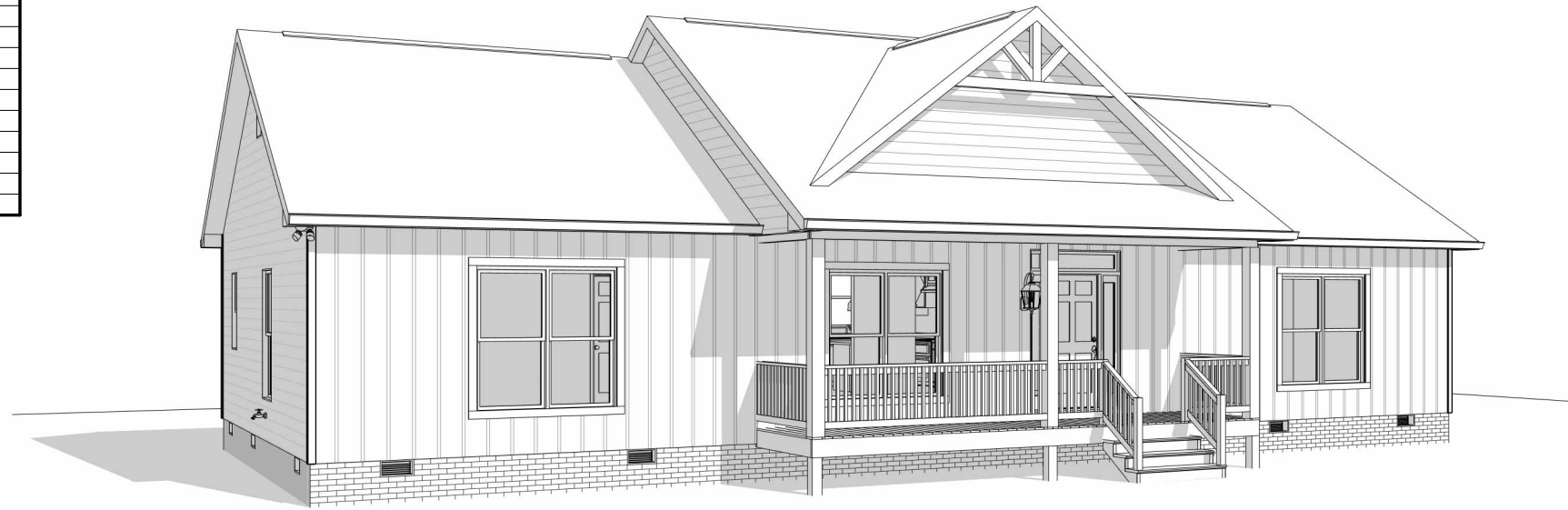


**CONSTRUCTION PLAN SHEET LIST**

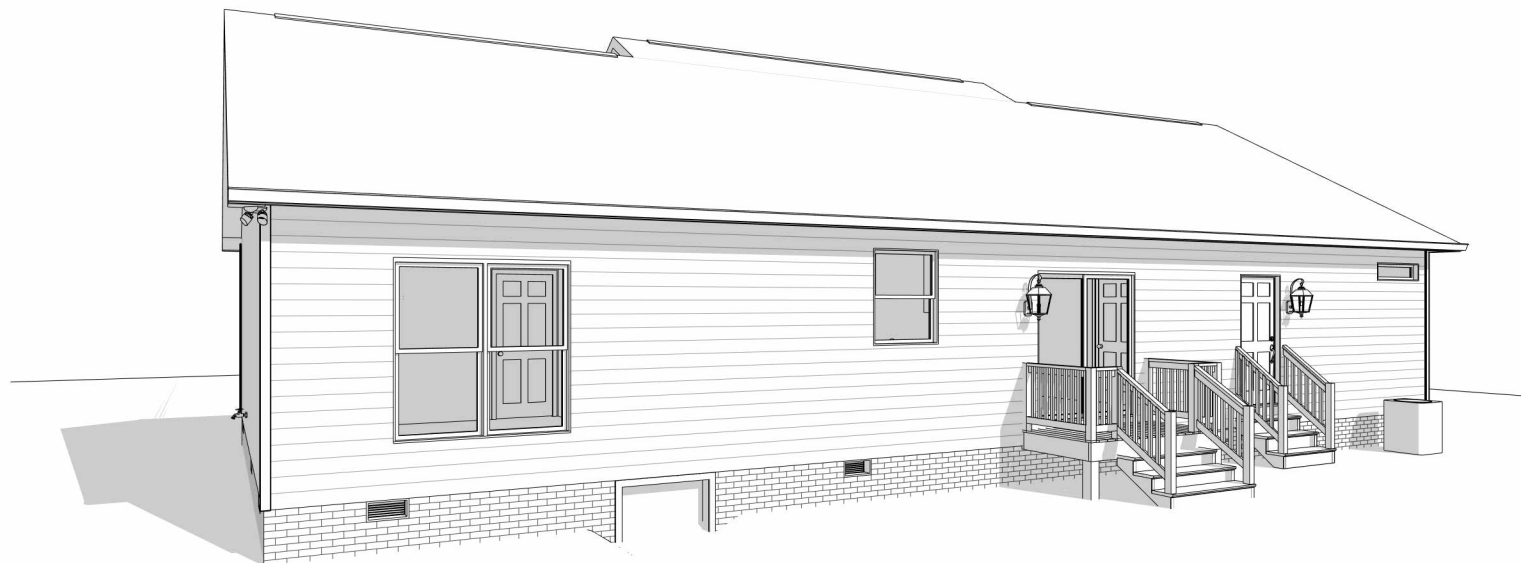
SHEET NUMBER	SHEET NAME
E-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATIONS
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-1.1	CRAWL W/BRICK FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
H-1	FIRST FLOOR ELECTRICAL PLAN
S-1	WALL SECTIONS
S-2	8" KDAT COLUMN W/ TRIM
S-3	STANDARD DECK DETAILS
S-4	FRAMING DETAILS

**ABBREVIATIONS LEGEND-**

5 SH.-	FIVE SHELVES
6 SH.-	SIX SHELVES
A.F.F.-	ABOVE FINISHED FLOOR
B.C.-	BLIND CORNER (CABINET)
C.J.-	CEILING JOIST
C.M.U.-	CONCRETE MASONRY UNIT
C.O.-	CASED OPENING
CONC.-	CONCRETE
C.R.V.-	CONTINUOUS RIDGE VENT
DBL SH-RD-	DOUBLE SHELF AND ROD
DH-	DOUBLE HUNG
DR. or DRWR-	DRAWER
D.S.-	DRAWER SPACE
EVP-	ENGINEERED VINYL PLANK
EXT.-	EXTERIOR
F.J.-	FLOOR JOIST
FS-	SUPPLY IN FLOOR (HVAC)
FTG.-	FOOTING
GYP. BD.-	GYPSUM BOARD
HB-	HOSE BIBB
HDG.-	HOT DIPPED GALVANIZED
HDWD-	HARDWOOD
HDR.-	HEADER
HT.-	HEIGHT
INT.-	INTERIOR
K.S.-	KNEE SPACE
KDAT-	KILN DRIED AFTER TREATMENT
L.B.W.-	LOAD BEARING WALL
L.S.-	LAUNDRY SINK or LAZY SUSAN
LVP-	LUXURY VINYL PLANK
LVT-	LUXURY VINYL TILE
O.C.-	ON CENTER
O.H.-	OVERHEAD
OPT.-	OPTIONAL
O.W.H.-	OVER THE WALL HEIGHT
P.T.-	PRESSURE TREATED
PANT.-	PANTRY
R/A-	RETURN AIR (HVAC)
REINF.-	REINFORCED
R.O.-	ROUGH OPENING
SC-	SUPPLY IN CEILING (HVAC)
SD-	SMOKE DETECTOR
SH-	SINGLE HUNG
SH-RD-	SHELF AND ROD
S.J.-	SINGLE JOIST
SM/CO-	SMOKE AND CARBON MONOXIDE DETECTOR
SPEC.-	SPECIFIED
SPF-	SPRUCE/PINE/FIR
S.R.O.-	SHEETROCK OPENING
SYP-	SOUTHERN YELLOW PINE
T & G-	TONGUE AND GROOVE
TEMP.-	TEMPERED
T.O.P.-	TOP OF PLATE
TRAP-	TRAPEZOID (WINDOW)
U.N.O.-	UNLESS NOTED OTHERWISE
UTIL-	UTILITY
VAN-	VANITY
W/H-	WATER HEATER
W.H.H.-	WINDOW HEADER HEIGHT
W.I.C.-	WALK IN CLOSET



**FRONT VIEW**



**REAR VIEW**

**GENERAL NOTES:**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS NOTED OTHERWISE
- HEADERS FOR WINDOWS ABOVE KITCHEN COUNTERTOPS TO BE FRAMED DOWN 1'-5" FROM T.O.P.
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- STANDARD SECOND FLOOR WINDOW HEADERS TO BE FRAMED DOWN 1'-2" FROM T.O.P. UNLESS NOTED OTHERWISE
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" ABOVE FINISHED GRADE
- UTILITY STUB-OUT LOCATIONS TO BE VERIFIED ON SITE

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

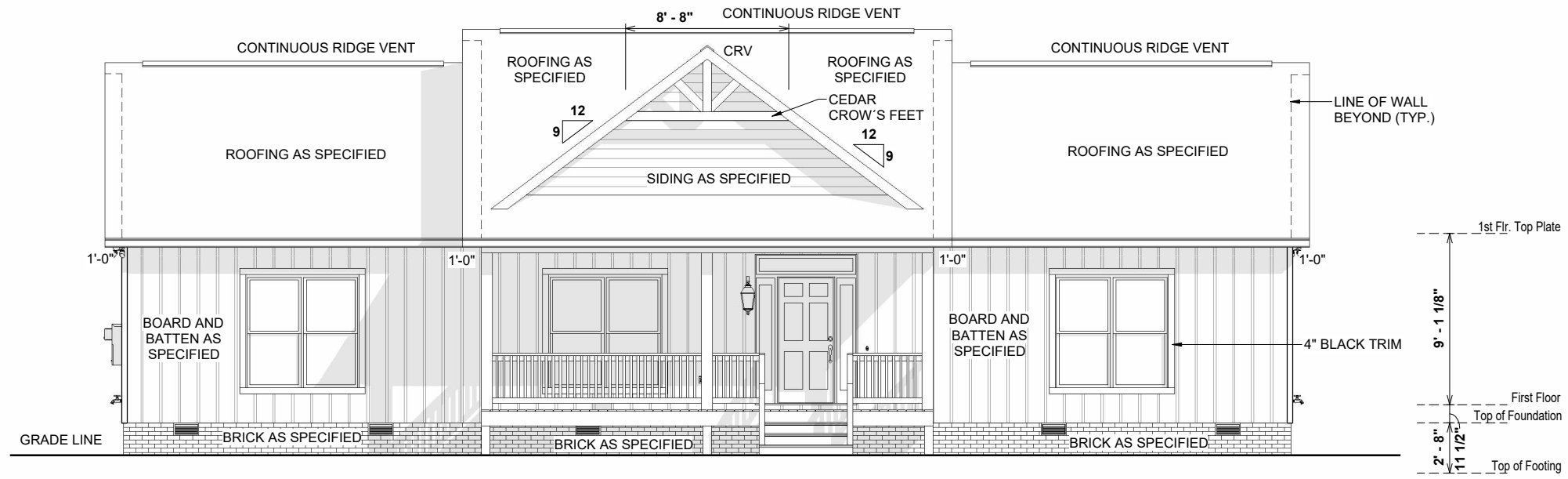
AREAS:	
FIRST FLOOR HEATED	1,815 SF
FRONT PORCH	144 SF
TOTAL UNDER ROOF	1,959 SF
8'X4' STOOP	32 SF
TOTAL UNCOVERED	32 SF

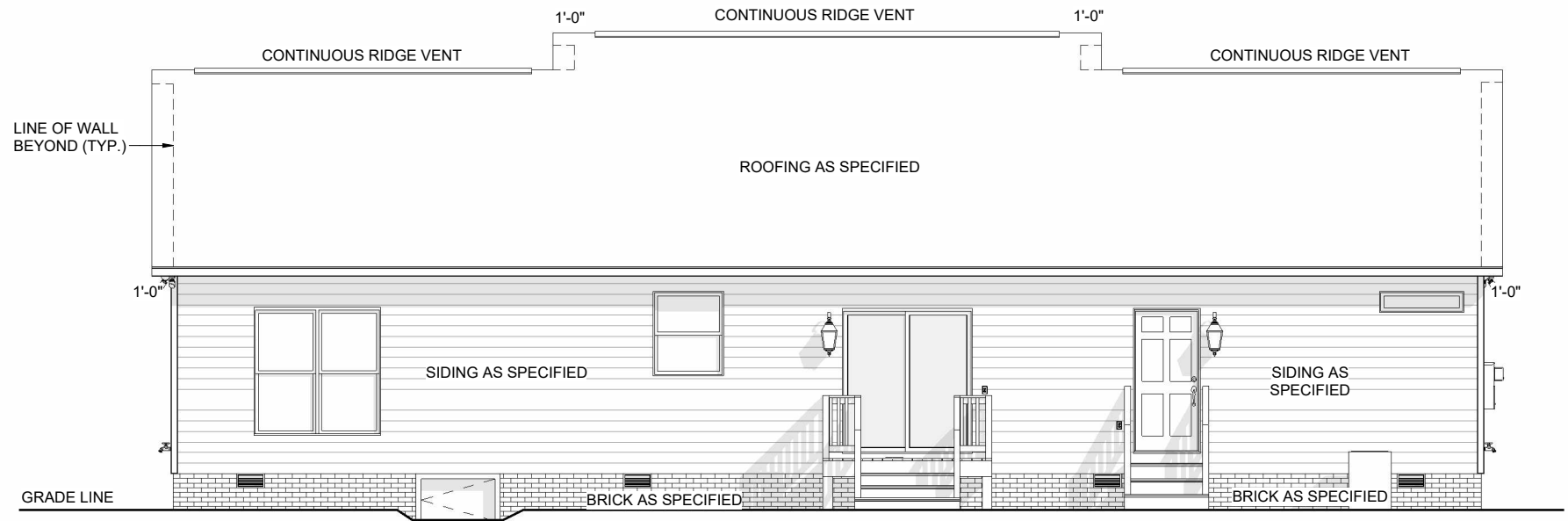
THE:	ASHLEY 'A'
FOR:	DUSIRAD, PREEYA
JOB #:	141-23-009
FOUNDATION TYPE:	CRAWLSPACE
PROPERTY OF:	AMERICA'S HOME PLACE
© COPYRIGHT -	2023
DRAWN BY:	ANA P.
CHECKED BY:	JS
PRINTED:	9/14/2023 7:59:47 AM
OFFICE:	FAYETTEVILLE-141
SOLD BY:	V. ADDISON
SHEET #:	E-0
	COVER SHEET

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**



1 FRONT ELEVATION  
1/8" = 1'-0"



2 REAR ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES:**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
- FOOTINGS TO BE LOCATED BELOW FROST LINE (SEE LOCAL CODES)
- RAILINGS SHOWN IN ELEVATION ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL RAIL DETAIL MAY VARY PER LOCATION
- BLACK GUTTERS

7:12 O.W.H. = 5 1/4"

**SPECIAL NOTES:**

- ALL WINDOWS BLACK EXTERIOR, WHITE INTERIOR
- UPGRADE TO PREMIUM COLOR GUTTERS

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:		FIRST FLOOR HEATED	1,815 SF	
		FRONT PORCH	144 SF	
		TOTAL UNDER ROOF	1,959 SF	
		8'X4' STOOP	32 SF	
		TOTAL UNCOVERED	32 SF	

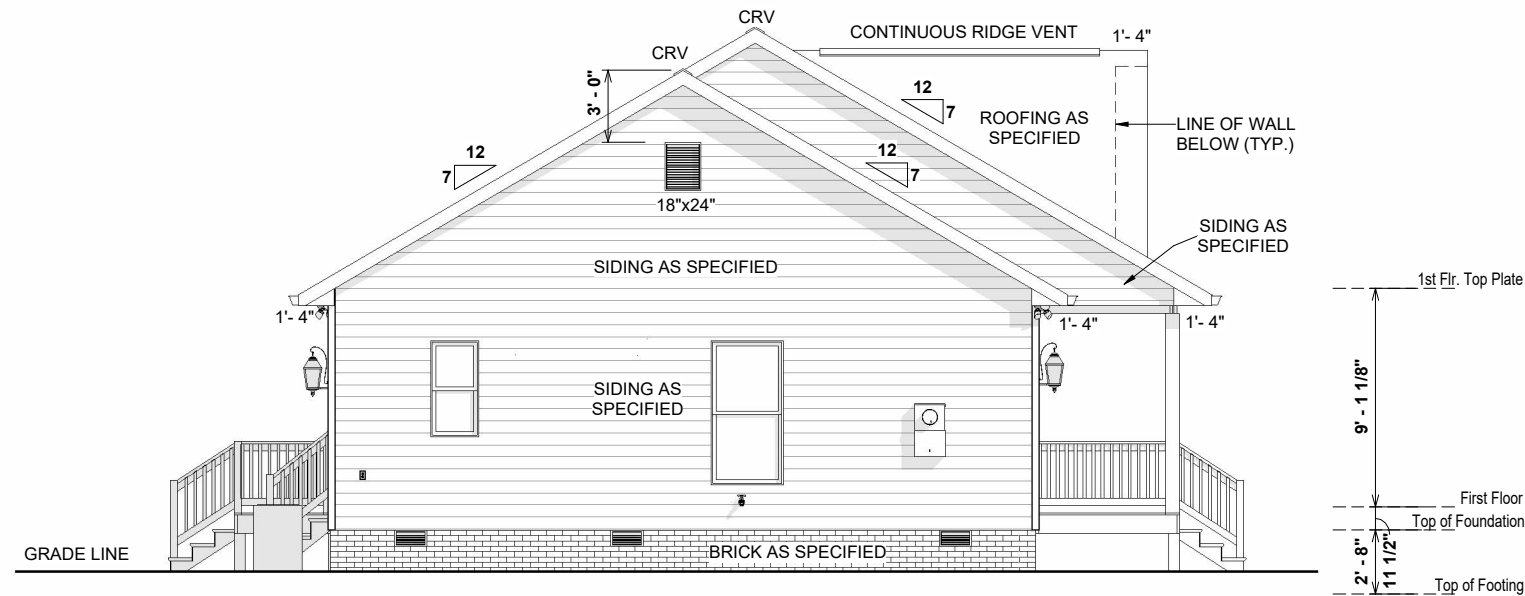
THE:	ASHLEY 'A'
FOR:	DUSIRAD, PREEYA
OFFICE:	FAYETTEVILLE-141
SOLD BY:	V. ADDISON
JOB #:	141-23-009
FOUNDATION TYPE:	CRAWLSPACE
2X4 EXTERIOR WALLS	
425 BUMPY LANE SANFORD NC 27332	
DRAWN BY:	ANA P.
CHECKED BY:	JS
PRINTED:	9/14/2023 7:59:50 AM
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SHEET #	E-1
FRONT & REAR ELEVATIONS	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

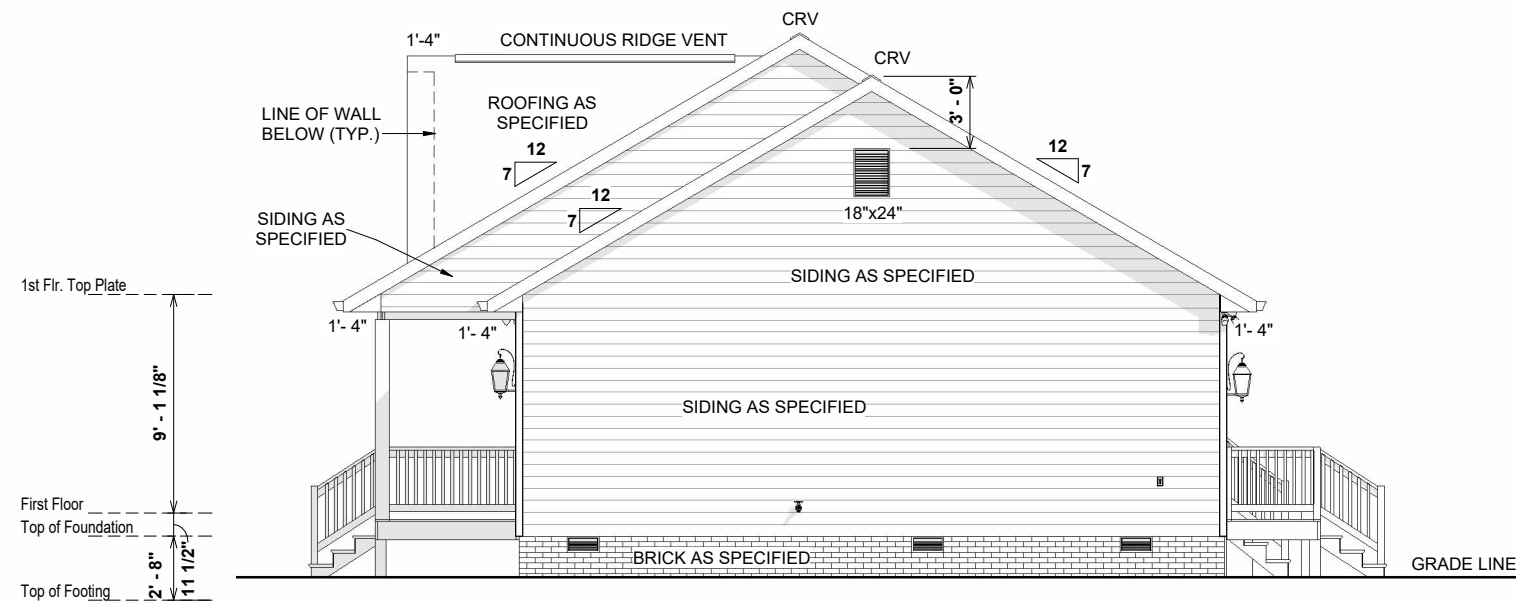
**FINAL CONSTRUCTION PLANS**

PAPER SIZE: 11" x 17"

SCALE: 1/8" = 1'-0"



1 LEFT ELEVATION  
1/8" = 1'-0"



2 RIGHT ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES:**

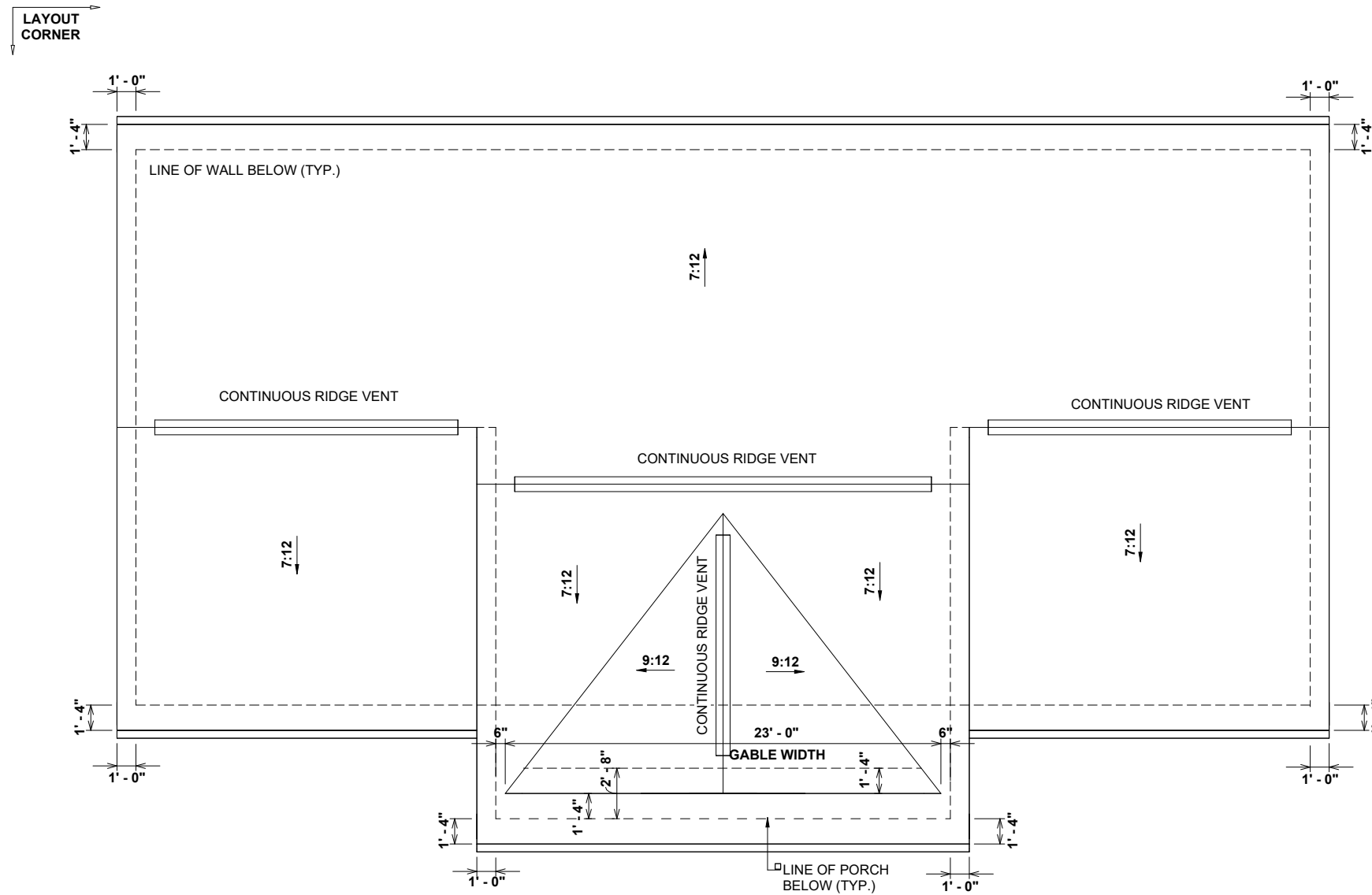
- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
- FOOTINGS TO BE LOCATED BELOW FROST LINE (SEE LOCAL CODES)
- RAILINGS SHOWN IN ELEVATION ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL RAIL DETAIL MAY VARY PER LOCATION
- BLACK GUTTERS

7:12 O.W.H. = 5 1/4"

**SPECIAL NOTES:**

- ALL WINDOWS BLACK EXTERIOR, WHITE INTERIOR
- UPGRADE TO PREMIUM COLOR GUTTERS


REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:		FIRST FLOOR HEATED	1,815 SF	
		FRONT PORCH	144 SF	
		TOTAL UNDER ROOF	1,959 SF	
		8'X4' STOOP	32 SF	
		TOTAL UNCOVERED	32 SF	
THE:	ASHLEY 'A'			
FOR:	DUSIRAD, PREEYA			
JOB #	141-23-009			
DRAWN BY:	ANA P.			
CHECKED BY:	JS			
PRINTED:	9/14/2023 7:59:52 AM			
PROPERTY OF:	AMERICA'S HOME PLACE			
SHEET #		E-2		
SCALE:		1/8" = 1'-0"		
PAPER SIZE:		11" x 17"		
OPT. PAPER SIZE:		for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%		
FINAL CONSTRUCTION PLANS				
LEFT & RIGHT ELEVATIONS				
OFFICE:		FAYETTEVILLE-141		
SOLD BY:		V. ADDISON		
ADDRESS:		425 BUMPY LANE SANFORD NC 27332		



1 ROOF OVERVIEW  
 1/8" = 1'-0"  
 7:12 O.W.H. = 5 1/4"

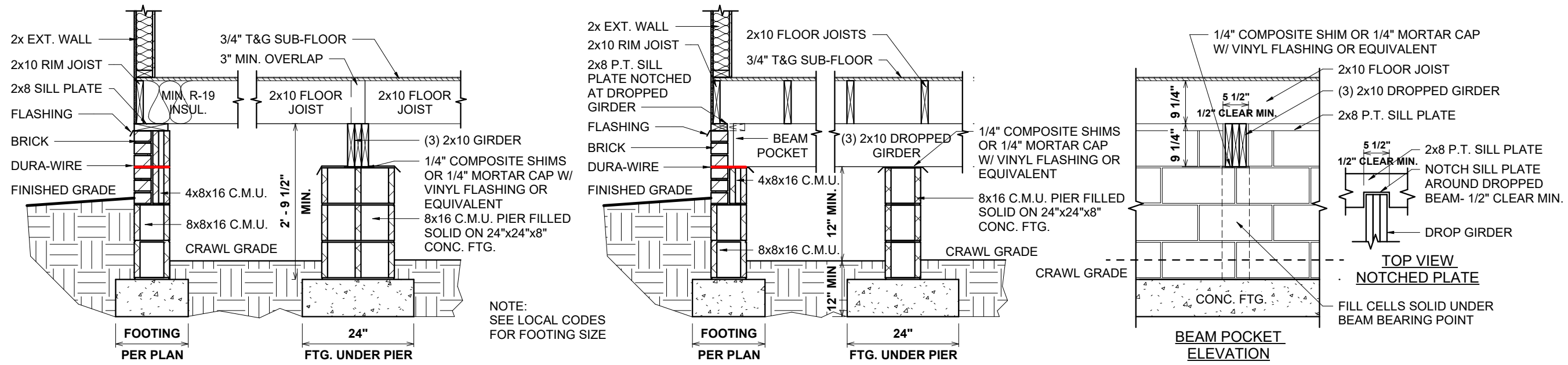
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**


PROPERTY OF:  © COPYRIGHT - 2023	SHEET # <b>E-3</b>	ROOF OVERVIEW	THE: <b>ASHLEY 'A'</b>	JOB # <b>141-23-009</b>	FOR: <b>DUSIRAD, PREEYA</b>	DRAWN BY: ANA P.	CHECKED BY: JS	PRINTED: 9/14/2023 7:59:52 AM	FOUNDATION TYPE: CRAWLSPACE	OFFICE: FAYETTEVILLE-141	SOLD BY: V. ADDISON	AREAS:	REVISION SCHEDULE
		AREA: <b>425 BUMPY LANE SANFORD NC 27332</b>	REV #		DESCRIPTION								DATE
												FIRST FLOOR HEATED 1,815 SF	
												FRONT PORCH 144 SF	
												TOTAL UNDER ROOF 1,959 SF	
												8'X4' STOOP 32 SF	
												TOTAL UNCOVERED 32 SF	







1 141-600.41 CRAWL FOUNDATION W/BRICK DETAIL  
1/2" = 1'-0"

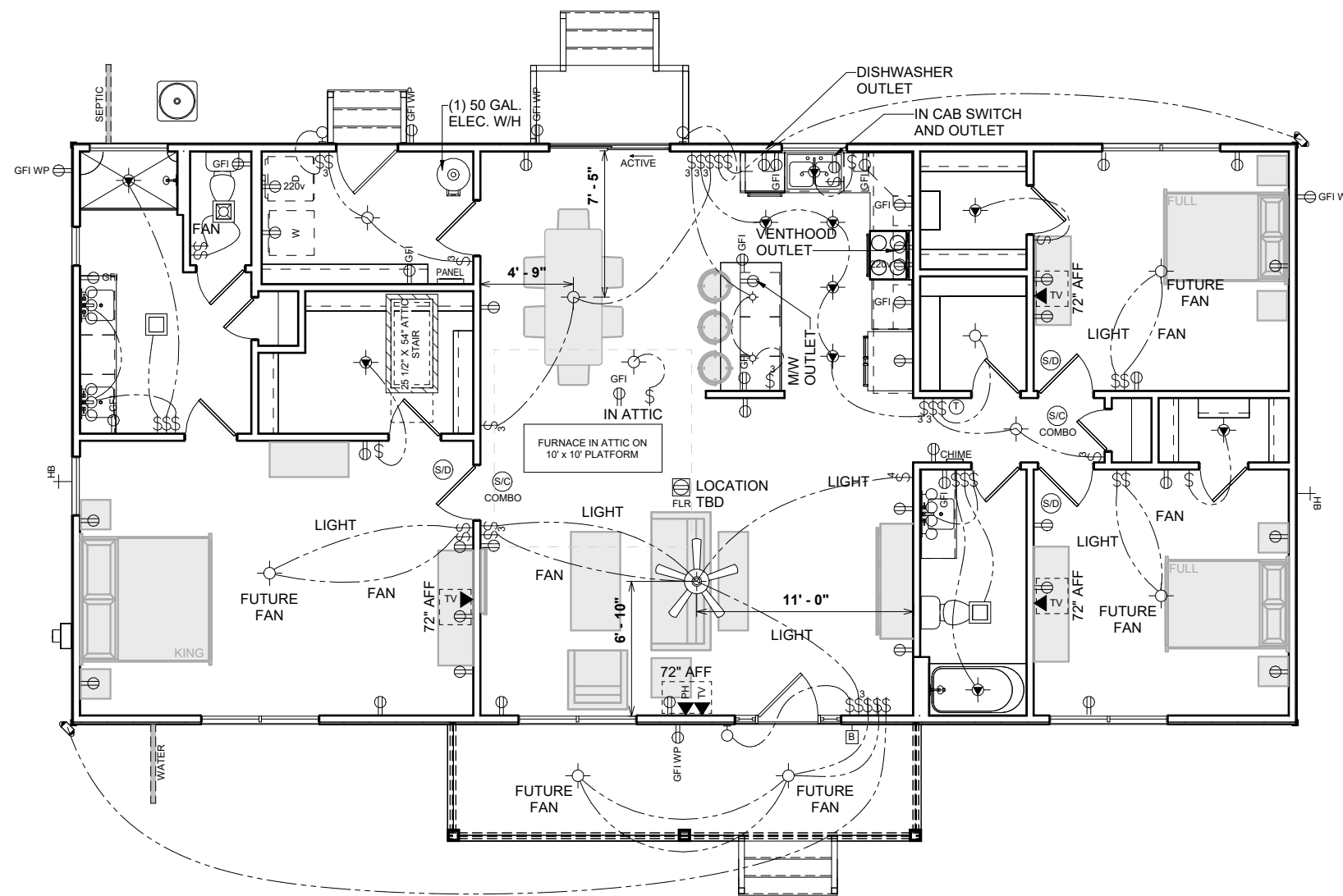
REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:				
FIRST FLOOR HEATED	1,815 SF			
FRONT PORCH	144 SF			
TOTAL UNDER ROOF	1,959 SF			
8'x4' STOOP	32 SF			
TOTAL UNCOVERED	32 SF			
THE:	ASHLEY 'A'			
FOR:	DUSIRAD, PREEYA			
OFFICE:	425 BUMPY LANE SANFORD NC 27332			
SOLD BY:	V. ADDISON			
JOB #	141-23-009	FOUNDATION TYPE:	CRAWLSPACE	
DRAWN BY:	ANA P.	CHECKED BY:	JS	
PRINTED:	9/14/2023 7:59:54 AM			
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SHEET #	F-1.1	CRAWL W/BRICK FOUNDATION DETAILS		

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**



ELECTRICAL LEGEND	
<b>LIGHT FIXTURES</b>	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXHAUST FAN W/ LIGHT	
EXTERIOR FLOOD	
FLUORESCENT - CEILING	
FLUORESCENT - WALL	
LED DISC	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
UNDER / OVER CABINET LIGHT	
VANITY	
<b>ELECTRICAL FIXTURES</b>	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SWITCH - DIMMER	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	



1 FIRST FLOOR ELECTRICAL PLAN  
1/8" = 1'-0"

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED
- UTILITY STUB-OUT LOCATIONS TO BE VERIFIED ON SITE

**HVAC NOTES:**

- FURNACE NOT LOCATED ON HEATED AREA IS TO BE AS CENTRALLY LOCATED AS POSSIBLE IN ACCORDANCE WITH ALL APPLICABLE CODES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10'-0" AWAY MIN. FROM DRYER VENT
- HVAC, THERMOSTAT, RETURN AIR, AND SUPPLIES TO BE DESIGNED & LOCATED BY MECHANICAL CONTRACTOR
- BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS AND/OR LINES TO ACCOMODATE OPTIMUM USAGE AND RESTRICTIONS DUE TO CODE & DESIGN REQUIREMENTS

REVISION SCHEDULE	REV #	DESCRIPTION	DATE

AREAS:	
FIRST FLOOR HEATED	1,815 SF
FRONT PORCH	144 SF
TOTAL UNDER ROOF	1,959 SF
8'X4' STOOP	32 SF
TOTAL UNCOVERED	32 SF

THE:	FOR:	JOB #	FOUNDATION TYPE:
ASHLEY 'A'	DUSIRAD, PREEYA	141-23-009	2X4 EXTERIOR WALLS
			CRAWLSPACE

PROPERTY OF:	DRAWN BY:	CHECKED BY:	PRINTED:
	ANA P.	JS	9/14/2023 7:59:57 AM

SHEET #	SCALE:
H-1	1/8" = 1'-0"

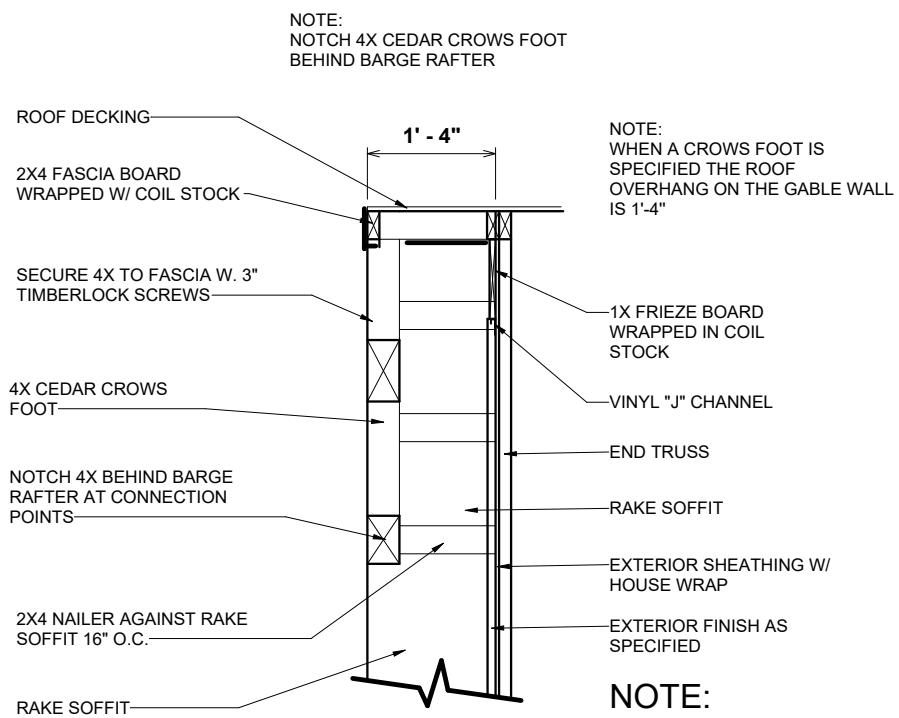
  

OFFICE:	SOLD BY:
FAYETTEVILLE-141	V. ADDISON

FINAL CONSTRUCTION PLANS
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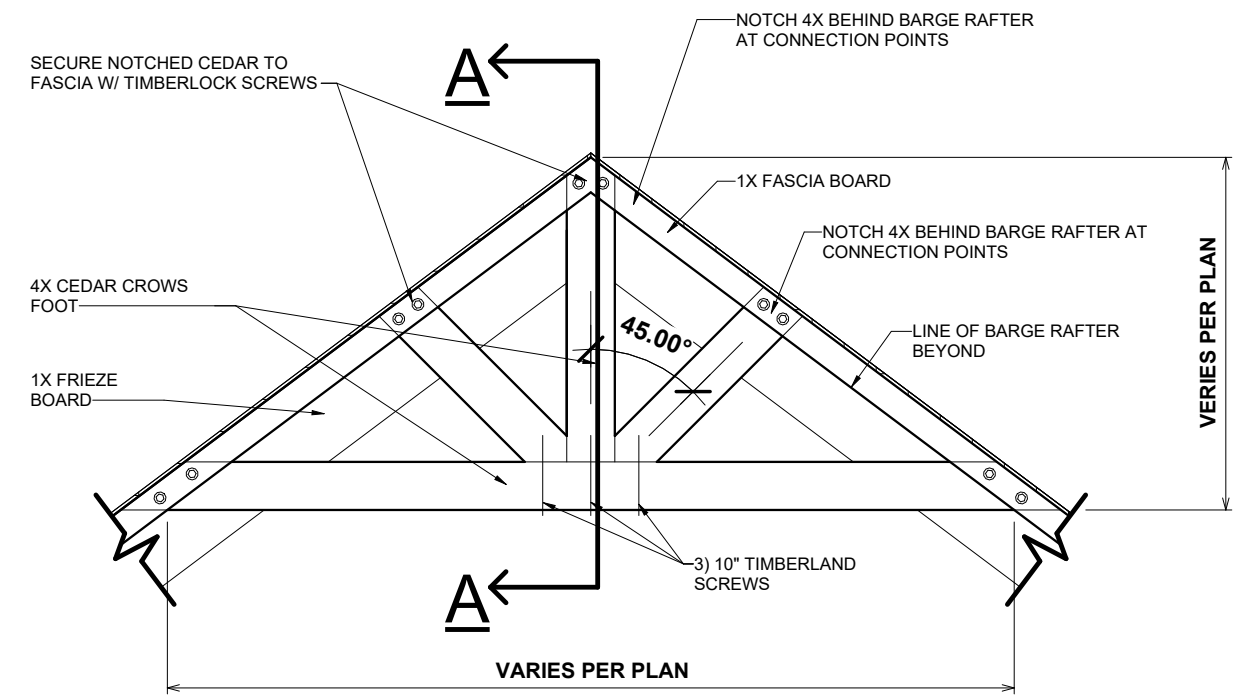




**SECTION A-A**

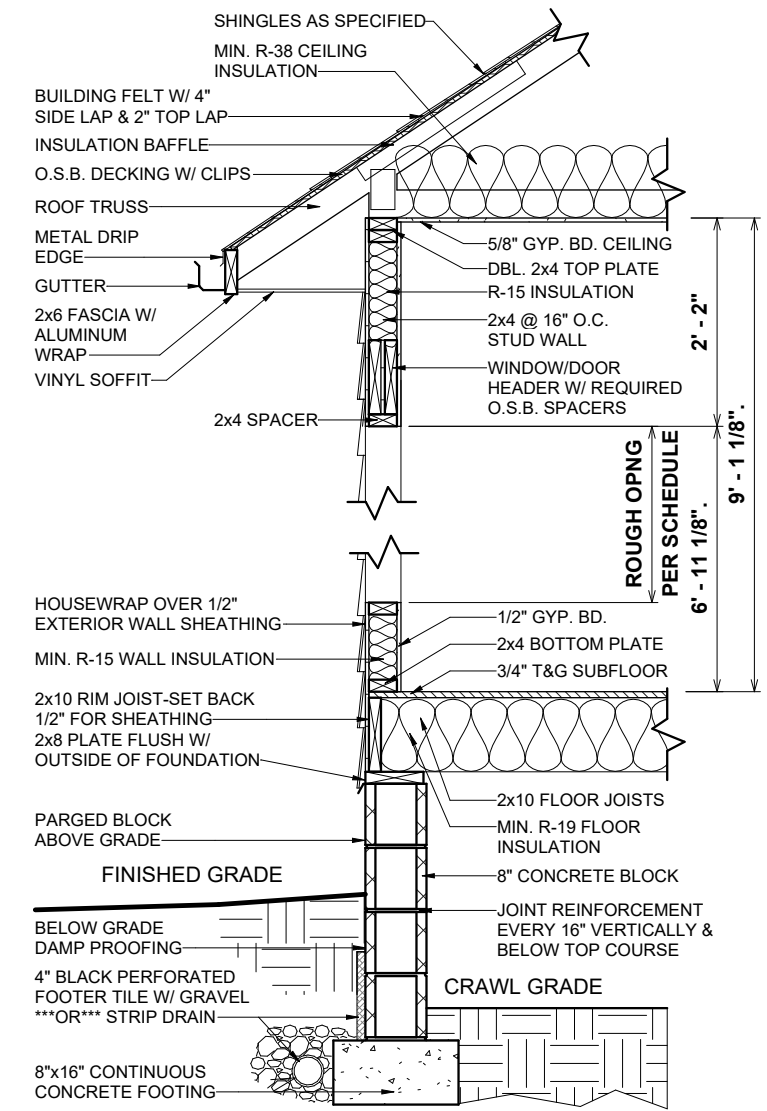
NOTE:  
WHEN A CROWS FOOT IS SPECIFIED THE ROOF OVERHANG ON THE GABLE WALL IS 1'-4"

NOTE:  
INSTALL CROWS FOOT BEFORE SIDING



1 485.1 CROWS FOOT DETAIL at VINYL SIDING (STACKED DETAILS)  
1/2" = 1'-0"

CROWS FOOT MATERIAL TO BE ROUGH CEDAR AND SIZED PER PLANS EITHER 4"x4", 4"x6" OR 4"x8"



3 1 STORY-CRAWL W/2X4-SIDING-WALL SECTION  
1/2" = 1'-0"

REVISION SCHEDULE		REV #	DESCRIPTION	DATE
AREAS:		FIRST FLOOR HEATED	1,815 SF	
		FRONT PORCH	144 SF	
		TOTAL UNDER ROOF	1,959 SF	
		8'X4' STOOP	32 SF	
		TOTAL UNCOVERED	32 SF	
THE:	ASHLEY 'A'			
FOR:	DUSIRAD, PREEYA			
JOB #:	141-23-009	FOUNDATION TYPE:	CRAWLSPACE	
DRAWN BY:	ANA P.	OFFICE:	FAYETTEVILLE-141	
CHECKED BY:	JS	SOLD BY:	V. ADDISON	
PRINTED:	9/14/2023 7:59:57 AM	425 BUMPY LANE SANFORD NC 27332		
PROPERTY OF:	AMERICA'S HOME PLACE	© COPYRIGHT - 2023		
SHEET #:	S-1	WALL SECTIONS		

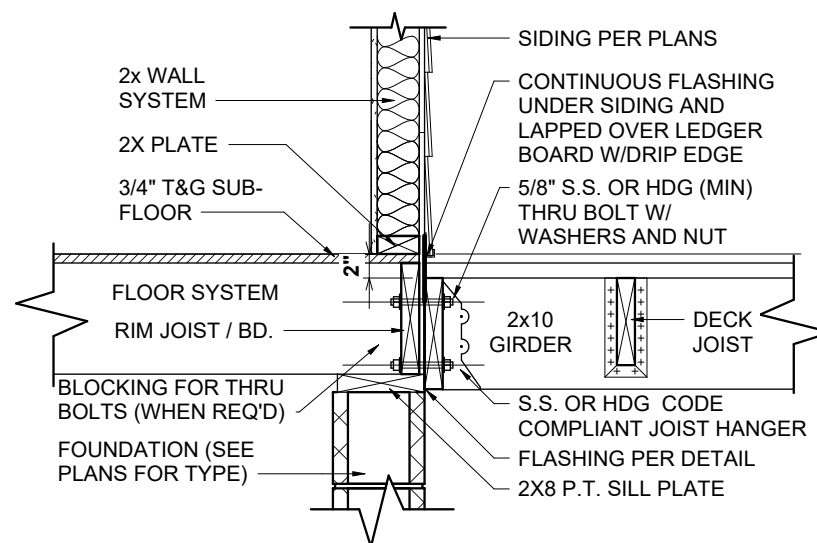
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

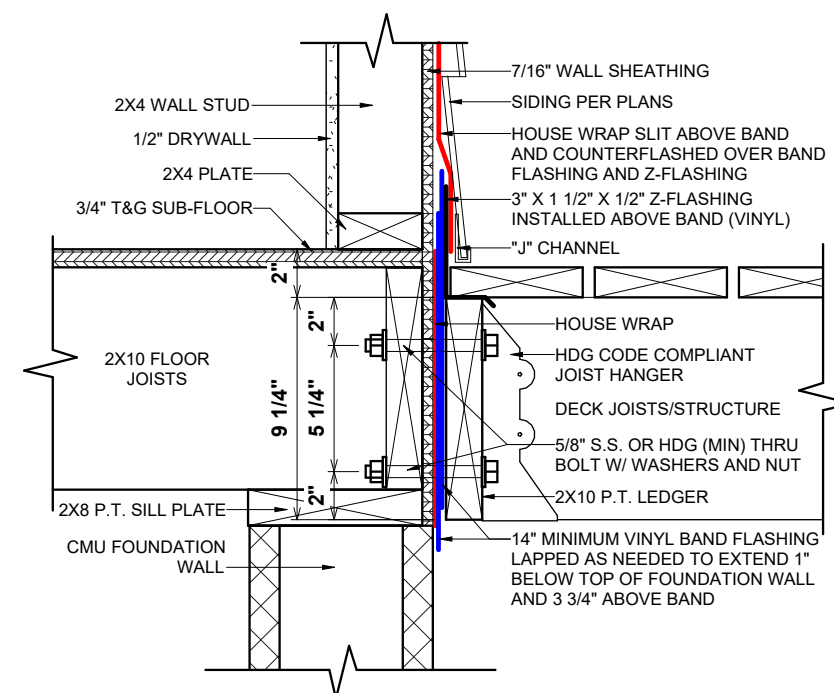
PAPER SIZE: 11" x 17"

SCALE: 1/2" = 1'-0"





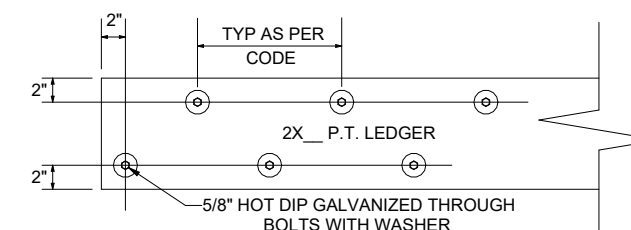
1 87-0.6-DECK LEDGER CONNECTION  
3/4" = 1'-0"



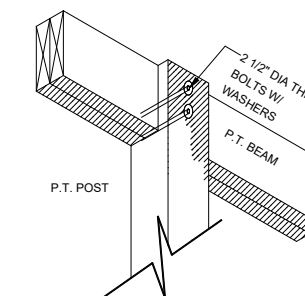
2 87-480.2 PORCH LEDGER FLASHING  
1 1/2" = 1'-0"

FASTNERS	8' MAX. JOIST SPAN	16' MAX. JOIST SPAN
5/8" HOT DIPPED GALV. BOLTS WITH NUT AND WASHER	1 @ 3'-6" O.C.	1 @ 1'-8" O.C.
AND	AND	AND
12 D COMMON HOT DIPPED GALV. NAILS	2 @ 8" O.C.	3 @ 6" O.C.

AM104.1.1 ALL STRUCTURES EXCEPT BRICK VENEER STRUCTURES



LEDGER BOARD AND FASTENER DETAIL




POST TO BEAM CONNECTION

REVISION SCHEDULE	DESCRIPTION	DATE
REV #		

AREAS:	1,815 SF	144 SF	1,959 SF	32 SF	32 SF
FIRST FLOOR HEATED					
FRONT PORCH					
TOTAL UNDER ROOF					
8'X4' STOOP					
TOTAL UNCOVERED					

THE:	ASHLEY 'A'
FOR:	DUSIRAD, PREEYA
OFFICE:	FAYETTEVILLE-141
SOLD BY:	V. ADDISON

JOB #	141-23-009
FOUNDATION TYPE:	CRAWLSPACE
2X4 EXTERIOR WALLS	
425 BUMPY LANE SANFORD NC 27332	

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SHEET # **S-3**

STANDARD DECK DETAILS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**







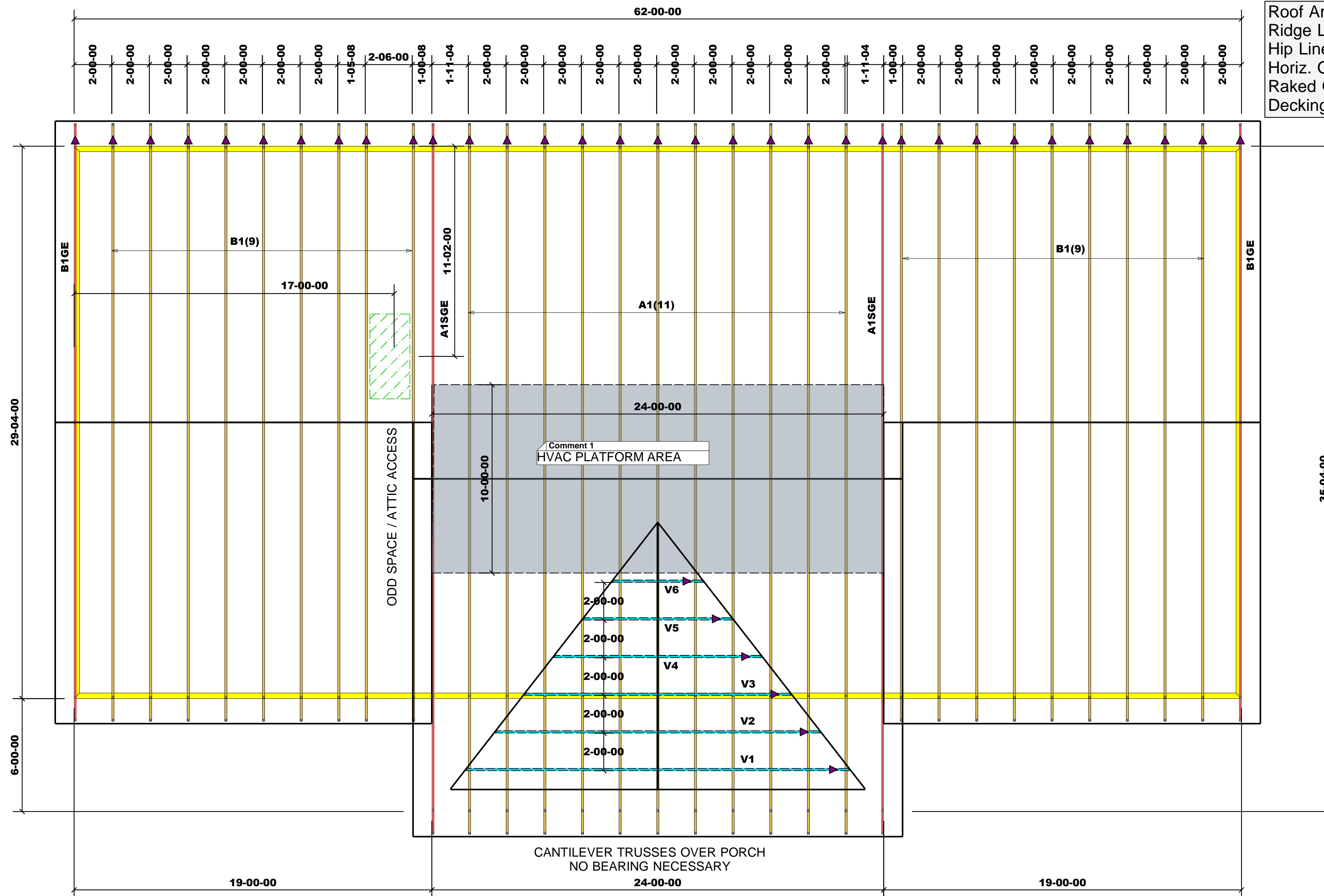
# ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787  
Fax: (910) 864-4444

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables ( derived from the prescriptive Code requirements ) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature Bob Lewis  
Bob Lewis

Roof Area = 2784.43 sq.ft.  
Ridge Line = 80.19 ft.  
Hip Line = 0 ft.  
Horiz. OH = 130.1 ft.  
Raked OH = 152.53 ft.  
Decking = 96 sheets



LOAD CHART FOR JACK STUDS					
(BASED ON TABLES R502.5(1) & (b))					
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER					
END REACTION (UP TO)	REQ. STUDS FOR (1) 1 1/2" HEADER	END REACTION (UP TO)	REQ. STUDS FOR (2) 1 1/2" HEADER	END REACTION (UP TO)	REQ. STUDS FOR (3) 1 1/2" HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				

BUILDER	CITY / CO.	SANFORD / HARNETT
AMERICA'S HOME PLACE	ADDRESS	425 BUMPY LANE
JOB NAME	MODEL	ROOF
PLAN	DATE REV.	09/11/23
SEAL DATE	DRAWN BY	Bob Lewis
QUOTE #	SALES REP.	Bob Lewis
JOB #		J0923-5023

Truss Placement Plan  
SCALE: NTS

▲ = Indicates Left End of Truss  
(Reference Engineered Truss Drawing)  
Do NOT Erect Truss Backwards

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com