CONSTRUCTION PLAN SHEET LIST

SHEET NUMBER	SHEET NAME
E-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATIONS
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-1.1	CRAWL W/BRICK FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
H-1	FIRST FLOOR ELECTRICAL PLAN
S-1	WALL SECTIONS
S-2	8" KDAT COLUMN W/ TRIM
S-3	STANDARD DECK DETAILS
S-4	FRAMING DETAILS

ABBREVIATIONS LEGEND-

5 SH	FIVE SHELVES
6 SH	SIX SHELVES
A.F.F	ABOVE FINISHED FLOOR
B.C	BLIND CORNER (CABINET)
C.J	CEILING JOIST
C.M.U	CONCRETE MASONRY UNIT
C.O	CASED OPENING
CONC	
C.R.V	CONTINUOUS RIDGE VENT DOUBLE SHELF AND ROD
DBL SH-RD- DH-	DOUBLE HUNG
DR. or DRWR-	DRAWER
D.S	DRAWER SPACE
EVP-	ENGINEERED VINYL PLANK
EXT	EXTERIOR
F.J	FLOOR JOIST
FS-	SUPPLY IN FLOOR (HVAC)
FTG	FOOTING
GYP. BD	GYPSUM BOARD
HB- HDG	HOSE BIBB HOT DIPPED GALVANIZED
HDWD-	HARDWOOD
HDR	HEADER
HT	HEIGHT
INT	INTERIOR
K.S	KNEE SPACE
KDAT-	KILN DRIED AFTER TREATMENT
L.B.W	LOAD BEARING WALL
L.S	LAUNDRY SINK or LAZY SUSAN
LVP-	
LVT-	LUXURY VINYL TILE
0.C 0.H	ON CENTER OVERHEAD
OPT	OPTIONAL
O.W.H	OVER THE WALL HEIGHT
P.T	PRESSURE TREATED
PANT	PANTRY
R/A-	RETURN AIR (HVAC)
REINF	REINFORCED
R.O	ROUGH OPENING
SC-	SUPPLY IN CEILING (HVAC)
SD-	SMOKE DETECTOR
SH- SH-RD-	
SIJ	SHELF AND ROD SINGLE JOIST
SM/CO-	SMOKE AND CARBON MONOXIDE DETECTOR
SPEC	SPECIFIED
SPF-	SPRUCE/PINE/FIR
S.R.O	SHEETROCK OPENING
SYP-	SOUTHERN YELLOW PINE
T & G-	TONGUE AND GROOVE
TEMP	TEMPERED
T.O.P	
TRAP	
U.N.O UTIL-	UNLESS NOTED OTHERWISE UTILITY
	VANITY
VAN W/H-	WATER HEATER
W.H.H	WINDOW HEADER HEIGHT
	WALK IN CLOSET

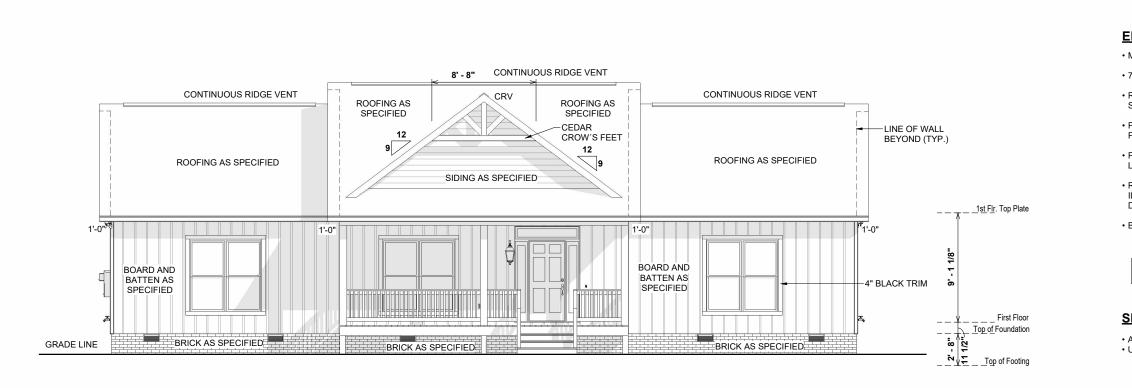


<u>REAR VIEW</u>

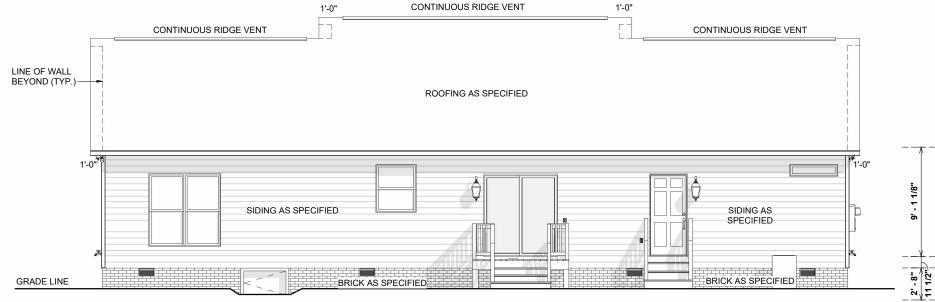


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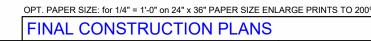
		DATE							
ENERAL NOTES:	ULE				+	+	+		
MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR	CHEDI	TION							
MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR	ON SC	DESCRIPTION							
ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE	REVISION SCHEDULE	DES							
HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.		REV #							
STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. UNLESS NOTED OTHERWISE			,815 SF	144 JT 050 CE	5	32 SF	32 SF		
STANDARD SECOND FLOOR WINDOW HEADERS TO BE FRAMED DOWN 1'-2" FROM T.O.P. UNLESS NOTED DTHERWISE		-	-	-	-				
7/16" O.S.B. AND HOUSEWRAP REQUIRED			TED	Ë	5				
DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION	ä		FIRST FLOOR HEATED			TOOP	TOTAL UNCOVERED		
ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED	AREAS		- FIRST			8'X4' STOOP	TOTAL		
NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE				_		27332			
CLOSET SHELF HEIGHT OFF FLOOR: SINGLE - 68" DOUBLE - 42" & 84"		۲		EEYA		JRD NC		<u>87:</u>	NOSI
ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION				DUSIRAD, PREEYA		425 BUMPY LANE SANFORD NC 27332		SOLD BY:	V. ADDISON
ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE	U	2		2		P			Ŧ
INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM				SUCS		YAML			FAYETTEVILLLE-141
RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE						125 BL		ü	ETTEVII
UTILITY STUB-OUT LOCATIONS TO BE VERIFIED ON SITE	THE		FOR			V		OFFICE	FAYE
	<u>JOB#</u>	141-23-009		2x4 EXTERIOR WALLS			CNAWLOFACE		
	<u>DRAWN BY:</u>	ANA P.	CHECKED BY:	<u>u</u>	3	<u>PRINTED:</u> 9/14/2023	7:59:47 AM		
	PROPERTY OF:				AMERICAS AMERICAS		© <u>COPYRIGHT - 2023</u>		
for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%	SHEET #		()]			COVER SHEET	
OPYRIGHT INFRINGEMENT. PAPER SIZE: 11" x 17"	SCA	٨LE	: 1/	'8" =	: 1'-	-0"		00	
									_



1 FRONT ELEVATION 1/8" = 1'-0"



2 REAR ELEVATION 1/8" = 1'-0"



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ELEVATION NOTES:

• MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR

• 7/16" O.S.B. AND HOUSEWRAP REQUIRED

 ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA

• FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY

FOOTINGS TO BE LOCATED BELOW FROST LINE (SEE LOCAL CODES)

• RAILINGS SHOWN IN ELEVATION ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL RAIL DETAIL MAY VARY PER LOCATION

BLACK GUTTERS

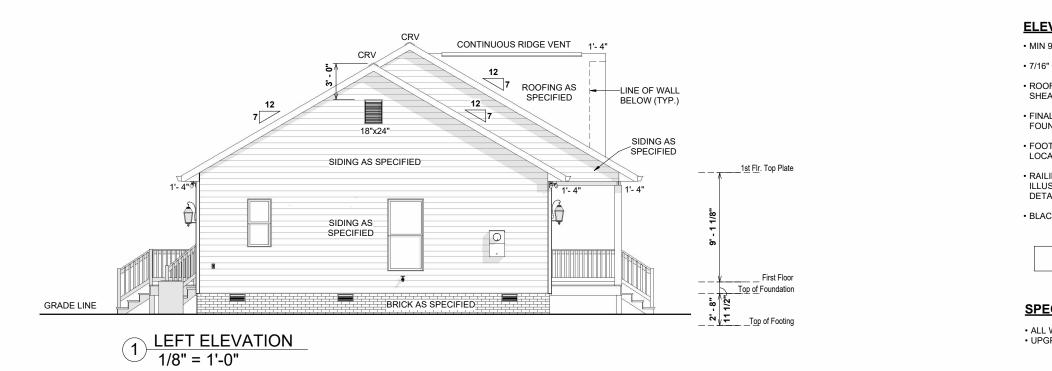
7:12 O.W.H. = 5 1/4"

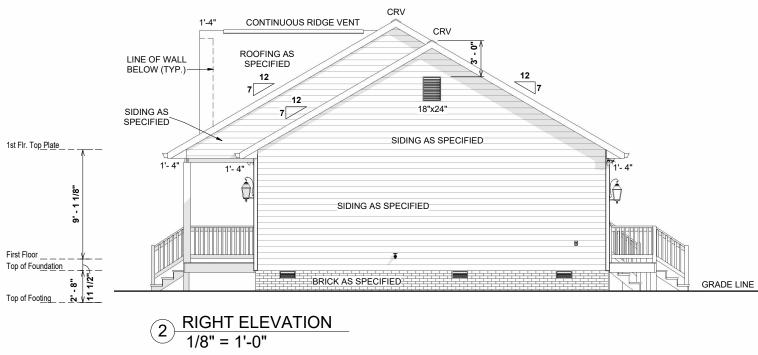
SPECIAL NOTES:

ALL WINDOWS BLACK EXTERIOR, WHITE INTERIOR
 UPGRADE TO PREMIUM COLOR GUTTERS

___1<u>st Flr</u>. Top Plate

ARGE PRINTS TO 200%				TE INTERIOR ERS		ROST LINE (SEE FOR JAL RAIL	ROM WALL SITE; ATION ONLY	r Floor Red	
SC SHEET #	PROPERTY OF:	DE: DRAWN BY:	JOB#		<u>AREAS:</u>		REVISIO	REVISION SCHEDULE	
ALE		ANA P.	141-23-009	ASHLET A		R	REV # DESC	DESCRIPTION	DATE
E: 1				EDD.	FIRST FLOOR HEATED	1,815 SF	_	-	
- /8'					FRONT PORCH	144 SF			
 = 1	C - MERICAS	<u>S</u>		DOSINAU, LAELIA	TOTAL UNDER ROOF	1,959 SF			
I'-C	HOME PLAN		FOUNDATION TYPE		1				
)"		0/14/2023		425 BLIMPY LANE SANFORD NC 27332	8'X4' STOOP	32 SF			
	© <u>COPYRIGHT - 2023</u>		CRAWLSPACE		TOTAL UNCOVERED	32 SF			
FRONT & RE	FRONT & REAR ELEVATIONS	S			I				
				FAYETTEVILLLE-141 V. ADDISON					
									Ì







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ELEVATION NOTES:

• MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR

• 7/16" O.S.B. AND HOUSEWRAP REQUIRED

• ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA

• FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY

• FOOTINGS TO BE LOCATED BELOW FROST LINE (SEE LOCAL CODES)

 RAILINGS SHOWN IN ELEVATION ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL RAIL DETAIL MAY VARY PER LOCATION

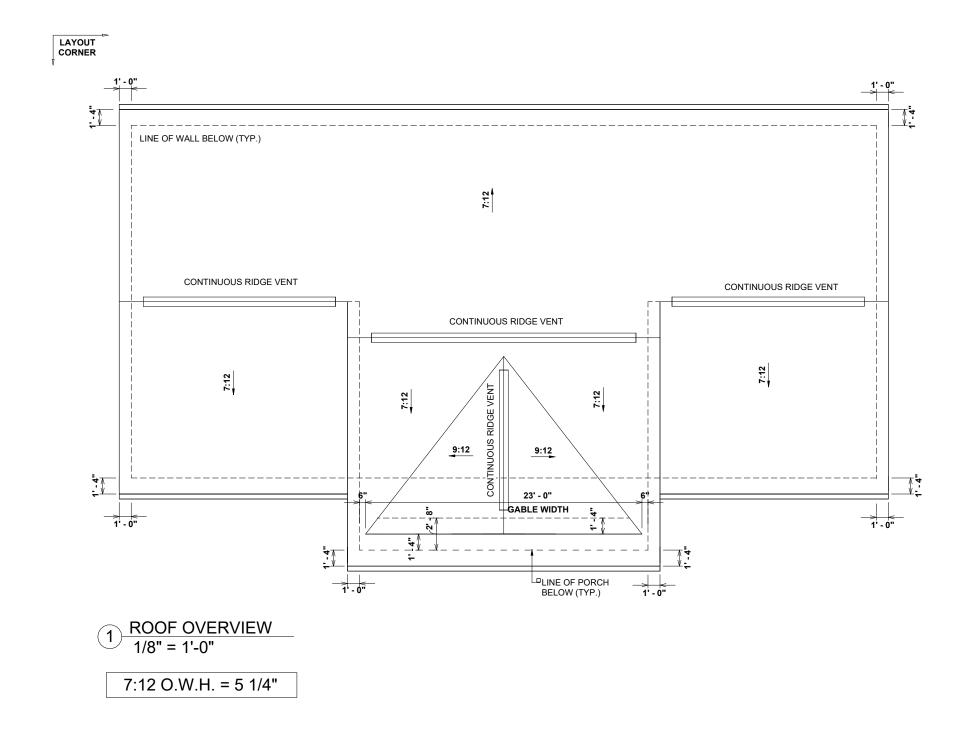
BLACK GUTTERS

7:12 O.W.H. = 5 1/4"

SPECIAL NOTES:

ALL WINDOWS BLACK EXTERIOR, WHITE INTERIOR
 UPGRADE TO PREMIUM COLOR GUTTERS

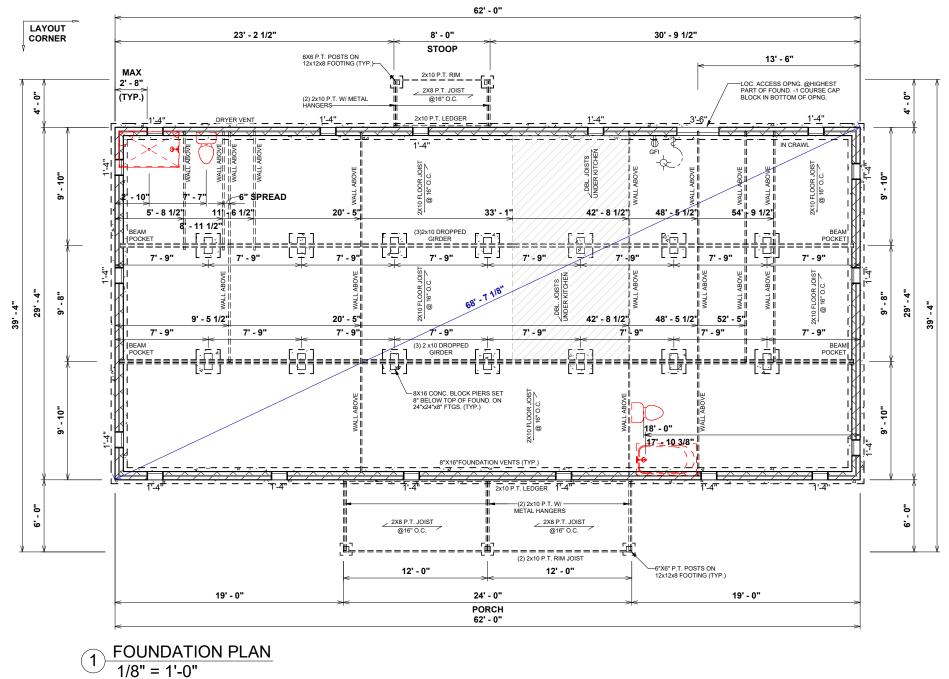
DOR WALL ; N ONLY	REVISION SCHEDULE	REV # DESCRIPTION DATE	-							
LINE (SEE			1,815 SF	144 SF	1,959 SF		32 SF	32 SF		
RAIL			1,		4					
	<u>AREAS:</u>		- FIRST FLOOR HEATED	FRONT PORCH	TOTAL UNDER ROOF		8'X4' STOOP	TOTAL UNCOVERED	1	
ITERIOR		AUTLET A	EOB:		DUOINAU, LAGETA		425 BLIMPY LANE SANFORD NC 27332		OFFICE: SOLD BY:	FAYETTEVILLLE-141 V. ADDISON
	JOB#	141-23-009			ZX4 EXTENUS WALLS			CKAWLSPACE		
	DRAWN BY:	ANA P.	יאם הבראבה בעי		S	DDINTED.	0/14/2023	7:59:52 AM		
	PROPERTY OF:				C STREET	HOME PLANE		© COPYRIGHT - 2023	-EVATIONS	
ARGE PRINTS TO 200%	SHEET #							3	LEFT & RIGHT ELEVATIONS	
PAPER SIZE: 11" x 17"	SC/	٩LE	:: 1	1/8'	" = "	ı '-C)"			

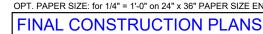


OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO FINAL CONSTRUCTION PLANS

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REVISION SCHEDULE DESCRIPTION
1,815 SF 144 SF 1,959 SF 32 SF 32 SF
AREAS: AREAS: FIRST FLOOR HEATED FRONT PORCH TOTAL UNDER ROOF 8'X4' STOOP TOTAL UNCOVERED
Bit ASHLEY 'A' 3: ASHLEY 'A' 3: DUSIRAD, PREEYA 425 BUMPY LANE SANFORD NC 27332 51CE: V. ADDISON
THE: ASHI EOR: DUSIRAI 425 BUMPY LANE OFFICE: FAYETTEVILLE-141
JOB # 141-23-009 2x4 EXTERIOR WALLS EQUNDATION TYPE: CRAWLSPACE
DRAWN BY: ANA P. CHECKED BY: JS 914/2023 7:59:52 AM
PROPERITY OF:
Image: state



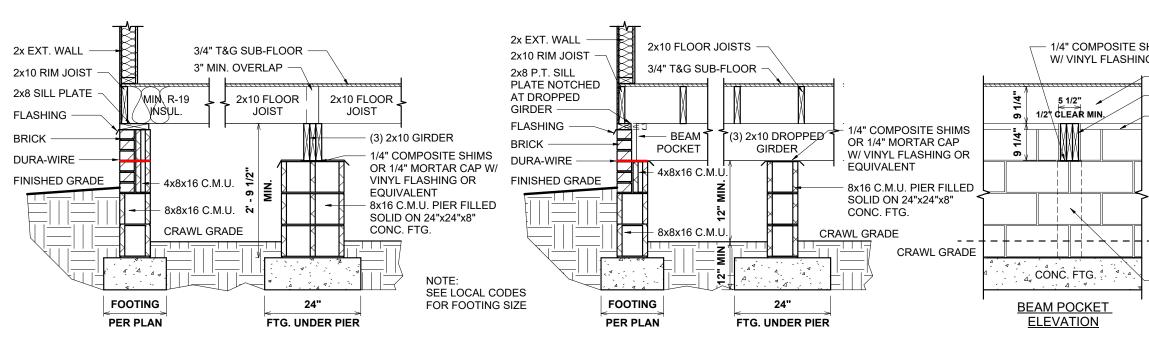


FOUNDATION NOTES

- TYPICAL FOUNDATION WALL: (2'-8") 4" BRICK W/ 4" BLOCK ON (2) 8" BASE BLOCK - ON TOP OF 16" x 8"d POURED CONCRETE FOOTING
- CRAWL SPACE ACCESS TO BE 42" WIDE
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- POLY REQ'D IN CRAWL

		_	_	1					_		7
	REVISION SCHEDULE	REV # DESCRIPTION DATE	_								
			1,815 SF	144 SF	1,959 SF		32 SF	32 SF			
4" BRICK ON TOP OTING VIDE DOR NEAR	<u>AREAS:</u>		FIRST FLOOR HEATED	FRONT PORCH	TOTAL UNDER ROOF	T	8'X4' STOOP	TOTAL UNCOVERED			
IENSIONS SEES RETE EAMS OR NS LOCAL IERS OR ED BEAM POCKET		ADULET A			DUOINAU, FREETA		425 BLIMPY LANE SANFORD NC 27332		OFFICE: SOLD BY:	AYETTEVILLLE-141 V. ADDISON	
	JOB# THE:	141-23-009						CRAWLSPACE	OF	FA	
	<u>DRAWN BY:</u>	ANA P.			S	PRINTED.	0/14/2023	7:59:53 AM			
	PROPERTY OF:				C AMERICA'S	HOME PLAN		© COPYRIGHT - 2023	AN		
LARGE PRINTS TO 200%	SC/	ALE	: '	1/8'	" = 1	I'-C	,"		FOUNDATION PLAN		

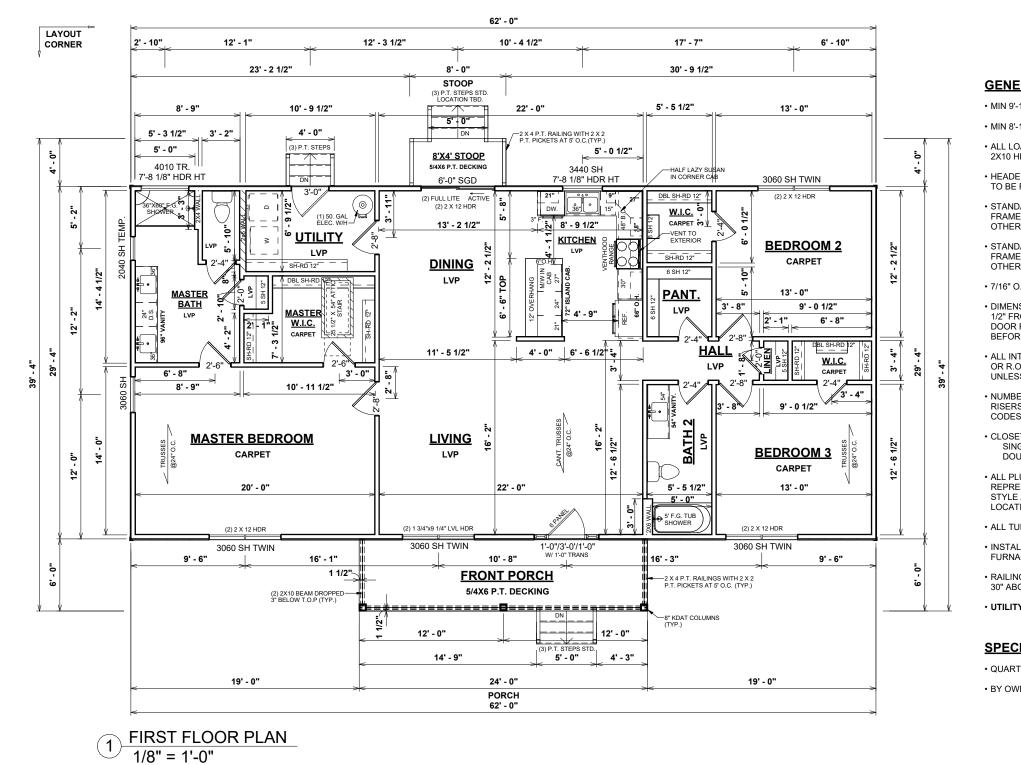
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200







PROPERTYOE: DRAWN BY: JOB # ANA P: JAB 141-23-009 ANA P: 141-23-009 ANA P: 141-23-009 CHECKED BY: 2x4 EXTERIOR WALLS JS 2x4 EXTERIOR WALLS SCOPYRIGHT - 2023 2x4 EXTERIOR WALLS MIRRICK FOUNDATION 425 BUMPY LANE SANFORD NC 27332 AND STATION A125 BUMPY LANE SANFORD NC 27332	RIGHT INFRINGEMENT. PAPER SIZE: 11" x 17"						 TOP VIEW NOTCHED PLATE FILL CELLS SOLID UNDER BEAM BEARING POINT 	- 2x8 P.T. SILL PLATE 5 1/2" 1/2" CLEAR MIN. NOTCH SILL PLATE AROUND DROPPED BEAM- 1/2" CLEAR MIN. DROP GIRDER	GHIM OR 1/4" MORTAR CAP IG OR EQUIVALENT — 2x10 FLOOR JOIST — (3) 2x10 DROPPED GIRDER		
MAR P. 14.1-23-003 ERV # DESCRIPTION CHECKED BY: 2x4 EXTERIOR WALLS EOS: ENST FLOOR HEATED 1,815 SF DESCRIPTION JS 2x4 EXTERIOR WALLS EOS: DUSIRAD, PREEYA IRST FLOOR HEATED 1,815 SF DESCRIPTION JS 2x4 EXTERIOR WALLS EON DUSIRAD, PREEYA Inst FROOR 1,815 SF DESCRIPTION J14.2023 CRUNDATION TYPE: 425 BUMPY LANE SANFORD NC 27332 Inst FROOP 32 SF DESCRIPTION J14.2023 CRAWLSPACE 425 BUMPY LANE SANFORD NC 27332 Inst FROOP 32 SF DESCRIPTION Inst FROOP Inst FROOP </td <td>SCA</td> <td>SHEET #</td> <td>#</td> <td>PROPERTY OF:</td> <td><u>DRAWN BY:</u></td> <td></td> <td></td> <td><u>AREAS:</u></td> <td></td> <td>REVISION SCHEDULE</td> <td></td>	SCA	SHEET #	#	PROPERTY OF:	<u>DRAWN BY:</u>			<u>AREAS:</u>		REVISION SCHEDULE	
CHECKED BY: Js Zx4 EXTERIOR WALLS FOR: FRONT POCH HEALEU Js Zx4 EXTERIOR WALLS FOR Js Zx4 EXTERIOR WALLS DUSIRAD, PREFYA FRONT POCH HEALEU Js Zx4 EXTOR TOTAL UNDER ROOF 13 PRINTED: FOUNDATION TYPE: 425 BUMPY LANE SANFORD NC 27332 BX4' STOOP 14 M142023 TOTAL UNDER ROOF TOTAL UNDER ROOF 15 M142023 CRAWLSPACE 425 BUMPY LANE SANFORD NC 27332 BX4' STOOP 14 M142023 TOTAL UNCOVERED TOTAL UNCOVERED 15 M142024 M V. ADDISON MADISON	LE:				ANA P.	141-23-009			REV	DESCRIPTION	DATE
JS 2x4 EXTERIOR WALLS DUSIRAD, PREFYA FRONT PORCH 1 PRINTED: FOUNDATION TYPE: 425 BUMPY LANE SANFORD NC 27332 8x4* STOOP 13 9/14/2023 CRAWLSPACE 425 BUMPY LANE SANFORD NC 27332 8x4* STOOP 14 7:59:54 AM OFFICE: 800 BV: 100 BV: 100 BV: 7:59:54 AM OFFICE: 800 BV: 100 BV: 100 BV:	1				CHECKED BY:			FIRST FLOOR HEATED	1,815 SF		
JS ZALIATION WALE TOTAL UNDER ROOF 1,0 PRINTED: FOUNDATION TYPE: 425 BUMPY LANE SANFORD NC 27332 2X4'STOOP 9/14/2023 CRAWLSPACE 425 BUMPY LANE SANFORD NC 27332 2X4'STOOP 7:59:54 AM CRAWLSPACE 0FICE: \$SOLD BY: 7:59:54 AM FAYETTEVILLE-141 V. ADDISON	/2"		7					FRONT PORCH	144 SF		
PRINTED: FOUNDATION TYPE: 425 BUMPY LANE SANFORD NC 27332 8X4' STOOP 1000000000000000000000000000000000000	' = 1			A RIVERICAS	SL		DUSINAU, LAELIA	TOTAL UNDER ROOF	1,959 SF		
9/14/2023 CRAWLSPACE 4.25 BUMPY LANE SANFORD NC 27332 8'X4'STOOP 7:59:54 AM 7:59:54 AM 50 LD BY: 107AL UNCOVERED A 50 LD BY: 80 LD BY: 107AL UNCOVERED A FAYETTEVILLE-141 V. ADDISON	1'-0	I	1	HOME PLACE	PRINTED:	FOUNDATION TYPE:		-			
r/s9:34 AM OFFICE: SOLD BY: PAYETTEVILLE-141 V. ADDISON			C		9/14/2023	CRAWLSPACE	425 BUMPY LANE SANFORD NC 27332	8'X4' STOOP	32 SF 32 SE		
OFFICE: FAYETTEVILLE-141			IJ		/:59:54 AM				10 70		
FAYETTEVILLE-141	່ວ	RAWL V	N/BRICK	FOUNDATION	7						
	B	TAILS									

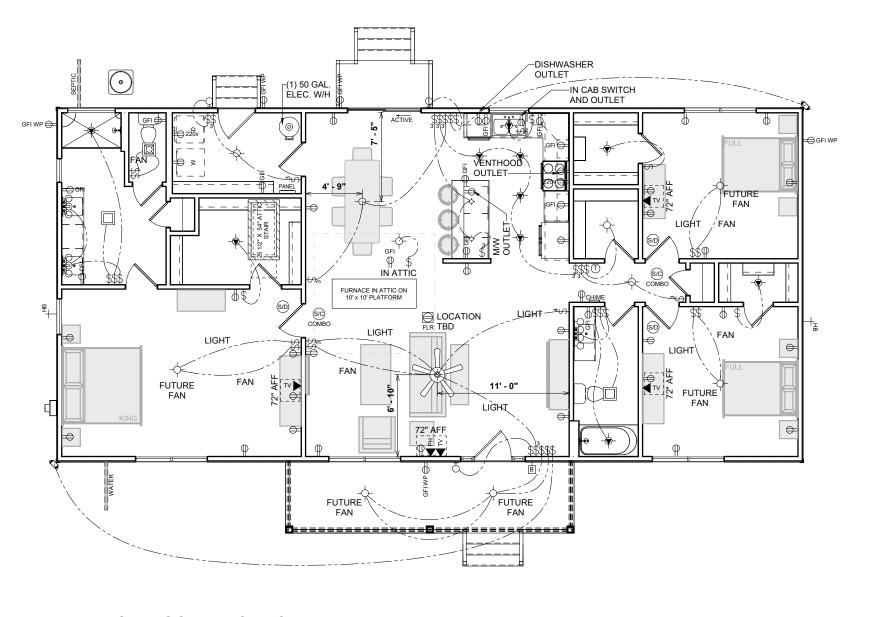


OPT. PAPER SIZE: for 1/4'

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NGS ARE A FORCED OPTION WHEN PORCH IS OVER	•	<u> </u>		<u></u>	FOUNDATION TYPE:	AWL			
ESENTATION OF SIZE AND LOCATION ONLY. ACTUAL E AND BRAND OF FIXTURES MAY VARY PER OFFICE TION UBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE ALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO ACE PLATFORM		41-23-009			PE:	CRAWLSPACE			
SS OTHERWISE DIMENSIONED BER OF EXTERIOR OR GARAGE STAIR TREADS & RS MAY VARY AS A RESULT OF LOCAL BUILDING IS, STANDARDS AND FINAL GRADE ET SHELF HEIGHT OFF FLOOR: NGLE - 68" DUBLE - 42" & 84" LUMBING FIXTURES SHOWN ARE A	<u>THE:</u>	HOR	FOR:	DUDIKAI		425 BUMPY LANE	OFFICE:	FAYETTEVILLLE-141	
DARD SECOND FLOOR WINDOW HEADERS TO BE IED DOWN 1'-2" FROM T.O.P. UNLESS NOTED RWISE O.S.B. AND HOUSEWRAP REQUIRED NSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT ROM DIMENSIONS FOR EXTERIOR WINDOW AND REAMING LOCATION IF OPENINGS ARE FRAMED RE SHEATHING INSTALLATION ITERIOR DOORS ARE EITHER CENTERED ON WALLS O. STARTED MIN OF 4" FROM ADJOINING WALL				UUSIKAU, PKEETA		425 BUMPY LANE SANFORD NC 27332	SOLD BY:	V. ADDISON	
-1 1/8" CEILING HEIGHT ON FIRST FLOOR -1 1/8" CEILING HEIGHT ON SECOND FLOOR OAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) HEADERS UNLESS NOTED OTHERWISE ERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS E RAMED DOWN 1'-5" FROM T.O.P. DARD FIRST FLOOR WINDOW HEADERS TO BE IED DOWN 2'-2" FROM T.O.P. UNLESS NOTED RWISE	<u>AREAS:</u>	-	FRONT PORCH	TOTAL UNDER ROOF 1		8'X4' STOOP TOTAL UNCOVERED			
ERAL NOTES:	REVISION SCHEDULE	REV # DESCRIPTION DATE	,013 SF 144 SF			32 SF 32 SF			

LIGHT FIXTURES	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	Ŷ
EXHAUST FAN	
EXHAUST FAN W/ LIGHT	a
EXTERIOR FLOOD	<u>aib</u>
FLUORESCENT - CEILING	
FLUORESCENT - WALL	
LED DISC	-\$-
PENDANT	¢
RECESSED CAN	-¢-
RECESSED EYEBALL CAN	-
UNDER / OVER CABINET LIGHT	-
VANITY	555
ELECTRICAL FIXTURES	
DOOR BELL BUTTON	B
DOOR BELL CHIME	CHIME
GARAGE DOOR OPENER	
MEDIA	PH P
OUTLET	6
OUTLET - CEILING	
OUTLET - FLOOR	FLR
OUTLET - GFI	der der der
OUTLET - 220v	2200⊕
SWITCH	\$ 3\$ 4\$
SWITCH - DIMMER	_\$
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	SD
THERMOSTAT	(T)



1 FIRST FLOOR ELECTRICAL PLAN 1/8" = 1'-0"



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ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED
- UTILITY STUB-OUT LOCATIONS TO BE VERIFIED ON SITE

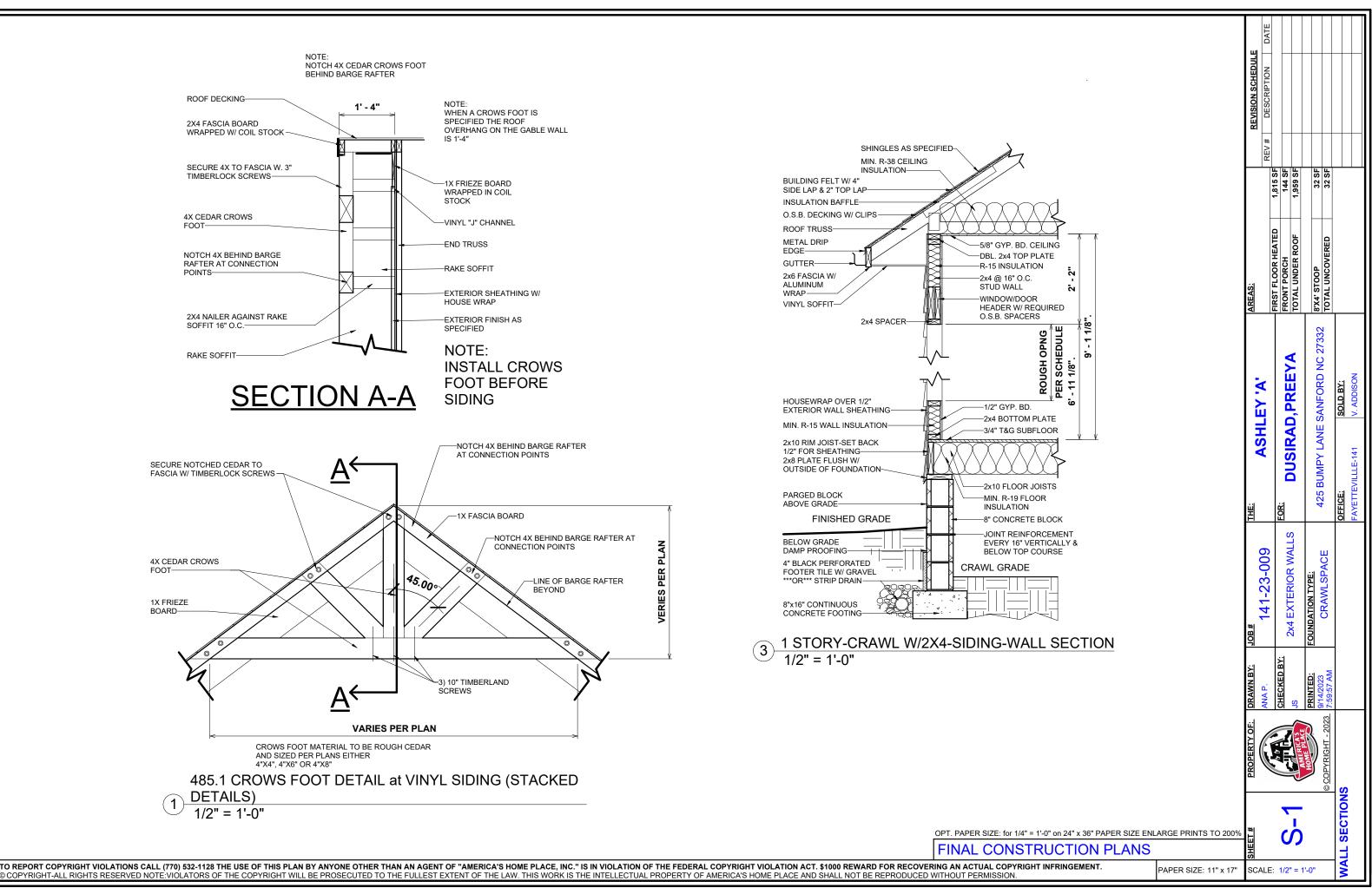
HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA IS TO BE AS CENTRALLY LOCATED AS POSSIBLE IN ACCORDANCE WITH ALL APPLICABLE CODES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10'-0" AWAY MIN. FROM DRYER VENT
- HVAC, THERMOSTAT, RETURN AIR, AND SUPPLIES TO BE DESIGNED & LOCATED BY MECHANICAL CONTRACTOR
- BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS AND/OR LINES TO ACCOMODATE OPTIMUM USAGE AND RESTRICTIONS DUE TO CODE & DESIGN REQUIREMENTS

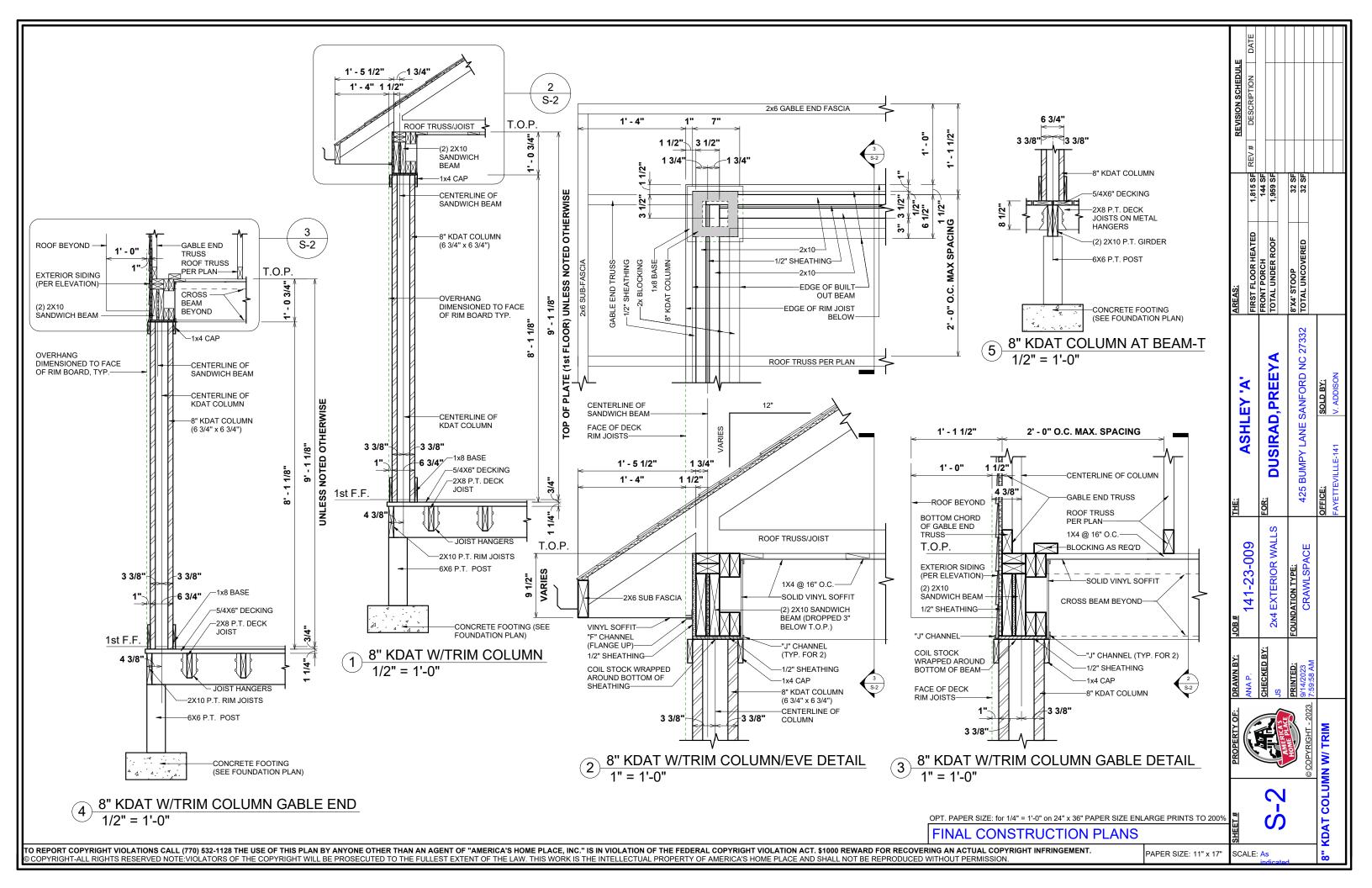
Y 125V, CEPTACLE QUIRED BY Y ARC-FAULT IATION TYPE, CTION OF T.CODE	REVISION SCHEDULE	REV # DESCRIPTION DATE	,815 SF	144 SF	,959 SF		32 SF	32 SF		
MPONENTS FOR 1 & 2 ED BY CODE VT AND WILL E TS ED TO BE	<u>AREAS:</u>		EATED 1		TOTAL UNDER ROOF 1,95	T		TOTAL UNCOVERED 3	–	
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OR RESERVE VENTS E OPTIMUM E TO CODE &		141-23-009		2~1 EXTEDIOP WALLS		FOUNDATION TYPE:		CKAWLSPACE		
	<u>DRAWN BY:</u>	ANA P.	CHECKED RV.		SL	PRINTED:	9/14/2023	7:59:57 AM		
	PROPERTY OF:				C AMERICA'S	HOME PLANE)	© COPYRIGHT - 2023	LECTRICAL	
ARGE PRINTS TO 200%	SCA	LE	: 1	/8'	I 	1'-0	-		FIRST FLOOR ELECTRICAL	PLAN

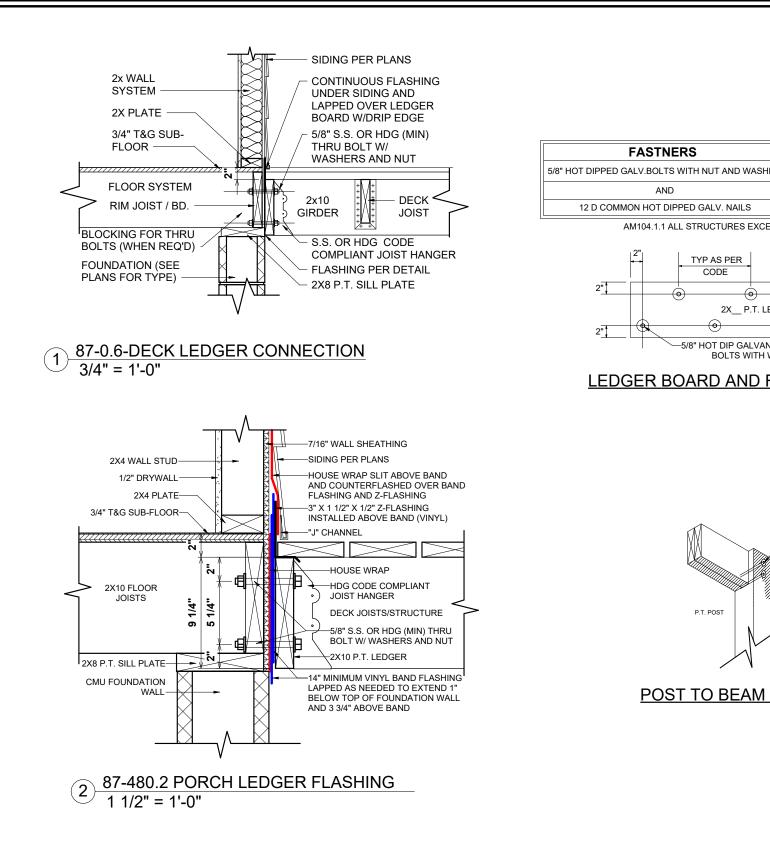
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



OCPYRIGHT-ALL RIGHTS RESERVED NOTE: VIOLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION





OPT. PAPER SIZE: for **FINAL CON**

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B MA	STENER DET	<u>rail</u>					FOR:	DUSIKAD, PKEEYA		420 BUINIPT LAINE SAINFURD INC 27332	OFFICE: SOLD BY: FAYETTEVILLLE-141 V. ADDISON	
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IST	TI-0" on 24" x 36" PAPER RUCTION PL				SHEET #		(り り り)		STANDARD DECK DETAILS	
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DAT

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

SINGLE WINDOW UNITS

		-
CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

TWIN/TRIPLE WINDOW UNITS

2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

TRANSOM WINDOW UNITS

3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

SPECIALTY WINDOWS

4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE. 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"

2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

INSWING UNITS 2-8 X 6-8 34 1/2" X 82 1/2" 3-0 X 6-8 38 1/2" X 82 1/2" 3-0 X 6-8 W/ (2) 12" S.L. 65 1/4" X 82 1/2" 3-0 X 6-8 W/ (2) 12" TRAN. 38 1/2" X 96" 3-0 X 6-8 W/ (2) 12" TRAN. 38 1/2" X 96" 3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN 65 1/4" X 96"

OUTSWING UNITS

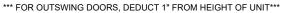
2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

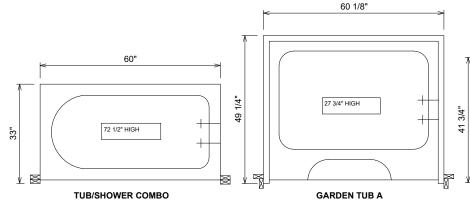
CENTER HINGED/ FRENCH DOOR ...

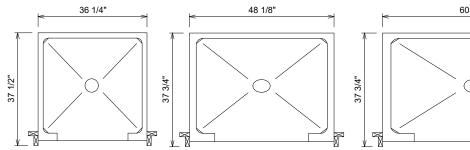
6-0 X 6-8 CENTER	75 5/8" X 82 1/2"				
HINGED(INSWING)					
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"				
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"				
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"				

SLIDING GLASS DOORS

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

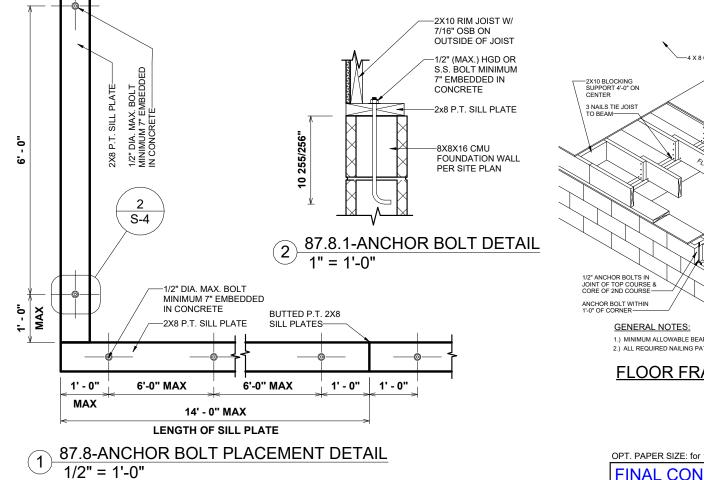






SHOWER STALLS

TUB DETAILS



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		DATE						
60 1/8"	REVISION SCHEDULE	REV # DESCRIPTION						-
			1,815 SF 144 SF	1,959 SF	37.65	32 SF 32 SF		
GARDEN TUB B	<u>AREAS:</u>		FIRST FLOOK HEATED	TOTAL UNDER ROOF		70TAL UNCOVERED		
30.S.B. SHEATHING		AONLET A	FOR:	DUSIRAD, PREEYA		425 BUMPY LANE SANFORD NC 27332	OFFICE: SOLD BY: FAYETTEVILLE-141 V. ADDISON	
2X4 BLOCKING TO REINFORCE SPLICE	<u>JOB #</u>	141-23-009		2x4 EXTERIOR WALLS	FOUNDATION TYPE:	CRAWLSPACE		
2X8 SILL PLATE SILL SEALER (BASEMENTS ONLY)	DRAWN BY:	ANA P.	CHECKED BY:	S	PRINTED:	9/14/2023 8:00:01 AM		
ARING FOR FLOOR JOIST IS 1 1/2". ATTERNS ARE PER PRINT AND/OR SPECS. AMING DETAIL	PROPERTY OF:			S NO IN		© COPYRIGHT - 2023		
1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200% ISTRUCTION PLANS YRIGHT INFRINGEMENT. V.	SC/	ALE		サ つ) vd		FRAMING DETAILS	

62-00-00 2-06-00 | ⁸ 0 0 1 2-00-00 8-0 00-0 2-00-00 1-05-08 1-11-04 Ş 2-00-2-00 , 2-00 2-00 2-00 2-00 2-00 2-0(2-0(2-0(2-0(2-0(2-0(2-0(2-0 11-02-00 B1(9) B1GE 17-00-00 A1SGE A1(11) 29-04-00 24-00-00 ACCESS Comment 1 HVAC PLATFORM AREA 00-0 10-0 SPACE / ATTIC ODD \rightarrow **V6** 2-00-00 V5 2-00-00 V4 2-00-00 **V3** 2-00-00 V2 6-00-00 2-00-00 V1 CANTILEVER TRUSSES OVER PORCH NO BEARING NECESSARY 24-00-00 19-00-00

