

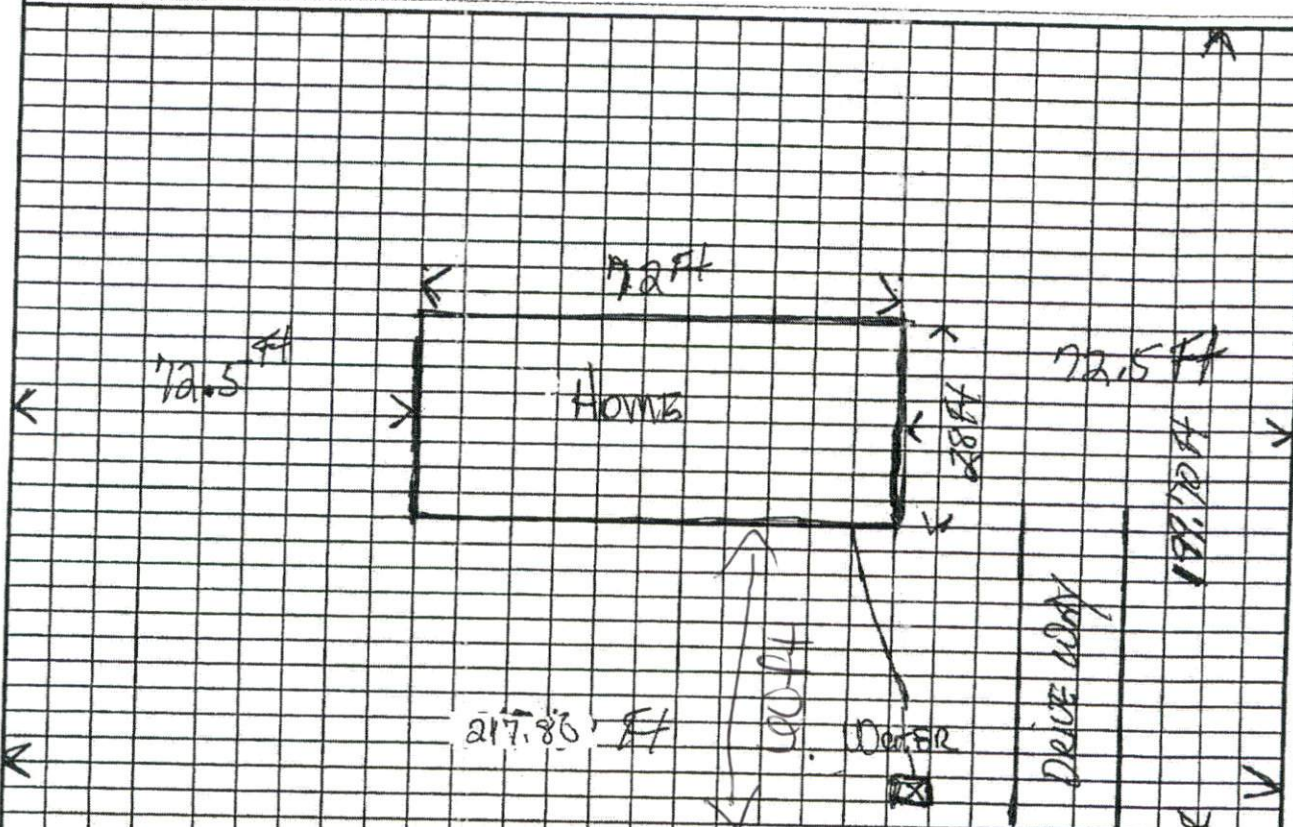
# PLOT PLAN FOR FHA LOANS

\*MUST BE IN COMPLIANCE WITH HUD HANDBOOK 4145.1 REV-2, 2-4 and 2-5.\*

BORROWER NAME: Sabrina Watkins LAST NAME, FIRST NAME Watkins Sabrina

PROPERTY ADDRESS OR LEGAL DESCRIPTION: 323 Bumbly Lane  
 XX STREET, CITY, ST ZIP Sanford N.C, 27332

**Completion Instructions:** Please sketch the location of the following items. Home, well, septic tank, septic drainfield, driveway, access road and boundary lines. Identify the distances between critical improvements that are broken out below the grid



Note: Professional Drawing can be attached.

### LEGEND

MH	Location of Mfg/Modular Home	W	Location of Water Well System	S	Location of Septic System
DF	Location of Septic Drain Field	CW	Location of City Water System	CS	Location of City Sewer System

**HUD Minimum Well Distance Requirements (from HUD Handbook 4910.1, Appendix K):**

Well to Chemically Treated Soil	25 feet minimum	List Proposed Distance:
Well to Septic Tank	50 feet minimum	List Proposed Distance:
Well to Drain Field	100 feet minimum	List Proposed Distance:
Well and Septic to Property Line	10 feet minimum	List Proposed Distance:

When both an individual water supply system (well) and septic system are being utilized, prior to the Final Disbursement the Retailer/Builder will be required to provide a professional drawing, plat, or survey by the local municipality or surveyor showing that HUD's minimum distance requirements have been met. As evidenced by signature below, the Builder/Retailer agrees and understands their responsibility concerning the HUD Minimum Well Distance Requirements and their responsibility to provide evidence that HUD's requirements have been met.

**BUILDER/RETAILER SIGNATURE:** Denn Baird **DATE:** 5/20/2021