

# HOUSE

GRASS  
AREA  
OLD CONCRETE  
REMOVED

SUPPORT  
SUPPORTS

(3) PT 2x10  
w/ 2x6 TOP  
3 BOTTOM  
BEAM  
OVER  
6x6

6x6 PT Post  
ON 16x16x16  
SPILID FOOTER

P-6x6  
OVER  
16x16x16  
FOOTER

ROOF OVER  
w/ WINDERS

PT OVER  
6x6 PT  
16x16  
FOOTER

40  
BEHIND HOUSE  
w/ WINDERS

ROOF  
OVER  
NO BEDROOMS  
ADDS

(3) PT 2x10 w/  
2x6 TOP + BOTTOM  
OVER 6x6 POST

6x6 PT  
OVER  
16x16x16  
FOOTER

6x6 PT  
OVER  
FOOTER

\* DIGGING 16x16x16 FOOTER  
UNDER EXISTING SLAB  
FOR POST SUPPORT

\* NO BEDROOMS UNDER  
ROOF ADD ON

KARA RESIDENCE  
570 MINERAL SPRINGS RD  
FURMAN, VIRGINIA, NC



LEFT SIDE ELEVATION

(2) 2X10 SYP UNDER RAFTER

2X6 SYP BARGE RAFTER

12/3

BOARD & BATTEN SIDING

2X10 RAFTERS SYP 16" OC

7/16 OSB

(2) 2X10 SYP 2X4 TOP-BOTTOM

EXISTING HOUSE

9 1/2"

1/2 SLAB END

SCREEN PORCH

48.75'

48.75'

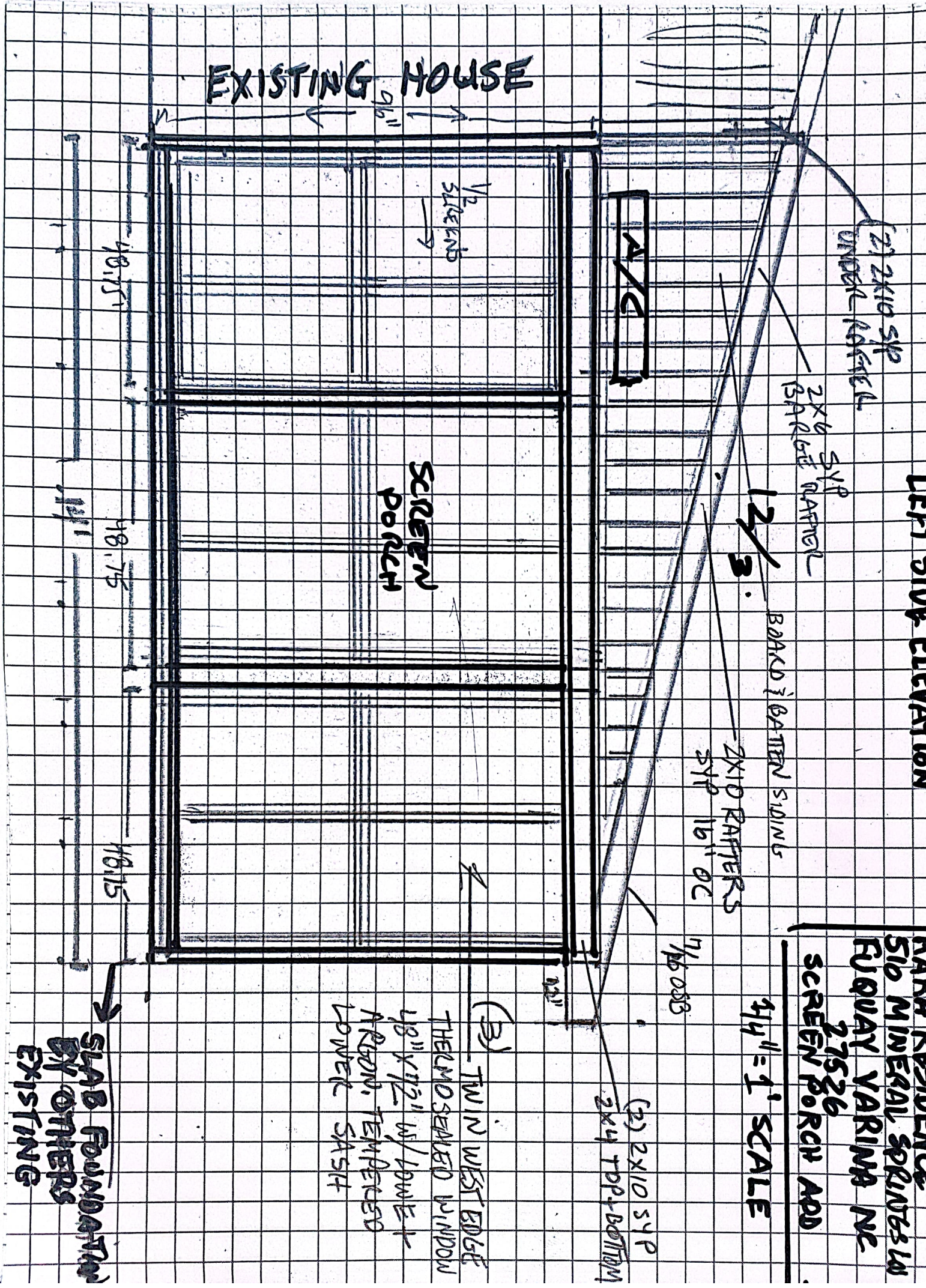
48.15'

44" = 1' SCALE

KARA RESIDENCE  
510 MINERAL SPRINGS LN  
FUQUAY VARIANA NC  
27526  
SCREEN PORCH ADD

(3) TWIN WEST EDGE  
THERMO SEALED WINDOW  
48" X 72" w/ LOWER  
ARCH. TEMPERED  
LOWER SASH

SLAB FOUNDATION  
BY OTHERS  
EXISTING





# RIGHT SIDE ELEVATION

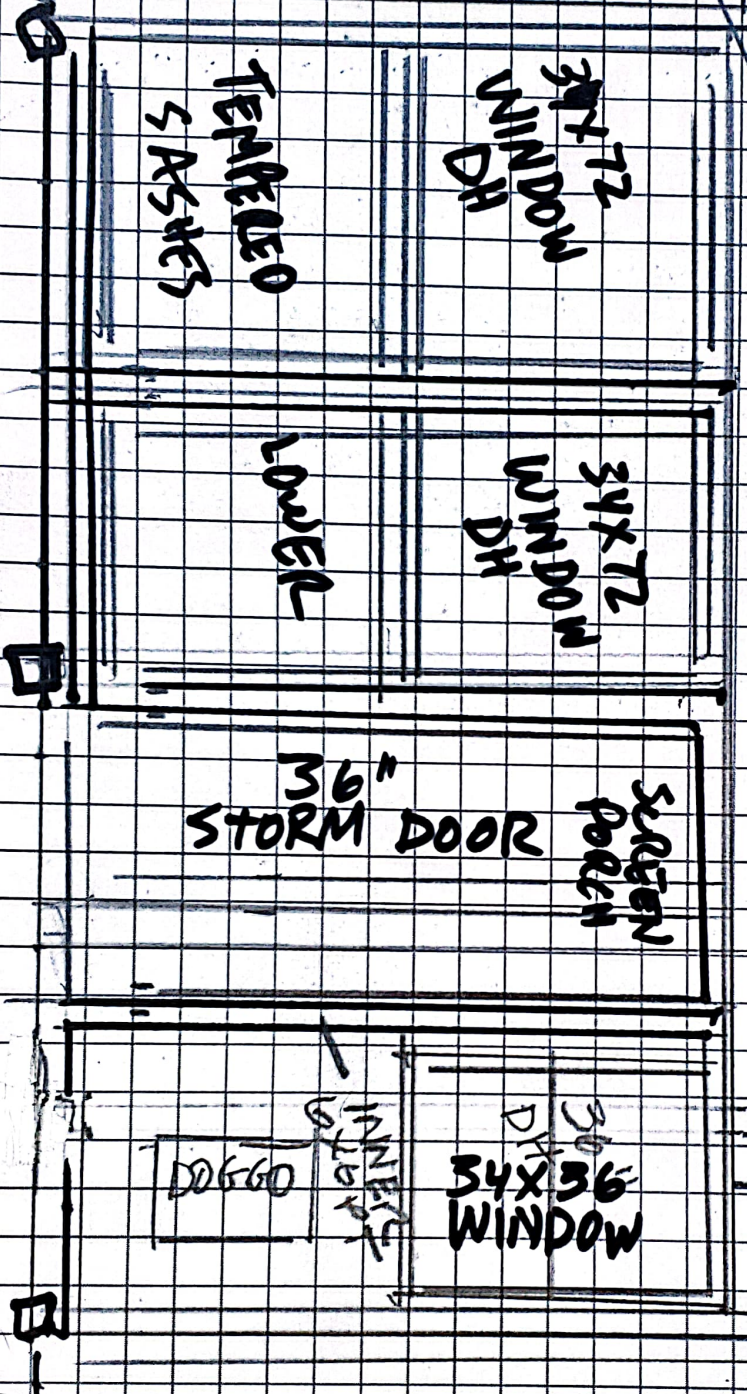
KARA RESIDENCE  
510 MINERAL SPRINGS RD  
FURJAN VARMA NC  
27526

SUN POOL

2" x 10" x 10" SIP PARTENS  
BOTTOM

2" x 10" x 10" SIP PARTENS  
1" BOARD & BATTEN  
OUTER WALL OPEN

2" x 10" SIP PARTENS  
BATTEN



FURJAN VARMA 6x6 PT  
TO SEAS

6x6 PT

EXISTING HOUSE



**Howerton Services, PLLC**  
**License # P-1716**  
3513 Cathedral Bell Road  
Raleigh, NC 27614  
(919) 270-3460

October 25, 2021

Subject: Kara Residence  
510 Mineral Springs Lane  
Fuquay Varina, NC 27526  
Plan Revision Letter

Based on the request of the Contractor, the footings for the Screened Porch and the Covered Porch will be modified from the original plan. My assessment is as follows:

- The original plans have the posts for both porches resting on 16"x 16"x 16" footings. There is an existing 7" thick concrete slab in place the proposed Screened Porch and Covered Porch will be constructed over. The contractor would like to dig out under the existing slab and place the footings under the existing slab. The new footings may be modified to 16"x 16"x 6" concrete footings under the existing 7" slab. This footing modification is acceptable.

The modified footings for the Screened Porch and Covered Porch meet all the requirements of the 2018 North Carolina Building Code for Residences.



*Joel S. Howerton*

10 25 2021



Initial Application Date: 10/23/21

Application # \_\_\_\_\_

CU# \_\_\_\_\_

COUNTY OF HARNETT RESIDENTIAL LAND USE APPLICATION

Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 ext:2 Fax: (910) 893-2793 www.harnett.org/permits

\*\*A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) & SITE PLAN ARE REQUIRED WHEN SUBMITTING A LAND USE APPLICATION\*\*

LANDOWNER: ERIC + GARNETT KARA Mailing Address: 510 MINERAL SPRINGS LANE  
City: FUQUAY VARINA State: NC Zip: 27526 Contact No: 9196697292 Email: deptofinteriors@yahoo.com

APPLICANT: JAMES BROUGHAM Mailing Address: 4226 GUNN POOLE RD  
City: MEBANE State: NC Zip: 27302 Contact No: 919267-0420 Email: brougham.james@gmail

\*Please fill out applicant information if different than landowner  
ADDRESS: 510 MINERAL SPRINGS LANE F/V PIN: \_\_\_\_\_

Zoning: \_\_\_\_\_ Flood: \_\_\_\_\_ Watershed: \_\_\_\_\_ Deed Book / Page: \_\_\_\_\_

Setbacks - Front: \_\_\_\_\_ Back: \_\_\_\_\_ Side: \_\_\_\_\_ Corner: \_\_\_\_\_

PROPOSED USE:

SFD: (Size \_\_\_\_\_ x \_\_\_\_\_) # Bedrooms: \_\_\_\_\_ # Baths: \_\_\_\_\_ Basement (w/wo bath): \_\_\_\_\_ Garage: \_\_\_\_\_ Deck: \_\_\_\_\_ Crawl Space: \_\_\_\_\_ Slab: \_\_\_\_\_ Slab: \_\_\_\_\_  
**TOTAL HTD SQ FT** \_\_\_\_\_ **GARAGE SQ FT** \_\_\_\_\_ (Is the bonus room finished? ( ) yes ( ) no w/ a closet? ( ) yes ( ) no (if yes add in with # bedrooms)

Modular: (Size \_\_\_\_\_ x \_\_\_\_\_) # Bedrooms \_\_\_\_\_ # Baths \_\_\_\_\_ Basement (w/wo bath) \_\_\_\_\_ Garage: \_\_\_\_\_ Site Built Deck: \_\_\_\_\_ On Frame \_\_\_\_\_ Off Frame \_\_\_\_\_  
**TOTAL HTD SQ FT** \_\_\_\_\_ (Is the second floor finished? ( ) yes ( ) no Any other site built additions? ( ) yes ( ) no

Manufactured Home: \_\_\_\_\_ SW \_\_\_\_\_ DW \_\_\_\_\_ TW (Size \_\_\_\_\_ x \_\_\_\_\_) # Bedrooms: \_\_\_\_\_ Garage: \_\_\_\_\_ (site built? ) Deck: \_\_\_\_\_ (site built? )

Duplex: (Size \_\_\_\_\_ x \_\_\_\_\_) No. Buildings: \_\_\_\_\_ No. Bedrooms Per Unit: \_\_\_\_\_ **TOTAL HTD SQ FT** \_\_\_\_\_

Home Occupation: # Rooms: \_\_\_\_\_ Use: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_ #Employees: \_\_\_\_\_

Addition/Accessory/Other: (Size 14 x 28) Use: ROOF OVER EXISTING SLAB 1/2 ENCLOSED sets in addition? ( ) yes (  ) no  
**TOTAL HTD SQ FT** \_\_\_\_\_ **GARAGE** \_\_\_\_\_ SLAB HAS CONTINUOUS 12X12 FOOTER AROUND PERIMETER.  
- ADDING FOOTERS PER LETTER.

Water Supply: \_\_\_\_\_ County \_\_\_\_\_ Existing Well \_\_\_\_\_ New Well (# of dwellings using well \_\_\_\_\_) \*Must have operable water before final (Need to Complete New Well Application at the same time as New Tank)

Sewage Supply: \_\_\_\_\_ New Septic Tank \_\_\_\_\_ Expansion \_\_\_\_\_ Relocation \_\_\_\_\_ Existing Septic Tank \_\_\_\_\_ County Sewer  
(Complete Environmental Health Checklist on other side of application if Septic)

Does owner of this tract of land, own land that contains a manufactured home within five hundred feet (500') of tract listed above? ( ) yes (  ) no

Does the property contain any easements whether underground or overhead ( ) yes (  ) no

Structures (existing or proposed): Single family dwellings:  Manufactured Homes: \_\_\_\_\_ Other (specify): \_\_\_\_\_

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

JAMES BROUGHAM Signature of Owner or Owner's Agent 10/23/21 Date

\*\*\*It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.\*\*\*  
\*This application expires 6 months from the initial date if permits have not been issued\*\*

APPLICATION CONTINUES ON BACK

strong roots • new growth





**\*\*This application expires 6 months from the initial date if permits have not been issued\*\***

**\*This application to be filled out when applying for a septic system inspection.\***

**County Health Department Application for Improvement Permit and/or Authorization to Construct**

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

**Environmental Health New Septic System**

N/A

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the undergrowth to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

**Environmental Health Existing Tank Inspections**

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (if possible) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

**"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"**

**SEPTIC**

N/A

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted       Innovative       Conventional       Any
- Alternative       Other \_\_\_\_\_

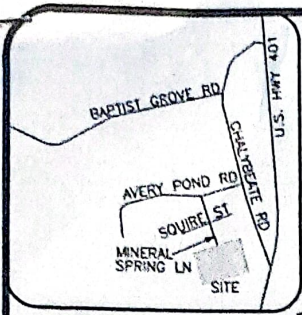
The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

- YES     NO    Does the site contain any Jurisdictional Wetlands?
- YES     NO    Do you plan to have an irrigation system now or in the future?
- YES     NO    Does or will the building contain any drains? Please explain. \_\_\_\_\_
- YES     NO    Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
- YES     NO    Is any wastewater going to be generated on the site other than domestic sewage?
- YES     NO    Is the site subject to approval by any other Public Agency?
- YES     NO    Are there any Easements or Right of Ways on this property?
- YES     NO    Does the site contain any existing water, cable, phone or underground electric lines?

If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

**I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.**





- LEGEND**
- PO=PORCH
  - P=PATIO
  - SW=SIDEWALK
  - DW=CONC DRIVEWAY
  - EB=ELECTRIC BOX
  - SCO=CLEANOUT
  - TP=TELEPHONE PEDESTAL
  - WM=WATER METER
  - AC=AIR CONDITIONING UNIT
  - BOC=BACK OF CURB
  - EOP=EDGE OF PAVEMENT
  - IRON PIPE FOUND
  - ⊙ IRON PIPE SET
  - NAIL SET

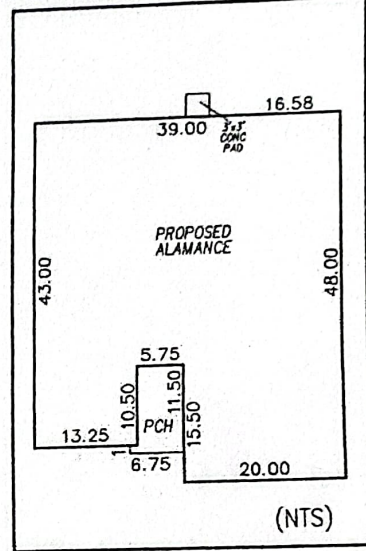
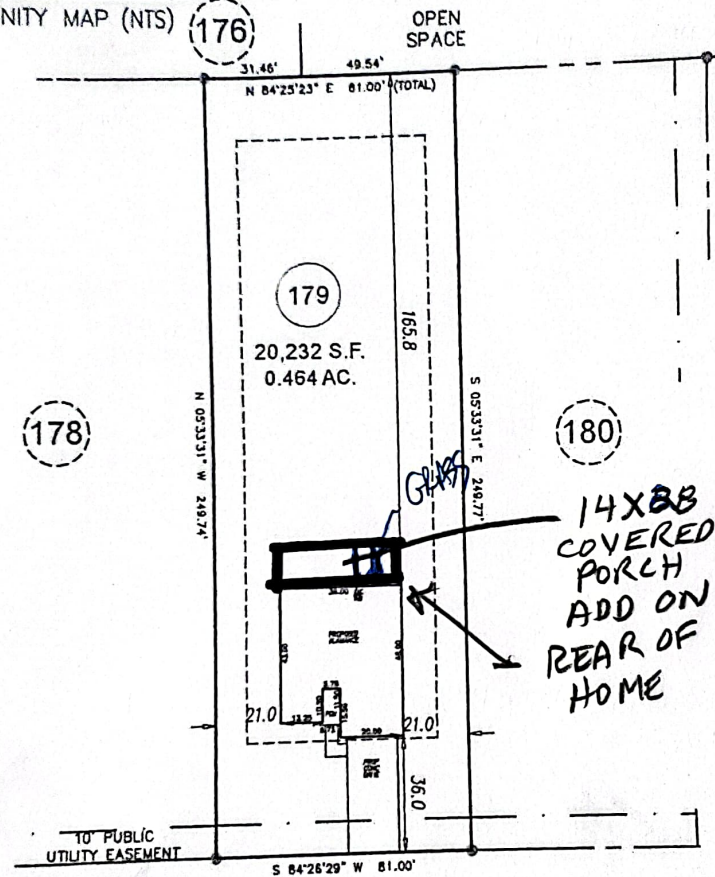


THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SHAWN T. RUMBERGER, PLS L-4909 DATE

THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED.

VICINITY MAP (NTS)



178

179  
20,232 S.F.  
0.464 AC.

180

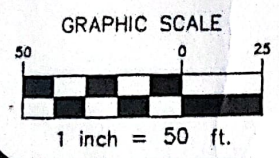
**14x88  
COVERED  
PORCH  
ADD ON  
REAR OF  
HOME**

**SETBACKS**

FRONT	35'
SIDE	10'
REAR	20'
SIDE STREET	20'

**IMPERVIOUS AREA'**

HOUSE	1,784 SQ.FT.
DRIVE	576 SQ.FT.
WALK	52 SQ.FT.
CONCRETE PAD	9 SQ.FT.
<b>TOTAL</b>	<b>2,421 SQ.FT.</b>
<b>MAX. ALLOW</b>	<b>2,850 SQ.FT.</b>



MINERAL SPRING LANE  
50' PUBLIC & UTILITY R/W

**PRELIMINARY  
PLOT PLAN**

PROJECT:	18-003 AVERY POND
DRAWN BY:	AMW
SCALE:	1"=50'
DATE:	02-25-19

FOR  
**LGI HOMES**  
510 MINERAL SPRING LANE  
LOT 179 AVERY POND SUBDIVISION; PHASE IIIA  
HECTOR'S CREEK TWP., HARNETT CO., NC  
P.B. 2018, PG. 382-384

**ECLS  
GLOBAL, INC.**  
U.S. VETERAN-OWNED  
19 N MCKINLEY ST  
COATS, NC 27521  
910.897.3257 ECLSGLOBALINC.COM  
910.897.2329 (FAX) 00#0-4175