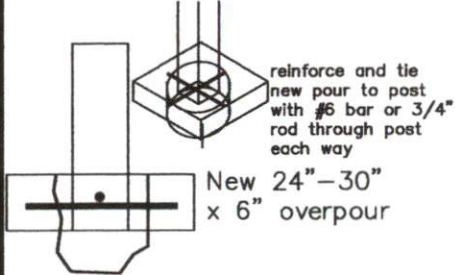


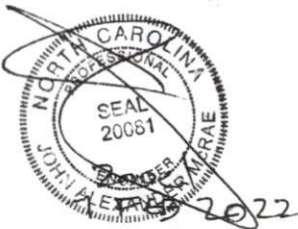
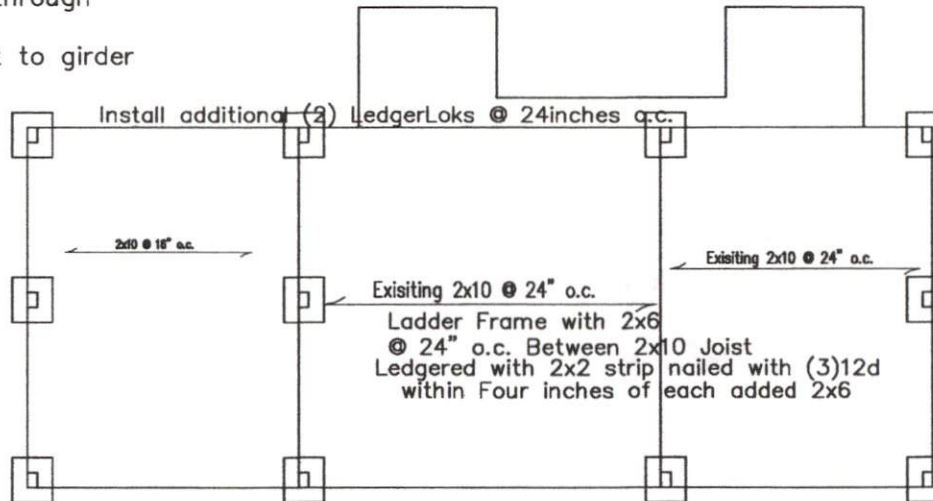
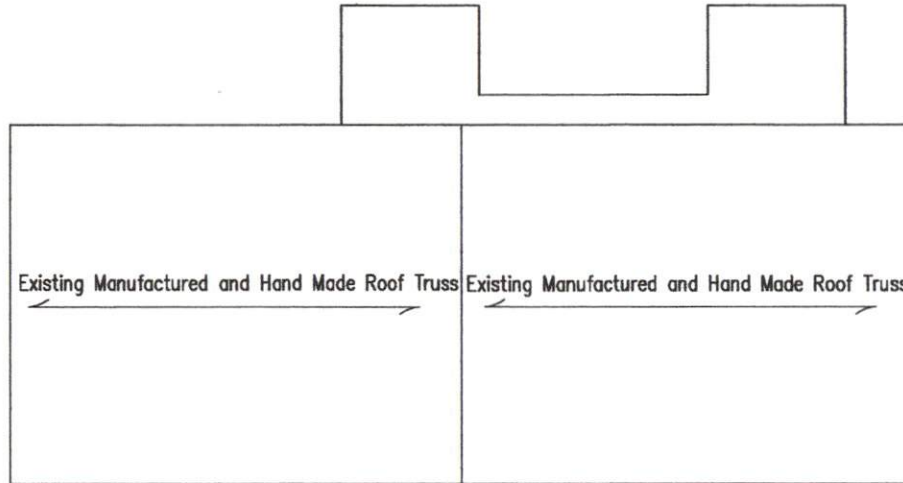
NOTE TO BUILDER:
It is the sole responsibility of the builder to verify and verify these plans according to the applicable codes (IRC) and to understand every part of these plans herein.

Required ALL perimeter posts
Reinforce / Enlarge Footing



Add hurricane clips ALL rafters to existing header and at top to flat plate

Attach girder to post with (1) 5/8" through bolt or (2) 5/16" ledgerlok screws
Required ALL Posts to band and post to girder



date:
2 February 2022

drawn by:
J A McRae

John Alexander McRae, P.E., Inc.
Residential and Commercial Engineering
218 Coley Farm Road Fuquay-Varina, NC 27526
P O Box 1466 Apex, NC 27502
Cell 919.210.5749 jumpo@jac-inc.com

89 Gillis Court
Jerry Pounds

Structural Design By:
John Alexander McRae, PE, Inc
218 Coley Farm Rd, Fuquay-Varina, NC 27526
(919) 210-5749 Fax (919) 552-1738
Report deficiencies immediately
2202-11

SCALE: 1/4inch = 1 Foot- 0 Inches

Design to IRC 2015 NCRBC 2018 Residential Building Code

sheet no.
S1 of **S1**
plan no.
2202-11

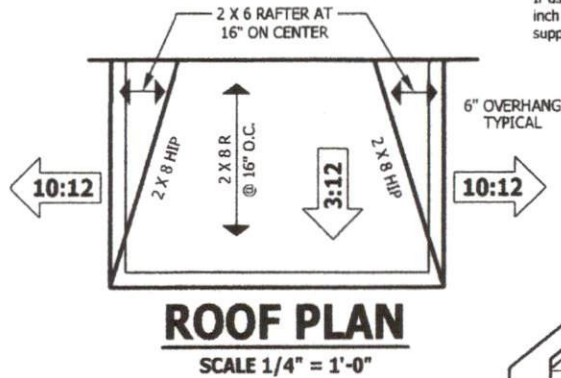
JACR, INC. does not assume liability for any deviations of these plans or construction methods. All instructions must be confirmed by contractor prior to commencement of construction.

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DECK STAIR NOTES

SECTION AM110

AM110.1 Stairs shall be constructed per Figure AM110. Stringer spans shall be no greater than 7 foot span between supports. Spacing between stringers shall be based upon decking material used per AM107.1. Each Stringer shall have minimum 3 1/2 inches between step cut and back of stringer. If used, suspended headers shall be attached with 3/8 inch galvanized bolts with nuts and washers to securely support stringers at the top.



DECK BRACING

SECTION AM109

AM109.1 Deck bracing. Decks shall be braced to provide lateral stability. The following are acceptable means to provide lateral stability.

AM109.1.1. When the deck floor height is less than 4'-0" above finished grade per Figure AM109 and the deck is attached to the structure in accordance with Section AM104, lateral bracing is not required.

AM109.1.2. 4 x 4 wood knee braces may be provided on each column in both directions. The knee braces shall attach to each post at a point not less than 1/3 of the post length from the top of the post, and the braces shall be angled between 45 degrees and 60 degrees from the horizontal. Knee braces shall be bolted to the post and the girder/double band with one 5/8 inch hot dipped galvanized bolt with nut and washer at both ends of the brace per Figure AM109.1

AM109.1.3. For freestanding decks without knee braces or diagonal bracing, lateral stability may be provided by embedding the post in accordance with Figure AM109.2 and the following:

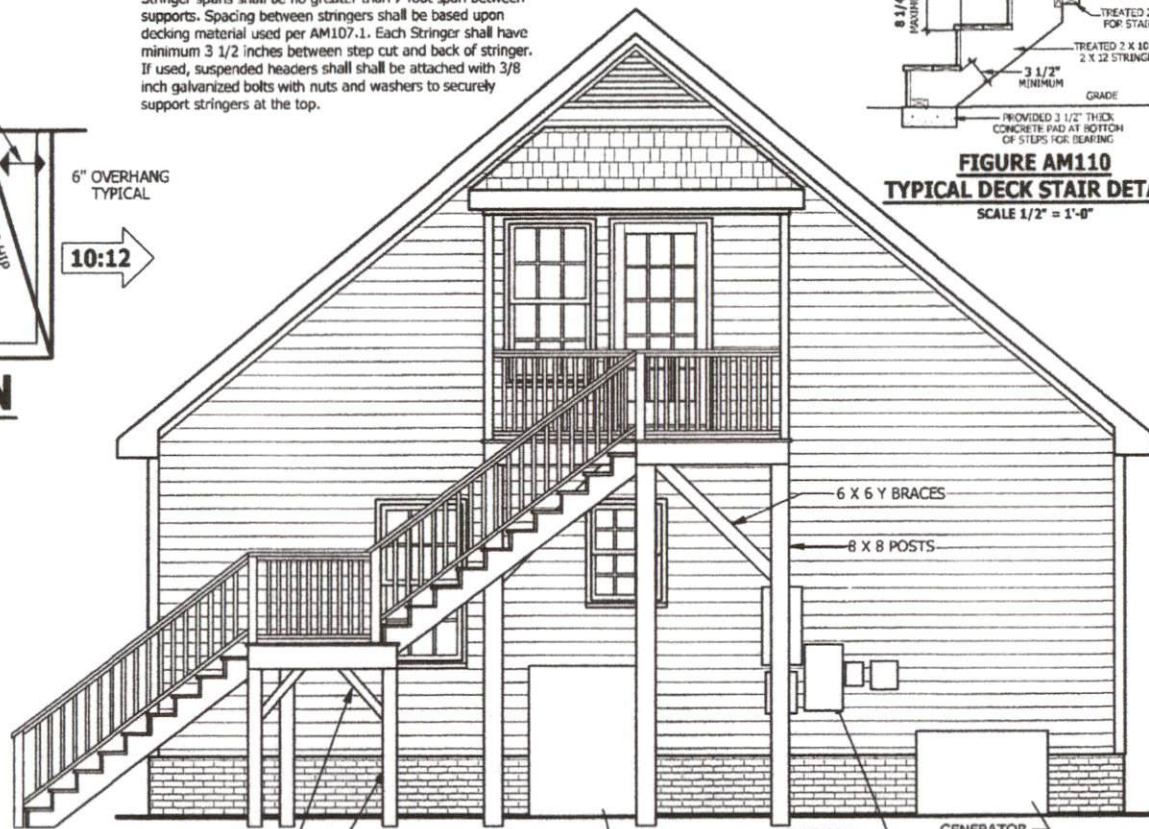
POST SIZE	MAX. TRIBUTARY AREA	MAX. POST HEIGHT	EMBEDMENT DEPTH	CONCRETE DIAMETER
4 X 4	48 SF	4'-0"	2'-6"	1'-0"
6 X 6	120 SF	6'-0"	3'-6"	1'-8"

AM109.1.4. 2 x 6 diagonal vertical cross bracing may be provided in two perpendicular directions for freestanding decks or parallel to the structure at the exterior column line for attached decks. The 2 x 6's shall be attached to the posts with one 5/8 inch hot dipped galvanized bolt with nut and washer at each end of each bracing member per Figure AM109.3.

AM109.1.5. For embedment of piles in Coastal Regions, see Chapter 45.

PLANS DESIGNED TO THE 2018 NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE

CLIMATE ZONE	ZONE 4A
FENESTRATION U-FACTOR	0.35
SKYLIGHT U-FACTOR	0.55
GLAZED FENESTRATION SHGC	0.30
CEILING R-VALUE	38 or 30ci
WALL R-VALUE	15
FLOOR R-VALUE	19



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"

SQUARE FOOTAGE

HEATED	
STUDY	506 SQ.FT.
TOTAL	376 SQ.FT.
UNHEATED	
DECK	88 SQ.FT.

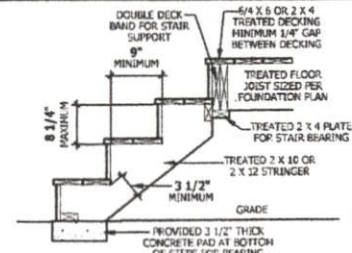
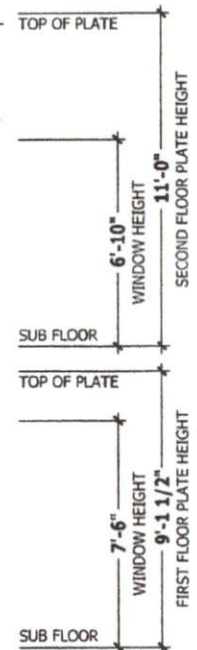


FIGURE AM110
TYPICAL DECK STAIR DETAIL
SCALE 1/2" = 1'-0"



AIR LEAKAGE

Section N1102.4

N1102.4.1 Building thermal envelope. The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stripped or otherwise sealed with an air barrier material or solid material consistent with Appendix E-2.4 of this code:

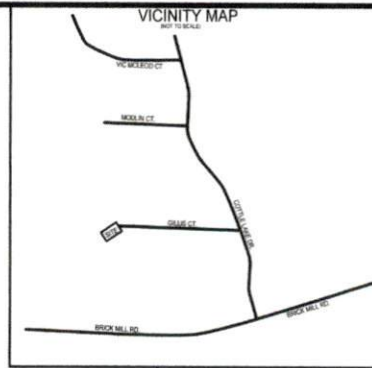
1. Blocking and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.
2. Capping and sealing shafts or chases, including flue shafts.
3. Capping and sealing soffit or dropped ceiling areas.

RIGHT FIVATION
Haynes
 Jerry Pounds Construction, Inc.
 SQUARE FOOTAGE TOTAL UNHEATED DECK
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 3/
 2/
 PAC

NOTES:

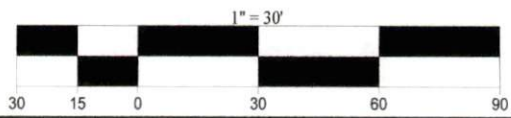
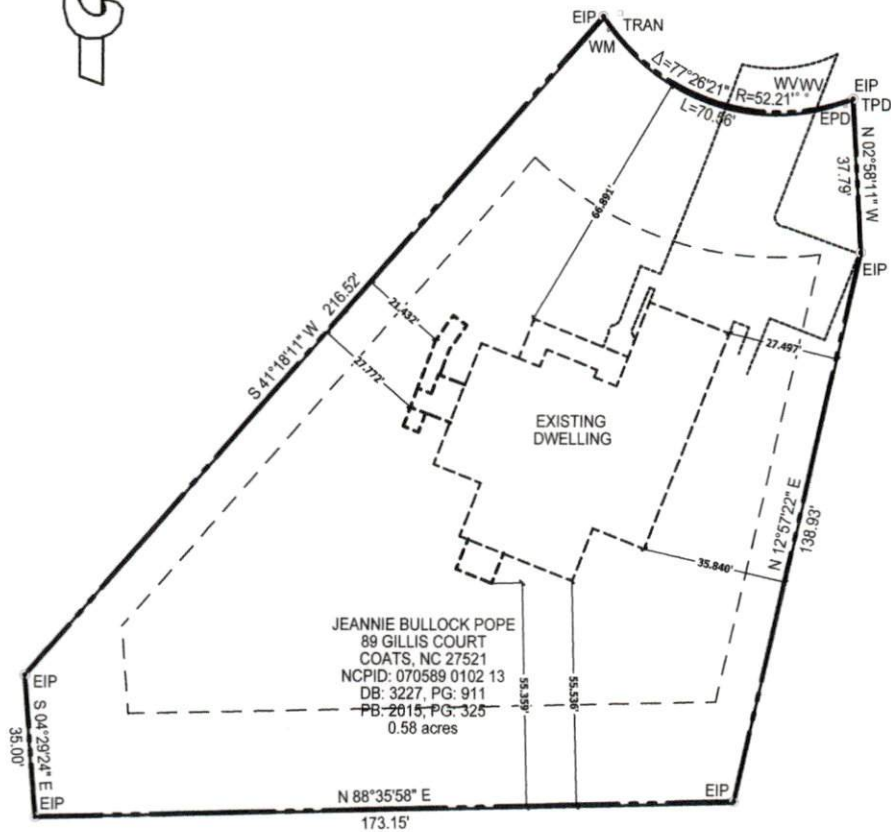
1. All EIS and EIPs are "Control Corners".
2. No NCGS Monuments found within 2000' of the Property.
3. All bearings are referenced to Deed Bk 3227, Pg 911, and Plat Bk 2015, Pg 325 all distances are horizontal.
4. Deed references as noted on map.

This survey in of another category,
not for recordation sales or conveyances



LEGEND

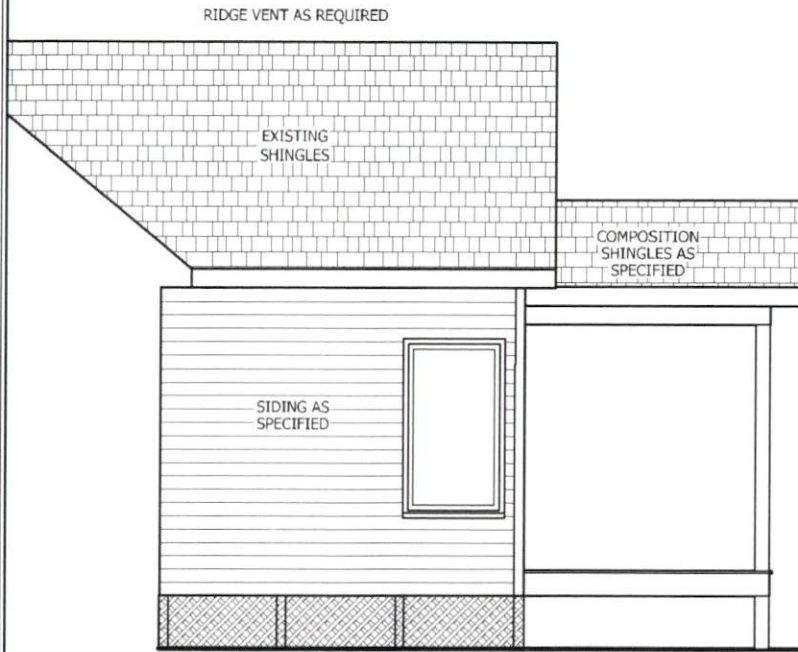
- POB Point of Beginning**
- New Iron Set
 - Iron Pin Found
 - Wooden Bollard
 - ▲ Found Stone
 - ▲ Found Stake and Stone
 - ⊕ Cotton Spindle Set
 - ⊕ Record Stone Not Found
- Property Lines
- Fence Line
- Centerline of Road
- Edge of Asphalt
- Woodline
- Edge of Concrete
- E- Overhead Electric



MINIMUM BUILDING SETBACKS
 FRONT YARD -----35'
 REAR YARD -----20'
 SIDE YARD -----10'
 CORNER LOT SIDE YARD----- 20'

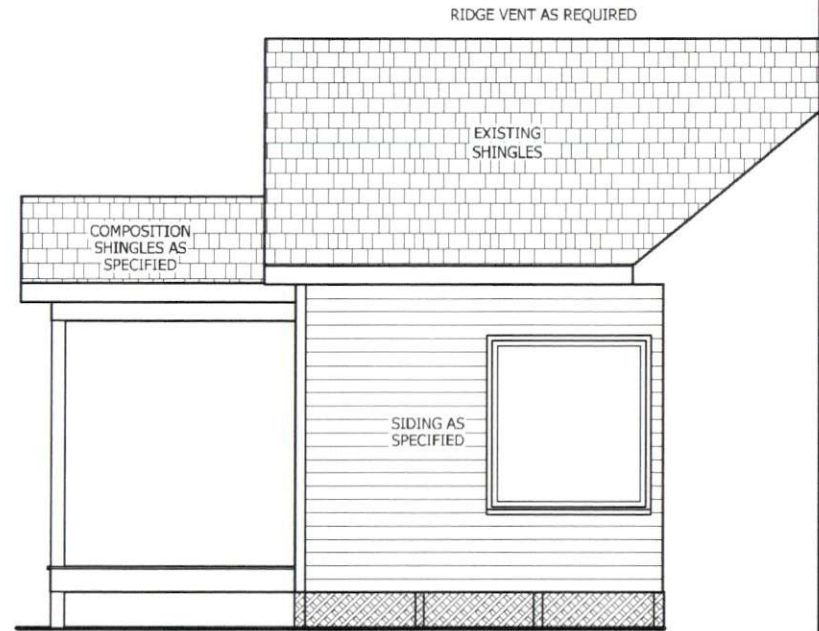
SURVEY OF	PROPOSED PLOT PLAN JEANNIE BULLOCK POPE 89 GILLIS CT., COATS, N.C. 27521	
	TOWNSHIP: GROVE	STATE: NORTH CAROLINA
COUNTY: HARNETT		DATE: JUNE 24, 2021
ZONED RA-40	TAX PARCE ID# 0589-88-0083	
OWNER: JEANNIE BULLOCK POPE 89 GILLIS CT. COATS, NC 27521		
ON THE LEVEL . LAND SURVEYING, PLLC. JAMES LONNIE PEACOCK, PLS NC Reg. Land Surveyor No. L-5141 1646 DENNING RD. BENSON, N.C 27504 TELEPHONE: 919-422-3580		
SCALE 1" = 30' FEET		

\\ARCHIVE\Archive\Builder\Jerry Pounds Construction, Inc\210206B Addition\210206B Addition.aec



RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"



EXISTING RAMP NOT SHOWN FOR CLARITY

LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

LEFT & RIGHT ELEVATIONS
89 Gillis Ct, Coats, NC 27521

Jerry Pounds Construction, Inc.
PO Box 250, Clayton, NC 27528
919-422-1175

HAYNES
HOME PLANS, INC.
P.O. Box 702, Lenoir, NC 27560, 919-435-9189, Fax 919-435-9399

SQUARE FOOTAGE	
HEATED	226 SQ.FT.
UNHEATED	128 SQ.FT.
COVERED PORCH	28 SQ.FT.
TOTAL	382 SQ.FT.

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210206B
PAGE 2 OF 5

PLANS DESIGNED TO THE 2018 NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE

MEAN ROOF HEIGHT: 16'-4" HEIGHT TO RIDGE: 20'-0"

CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
FENESTRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55
GLAZED FENESTRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	38 or 30ci	38 or 30ci	38 or 30ci
WALL R-VALUE	15	15	19
FLOOR R-VALUE	19	19	30
* BASEMENT WALL R-VALUE	5/13	10/15	10/15
** SLAB R-VALUE	0	10	10
* CRAWL SPACE WALL R-VALUE	5/13	10/15	10/19

* 10/13* MEANS R-10 SHEATHING INSULATION OR R-13 CAVITY INSULATION

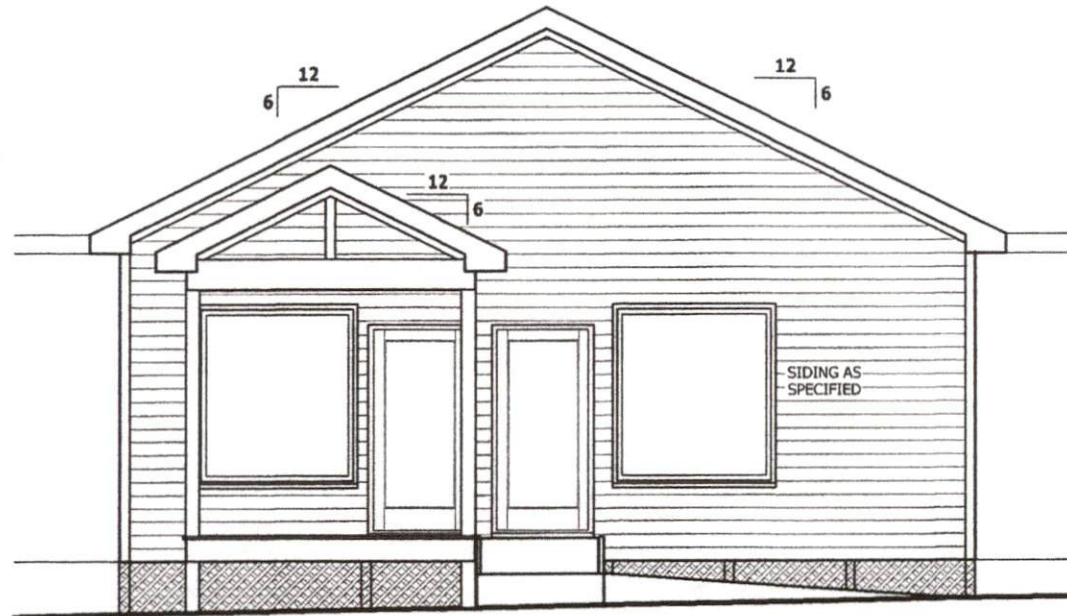
** INSULATION DEPTH WITH MONOLITHIC SLAB 24" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING; INSULATION DEPTH WITH STEM WALL SLAB 24" OR TO BOTTOM OF FOUNDATION WALL

DESIGNED FOR WIND SPEED OF 120 MPH, 3 SECOND GUST (93 FASTEST MILE) EXPOSURE 'B'

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS								
MEAN ROOF	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'				
ZONE 1	14.2	-15.0	14.9	-15.8	15.5	-16.4	15.9	-16.8
ZONE 2	14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2
ZONE 3	14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2
ZONE 4	15.5	-16.0	16.3	-16.8	16.9	-17.4	17.4	-17.9
ZONE 5	15.5	-20.0	16.3	-21.0	16.9	-21.8	17.4	-22.4

SQUARE FOOTAGE

HEATED	
LIVING ROOM	376 SQ.FT.
TOTAL	376 SQ.FT.
UNHEATED	
COVERED PORCH	76 SQ.FT.
TOTAL	76 SQ.FT.



REAR ELEVATION

SCALE 1/4" = 1'-0"

AIR LEAKAGE

Section N1102.4

N1102.4.1 Building thermal envelope. The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stripped or otherwise sealed with an air barrier material or solid material consistent with Appendix E-2.4 of this code:

1. Blocking and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.
2. Capping and sealing shafts or chases, including flue shafts.
3. Capping and sealing soffit or dropped ceiling areas.

ROOF VENTILATION

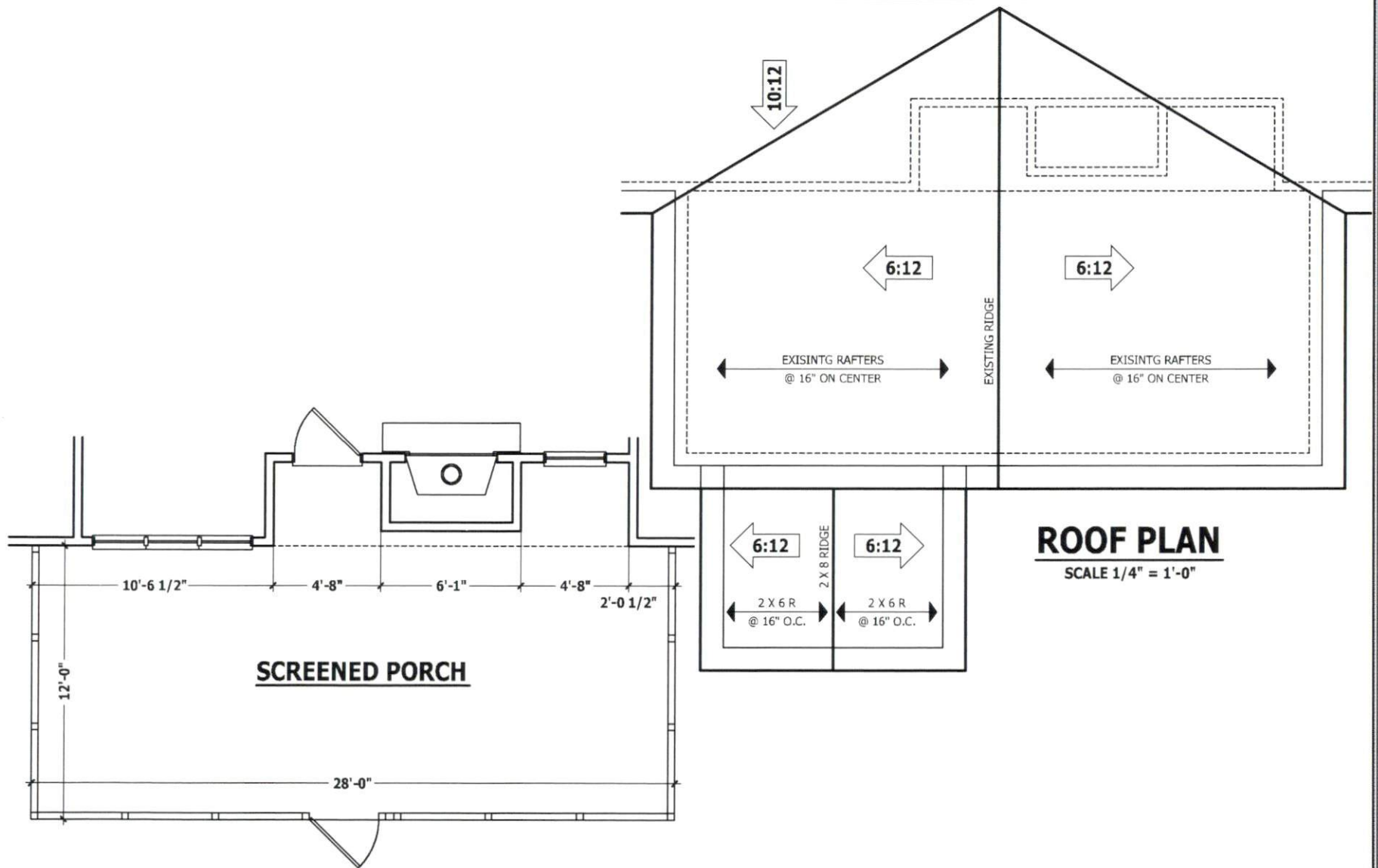
SECTION R806 (VERIFY VENTING OF NEW LIVING ROOM)

SQUARE FOOTAGE OF ROOF TO BE VENTED = 376 SQ.FT.

NET FREE CROSS VENTILATION NEEDED:

WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 2.5 SQ.FT.

WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS I OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 1.25 SQ.FT.



EXISTING FLOOR PLAN

SCALE 1/4" = 1'-0"

ROOF PLAN

SCALE 1/4" = 1'-0"

ROOF PLAN / EXISTING
89 Gillis Ct, Coats, NC 27521

Jerry Pounds Construction, Inc.
PO Box 250, Clayton, NC 27528
919-422-1175

HAYNES
HOME PLANS, INC.
P.O. Box 702, Wake Forest, NC 27788-0702, 919-456-6181, Fax: 919-456-6189

SQUARE FOOTAGE	
HEATED	379 SQ. FT.
UNHEATED	28 SQ. FT.
COVERED PORCH	26 SQ. FT.
TOTAL	433 SQ. FT.

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PAGE 5 OF 5

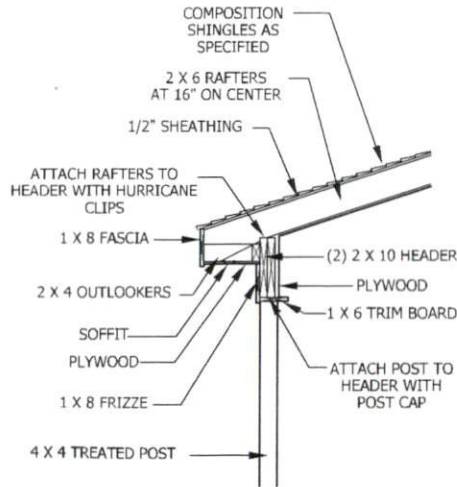
STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

JOB SITE PRACTICES AND SAFETY: Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

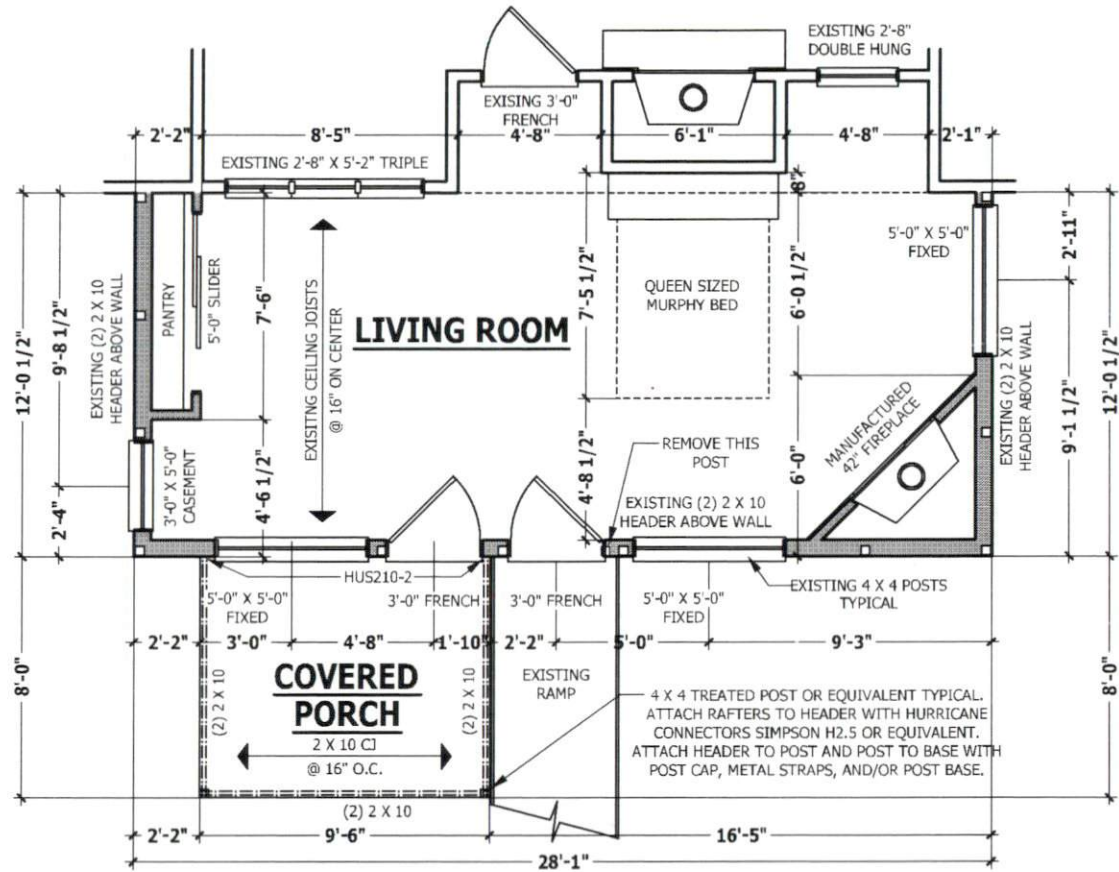
DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10		L/240
Attics with limited storage	20	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handrails	200		
Guardrail in-fill components	50		
Rooms other than sleeping	40	10	L/360
Stairs	40		L/360
Snow	20		

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted otherwise.



PORCH BOXING DETAIL

SCALE 1/2" = 1'-0"



NEW FLOOR PLAN

SCALE 1/4" = 1'-0"

SQUARE FOOTAGE

HEATED	
LIVING ROOM	376 SQ.FT.
TOTAL	376 SQ.FT.
UNHEATED	
COVERED PORCH	76 SQ.FT.
TOTAL	76 SQ.FT.

FLOOR PLAN

89 Gillis Ct, Coats, NC 27521

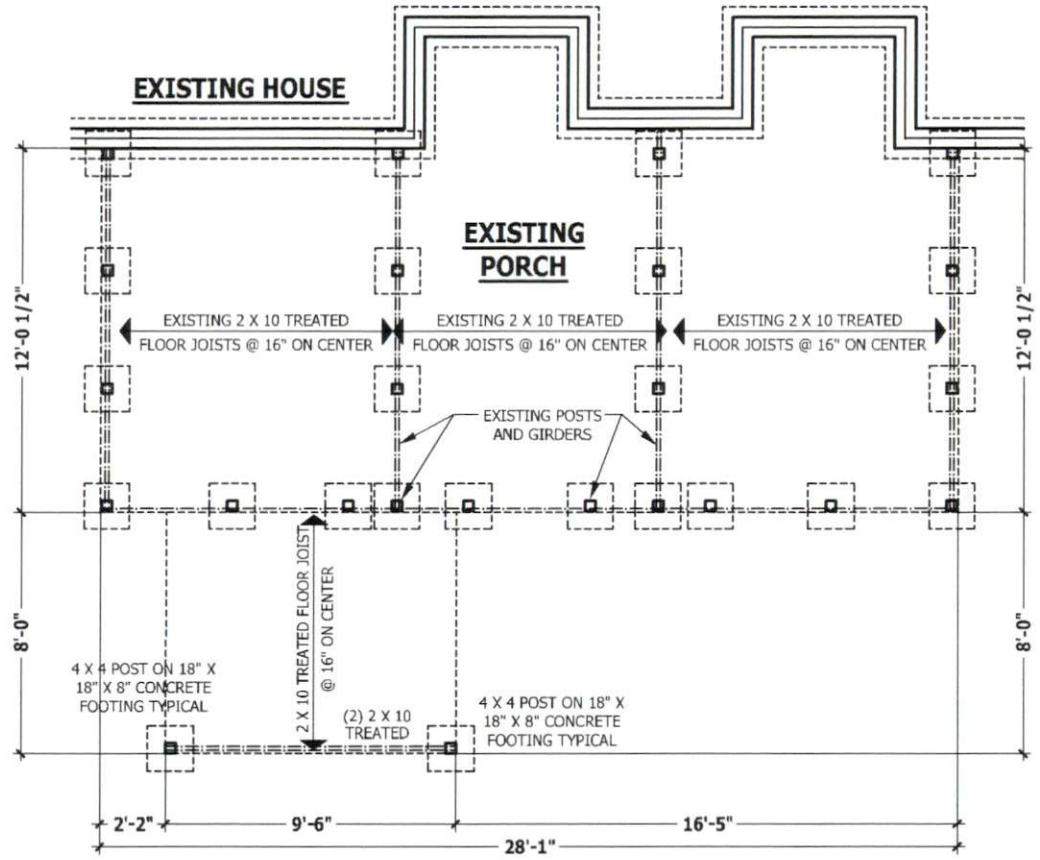
Jerry Pounds Construction, Inc.
PO Box 250, Clayton, NC 27528
919-422-1175

HAYNES
HOME PLANS, INC.
P.O. Box 702, Lake Forest, NC 27556-0702

SQUARE FOOTAGE
HEATED
UNHEATED
COVERED PORCH

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FOUNDATION PLAN

SCALE 1/4" = 1'-0"

FOUNDATION PLAN

89 Gillis Ct, Coats, NC 27521

Jerry Pounds Construction, Inc.

PO Box 250, Clayton, NC 27528

919-422-1175

HAYNES
HOME PLANS, INC.
P.O. Box 702, Rose Branch, NC 27386, 919-485-4186, Fax 1-866-314-0366

SQUARE FOOTAGE	
HEATED	
COVERED PORCH	226 SQ.FT.
UNHEATED	159 SQ.FT.
COVERED PORCH	26 SQ.FT.
TOTAL	265 SQ.FT.

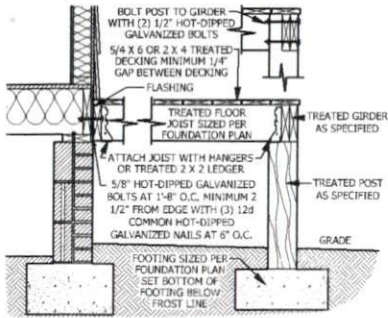
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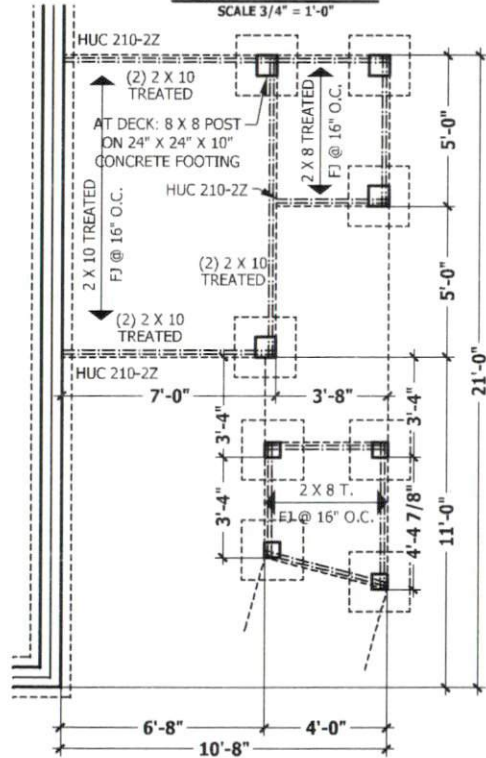
2102068

PAGE 3 OF 5

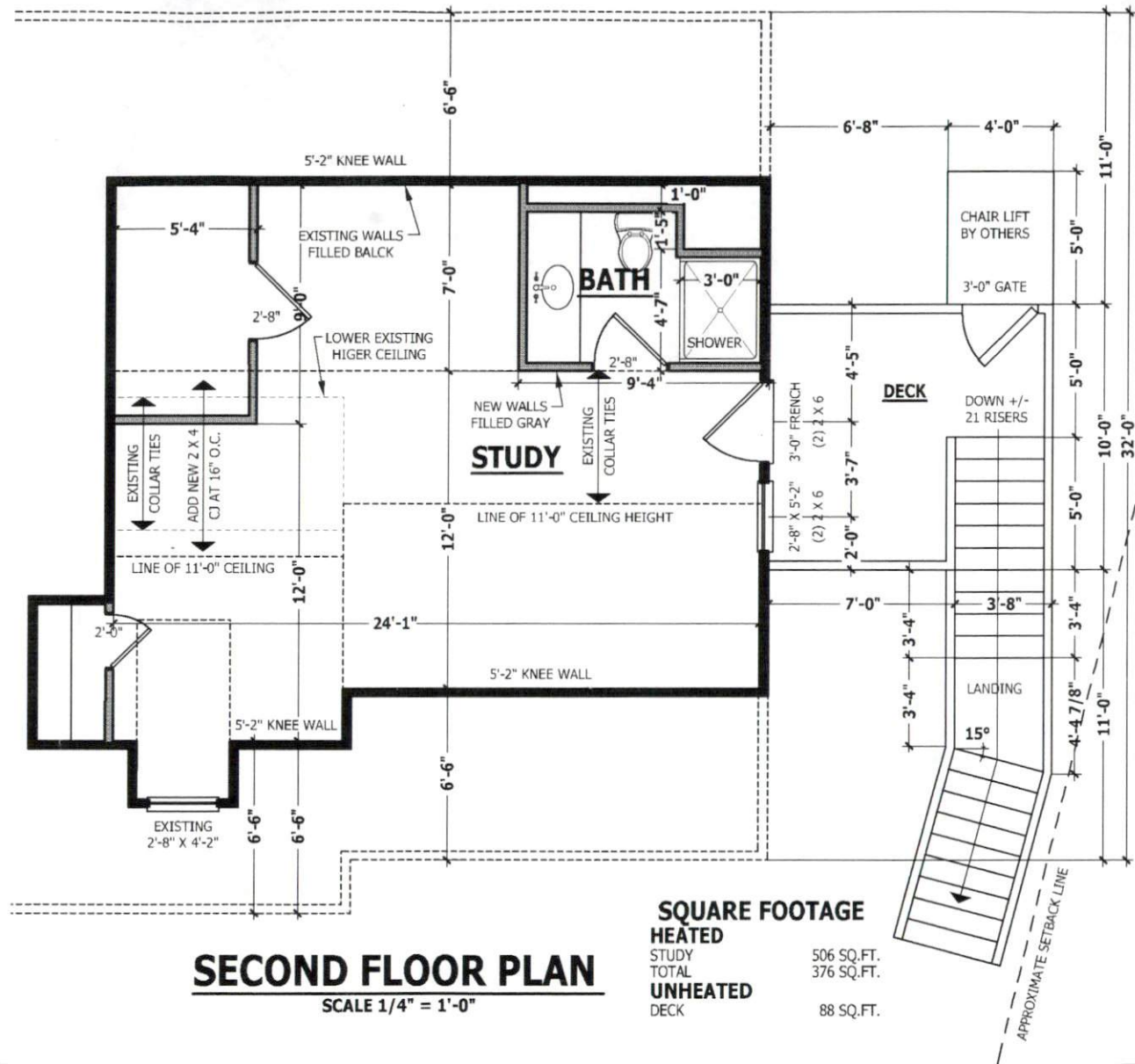
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DECK ATTACHMENT
SCALE 3/4" = 1'-0"



DECK FOUNDATION
SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

SQUARE FOOTAGE	
HEATED	
STUDY	506 SQ.FT.
TOTAL	376 SQ.FT.
UNHEATED	
DECK	88 SQ.FT.

FLOOR PLAN AND FOUNDATION
89 Gillis Ct., Coats, NC

Jerry Pounds Construction, Inc.
PO Box 250, Clayton, NC 27528
919-422-1175

HAYNES HOME PLANS, INC.
P.O. Box 102, Lake Forest, NC 27558 919-455-5128 FAX 919-455-5128

SQUARE FOOTAGE	
HEATED	
TOTAL	376 SQ.FT.
UNHEATED	
DECK	88 SQ.FT.

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