

# Parmlee's Garage

Home Work Services

**North Carolina**



## Permit Set

### Owner/Developer

Clement McDaniel  
Home Work Services Inc.



### Designer

Erik C. Harvey  
Designer

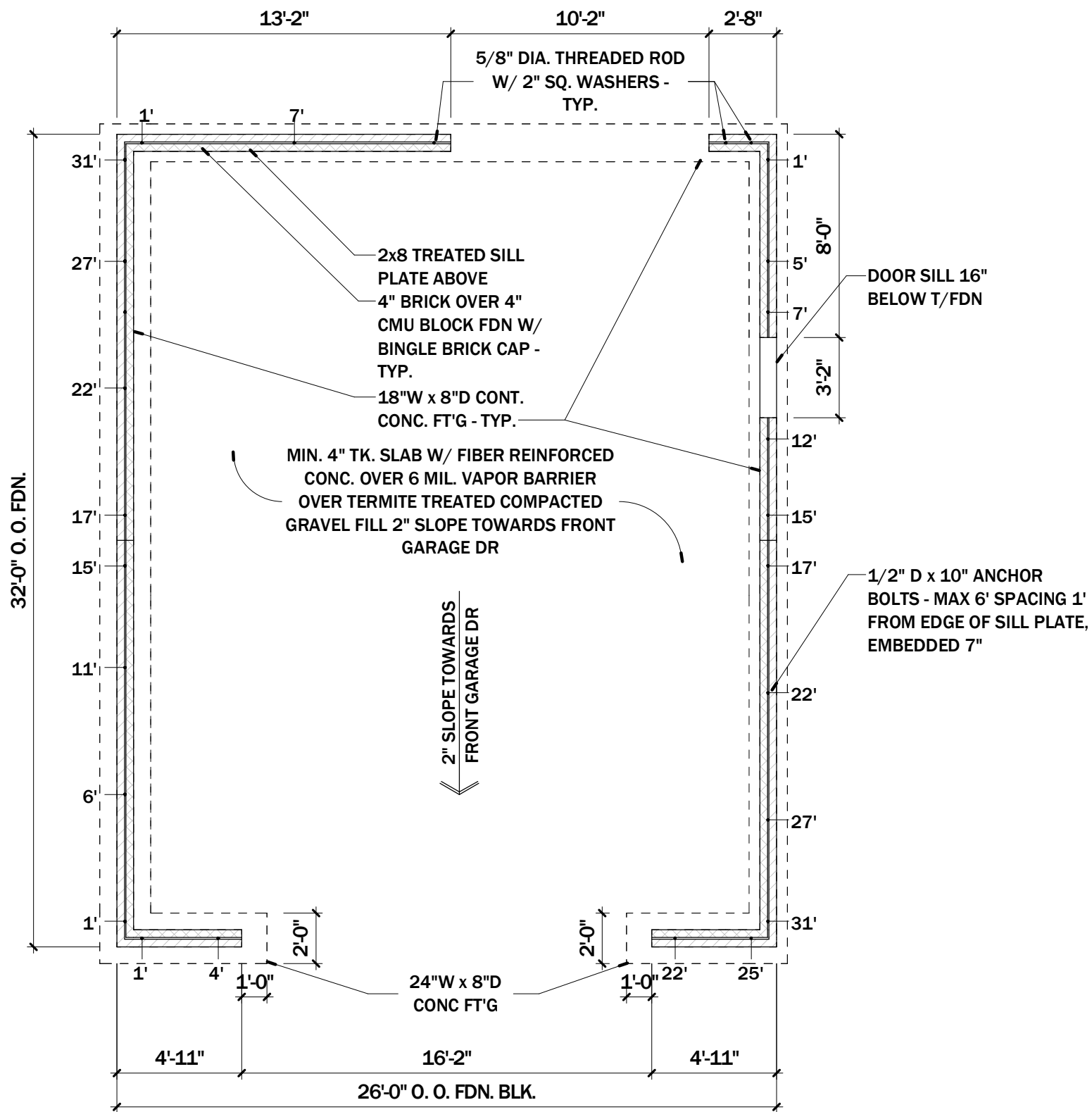
phone: (919) 448-7422  
email: erikharvey3@gmail.com

### SETS ISSUED

DATE	PURPOSE
08/22/2022	95% Review Set
08/24/2022	Permit Set

### DRAWING INDEX

0.1	Cover Sheet, Drawing Index
1.0	Foundation Plan
1.1	Floor Plan
1.2	Floor Plan
1.3	Framing Plan
1.4	Roof Plan
2.0	Exterior Elevation
2.1	Exterior Elevation
3.0	Typical Details



## FOUNDATION NOTES

- SUBSURFACE INVESTIGATIONS ARE BEYOND THE SCOPE OF THE SERVICES PROVIDED. THE FOUNDATION DESIGN SHOWN ON THESE DRAWINGS ASSUMES A MIN. SOIL BEARING CAPACITY OF 2000 POUNDS PER SQUARE FOOT. VERIFICATION OF THIS ASSUMED VALUE IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR. IF ANY ADVERSE SOIL CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION IT IS THE OWNER'S AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT THE DESIGNER IMMEDIATELY.
- ALL CONCRETE SLABS TO BE MIN. 4" THICK W/ FIBER REINFORCED CONC. OVER 6 MIL POLY VAPOR BARRIER OVER MIN. 4" GRAVEL FILL OVER COMPACTED FILL. (COMPACT FILL TO BE MIN. 95% PROCTOR DENSITY).
- ALL CONCRETE TO BE MIN. 3000 P.S.I. 28 DAY STRENGTH.
- CONTROL JOINTS AND CONSTRUCTION JOINTS (NOTED AS CJ) SHALL BE PLACED AT LOCATIONS AS INDICATED. TYPE OF JOINT SHALL BE COORDINATED WITH THE CONTRACTOR AS WELL AS ANY OTHER SLAB JOINTS REQUIRED FOR FLOOR FINISHES.
- THE BOTTOM OF ALL FOOTINGS SHALL EXTEND MIN. 1'-0" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL. STEP FOOTING AS REQUIRED.
- PROVIDE HORIZONTAL CMU REINFORCEMENT AT 16" O.C. VERTICAL.
- PROVIDE P.T. 2x MUDSILL AT EXTERIOR WALLS WITH 1/2" DIAMETER ANCHOR BOLTS W/ WASHER - AT CORNERS, AT EACH SIDE OF OPENINGS AND @ 6' o.c. MAX., EMBED MIN. 7" IN CONCRETE AND MIN. 8" IN CMU'S. THERE SHALL BE MIN. OF 2 ANCHOR BOLTS PER MUDSILL NOT MORE THAN 12" FROM ENDS.
- SLOPE ALL EXTERIOR SLABS AND FINISH GRADE AWAY FROM BUILDING AT A RATE OF 1/4" PER FOOT MIN.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR THE GROUND TO BE P.T. NO. 2 SOUTHERN YELLOW PINE.
- PROVIDE SOLID BLOCKING BETWEEN FLOOR STRUCTURE - UNDER POSTS & OTHER POINT LOAD CONDITIONS.
- GRADE SHALL BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
- CONSTRUCTION TO FOLLOW 2018 NC RESIDENTIAL CODE.

**Erik Harvey**  
Designer

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Home Work Services  
**Parmlee's Garage**  
North Carolina

Sheet Title:

Foundation Plan

Date: Aug 24, 2022

Project: 22011G

Sheet Number:

Permit Set

# Foundation Plan

SCALE: 3/16" = 1'-0"

1



1.0

# PLAN & FRAMING NOTES

**Erik Harvey**

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1. ALL WORK PERFORMED BY THE CONTRACTOR / SUB-CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL OR FEDERAL AND STATE LAWS AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED WITH THE CONSTRUCTION DOCUMENTS.
2. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF THE CONSTRUCTION SHOWN ON THESE PLANS.
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11. ROOF OVERHANG DIMENSIONS GIVEN ARE FROM FACE OF SHEATHING TO EDGE OF RAFTER, UNLESS OTHERWISE NOTED - MATCH EXISTING.
12. PROVIDE ONE (1) JACK STUD PER SIDE FOR HEADER SPANS 7'-0" OR LESS. PROVIDE TWO (2) JACK STUDS PER SIDE FOR HEADER SPANS GREATER THAN 7'-0".
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14. CONSTRUCTION TO FOLLOW 2018 NC RESIDENTIAL CODE.

GROSS BUILDING AREA - SQUARE FEET

<u>GARAGE:</u>	
FIRST FLOOR:	832 SF
SECOND FLOOR:	576 SF

Permit Set

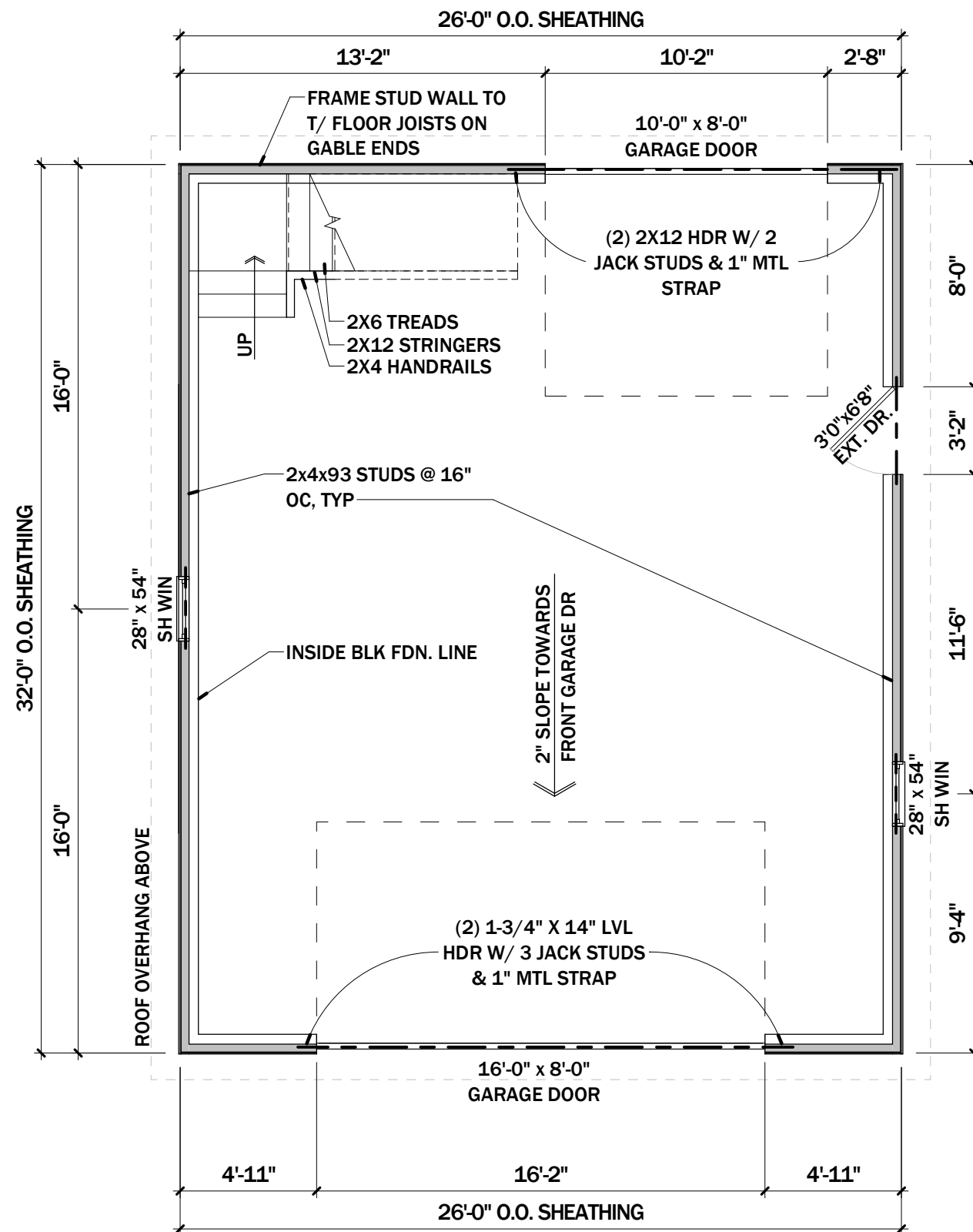
Sheet Title:

Floor Plan

Date: Aug 24, 2022

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Sheet Number:

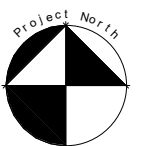


(2) 2x8 HDRS ON EXTERIOR LOAD BEARING WINDOWS & DOORS., TYP.

# Level 1 - First Floor Plan

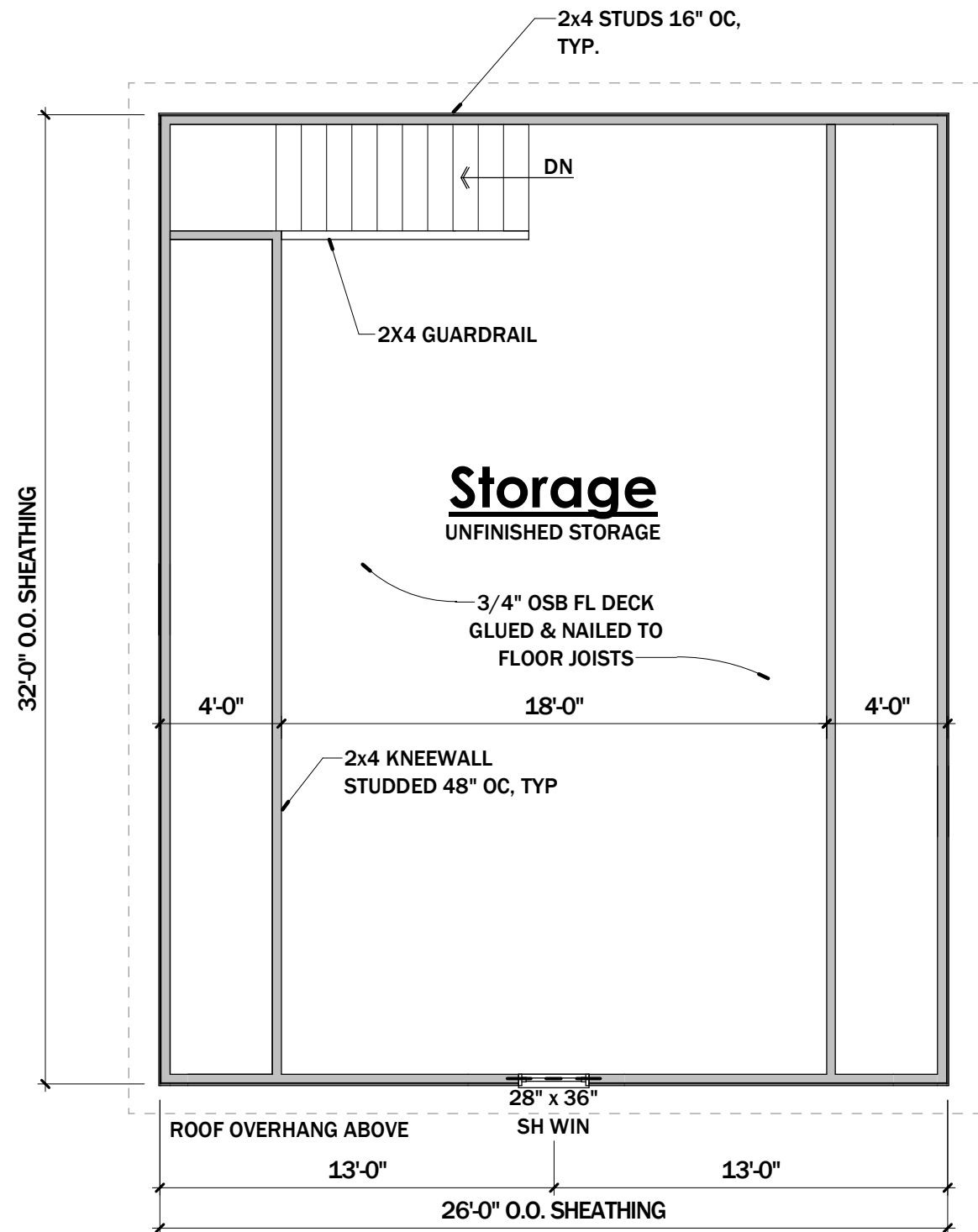
SCALE: 3/16" = 1'-0"

1



1.1

Home Work Services  
**Parmlee's Garage**  
 North Carolina



(2) 2x8 HDRS ON EXTERIOR  
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## PLAN & FRAMING NOTES

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GROSS BUILDING AREA - SQUARE FEET  
**GARAGE:**  
 FIRST FLOOR: 832 SF  
 SECOND FLOOR: 576 SF

Permit Set

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**Parmlee's Garage**  
 North Carolina

Sheet Title:  
 Floor Plan

Date: Aug 24, 2022

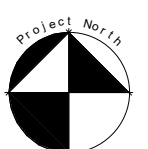
Project: 22011G

Sheet Number:

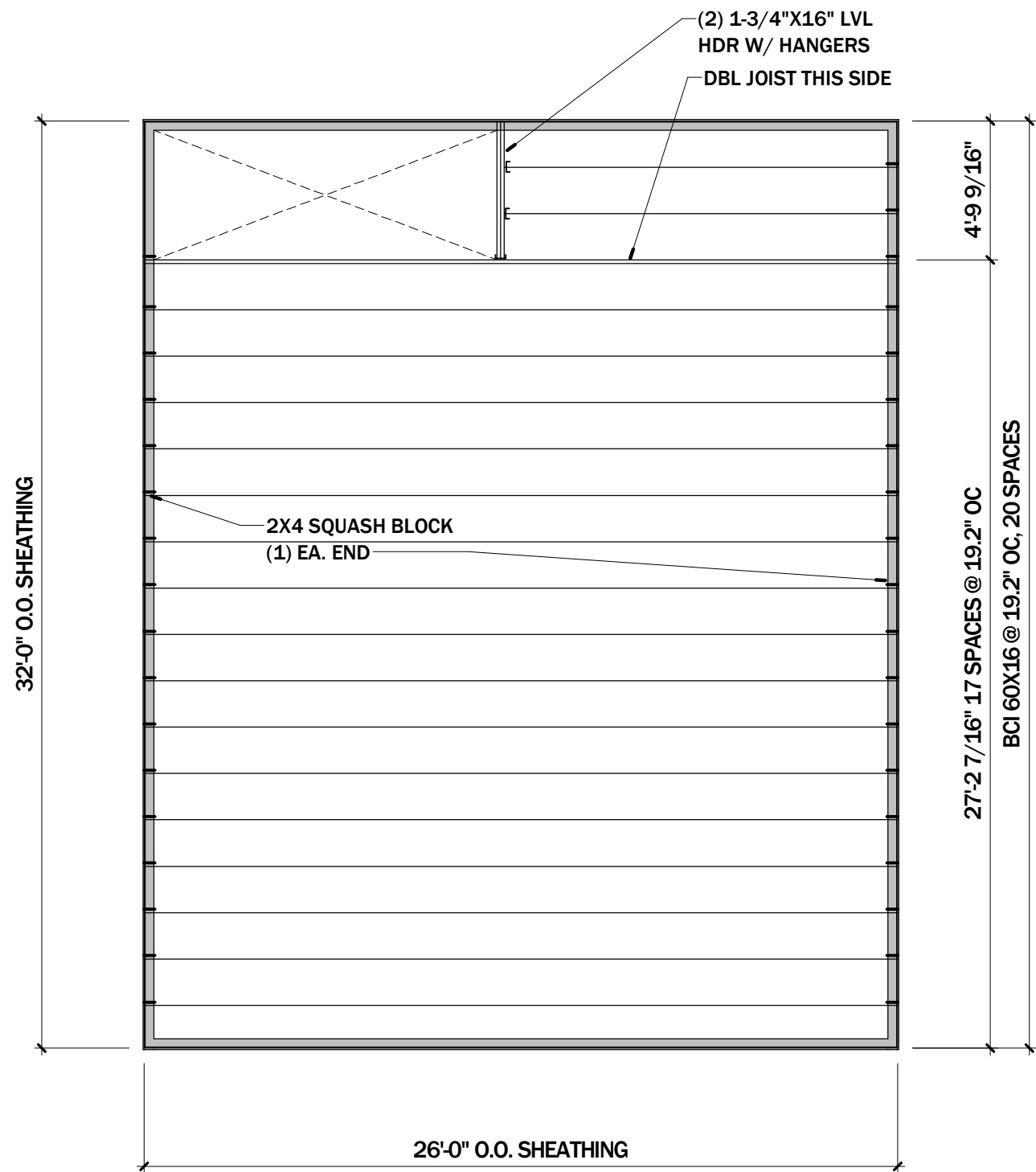
# Level 2 - Second Floor Plan

SCALE: 3/16" = 1'-0"

1



1.2



# PLAN & FRAMING NOTES

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14. CONSTRUCTION TO FOLLOW 2018 NC RESIDENTIAL CODE.

GROSS BUILDING AREA - SQUARE FEET  
**GARAGE:**  
 FIRST FLOOR: 832 SF  
 SECOND FLOOR: 576 SF

Permit Set

**Erik Harvey**  
 Designer

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Home Work Services  
**Parmlee's Garage**  
 North Carolina

Sheet Title:  
**Framing Plan**

Date: Aug 24, 2022

Project: 22011G

Sheet Number:

# Level 2 - Framing Plan

SCALE: 3/16" = 1'-0"

**1**



**1.3**

# PLAN & FRAMING NOTES

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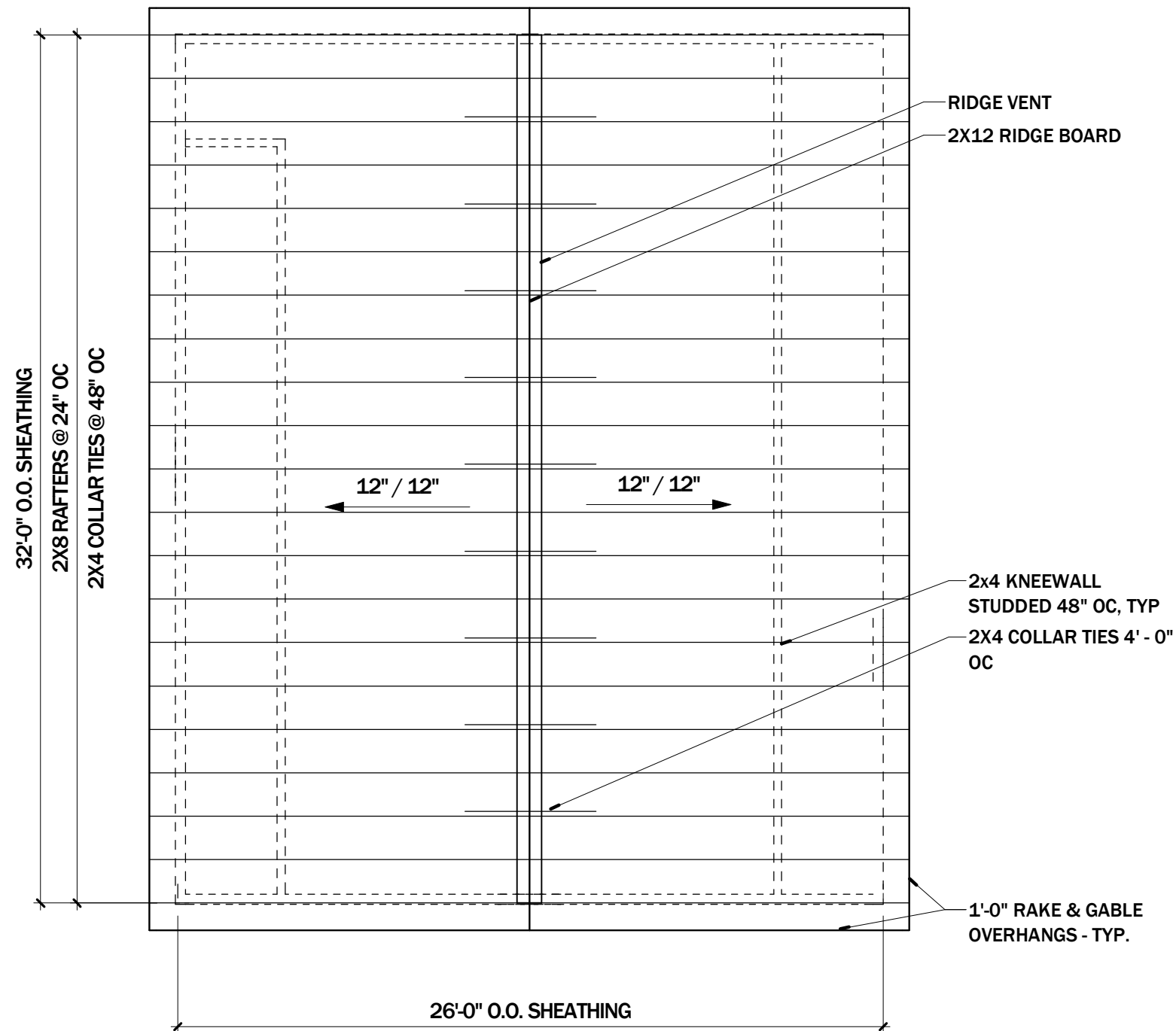
Sheet Title:

Roof Plan

Date: Aug 24, 2022

Project: 22011G

Sheet Number:



# Roof Plan

SCALE: 3/16" = 1'-0"

1



1.4

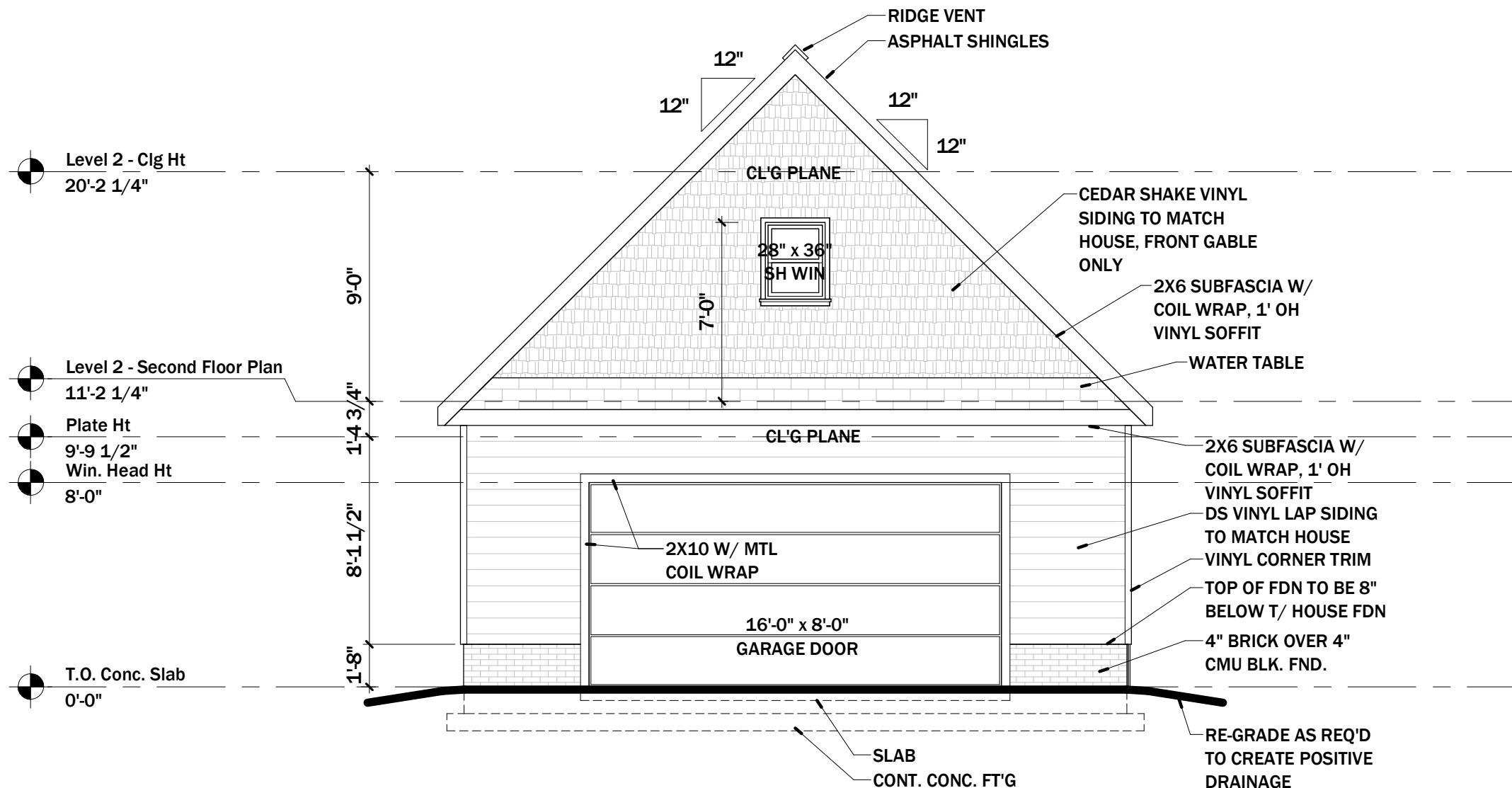
Home Work Services  
Parmlee's Garage  
North Carolina

# ELEVATION NOTES

1. ALL PROPOSED GRADE TO SLOPE AWAY FROM BUILDING.
2. COORDINATE LOCATION OF DOWNSPOUTS WITH ROOF PLANS.
3. ALL EXTERIOR FINISH COLORS TO BE SELECTED BY OWNER, DESIGNER AND/OR INTERIOR DESIGNER.
4. SEE FLOOR PLANS FOR DOOR SWING & SIZES.
5. GLAZING TO BE TEMPERED WHERE REQUIRED BY CODE.
6. PROVIDE PROPER FLASHING AROUND ALL WINDOWS. INSTALL PER MANUFACTURER'S REQUIREMENTS.
7. REFER TO WALL SECTIONS AND DETAILS FOR HEAD AND SILL FLASHING LOCATIONS.
8. COORDINATE ALL ROUGH OPENINGS DIMENSIONS WITH MANUFACTURER, TYP.
9. CONSTRUCTION TO FOLLOW 2018 NC RESIDENTIAL CODE.

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Home Work Services  
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 North Carolina

Sheet Title:

Exterior Elevation

Date: Aug 24, 2022

Project: 22011G

Sheet Number:

Permit Set

# Front Elevation

# 1

SCALE: 3/16" = 1'-0"

# 2.0

# ELEVATION NOTES

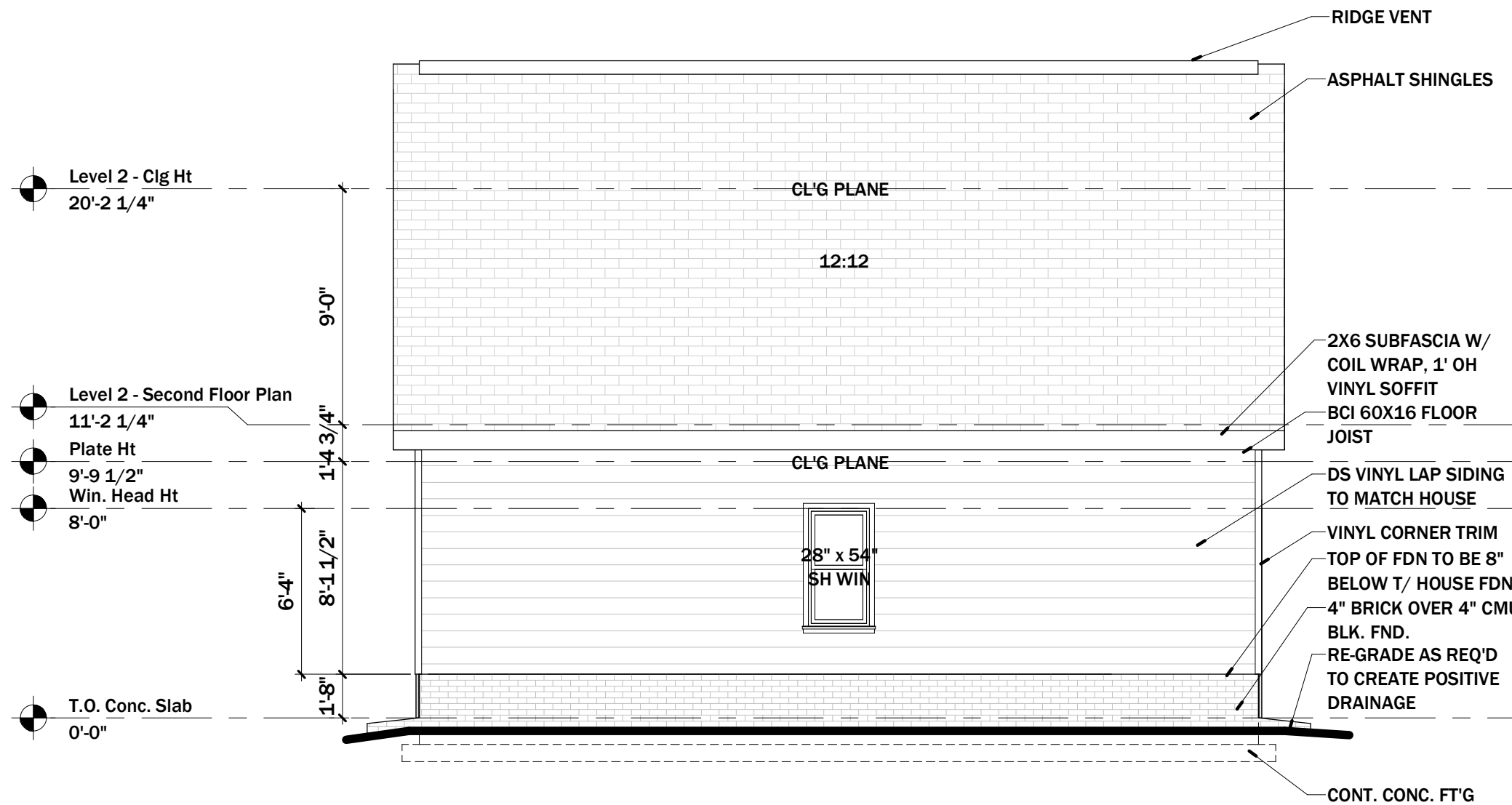
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 North Carolina



Sheet Title:

Exterior Elevation

Date: Aug 24, 2022

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Permit Set

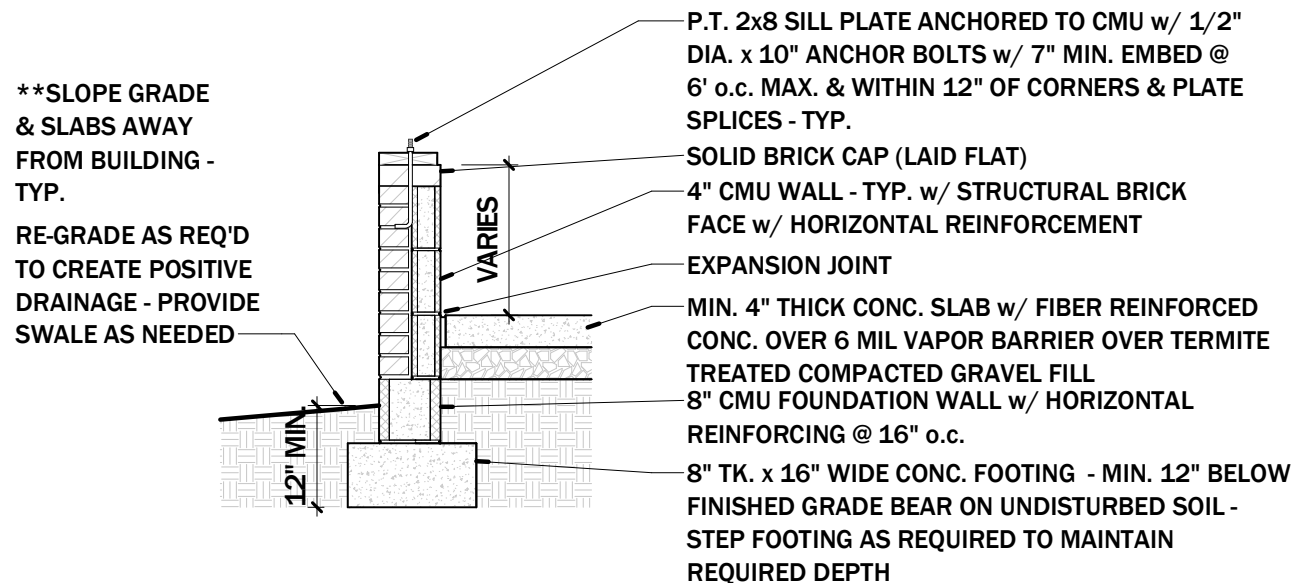
# Left Elevation

SCALE: 3/16" = 1'-0"

**1**

**2.1**





## Typical Brick Foundation Detail

1/2" = 1'-0"

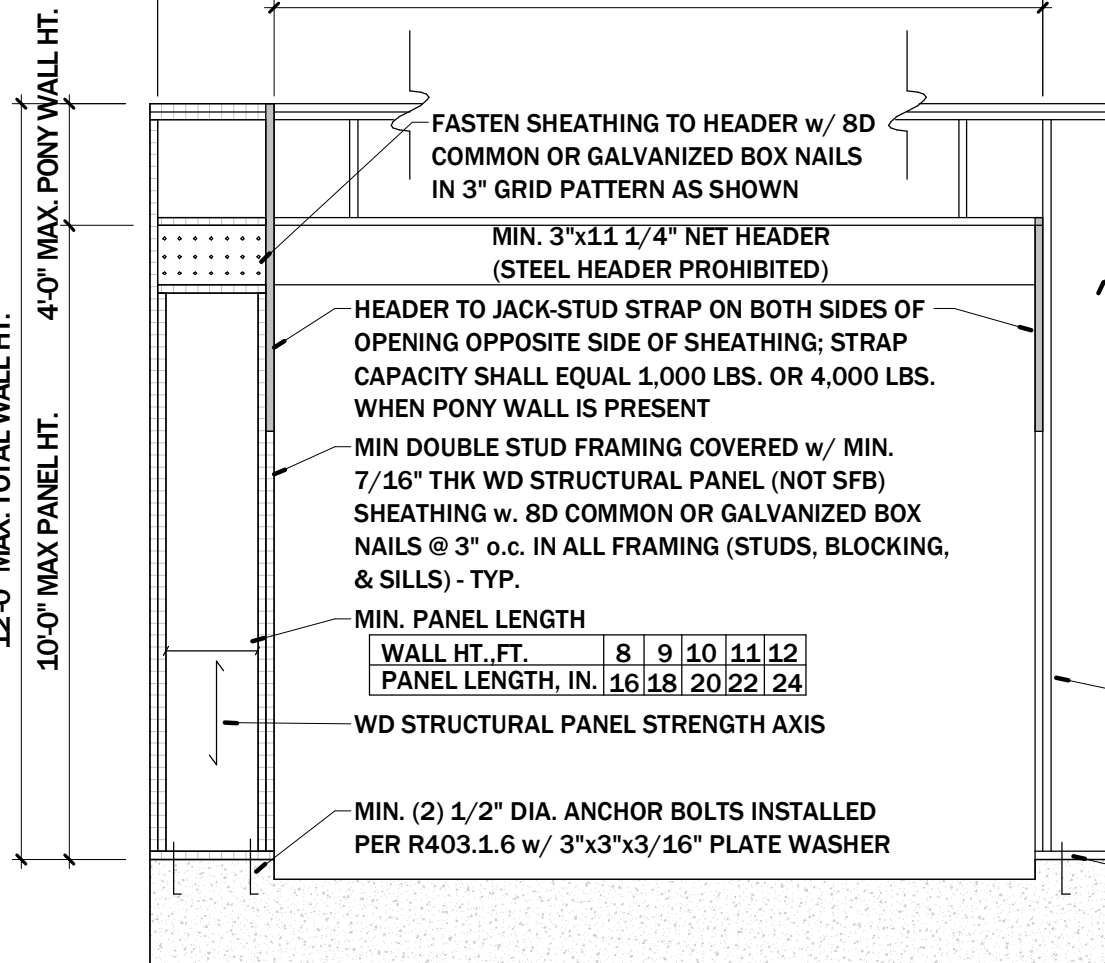
## Portal Wall Framing Over Concrete or Masonry Block Foundation

1" = 1'-0"

EXTENT OF HEADER w/ DOUBLE PORTAL FRAME (TWO BRACED PANELS)

EXTENT OF HEADER w/ SINGLE PORTAL FRAME (ONE BRACED WALL PANEL)

2'-0" - 18'-0" FINISHED WIDTH OF OPENING FOR SINGLE OR DOUBLE PORTAL



TENSION STRAP (ON OPPOSITE SIDE OF SHEATHING)

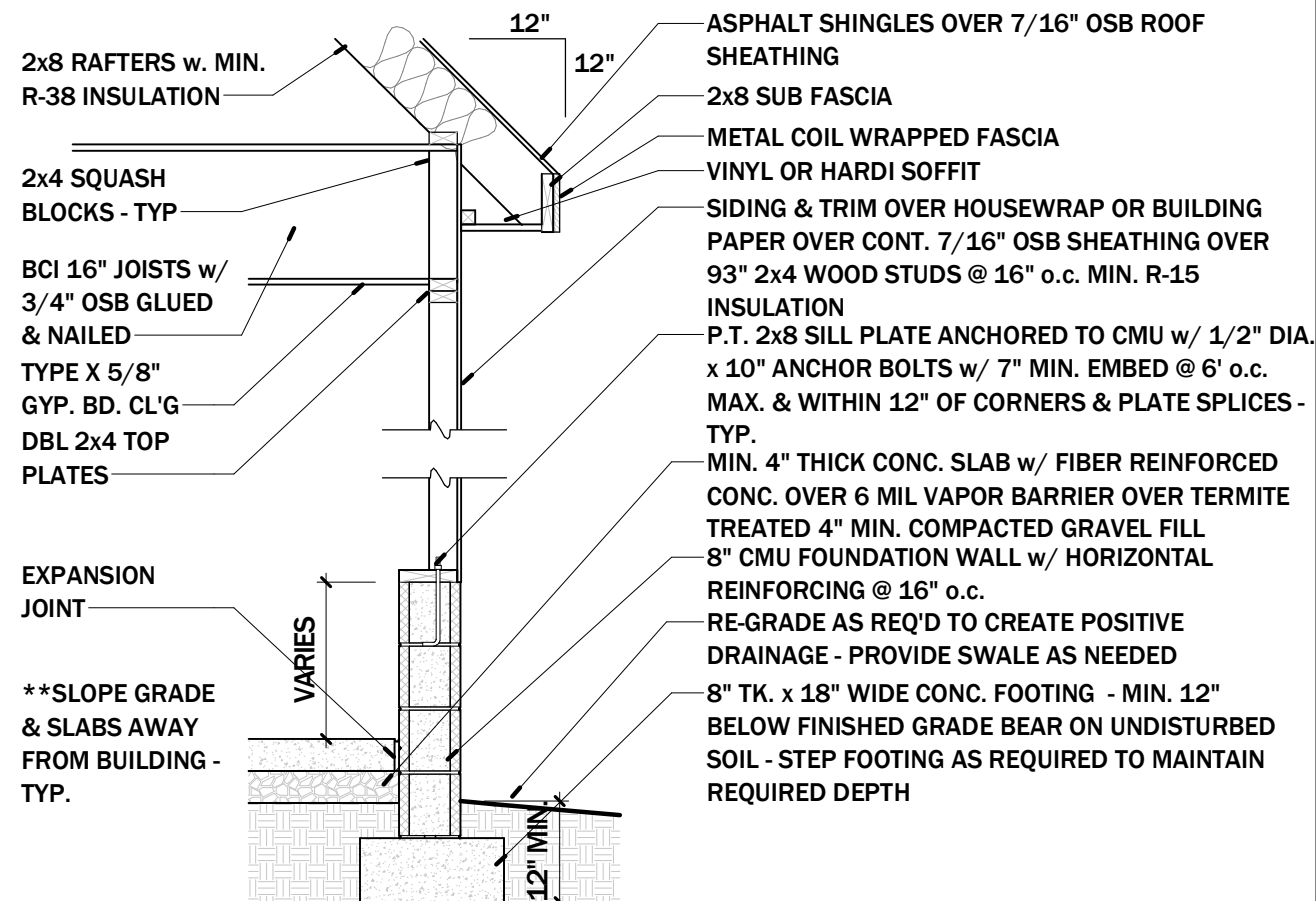
BRACED WALL LINE CONT. SHEATHED w/ WD STRUCTURAL PANELS

IF NEEDED PANEL SPLICE EDGE SHALL OCCUR & BE ATTACHED TO COMMON BLOCKING WITHIN 24" OF WALL MID-HT. ONE ROW OF 3" o.c. NAILING IS REQ'D IN EACH PANEL EDGE

TYPICAL PORTAL FRAME CONSTRUCTION

MIN. DOUBLE POST (KING & JACK STUD) NUMBER OF JACK STUDS PER TABLE R502.5(1) & (2)

ANCHOR BOLTS PER SECTION R403.1.6



## Typical Wall Section

1/2" = 1'-0"

FASTEN TOP PLATE TO HEADER w/ TWO ROWS OF 16D SINKER NAILS @ 3" o.c. - TYP.

MIN. 7/16" WOOD STRUCTURAL PANEL SHEATHING

MIN 2x4 STUDS WITH PONY WALL HT. UP TO 2'-0", MIN 2x8 STUDS w/ PONY WALL HT. GREATER THAN 2'-0"

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Home Work Services

Parmlee's Garage

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Typical Details

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3.0

**CARTER ENGINEERING & CONSULTING, PLLC****STRUCTURAL + CIVIL**

Mr. M. McDaniel  
Home Work Services  
3312 Black Stallion Court  
Zebulon, North Carolina 27597

**Project: Parmlee Residential: detached 32'x26' garage addition**

The owner has contracted to construct a 32'x26' detached garage with second floor storage using BCI 60x16 floor joists spaced at 19.2" on-center. I have provided consultation and performed a review of the construction plans [reference the 9 page construction drawings by Home Work Services for this project dated 8/24/2022]. No exception is taken to the contractor's construction plans provided incorporation of the following provisions.

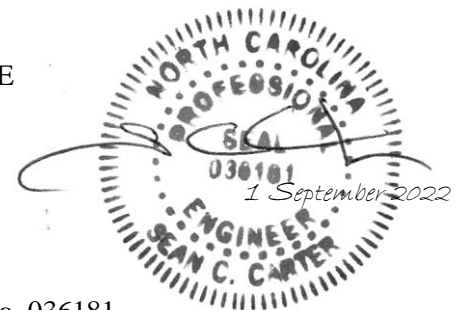
**Provisions:**

- All work shall be in compliance with the 2018 NCRC;
- All mechanical connections shall use manufacturer specified fasteners filling all fastener slots;
- All engineered materials shall be installed per manufacturers specifications;
- Any conditions discovered to be non-compliant or present structural concern shall be immediately brought to the attention of the engineer of record.

As a registered North Carolina professional engineer in good standing and faith, based on the provided information, common practice, and standard tables, to the best of my knowledge the described construction in its completed form is in conformity with the intent of the applicable 2018 North Carolina Building Code to adequately and safely support anticipated loading conditions.

This letter is for the express use by the client. It is the responsibility of any third party to perform proper assessment prior to any modification to the construction from the original plan and/or intent; the Consultant accepts no responsibility for damages suffered by any third party as a result of such decisions or actions. This letter has been based, generally, on common practice, standard tables, and a non-intrusive visual observation and is not an exhaustive study and should not be interpreted as such.

Sean C. Carter, PE



North Carolina No. 036181