

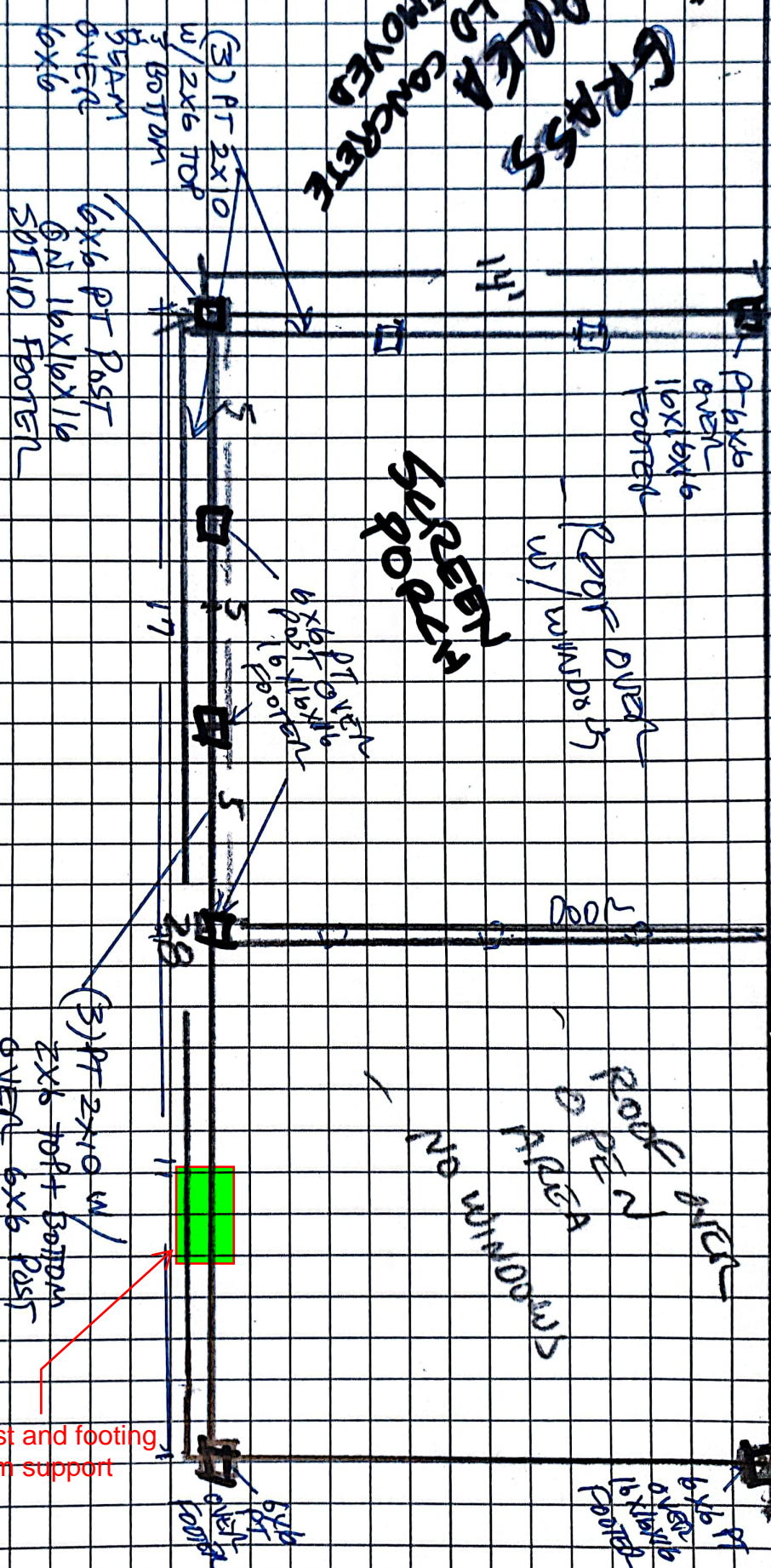
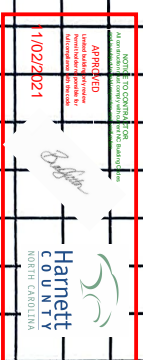
HOUSE

GRASS AREA
OLD CONCRETE
REMOVED

SUPPORT
SUPPORTS

* DIGGING 16X16X16 FOOTER
UNDER EXISTING SLAB
FOR POST SUPPORT

* NO BEDROOMS UNDER
ROOF ADD ON



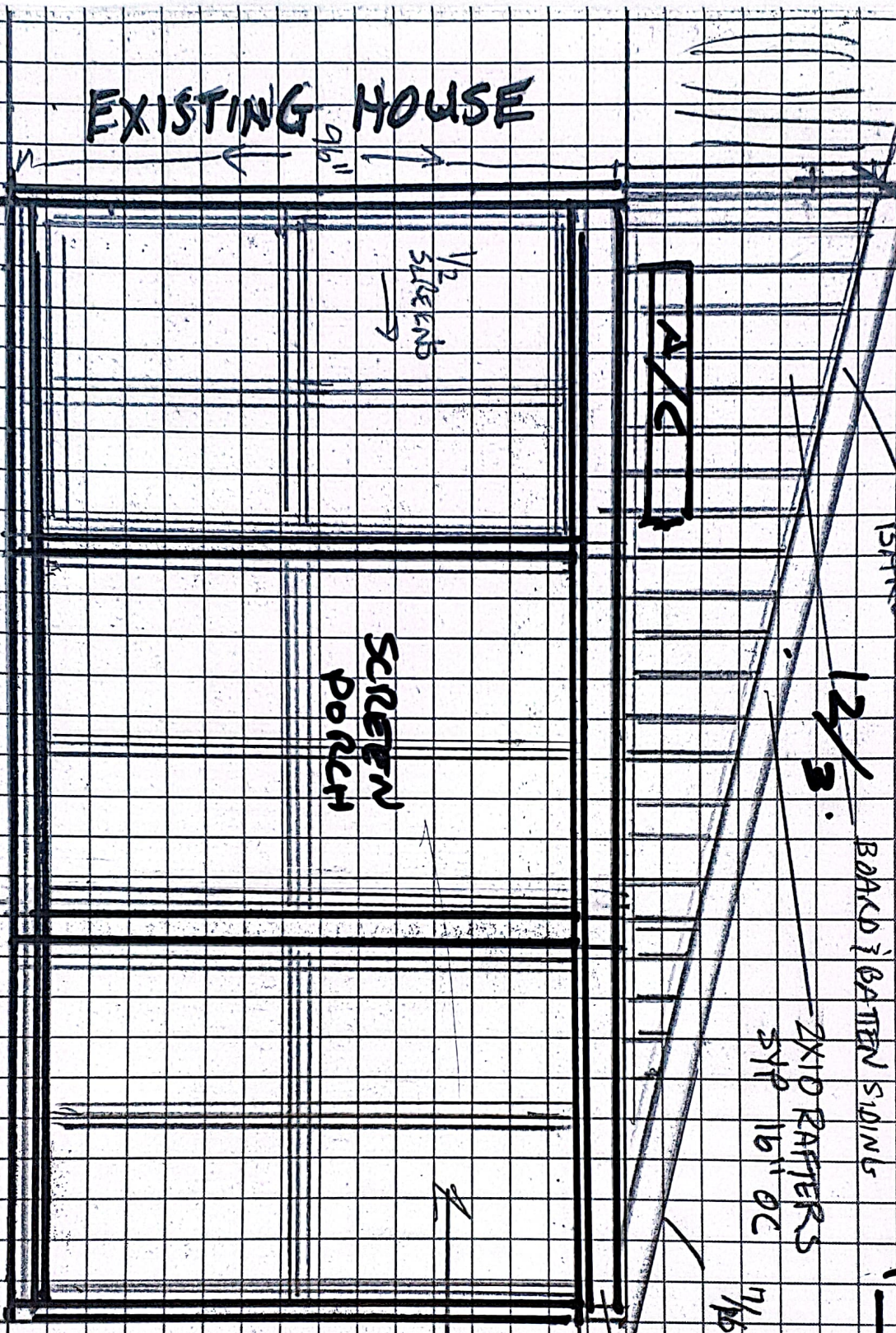
Add post and footing
for beam support

KARA RESIDENCE
570 MINNEN SPRINGS LN
FURMAN, VIRGINIA, NC

LEFT SIDE ELEVATION

KARA RESIDENCE
510 MINERAL SPRINGS LN
FUQUAY VARIANA NC
27526
SCREEN PORCH ADD

44" = 1' SCALE



EXISTING HOUSE

2x10 SYP
UNDER RAFTER

2x4 SYP
BARREL RAFTER

12/3

BOARD & BATTEN SIDING

2x10 RAFTERS
SYP 16" OC

7/16 OSB

(2) 2x10 SYP
2x4 TOP-BOTTOM

1/2
SLAB END

SCREEN
PORCH

48.75'

48.75'

48.15'

(3) TWIN WEST EDGE
THERMO SEALED WINDOW
48" x 72" w/ LOWER
ARROW. TEMPERED
LOWER SASH

SLAB FOUNDATION
BY OTHERS
EXISTING

RIGHT SIDE ELEVATION

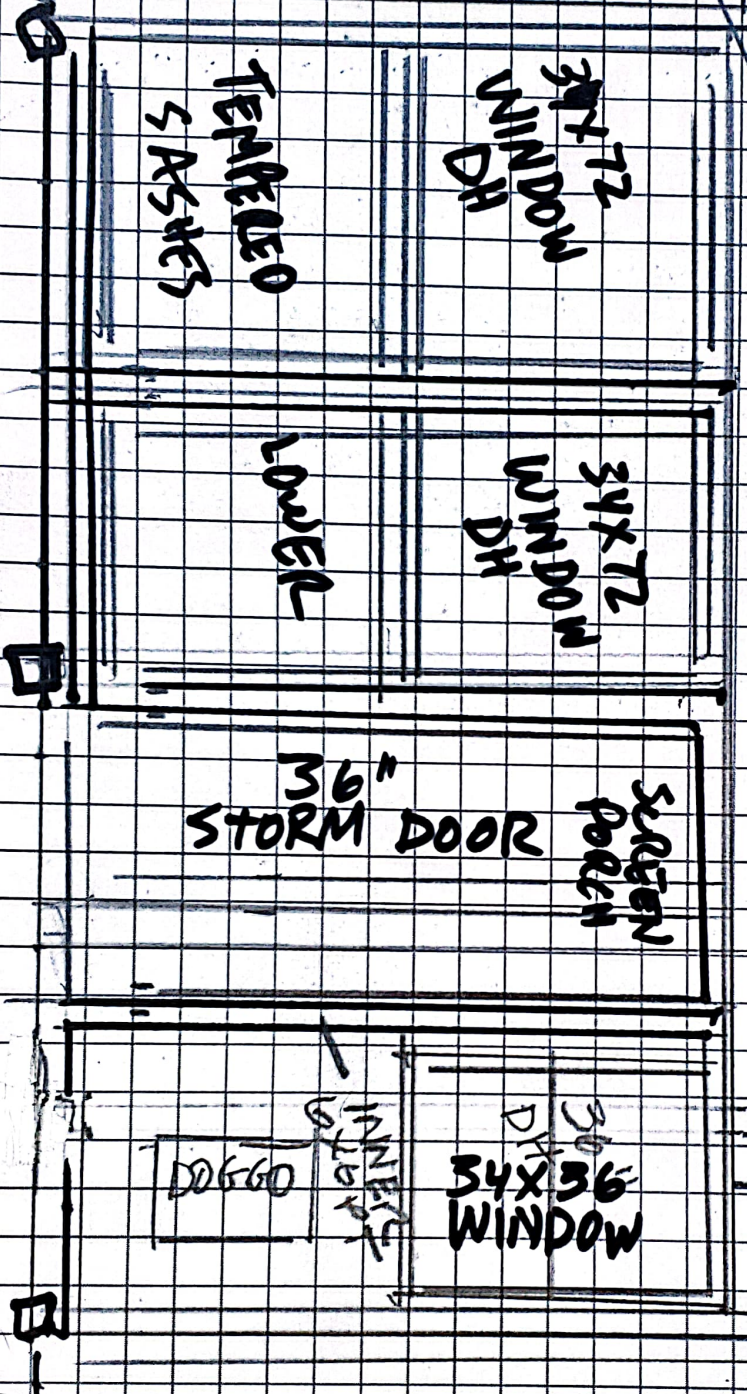
KARA RESIDENCE
510 MINERAL SPRINGS RD
FURJAN VARMA NC
27526

SUN POOL

2" x 10" x 10" SIP PARTENS
BOTTOM

2" x 10" x 10" SIP PARTENS
1" BOARD & BATTED
OUTER WALL OPEN

2" x 10" SIP PARTENS
BATTED



FURJAN VARMA
TO SEAS
6x6 PT

6x6 PT

EXISTING HOUSE

Howerton Services, PLLC
License # P-1716
3513 Cathedral Bell Road
Raleigh, NC 27614
(919) 270-3460

October 25, 2021

Subject: Kara Residence
510 Mineral Springs Lane
Fuquay Varina, NC 27526
Plan Revision Letter

Based on the request of the Contractor, the footings for the Screened Porch and the Covered Porch will be modified from the original plan. My assessment is as follows:

- The original plans have the posts for both porches resting on 16"x 16"x 16" footings. There is an existing 7" thick concrete slab in place. The proposed Screened Porch and Covered Porch will be constructed over. The contractor would like to dig out under the existing slab and place the footings under the existing slab. The new footings may be modified to 16"x 16"x 6" concrete footings under the existing 7" slab. This footing modification is acceptable.

The modified footings for the Screened Porch and Covered Porch meet all the requirements of the 2018 North Carolina Building Code for Residences.



Joel S. Howerton

10 25 2021



Initial Application Date: 10/23/21

Application # _____

CU# _____

COUNTY OF HARNETT RESIDENTIAL LAND USE APPLICATION

Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 ext:2 Fax: (910) 893-2793 www.harnett.org/permits

A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) & SITE PLAN ARE REQUIRED WHEN SUBMITTING A LAND USE APPLICATION

LANDOWNER: ERIC + GARNETT KARA Mailing Address: 510 MINERAL SPRINGS LANE
City: FUQUAY VARINA State: NC Zip: 27526 Contact No: 9196697292 Email: deptofinteriors@yahoo.com

APPLICANT: JAMES BROUGHAM Mailing Address: 4226 GUNN POOLE RD
City: MEBANE State: NC Zip: 27302 Contact No: 919267-0420 Email: brougham.james@gmail

*Please fill out applicant information if different than landowner
ADDRESS: 510 MINERAL SPRINGS LANE F/V PIN: _____

Zoning: _____ Flood: _____ Watershed: _____ Deed Book / Page: _____

Setbacks - Front: _____ Back: _____ Side: _____ Corner: _____

PROPOSED USE:

SFD: (Size _____ x _____) # Bedrooms: _____ # Baths: _____ Basement (w/wo bath): _____ Garage: _____ Deck: _____ Crawl Space: _____ Slab: _____ Slab: _____
TOTAL HTD SQ FT **GARAGE SQ FT** (Is the bonus room finished? () yes () no w/ a closet? () yes () no (if yes add in with # bedrooms)

Modular: (Size _____ x _____) # Bedrooms _____ # Baths _____ Basement (w/wo bath) _____ Garage: _____ Site Built Deck: _____ On Frame _____ Off Frame _____
TOTAL HTD SQ FT (Is the second floor finished? () yes () no Any other site built additions? () yes () no

Manufactured Home: _____ SW _____ DW _____ TW (Size _____ x _____) # Bedrooms: _____ Garage: _____ (site built?) Deck: _____ (site built?)

Duplex: (Size _____ x _____) No. Buildings: _____ No. Bedrooms Per Unit: _____ **TOTAL HTD SQ FT**

Home Occupation: # Rooms: _____ Use: _____ Hours of Operation: _____ #Employees: _____

Addition/Accessory/Other: (Size 14 x 38) Use: ROOF OVER EXISTING SLAB 1/2 ENCLOSED sets in addition? () yes () no
TOTAL HTD SQ FT **GARAGE** SLAB HAS CONTINUOUS 12X12 FOOTER AROUND PERIMETER.
- ADDING FOOTERS PER LETTER.

Water Supply: _____ County _____ Existing Well _____ New Well (# of dwellings using well _____) *Must have operable water before final (Need to Complete New Well Application at the same time as New Tank)

Sewage Supply: _____ New Septic Tank _____ Expansion _____ Relocation _____ Existing Septic Tank _____ County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Does owner of this tract of land, own land that contains a manufactured home within five hundred feet (500') of tract listed above? () yes () no

Does the property contain any easements whether underground or overhead () yes () no

Structures (existing or proposed): Single family dwellings: Manufactured Homes: _____ Other (specify): _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

JAMES BROUGHAM 10/23/21
Signature of Owner or Owner's Agent Date

It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.

*This application expires 6 months from the initial date if permits have not been issued**

APPLICATION CONTINUES ON BACK

strong roots • new growth



****This application expires 6 months from the initial date if permits have not been issued****

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

Environmental Health New Septic System

N/A

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the undergrowth to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

Environmental Health Existing Tank Inspections

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (if possible) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

SEPTIC

N/A

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

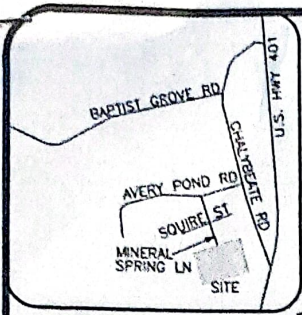
- Accepted Innovative Conventional Any
- Alternative Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

- YES NO Does the site contain any Jurisdictional Wetlands?
- YES NO Do you plan to have an irrigation system now or in the future?
- YES NO Does or will the building contain any drains? Please explain. _____
- YES NO Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
- YES NO Is any wastewater going to be generated on the site other than domestic sewage?
- YES NO Is the site subject to approval by any other Public Agency?
- YES NO Are there any Easements or Right of Ways on this property?
- YES NO Does the site contain any existing water, cable, phone or underground electric lines?

If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.



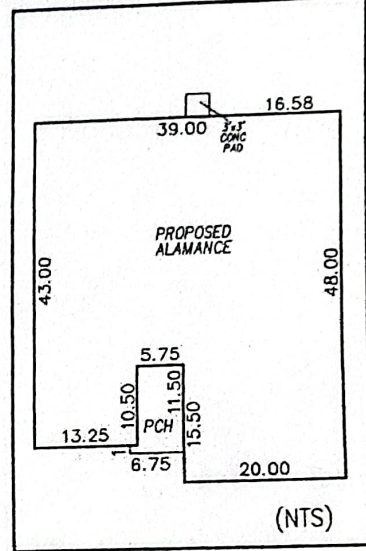
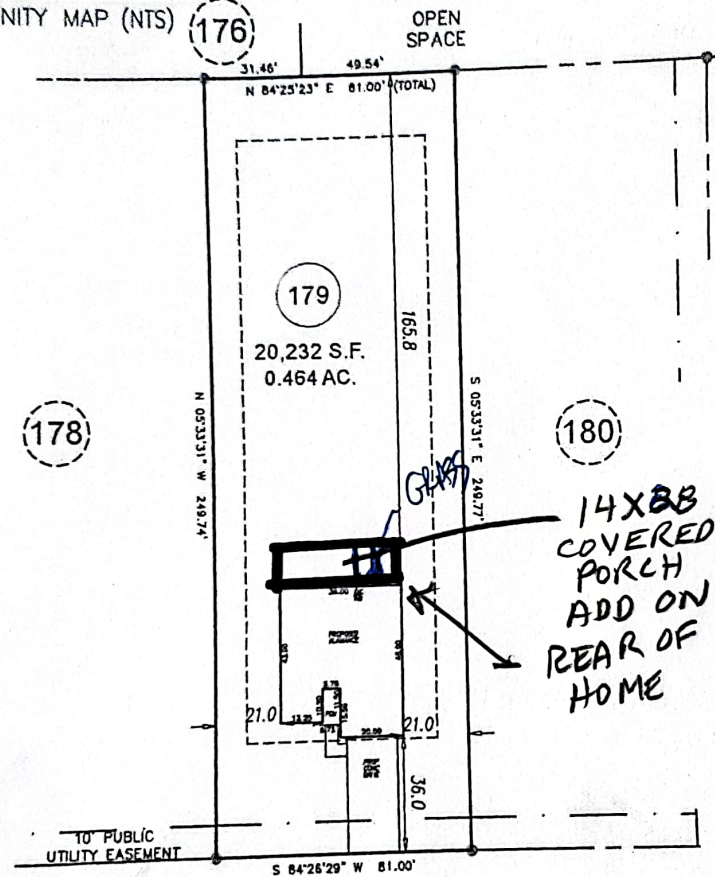
- LEGEND**
- PO=PORCH
 - P=PATIO
 - SW=SIDEWALK
 - DW=CONC DRIVEWAY
 - EB=ELECTRIC BOX
 - SCO=CLEANOUT
 - TP=TELEPHONE PEDESTAL
 - WM=WATER METER
 - AC=AIR CONDITIONING UNIT
 - BOC=BACK OF CURB
 - EOP=EDGE OF PAVEMENT
 - IRON PIPE FOUND
 - ⊙ IRON PIPE SET
 - NAIL SET

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SHAWN T. RUMBERGER, PLS L-4909 DATE

THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED.

VICINITY MAP (NTS)



178

176

179

180

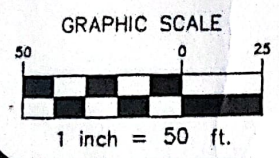
14x88 COVERED PORCH ADD ON REAR OF HOME

SETBACKS

FRONT	35'
SIDE	10'
REAR	20'
SIDE STREET	20'

IMPERVIOUS AREA'

HOUSE	1,784 SQ.FT.
DRIVE	576 SQ.FT.
WALK	52 SQ.FT.
CONCRETE PAD	9 SQ.FT.
TOTAL	2,421 SQ.FT.
MAX. ALLOW	2,850 SQ.FT.



MINERAL SPRING LANE
50' PUBLIC & UTILITY R/W

PRELIMINARY PLOT PLAN

PROJECT:	18-003 AVERY POND
DRAWN BY:	AMW
SCALE:	1"=50'
DATE:	02-25-19

FOR
LGI HOMES
510 MINERAL SPRING LANE
LOT 179 AVERY POND SUBDIVISION; PHASE IIIA
HECTOR'S CREEK TWP., HARNETT CO., NC
P.B. 2018, PG. 382-384

ECLS GLOBAL, INC.
U.S. VETERAN-OWNED
19 N MCKINLEY ST
COATS, NC 27521
910.897.3257 ECLSGLOBALINC.COM
910.897.2329 (FAX) 00#0-4175