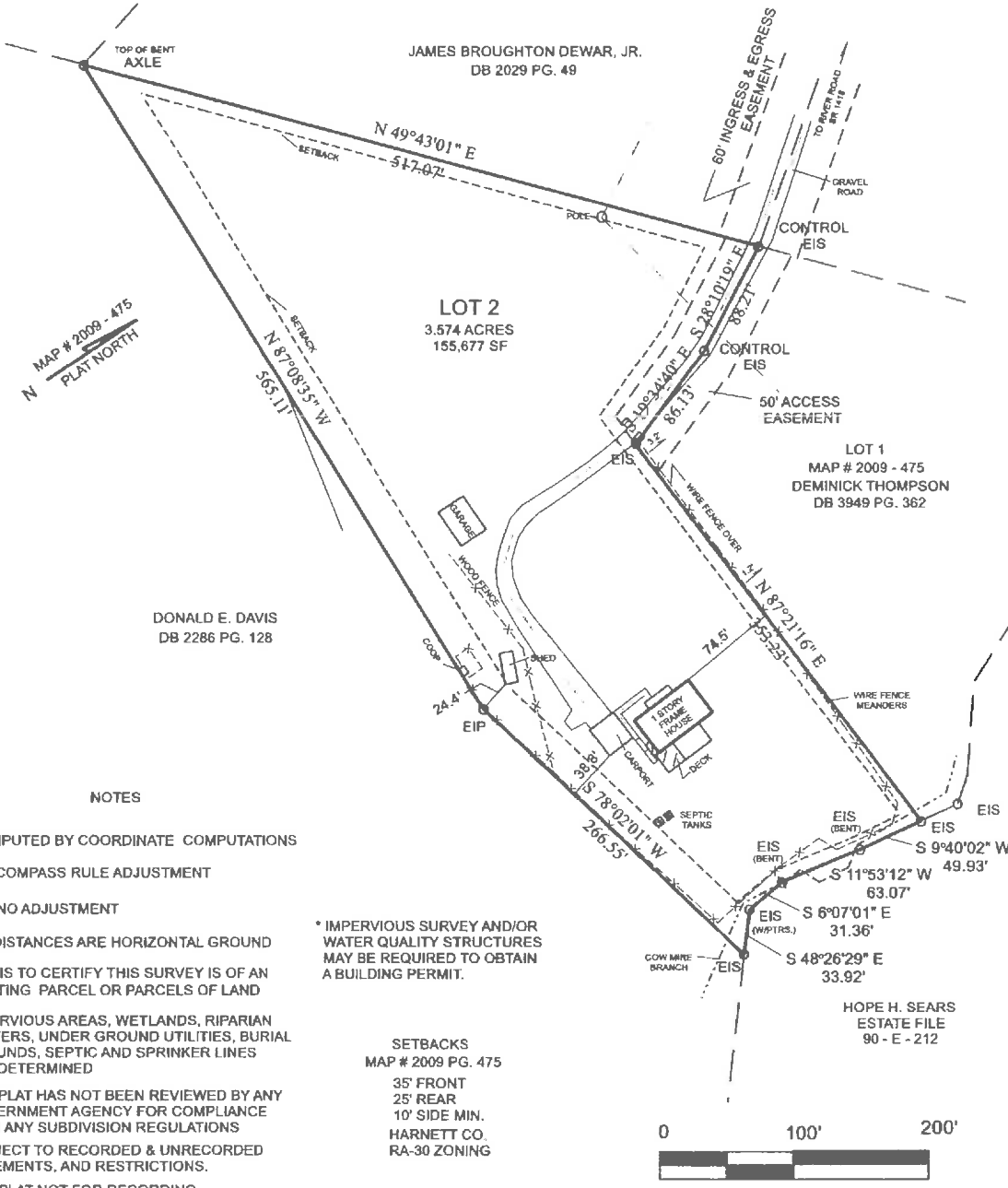
Daniel V. Partin PLS L-3218



VICINITY MAP  
NO SCALE

R.P. DEWER, HEIRS  
DB 266 PG. 151

JAMES BROUGHTON DEWAR, JR.  
DB 2029 PG. 49



**NOTES**

- COMPUTED BY COORDINATE COMPUTATIONS
- COMPASS RULE ADJUSTMENT
- NO ADJUSTMENT
- ALL DISTANCES ARE HORIZONTAL GROUND
- THIS IS TO CERTIFY THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND
- IMPERVIOUS AREAS, WETLANDS, RIPARIAN BUFFERS, UNDER GROUND UTILITIES, BURIAL GROUNDS, SEPTIC AND SPRINKLER LINES NOT DETERMINED
- THIS PLAT HAS NOT BEEN REVIEWED BY ANY GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY SUBDIVISION REGULATIONS
- SUBJECT TO RECORDED & UNRECORDED EASEMENTS, AND RESTRICTIONS.
- THIS PLAT NOT FOR RECORDING
- SEE MAP # 2009 - 475 FOR CERTIFICATES NOTES AND STATEMENTS
- PROTECTIVE COVENANTS AND/OR ZONING SETBACKS MAY DIFFER.

\* IMPERVIOUS SURVEY AND/OR WATER QUALITY STRUCTURES MAY BE REQUIRED TO OBTAIN A BUILDING PERMIT.

SETBACKS  
MAP # 2009 PG. 475  
35' FRONT  
25' REAR  
10' SIDE MIN.  
HARNETT CO.  
RA-30 ZONING

REFERENCES  
DB 2770 PG. 272  
PIN 0624-34-1266.000  
BOM 1998 PG. 299  
BOM 2009 PG. 475

SURVEYED BY

**DANIEL V. PARTIN, PLS**  
200 WENDY COURT  
CARY NC 27511  
(919) 469-4683

**LEGEND**

- EIP - EXIST. IRON PIPE
- EIS - EXIST. IRON STAKE
- NIP - NEW IRON PIPE
- NIS - NEW IRON STAKE
- ECM - EXISTING CONC. MON.
- CP - COMPUTED POINT



SURVEY OF  
**LOT 2, WYNN TOUSLEY, II**  
SUBDIVISION  
BUCKHORN TWSHP., HARNETT CO. NC  
5908 RIVER ROAD, FUQUAY VARINA, NC 27526

SURVEY FOR

MILES AND DENEEN WESLEY AND BENEDICTO AND DENEEN SANTOS		
SCALE 1" = 100'	DATE JAN. 28, 2021	DRAWN BY DVP
JOB 11305 - 20	FIELD BOOK 2021 - 399	SURVEYED BY DVP



# Investors Title Insurance Company

A Surety Company  
P.O. Drawer 1007  
Chapel Hill, North Carolina 27515-0007  
(919) 990-6200 (800) 990-6646 Fax: (919) 990-2223

## SURVEYOR'S REPORT FORM

To: INVESTORS TITLE INSURANCE COMPANY

THIS IS TO CERTIFY, that on Jan 28 2001, I made an accurate survey of the premises standing in the name of DR 2220-272, RUCKHOEN TWP HARNETT CO, NC situated at briefly described as Lot 2, Wynn Towsley, II and shown on the accompanying survey entitled:

I made a careful inspection of said premises and of the buildings located thereon at the time of making such survey and again on \_\_\_\_\_ and at the time of such latter inspection I found \_\_\_\_\_ to be in possession of said premises

as \_\_\_\_\_

I further certify as to the existence or non-existence of the following at the time of my last inspection:

1. Rights of way, old highways, or abandoned roads, lanes or driveways, drains, sewer, water, gas or oil pipe lines across said premises:
2. Springs, streams, rivers, ponds, or lakes located, bordering on or running through said premises:
3. Cemeteries or family burying grounds located on said premises. (Show location on plat):
4. Telephone, telegraph or electric power poles, wires or lines overhanging or crossing or located on said premises and serving said premises or other property or properties:
5. Joint driveways or walkways; party walls or rights of support; porches, steps or roofs used in common or joint garages:
6. Encroachments, or overhanging projections. (If the buildings, projections or cornices thereof, or signs affixed thereto, fences or other indications of occupancy encroach upon or overhang adjoining properties, or the like encroach upon or overhang surveyed premises, specify all such):
7. Building or possession lines. (In case of city or town property specify definitely as to whether or not walls are independent walls or party walls and as to all easements of support or "beam rights." In case of country property report specifically how boundary lines are evidenced, that is, whether by fences or otherwise).
8. Is property improved?
9. Indications of building construction, alterations or repairs within recent months:  
(a) If new improvements under construction, how far have they progressed?
10. Changes in street lines either completed or officially proposed:  
(a) Are there indications of recent street or sidewalk construction or repairs?
11. Does the property abut a dedicated public road? If not, explain what type of road it abuts. If property does not abut a road, answer this question "none."
12. If the surveyed premises are subject to restrictive covenants, do the improvements, use and occupancy comply with such? (If the premises are subject to restrictive covenants, have the examining attorney furnish you verbatim copy of them.)

None Visible

None Known

None Visible

overhead

None Visible

\*Wire fence over (meanders)

Independent Walls

Yes

None Visible

None Known

No, Access  
\* (Easement, Ingress Egress)

Registered Land Surveyor  
**Daniel V. Partin PLS**  
L-3218

NOTE: In all cases where there are encroachments, support easements, party walls, etc., they should also be denoted upon the map of your survey. Also, be certain map complies with instructions on reverse side.

Congratulations on designing your building! Our goal is to exceed your expectations of our service and product. If you have immediate questions or concerns, please contact us.

All frame work is constructed with galvanized steel metal



Viking Steel Structures  
37830  
(877)261-3287  
sales@vikingsteelstructures.com

Customer Order - Apr 18, 2023

Ship To		Order # 1681842764370031	
Name Mark Santos			
Install Address 5908 River Road			
City FUQUAY VARINA		Zip Code 27526	
Email marksantos15@gmail.com		Mobile #	
State NC		Phone # 8145048240	
Building Info		Color	
Style:	Garage	Roof	Q Gray
Roof Style:	Vertical Style	Trim:	Cardinal Red
Gauge:	14-Gauge Framing	Gable End Wall	Cardinal Red
Leg Style:	Standard	Side Wall	Cardinal Red
Brace:	Standard Brace	Anchoring & Site Preparation	
Size		Installation Surface: Concrete	
30' X 50' X 12'		Engineer Certified: 140/35 Cert	
Width Length Leg Height			
Design Link & Notes			
Contact me I'm simply exploring building options right now.			
Building Images			

