

BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.

ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE.

DETAILS GOVERN OVER DRAWINGS.

DIMENSIONS GOVERN OVER SCALE.

VERIFY ALL MECHANICAL REQUIREMENTS BEFORE ORDERING.

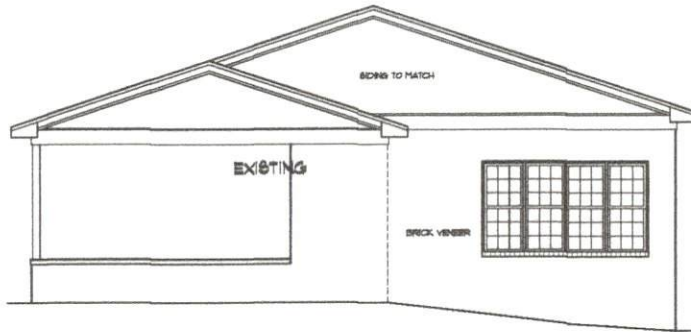
WINCANNON DESIGNS DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS FROM THESE PLANS.

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Code and is subject to their inspection and verification.

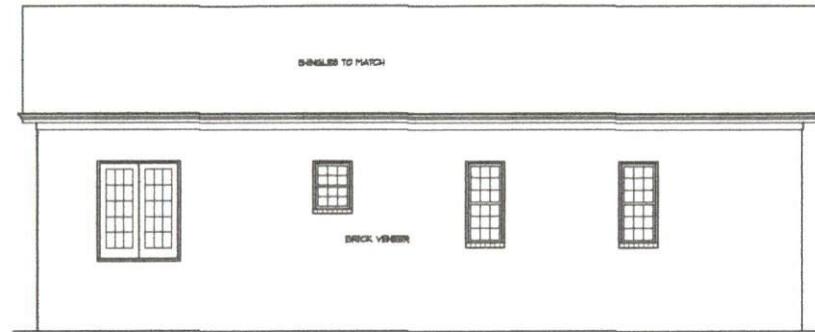
APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

12/02/2021

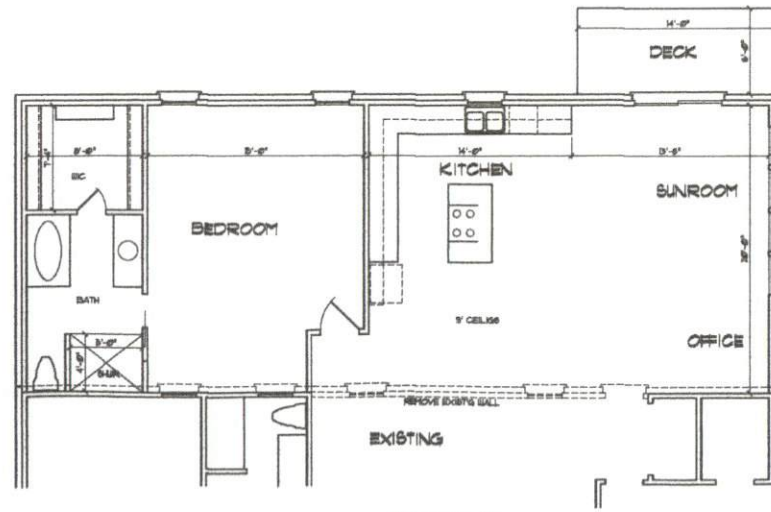




SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



FLOOR PLAN
SCALE 1/4" = 1'-0"

PRELIMINARY
STUDY COPY
NOT FOR CONSTRUCTION

Juan Martinez
429 Crauford Rd

WINCANNON DESIGNS
CUSTOM HOME PLANS

DRAWN BY
DATE: 11/18/2021
REVISIONS

8 SHEETS
1

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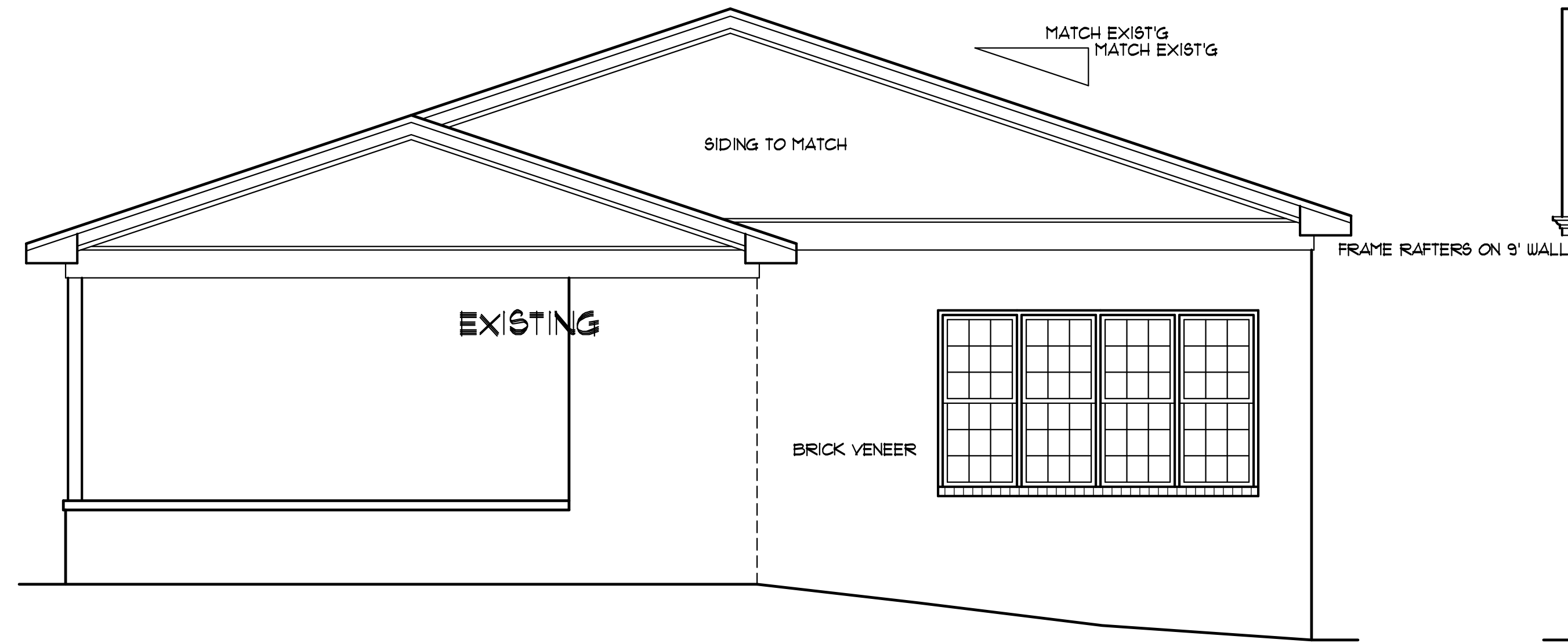
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CODES GOVERN OVER DRAWINGS.

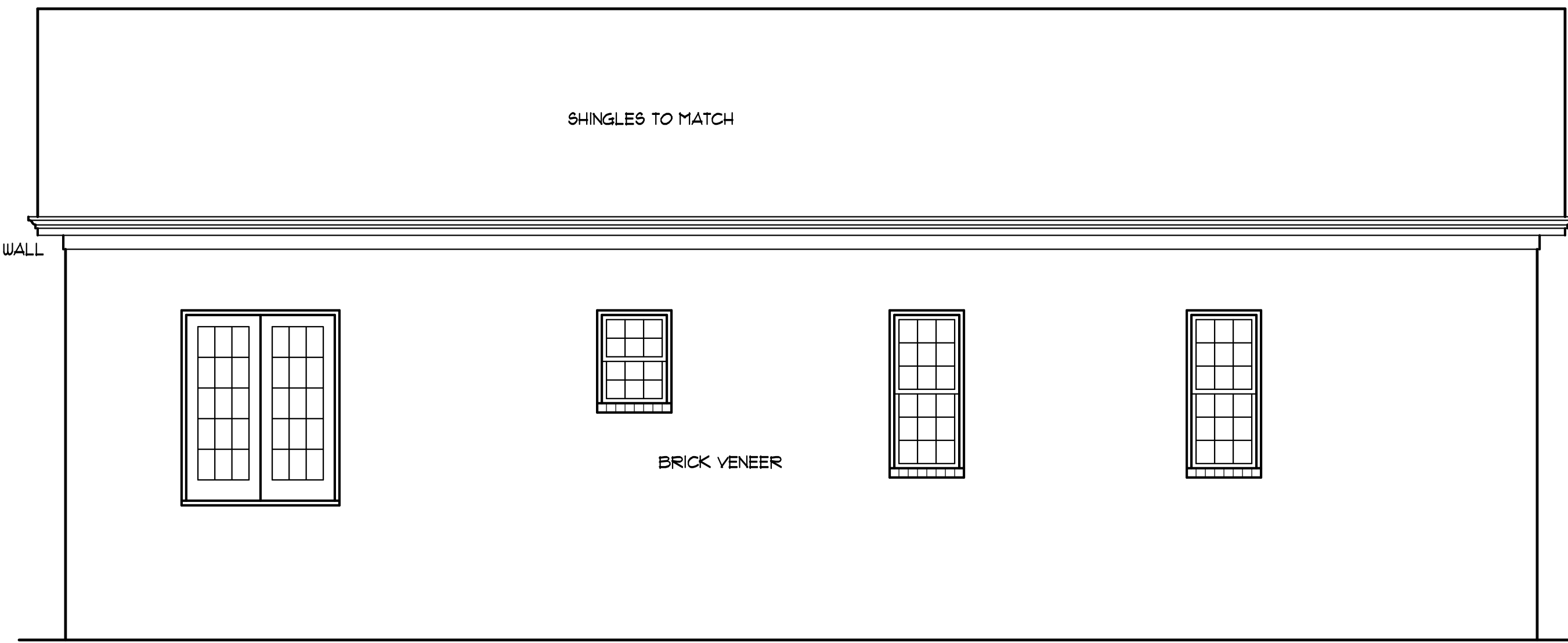
DIMENSIONS GOVERN OVER SCALE.

VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FRAMING.

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SIDE ELEVATION
SCALE: 1/4" = 1'-0"



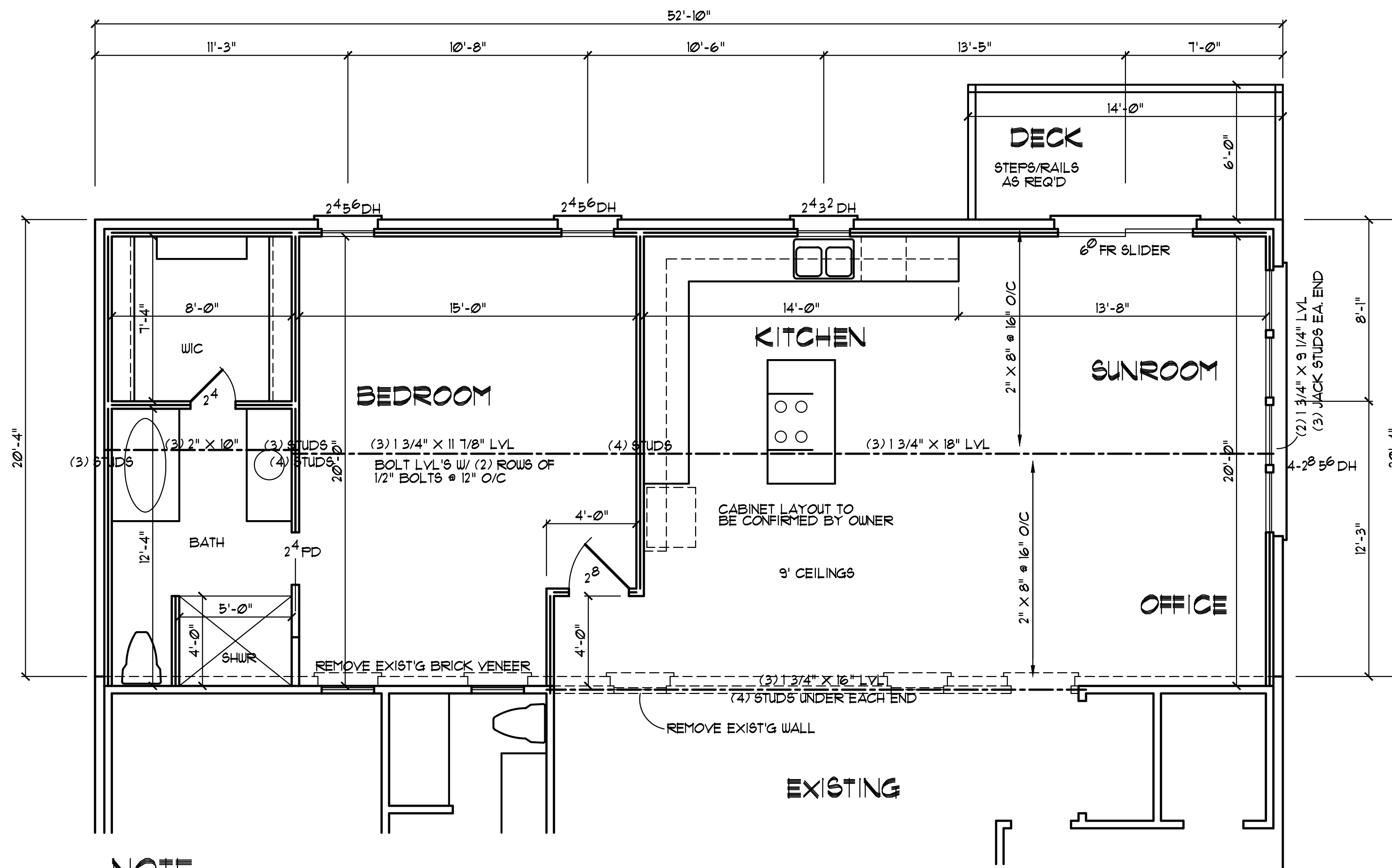
REAR ELEVATION
SCALE: 1/4" = 1'-0"

FRAMING NOTES

- 1) ALL FRAMING LUMBER 8FF #2 GRADE (NLGA) OR BETTER, UNLESS NOTED.
- 2) JOIST SIZE AND SPACING BASED ON CODE MINIMUMS. BUILDER SHOULD CONSIDER STIFFENING FLOOR SYSTEM IN LONG SPAN AREAS, TO REDUCE FLOOR FLEXIBILITY.
- 3) PROVIDE DOUBLE JOIST UNDER WALLS PARALLEL TO JOIST DIRECTION.
- 4) PROVIDE SOLID BLOCKING BETWEEN ALL JOINT LOADS AND TOP OF GIRDER, PIER OR FOUNDATION WALL.
- 5) PROVIDE 2" x 10" HEADERS OVER WINDOWS, DOORS, UN - TYPICAL.

NOTE

- 1) USE 2X10'S AT 16" O.C. #2 S.P.F. MINIMUM SPECIFIED (UON)
- 2) JOISTS DIRECTION DESIGNATED BY
- 3) DOUBLE ALL JOIST PARALLEL TO WALLS ABOVE.
- 4) GIRDERS TO BE (3)2X10'S #2 S.P.F. MINIMUM (UON)
- 5) MINIMUM CRAWL SPACE ACCESS TO BE 22" HEIGHT X 36" WIDTH.
- 6) FOUNDATION WALL AND PIER CAPS TO BE MINIMUM 8" SOLID.
- 7) FOOTING UNDER MASONRY FIREPLACE TO BE 12" THICK AND EXTEND 12" BEYOND.



NOTE:
FIELD VERIFY ALL DIMENSIONS

FLOOR PLAN
SCALE: 1/4" = 1'-0"

1079 ADDITIONAL SQUARE FEET

WALL BRACING FOR THE GARAGE DOORS WILL BE DONE USING PFG METHOD IN ACCORDANCE WITH FIGURE 602.10.3.4 OF THE NORTH CAROLINA BUILDING CODE 2018 ED. FOR RESIDENCES.

VERIFY ALL WINDOW SIZES MEET MINIMUM STANDARDS FOR LIGHT, VENTILATION AND EGRESS.

- NEW WALLS
- - - EXISTING WALLS
- EXISTING WALLS TO BE REMOVED

STRUCTURAL EVALUATION BY:

HOWERTON SERVICES, PLLC
3513 CATHEDRAL BELL ROAD RALEIGH, NC 27614
LICENSE P-1716

- * ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.
- * ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.
- * DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 12/01/2022



11 19 2021

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DRAWN BY : WRV
CHK'D BY :
DATE: 11/19/21
REVISIONS :

SHEET



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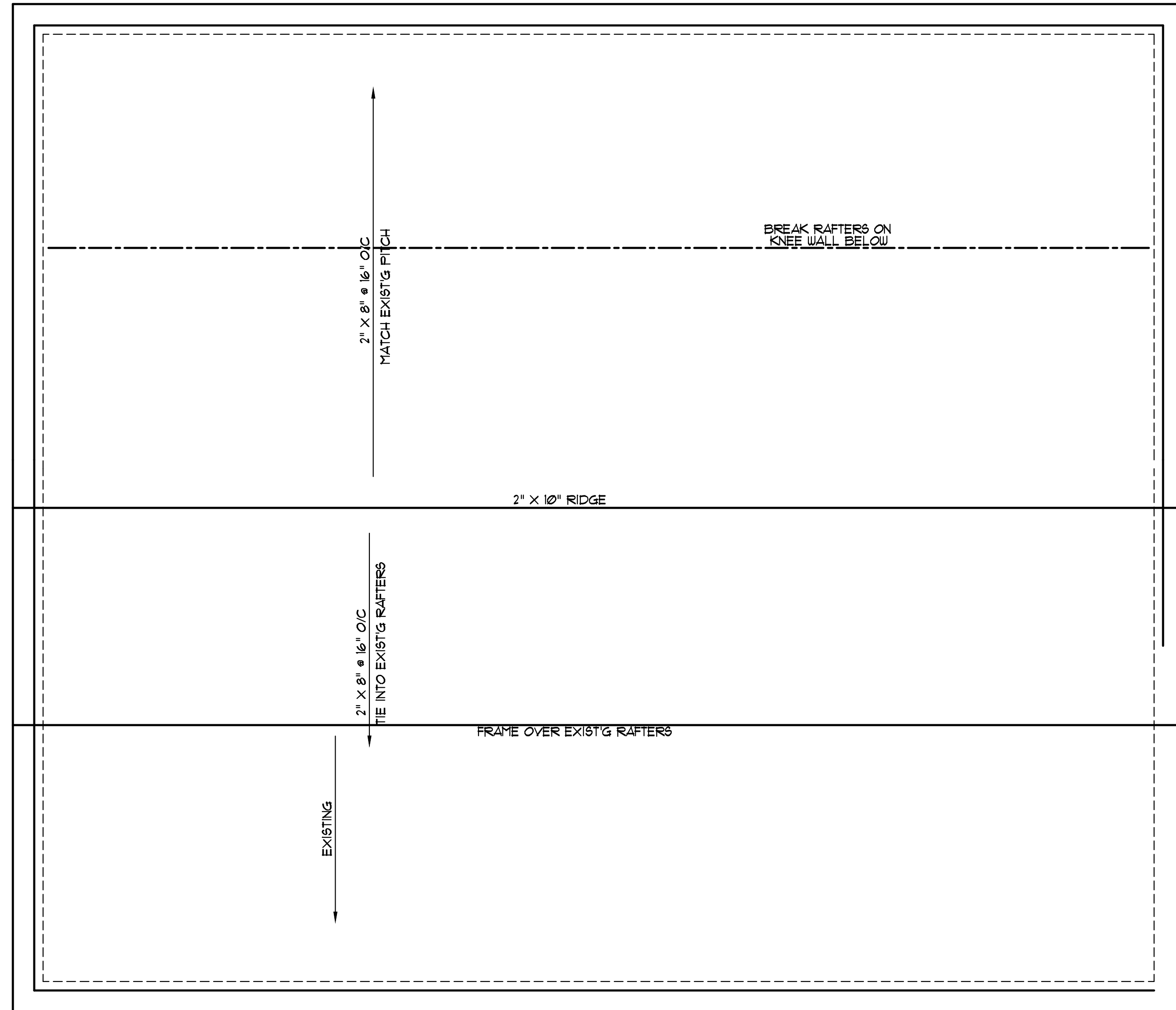
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ATTIC SPACE VENTILATION

MAIN ROOF
ATTIC AREA = 2390 SQ. FT.
REQUIRED AREA = A/300 = 7.97 SQ. FT.

NOTE:
ALL EAVES TO HAVE 2" CONTINUOUS SOFFIT VENT
ALLOW 1" AIR SPACE ABOVE INSULATION FOR AIR FLOW



ROOF PLAN
SCALE: 1/4" = 1'-0"

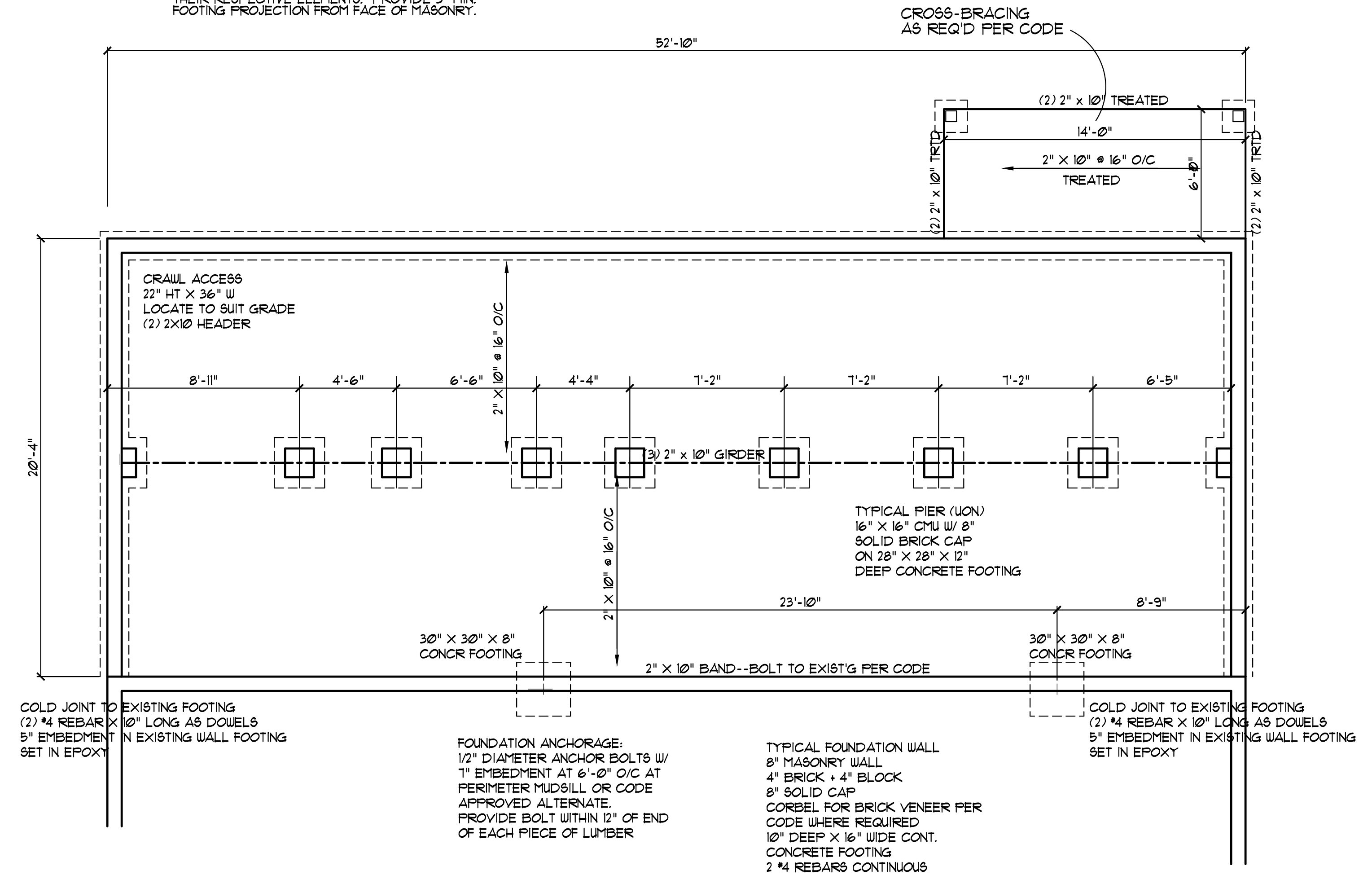
NOTE:
FIELD VERIFY ALL DIMENSIONS

FOUNDATION NOTES

- SPECIFIC NOTES ON THE PLANS TAKE PRECEDENCE OVER THE FOLLOWING GENERAL NOTES. NOTED DIMENSIONS GOVERN OVER SCALE. PLAN DESIGNER AND CONTRACTOR ARE SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY. ALL CONSTRUCTION TO COMPLY WITH NC STATE BUILDING CODE, VOL. VII WITH CURRENT REVISIONS.
- STRUCTURAL CONCRETE TO BE FC=3000 PSI, PREPARED AND PLACED IN ACCORDANCE WITH ACT STANDARD 318.
- FOOTINGS TO BEAR ON UNDISTURBED EARTH, A MIN. OF 12" BELOW ADJACENT FINISHED GRADE, OR AS OTHERWISE DIRECTED BY THE LOCAL INSPECTOR.
- FOOTING SIZES BASED ON A PRESUMPTIVE SOIL BEARING CAPACITY OF 2000 PSF. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION.
- FOOTINGS AND PIERS SHALL BE CENTERED UNDER THEIR RESPECTIVE ELEMENTS. PROVIDE 3" MIN. FOOTING PROJECTION FROM FACE OF MASONRY.
- MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN VOLUME VII, SECTION R-304.3 OF THE NC STATE CODE.
- FILASTERS TO BE BONDED TO PERIMETER FOUNDATION WALL.
- PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.
- PROVIDE PERIMETER INSULATION WITH BASEMENT SLABS.
- CORBEL FOUNDATION WALL AS REQUIRED TO ACCOMMODATE BRICK VENEER.
- CRAWL SPACE TO BE GRADED LEVEL AND CLEAR OF ALL DEBRIS.

ALLOWABLE PIER HEIGHTS		
SIZE	HOLLOW	SOLID
8"x16"	2'-8"	5'-0"
12"x16"	4'-0"	8'-0"
16"x16"	5'-4"	12'-0"
24"x24"	8'-0"	

FOOTINGS 30"x30"x10"-MINIMUM, UNLESS NOTED OTHERWISE OTHERWISE



CRAWL SPACE VENTILATION

PROVIDE AT LEAST 10 SQ. FT. NET FREE VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL SPACE

CRAWL SPACE AREA:
1013 / 150 = 7.99 SQ. FT. REQ'D.

REDUCE REQUIRED AREA TO 10 SQ. FT. NET FREE VENTILATION AREA FOR EACH 1500 SQ. FT. OF CRAWL SPACE WITH APPROVED VAPOR BARRIER

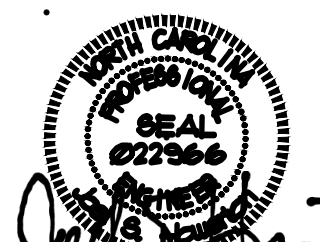
PROVIDE (1) VENT WITHIN 3'-0" OF EACH CORNER

REFER TO MANUFACTURER SPECIFICATIONS FOR ACTUAL VENTS USED TO DETERMINE NUMBER OF VENTS REQUIRED

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A-2