

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGGING WORK. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE AND LOCAL BUILDING CODES AND ORDINANCES. KADS CUSTOM HOME DESIGNS ASSUMES NO LIABILITY FOR SITE CONDITIONS, CONSTRUCTION METHODS OR ANY DEVIATION OF THESE PLANS.

NOTE:
ALL WINDOWS TO BE INSTALLED MUST MEET A MAXIMUM OF .32 U VALUE OR BETTER, UNLESS ENERGY CALCULATIONS ARE SUBMITTED WITH PLANS PROVIDED BY BUILDER AT TIME OF PLAN REVIEW.

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

10/23/2023



SEE NOTES



LEFT ELEVATION
SCALE: 1/4"=1'-0"

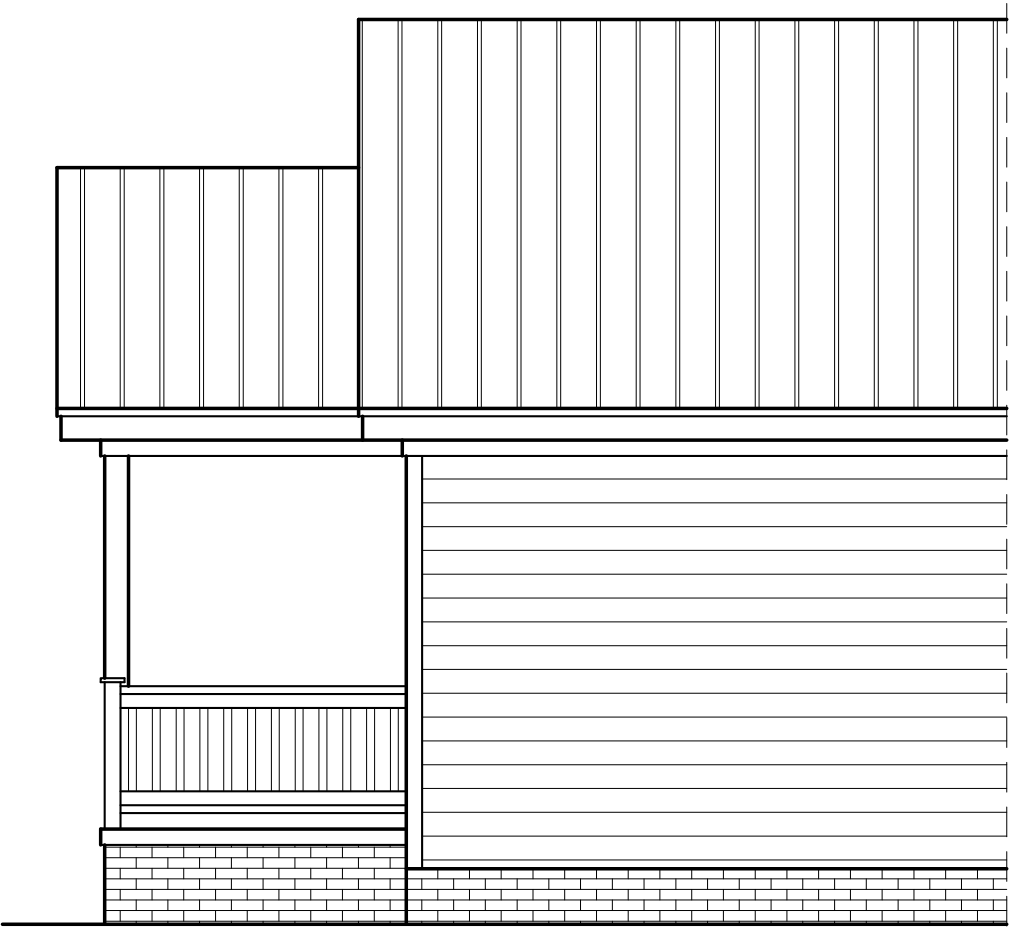


FRONT ELEVATION
SCALE: 1/4"=1'-0"

PROVIDE STEPS
AS PER GRADE

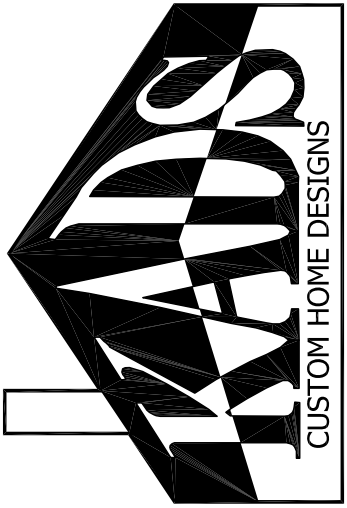


REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

HITE RESIDENCE



ANGIER, NC
919-369-7181

DRAWN BY:
D.W.O.

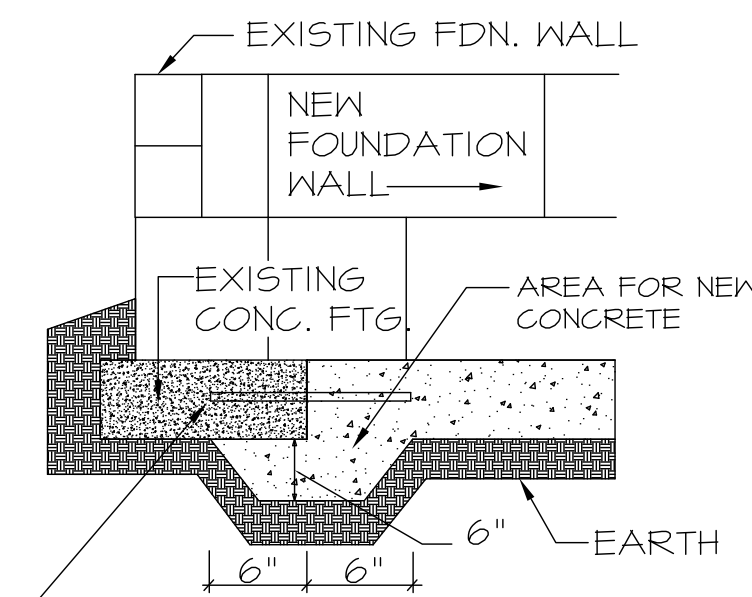
DATE:
10/16/23

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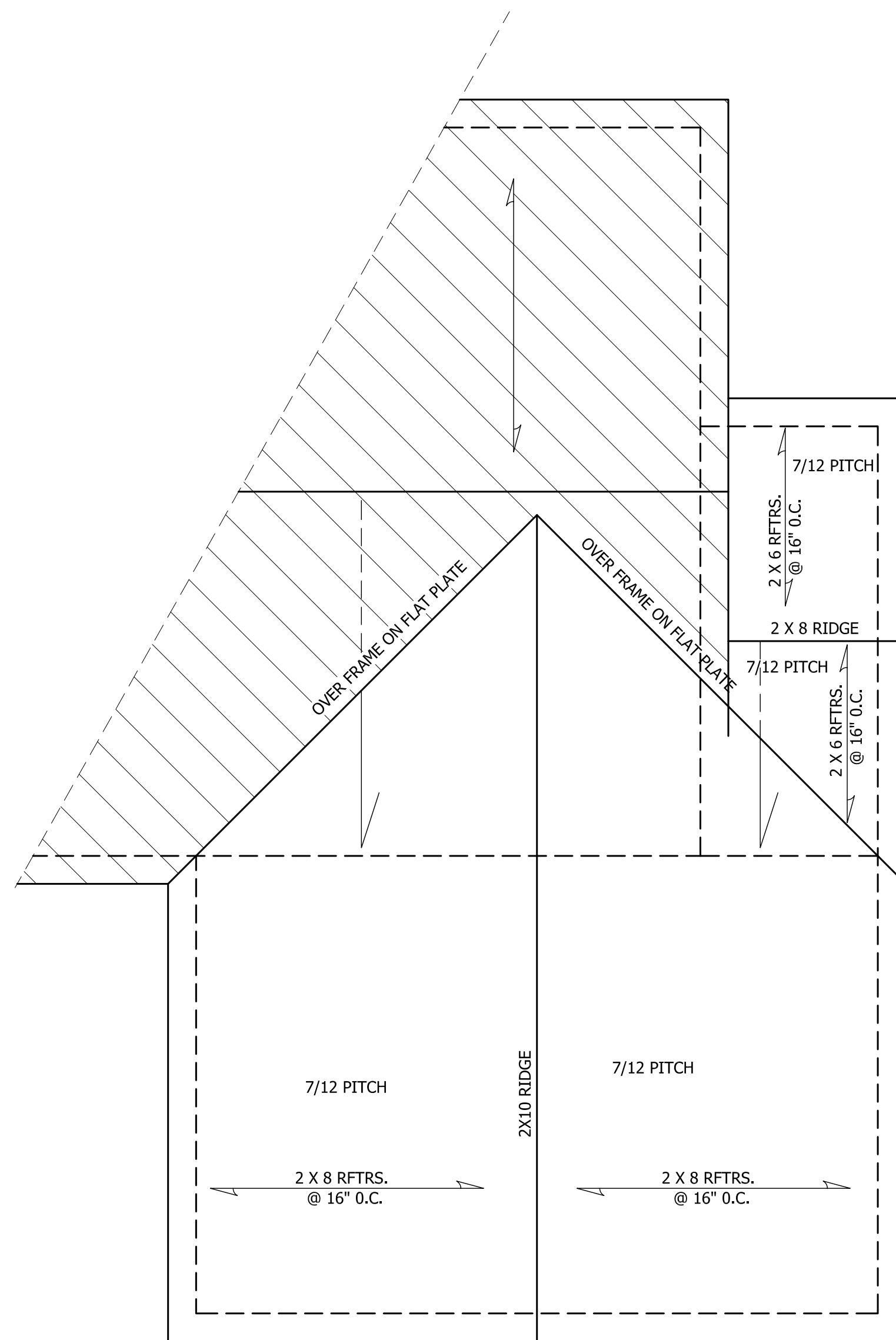
OF
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PLAN NO.
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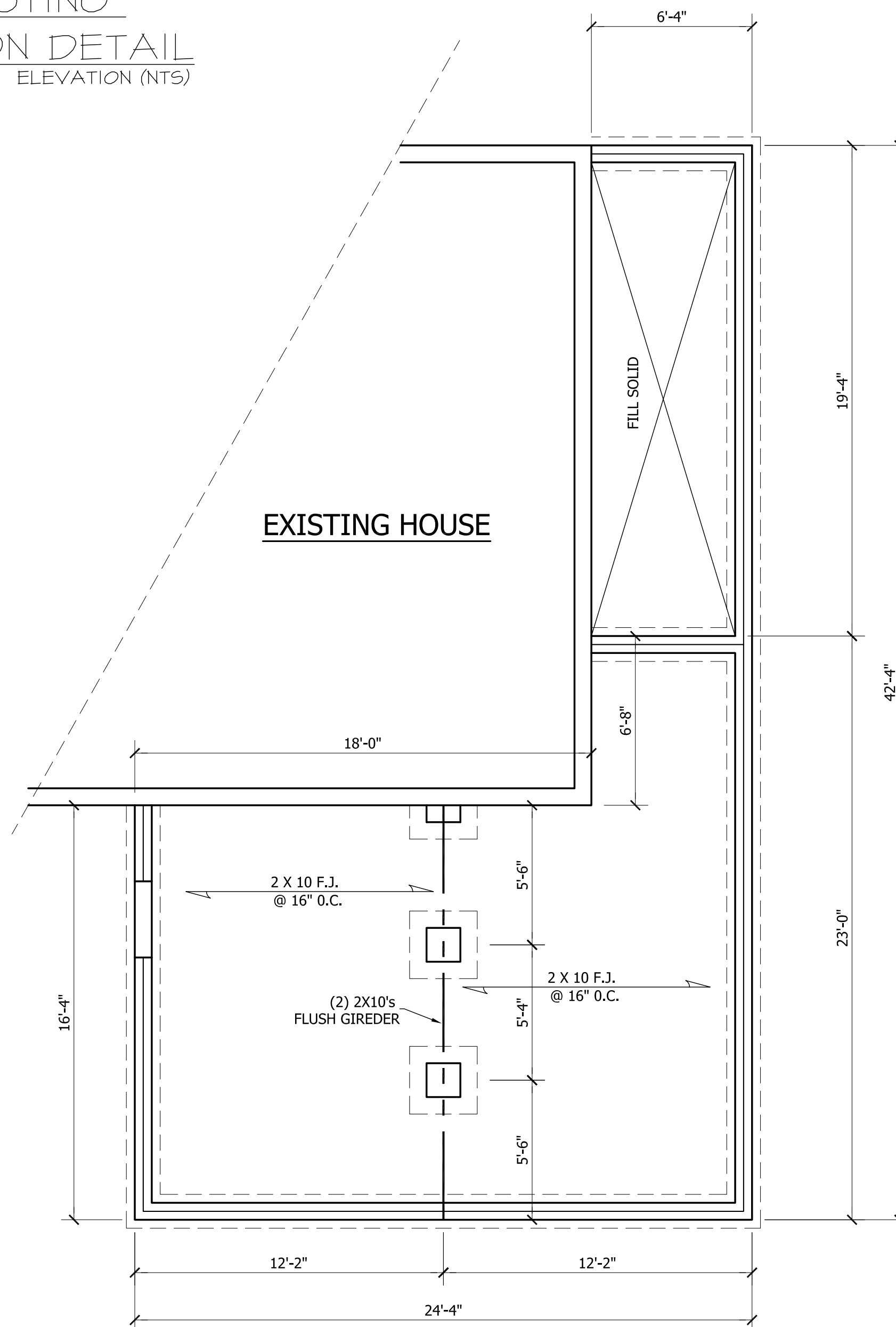
NOTE: IN LIEU OF UNDERCUTTING EXISTING FTG., USE (2) #4 DOWELS 12" LONG AT EACH JUNCTION BETWEEN NEW & EXISTING FTG.

NEW/EXISTING
FOUNDATION DETAIL
ELEVATION (NTS)

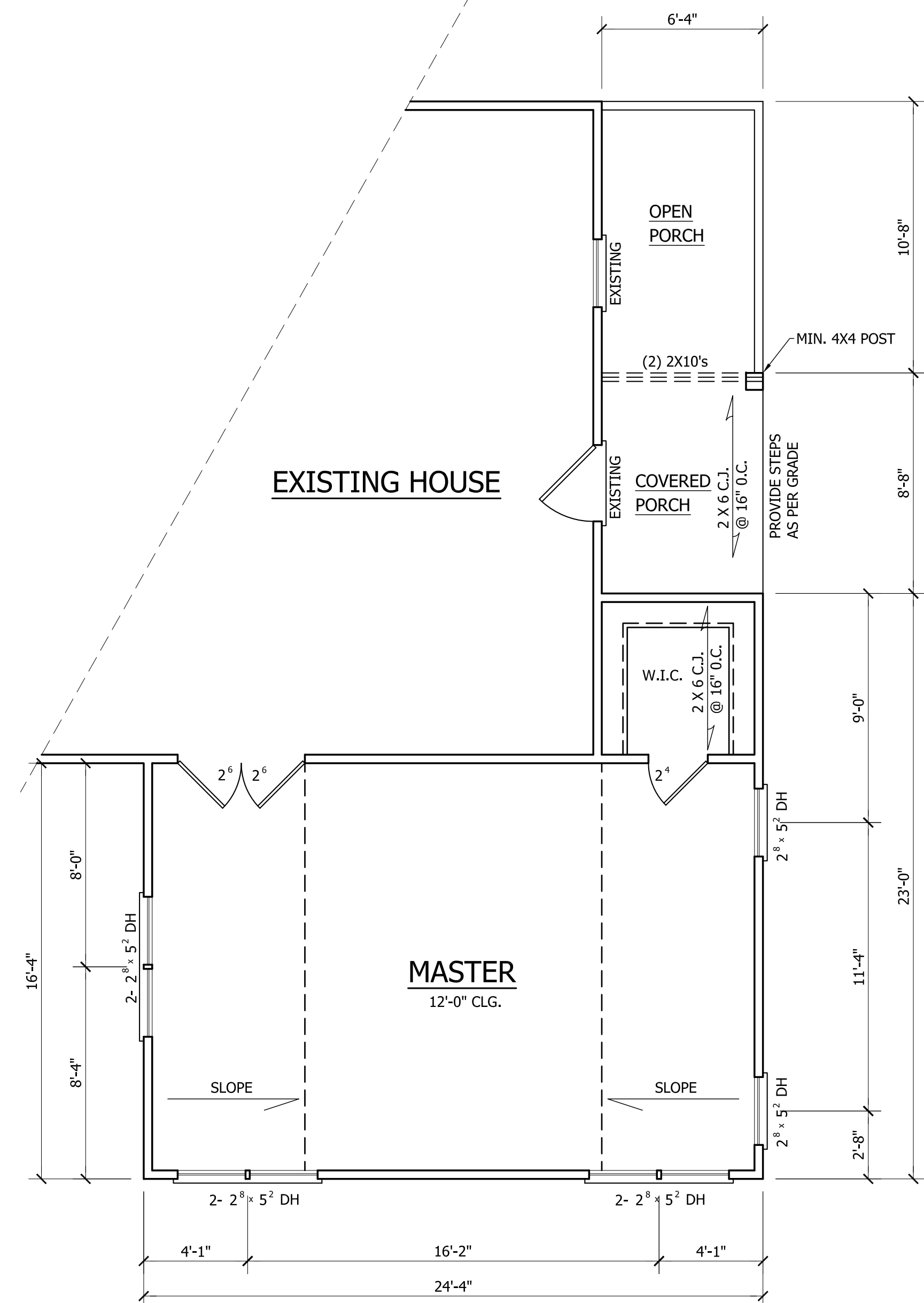


Building code requires ceiling joists in lower 1/3 of rafter span, as shown on page 3 wall detail. If this is to be built as a cathedral, the ridge must be designed as a beam that will carry roof load from the top.

ROOF PLAN
SCALE: 1/4"=1'-0"



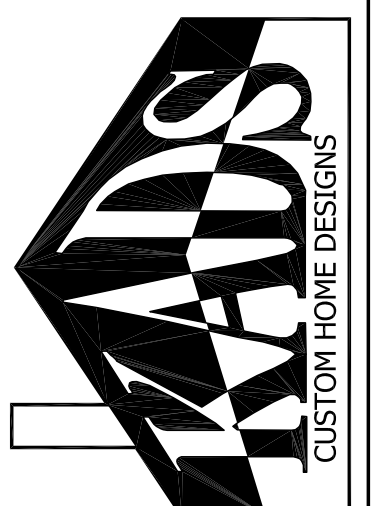
FOUNDATION PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

HEATED	
ADDITIONAL HTD. SQ. FT.	= 440
UNHEATED	
NEW PORCH SQ. FT.	= 122

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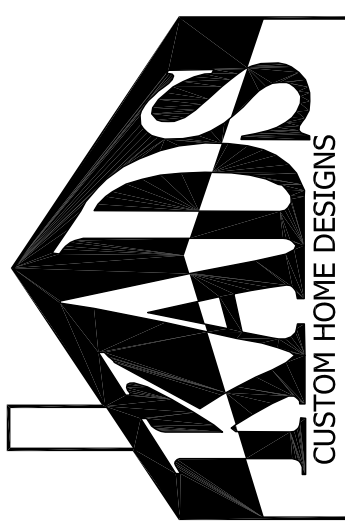
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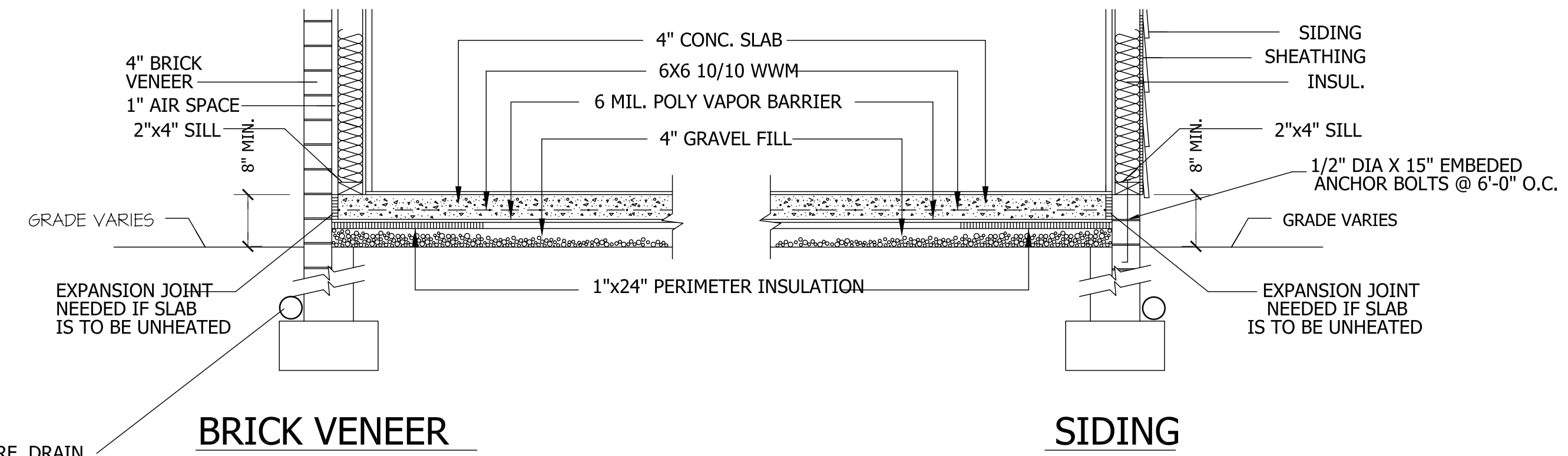
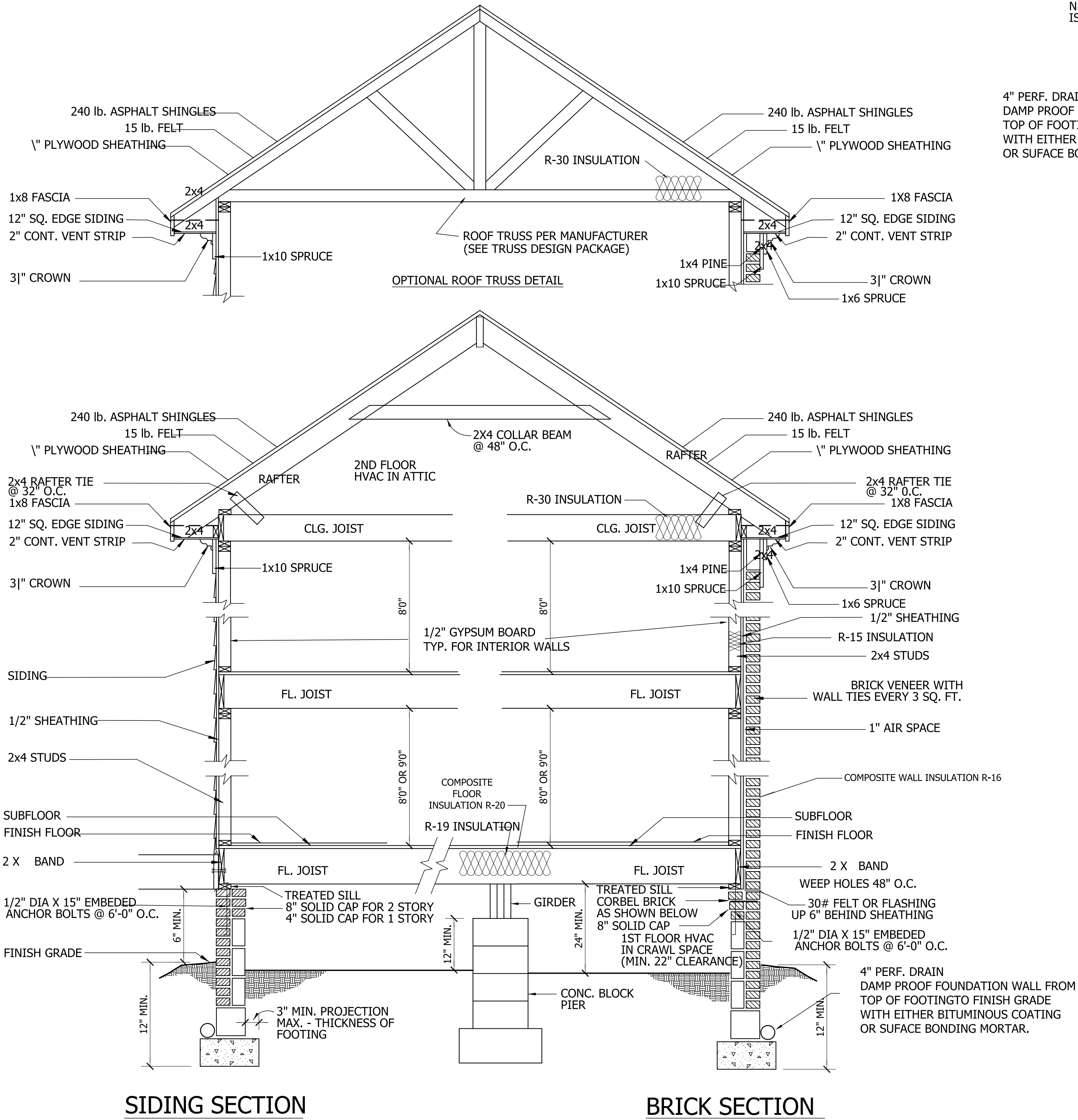
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CRAWL SPACE VENTILATION

PROVIDE AT LEAST 1.0 SQ. FT. NET FREE VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL SPACE.

CRAWL SPACE AREA = 440 SQ. FT.
440/150 = 2.93 SQ. FT. REQ'D.

REDUCE REQUIRED AREA TO 1.0 SQ. FT. NET FREE VENTILATION AREA FOR EACH 1,500 SQ. FT. OF CRAWL SPACE WITH APPROVED VAPOR BARRIER.

PROVIDE (1) VENT WITHIN 3'-0" OF EACH CORNER.

REFER TO MANUFACTURER SPECIFICATIONS FOR ACTUAL VENTS USED TO DETERMINE NUMBER OF VENTS REQUIRED.

ROOF VENTILATING REQUIREMENTS

$\frac{495}{150} = 3.3 \text{ SQ. FT. REQ'D}$

ROOF VENTILATING REQUIREMENTS
(POWER ROOF VENTILATOR REQUIRED)

$\frac{495}{300} = 1.65 \text{ SQ. FT. REQ'D}$

BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED.

