

# Parmlee's Garage

Home Work Services

**North Carolina**

## Permit Set

Owner/Developer

Clement McDaniel  
Home Work Services Inc.



Designer

Erik C. Harvey  
Designer

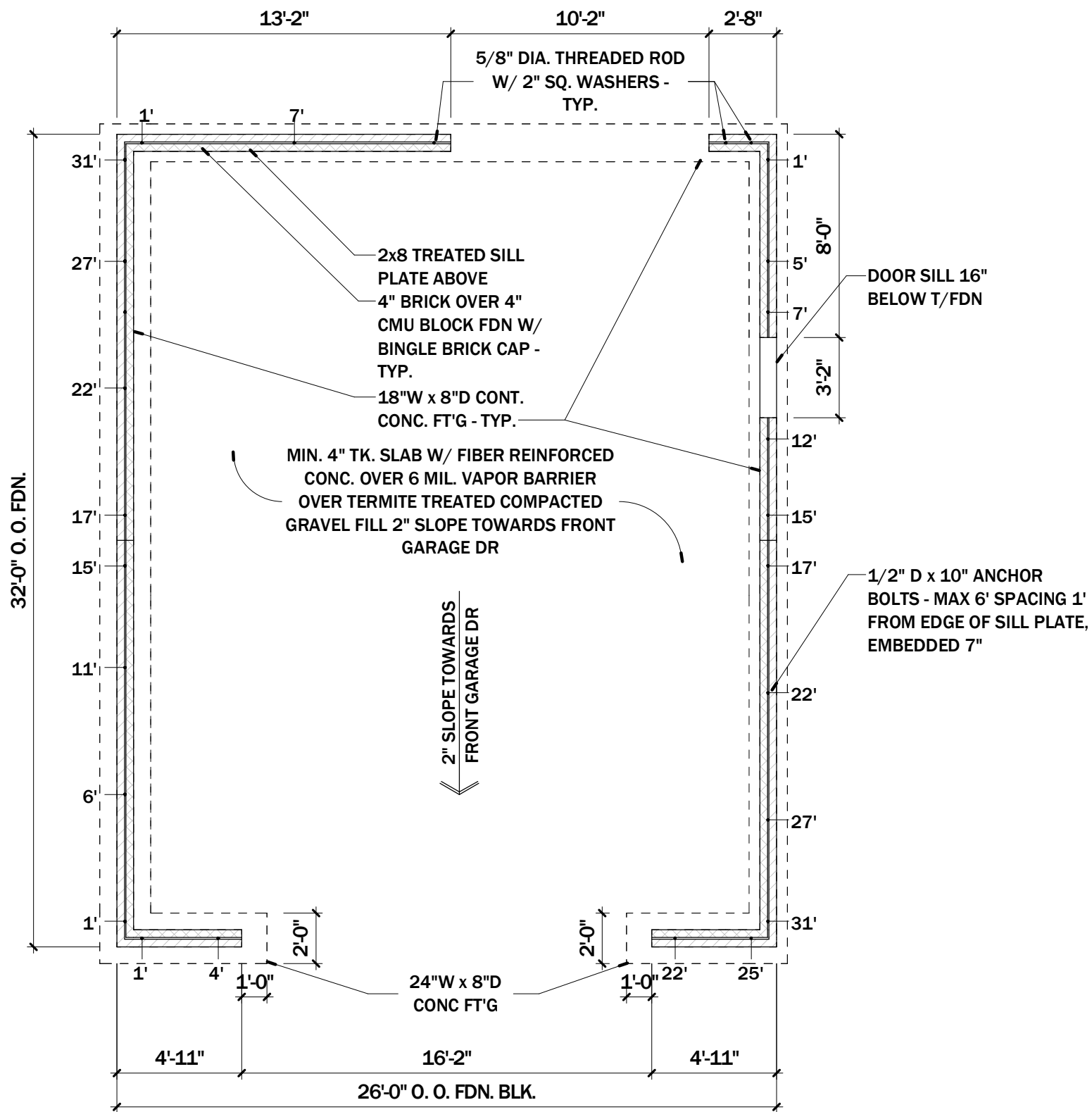
phone: (919) 448-7422  
email: erikharvey3@gmail.com

### SETS ISSUED

DATE	PURPOSE
08/22/2022	95% Review Set
08/24/2022	Permit Set

### DRAWING INDEX

0.1	Cover Sheet, Drawing Index
1.0	Foundation Plan
1.1	Floor Plan
1.2	Floor Plan
1.3	Framing Plan
1.4	Roof Plan
2.0	Exterior Elevation
2.1	Exterior Elevation
3.0	Typical Details



## FOUNDATION NOTES

- SUBSURFACE INVESTIGATIONS ARE BEYOND THE SCOPE OF THE SERVICES PROVIDED. THE FOUNDATION DESIGN SHOWN ON THESE DRAWINGS ASSUMES A MIN. SOIL BEARING CAPACITY OF 2000 POUNDS PER SQUARE FOOT. VERIFICATION OF THIS ASSUMED VALUE IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR. IF ANY ADVERSE SOIL CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION IT IS THE OWNER'S AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT THE DESIGNER IMMEDIATELY.
- ALL CONCRETE SLABS TO BE MIN. 4" THICK W/ FIBER REINFORCED CONC. OVER 6 MIL POLY VAPOR BARRIER OVER MIN. 4" GRAVEL FILL OVER COMPACTED FILL. (COMPACT FILL TO BE MIN. 95% PROCTOR DENSITY).
- ALL CONCRETE TO BE MIN. 3000 P.S.I. 28 DAY STRENGTH.
- CONTROL JOINTS AND CONSTRUCTION JOINTS (NOTED AS CJ) SHALL BE PLACED AT LOCATIONS AS INDICATED. TYPE OF JOINT SHALL BE COORDINATED WITH THE CONTRACTOR AS WELL AS ANY OTHER SLAB JOINTS REQUIRED FOR FLOOR FINISHES.
- THE BOTTOM OF ALL FOOTINGS SHALL EXTEND MIN. 1'-0" BELOW FINISHED GRADE AND BEAR ON UNDISTURBED SOIL. STEP FOOTING AS REQUIRED.
- PROVIDE HORIZONTAL CMU REINFORCEMENT AT 16" O.C. VERTICAL.
- PROVIDE P.T. 2x MUDSILL AT EXTERIOR WALLS WITH 1/2" DIAMETER ANCHOR BOLTS W/ WASHER - AT CORNERS, AT EACH SIDE OF OPENINGS AND @ 6' o.c. MAX., EMBED MIN. 7" IN CONCRETE AND MIN. 8" IN CMU'S. THERE SHALL BE MIN. OF 2 ANCHOR BOLTS PER MUDSILL NOT MORE THAN 12" FROM ENDS.
- SLOPE ALL EXTERIOR SLABS AND FINISH GRADE AWAY FROM BUILDING AT A RATE OF 1/4" PER FOOT MIN.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR THE GROUND TO BE P.T. NO. 2 SOUTHERN YELLOW PINE.
- PROVIDE SOLID BLOCKING BETWEEN FLOOR STRUCTURE - UNDER POSTS & OTHER POINT LOAD CONDITIONS.
- GRADE SHALL BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
- CONSTRUCTION TO FOLLOW 2018 NC RESIDENTIAL CODE.

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Home Work Services  
**Parmlee's Garage**  
North Carolina

Sheet Title:

Foundation Plan

Date: Aug 24, 2022

Project: 22011G

Sheet Number:

Permit Set

# Foundation Plan

SCALE: 3/16" = 1'-0"

1



1.0

# PLAN & FRAMING NOTES

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2. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
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12. PROVIDE ONE (1) JACK STUD PER SIDE FOR HEADER SPANS 7'-0" OR LESS. PROVIDE TWO (2) JACK STUDS PER SIDE FOR HEADER SPANS GREATER THAN 7'-0".
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14. CONSTRUCTION TO FOLLOW 2018 NC RESIDENTIAL CODE.

GROSS BUILDING AREA - SQUARE FEET

<u>GARAGE:</u>	
FIRST FLOOR:	832 SF
SECOND FLOOR:	576 SF

Permit Set

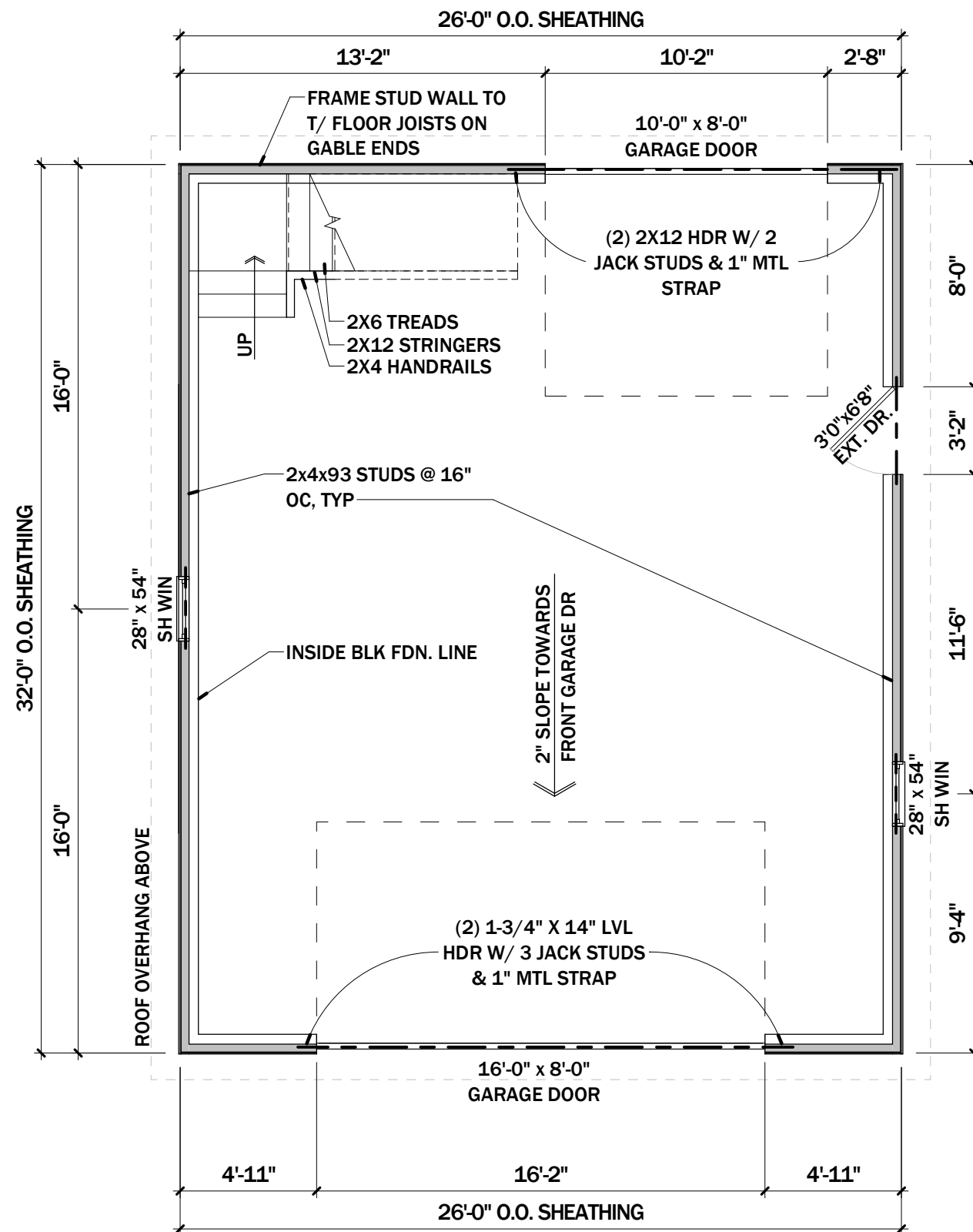
Sheet Title:

Floor Plan

Date: Aug 24, 2022

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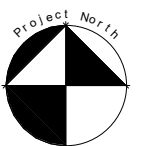


(2) 2x8 HDRS ON EXTERIOR LOAD BEARING WINDOWS & DOORS., TYP.

# Level 1 - First Floor Plan

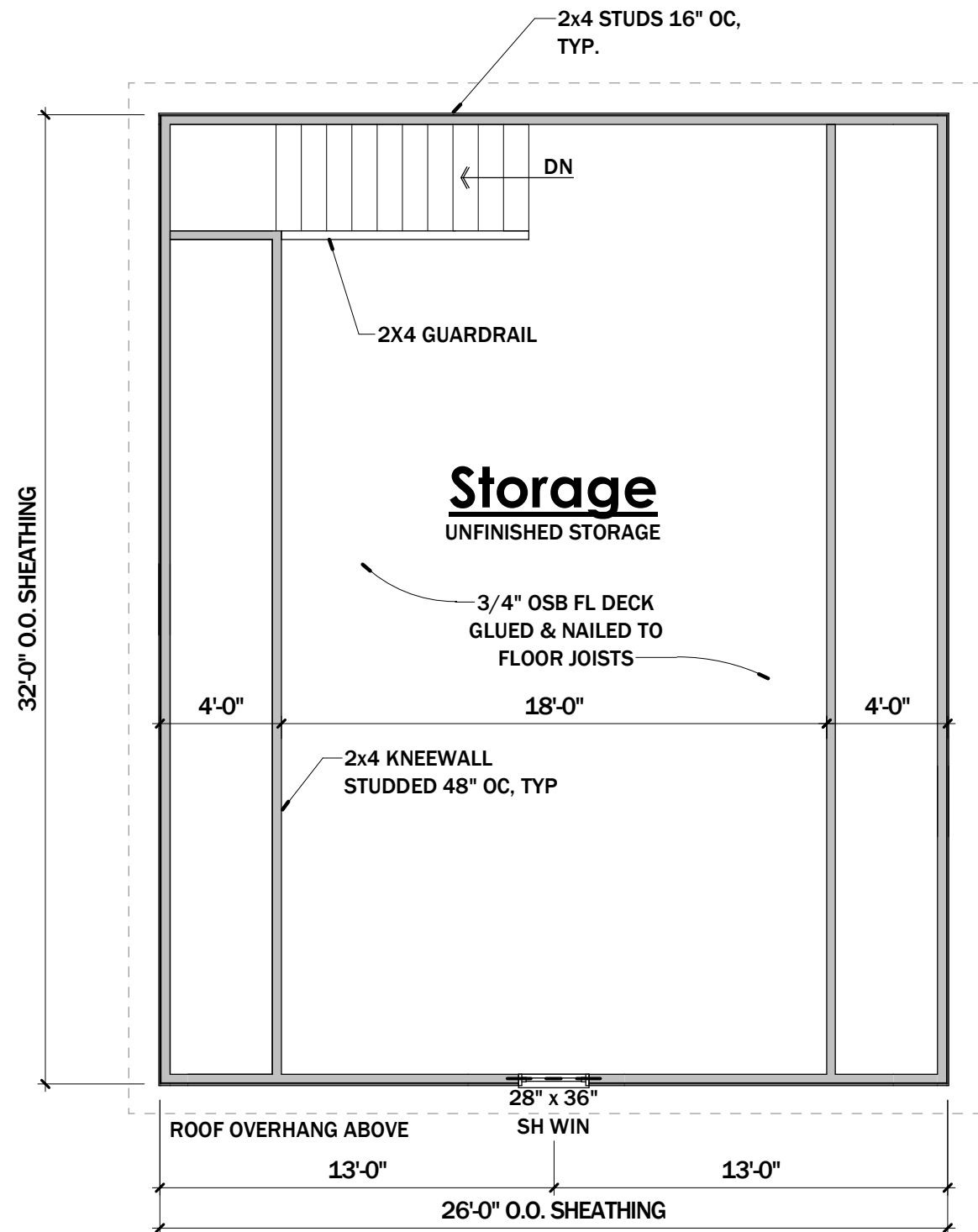
SCALE: 3/16" = 1'-0"

1



1.1

Home Work Services  
**Parmlee's Garage**  
 North Carolina



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SECOND FLOOR:	576 SF

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Floor Plan

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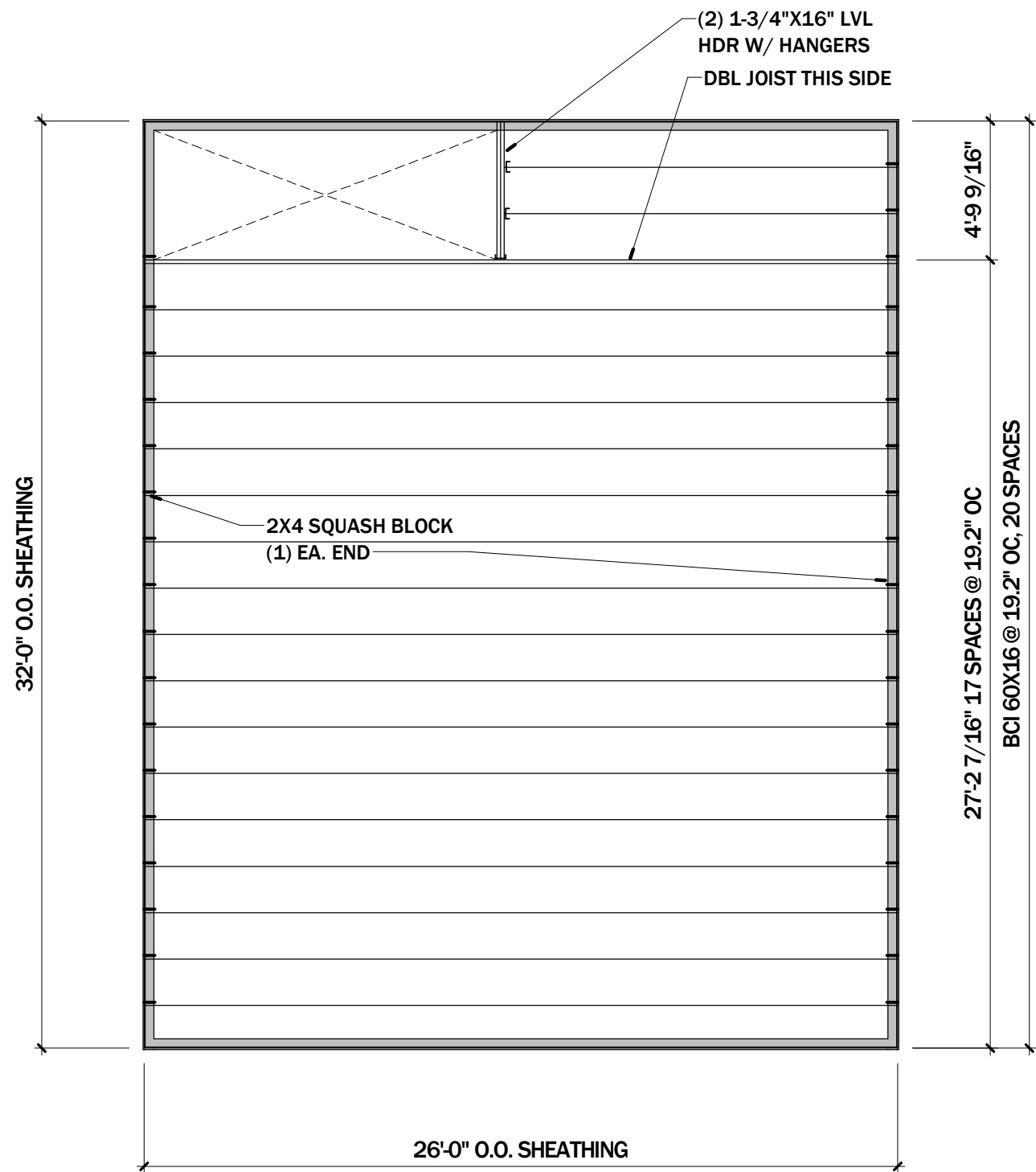
# Level 2 - Second Floor Plan

SCALE: 3/16" = 1'-0"

**1**



**1.2**



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GROSS BUILDING AREA - SQUARE FEET  
**GARAGE:**  
 FIRST FLOOR: 832 SF  
 SECOND FLOOR: 576 SF

Permit Set

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Home Work Services  
**Parmlee's Garage**  
 North Carolina

Sheet Title:  
**Framing Plan**

Date: Aug 24, 2022

Project: 22011G

Sheet Number:

# Level 2 - Framing Plan

SCALE: 3/16" = 1'-0"

1



1.3

# PLAN & FRAMING NOTES

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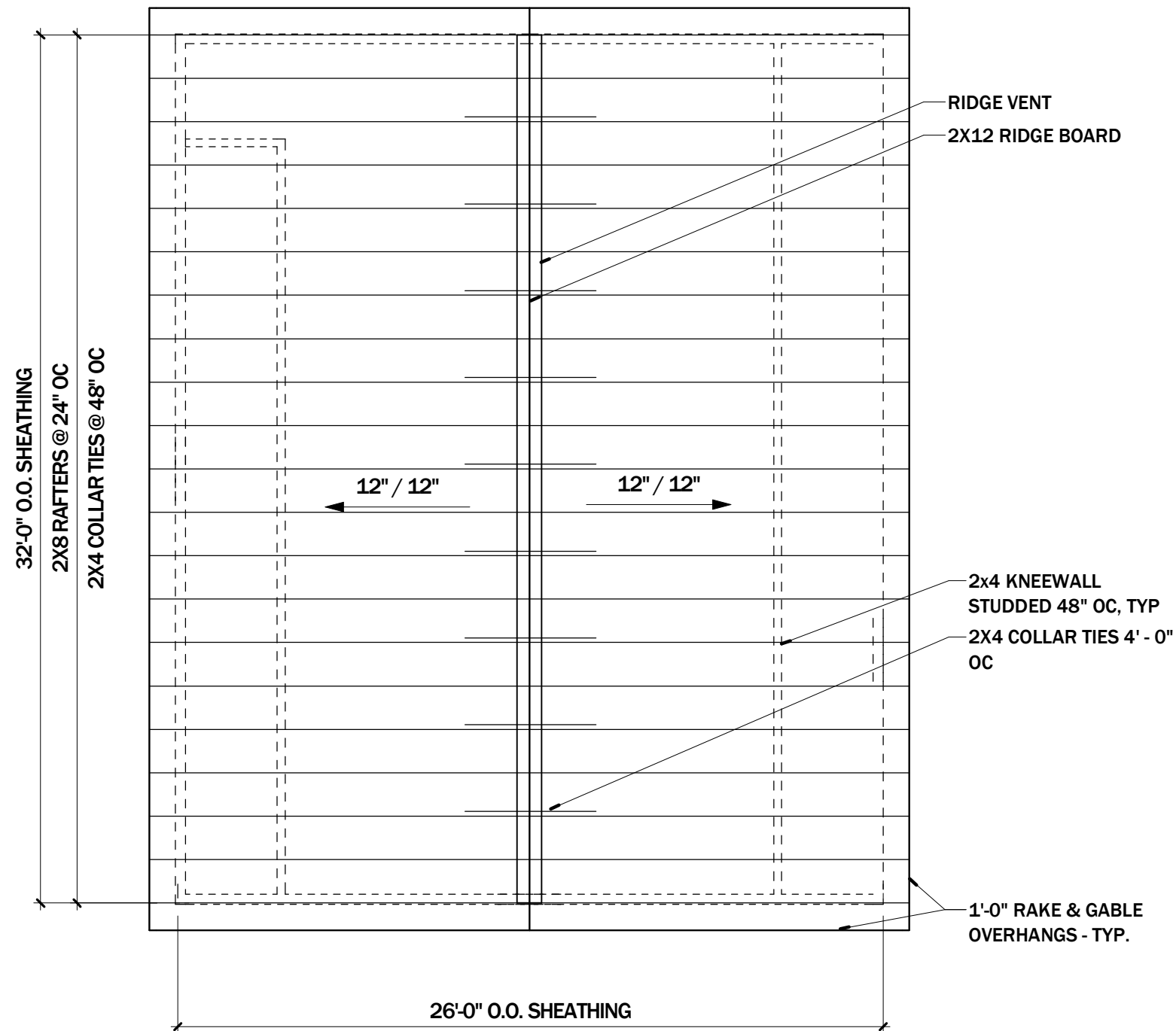
Sheet Title:

Roof Plan

Date: Aug 24, 2022

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# Roof Plan

SCALE: 3/16" = 1'-0"

1



1.4

Home Work Services  
Parmlee's Garage

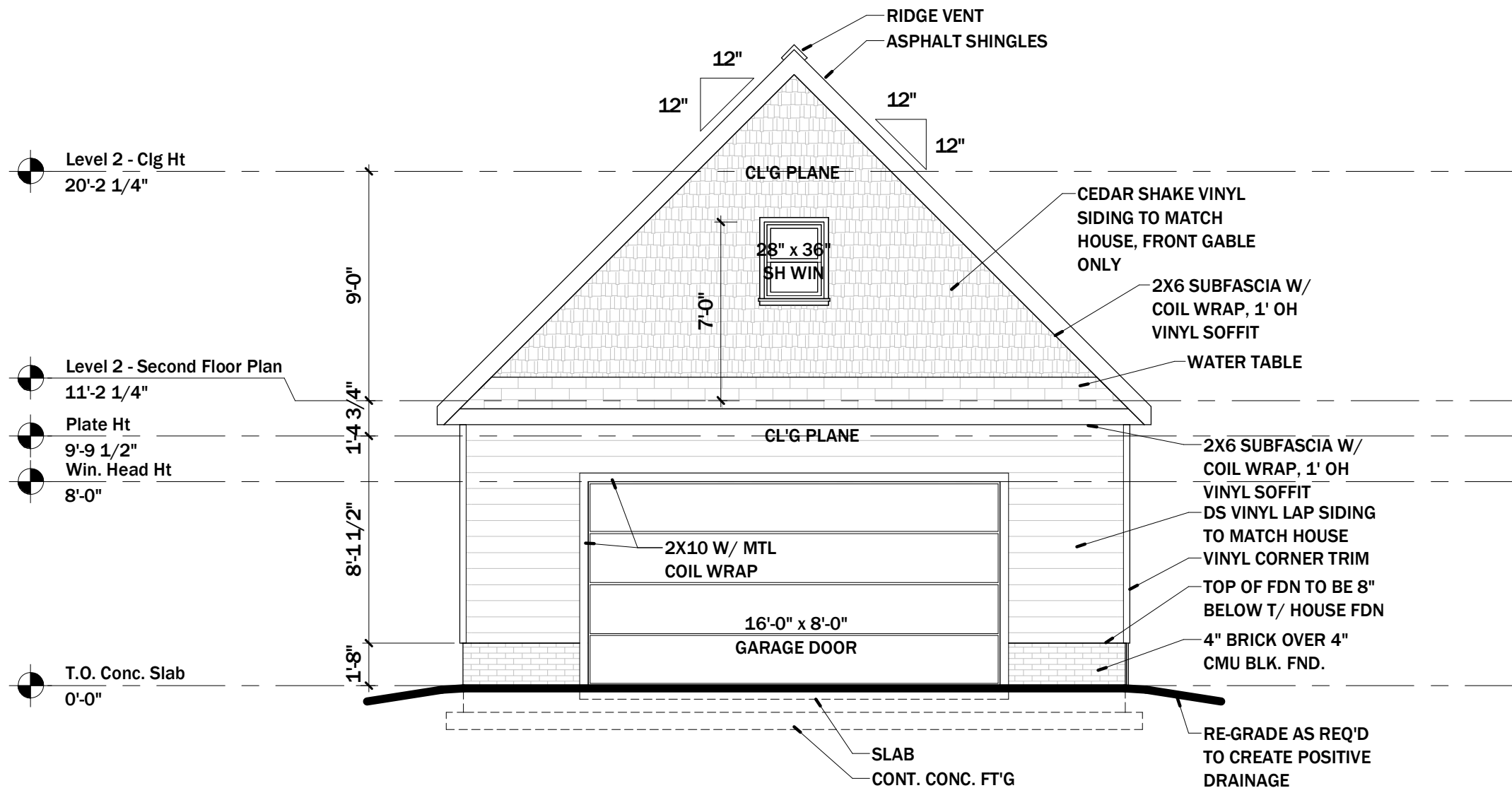
North Carolina

# ELEVATION NOTES

1. ALL PROPOSED GRADE TO SLOPE AWAY FROM BUILDING.
2. COORDINATE LOCATION OF DOWNSPOUTS WITH ROOF PLANS.
3. ALL EXTERIOR FINISH COLORS TO BE SELECTED BY OWNER, DESIGNER AND/OR INTERIOR DESIGNER.
4. SEE FLOOR PLANS FOR DOOR SWING & SIZES.
5. GLAZING TO BE TEMPERED WHERE REQUIRED BY CODE.
6. PROVIDE PROPER FLASHING AROUND ALL WINDOWS. INSTALL PER MANUFACTURER'S REQUIREMENTS.
7. REFER TO WALL SECTIONS AND DETAILS FOR HEAD AND SILL FLASHING LOCATIONS.
8. COORDINATE ALL ROUGH OPENINGS DIMENSIONS WITH MANUFACTURER, TYP.
9. CONSTRUCTION TO FOLLOW 2018 NC RESIDENTIAL CODE.

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Home Work Services  
**Parmlee's Garage**  
 North Carolina

Sheet Title:

Exterior Elevation

Date: Aug 24, 2022

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Sheet Number:

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# Front Elevation

**1**

SCALE: 3/16" = 1'-0"

**2.0**

# ELEVATION NOTES

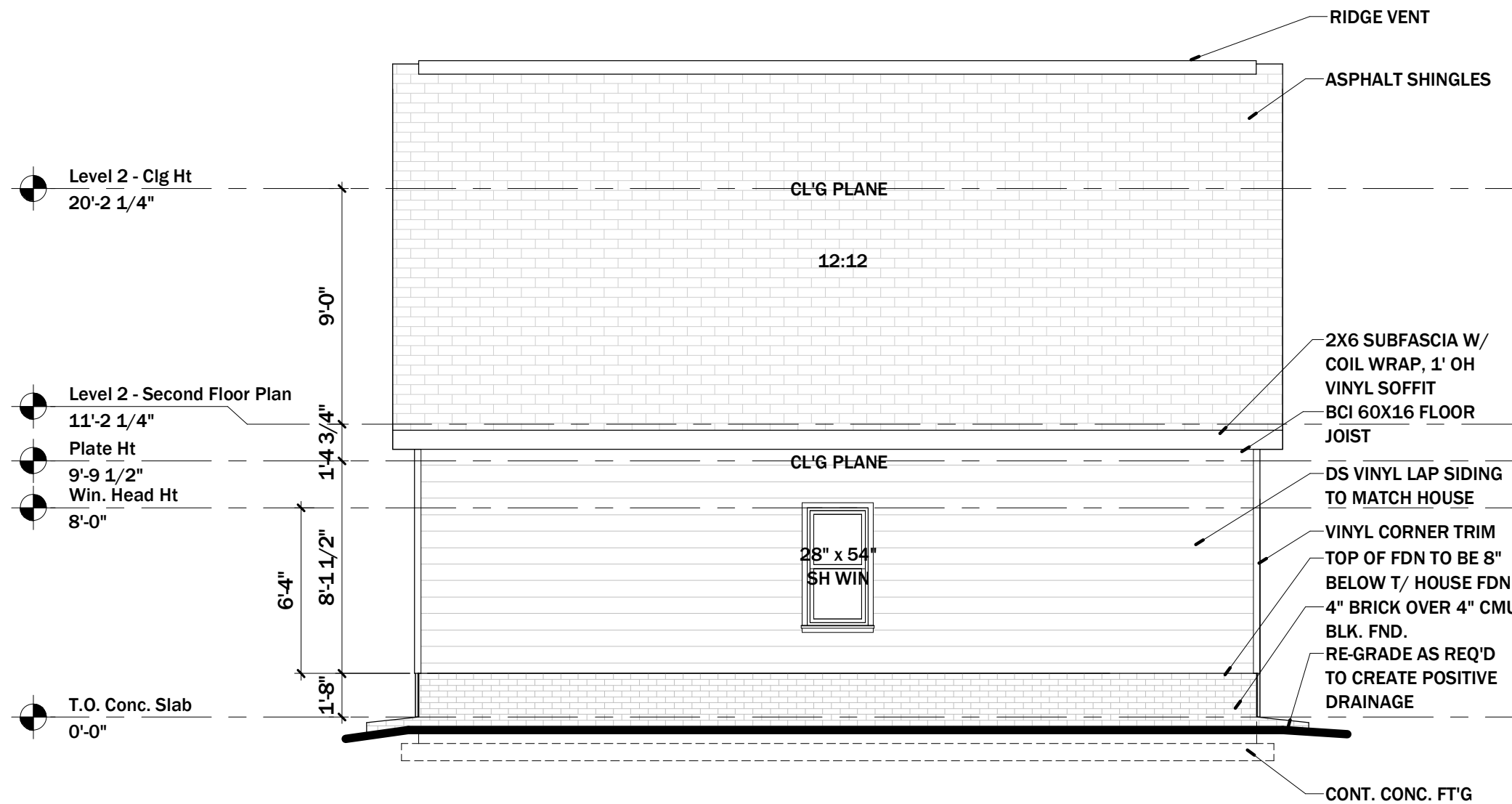
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**Home Work Services**  
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Exterior Elevation

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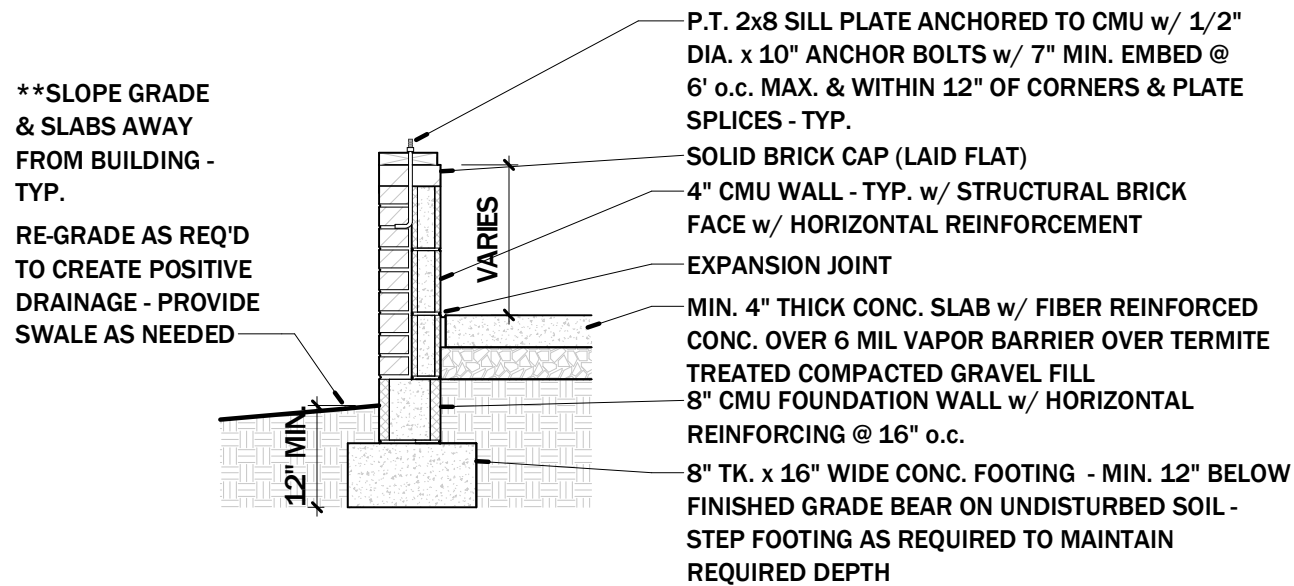
# Left Elevation

SCALE: 3/16" = 1'-0"

**1**

**2.1**





## Typical Brick Foundation Detail

1/2" = 1'-0"

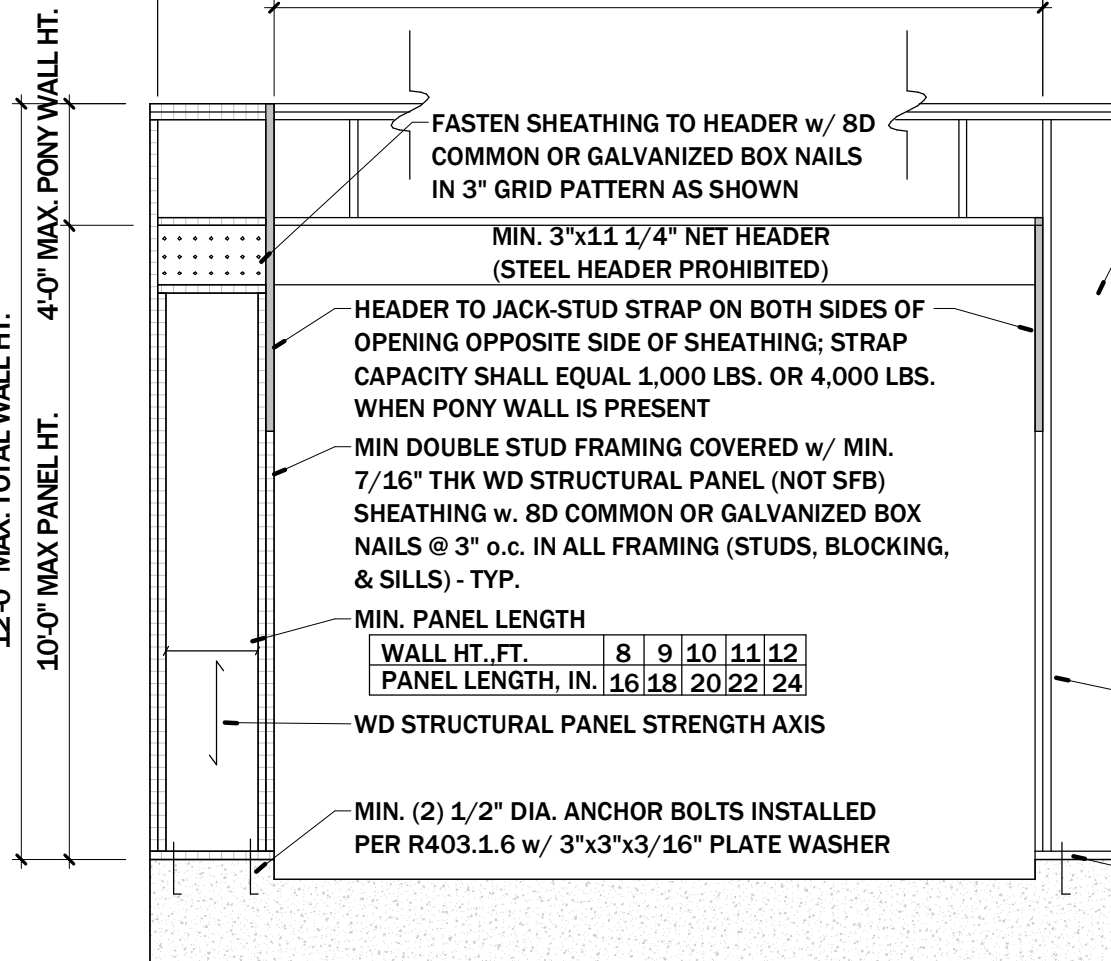
## Portal Wall Framing Over Concrete or Masonry Block Foundation

1" = 1'-0"

EXTENT OF HEADER w/ DOUBLE PORTAL FRAME (TWO BRACED PANELS)

EXTENT OF HEADER w/ SINGLE PORTAL FRAME (ONE BRACED WALL PANEL)

2'-0" - 18'-0" FINISHED WIDTH OF OPENING FOR SINGLE OR DOUBLE PORTAL



TENSION STRAP (ON OPPOSITE SIDE OF SHEATHING)

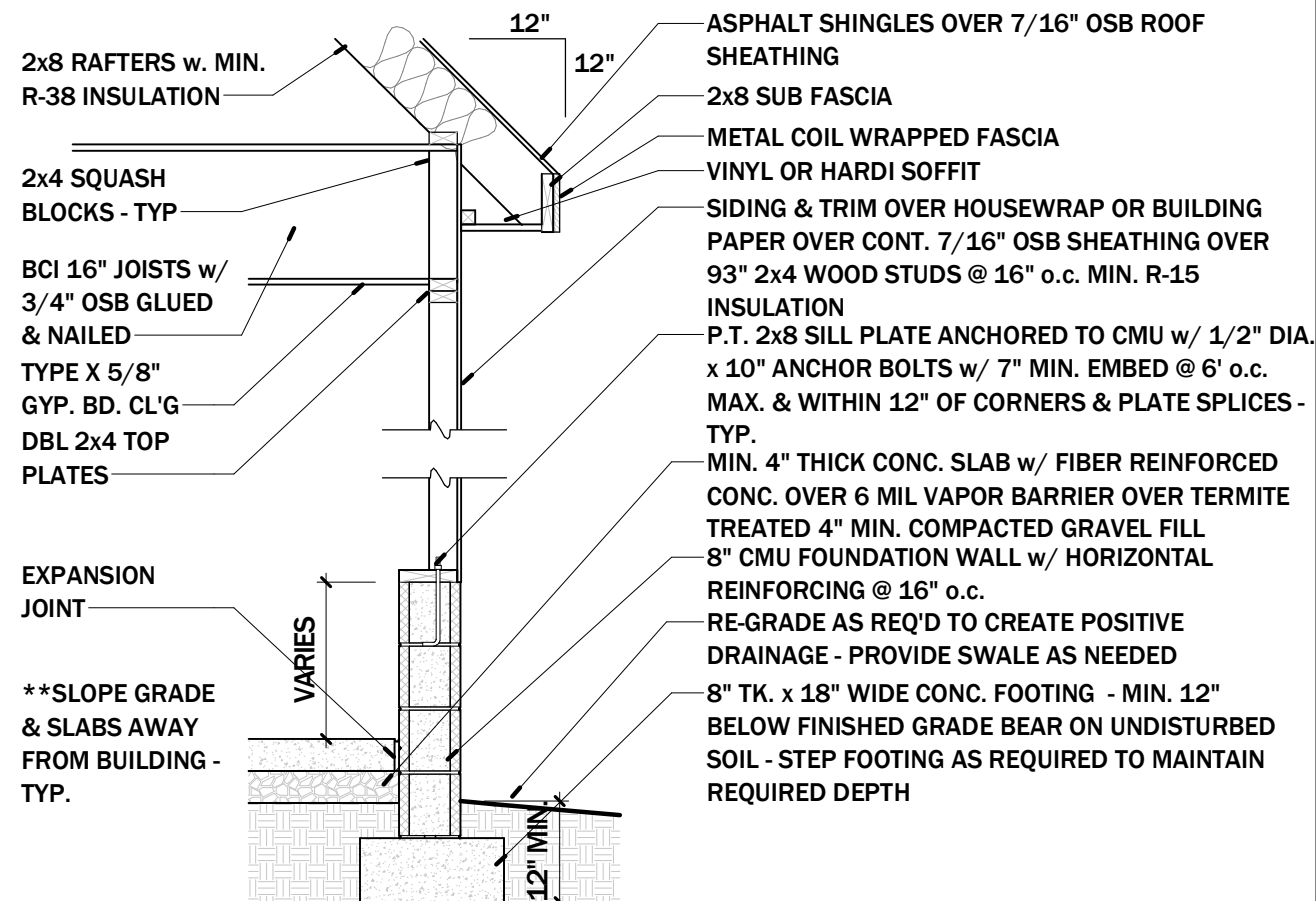
BRACED WALL LINE CONT. SHEATHED w/ WD STRUCTURAL PANELS

IF NEEDED PANEL SPLICE EDGE SHALL OCCUR & BE ATTACHED TO COMMON BLOCKING WITHIN 24" OF WALL MID-HT. ONE ROW OF 3" o.c. NAILING IS REQ'D IN EACH PANEL EDGE

TYPICAL PORTAL FRAME CONSTRUCTION

MIN. DOUBLE POST (KING & JACK STUD) NUMBER OF JACK STUDS PER TABLE R502.5(1) & (2)

ANCHOR BOLTS PER SECTION R403.1.6



## Typical Wall Section

1/2" = 1'-0"

FASTEN TOP PLATE TO HEADER w/ TWO ROWS OF 16D SINKER NAILS @ 3" o.c. - TYP.

MIN. 7/16" WOOD STRUCTURAL PANEL SHEATHING

MIN 2x4 STUDS WITH PONY WALL HT. UP TO 2'-0", MIN 2x8 STUDS w/ PONY WALL HT. GREATER THAN 2'-0"

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