



1 3D View - Front

**General Notes:**

1. Design Loads: Local
2. Materials
  - A. Brick: Face Brick Standard ASTM C216-94, Grade SW. Brick type and color to be chosen by owner.
  - B. Mortar: ASTM C270, Type S. Mortar style and color consult owner. Do not use calcium chloride in mortar.
  - C. Block Ties: ASTM A482 steel wire, hot dip galvanized after fabrication ASTM A 153/A 153M, Class B.
  - D. Insulation: ASTM C205, perforated glass fiber batt (R-19).
  - E. Wood Framing: No. 2 Southern Pine.
  - F. Waterproofing: #15 separate list.
  - G. Floor Strips: Match existing.
3. Footing
  - A. Footing to be in accordance with permit, modular instructions or in accordance with ASTM C790.
  - B. Clean mortar off exposed finished surfaces immediately following placement.
  - C. Confirm to the applicable code requirements for masonry construction and guidelines outlined by the Brick Institute of America.
  - D. Clean masonry units, with notch-down saws to provide clean, sharp, unchipped edges.
  - E. Prepare masonry surfaces so they are smooth and free from projections that could puncture backing. Place through-wall flashing on sloping bed of mortar and cover with mortar. Seal penetrations in flashing with adhesive/sandstrips as recommended by flashing manufacturer before covering with mortar.
  - F. Install weep holes in the head joints in exterior wythes of the first course of masonry immediately above embedded flashings as follows:
    - G. Install weep holes in the head joints in exterior wythes of the first course of masonry immediately above embedded flashings as follows:
      - H. Weep Holes:
        - 1. After wall construction is complete, clean brick with a non-acidic solution recommended by masonry unit manufacturer.
        - 2. Verify that adjacent materials and insulation materials are dry.
        - 3. Install insulation per manufacturer's instructions.
        - 4. Tape seal layers or caps in vapor retarder.

**5. Wood Framing**

- A. All field framing will comply with the North Carolina State Building Code. All field joists shall be 2x10 S-P-F. Trusses shall conform to the design of the truss manufacturer. All trusses are to be installed in accordance with the manufacturer's instructions. Where required, additional bracing may be required in some areas. Contractor will provide all framing required to complete the project.
- B. Metal nailing schedule shall be in accordance with the manufacturer's instructions.
- C. Exterior Wall Sheathing
  - a) Sheathing will be 1/2" Plywood ADF, rated sheathing with an exterior exposure 1 rating, installed perpendicular to studs in a staggered arrangement. Fasten to studs with 10d common nails @ 16" on center along edges and 12" on center at intermediate supports.
  - b) Plywood shall be installed at all panel edge joints and 1/8" space at all panel end joints unless otherwise recommended by manufacturer.
- D. Plywood Roof Sheathing
  - a) Roof sheathing is to be ADF rated with an exterior exposure 1 rating and a panel span rating of 32/16. Thickness of sheathing shall be in accordance with the manufacturer's instructions.
  - b) To match existing roof sheathing sections.
  - c) Remove sections of existing sheathing and stagger every other new plywood sheet back to the 2nd exterior roof truss. Fasten to trusses and outriggers with 10d common nails. Fasten at all panel edges and 12" on center at intermediate supports. Block all unsupported edges.
  - d) Leave 1/4" space at all panel edge joints and 1/8" space at all panel end joints unless otherwise recommended by manufacturer.
  - e) Do not cut or notch new or existing framing unless required on this drawing.
- E. Miscellaneous:
  - A. The contractor will be responsible for properly tying and bracing the structure to resist live, dead, wind and construction loads during construction.
  - B. Verify all existing building dimensions, elevations and details with the field conditions.

Climate Zone	Zone 3	Zone 4	Zone 5
Enthalpy U-Factor	0.35	0.35	0.35
Skylight U-Factor	0.65	0.60	0.60
Glaazed Fenestration SHGC	0.30	0.30	0.30
Celling R-Value	30	38	38
Wall R-Value	15	15	19
Floor R-Value	19	19	30
Basement Wall R-Value	10/13	10/13	10/13
Slab R-Value	0	10	10
Crawl Space Wall R-Value	5/13	10/13	10/13

\*10/13 means R-10 sheathing insulation or R-13 cavity insulation to bottom of footing. Insulation depth with stem wall slab 2" or to bottom of foundation wall.

Design Pressure for Doors and Window Positive and Negative in PSF	Mean Roof Height (FT)		
	15	25	35
Velocity (MPH)	15	17	19
100	20	23	25
110	26	29	32

Assumed Mean Roof Height 25'-0"

Designed for windspeed of 110 MPH, 3 Second Gust (95 Fastest Mile) Exposure B'

**Symbols Legend:**

- 1/2" Plywood ADF, rated sheathing with an exterior exposure 1 rating, installed perpendicular to studs in a staggered arrangement.
- 1/4" Plywood ADF, rated sheathing with an exterior exposure 1 rating, installed perpendicular to studs in a staggered arrangement.
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IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS.

VERIFY THAT THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS, ORDINANCES, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS.

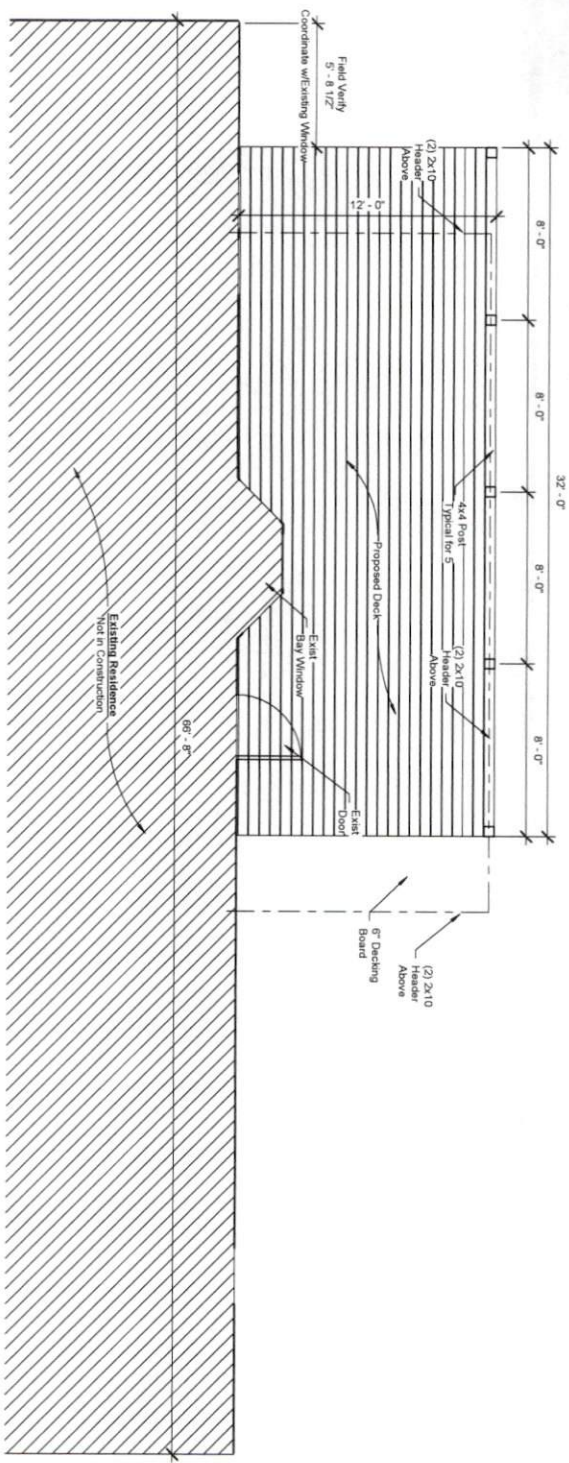
DESIGNED BY:  
TIMOTHY PEPPERS, JR.  
RESIDENTIAL DESIGN  
CONSULTANT  
CAMERON  
NORTH CAROLINA  
(910) 644-4587

PROPERTY OF TPJR  
PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ORDINANCES, AND STANDARDS.

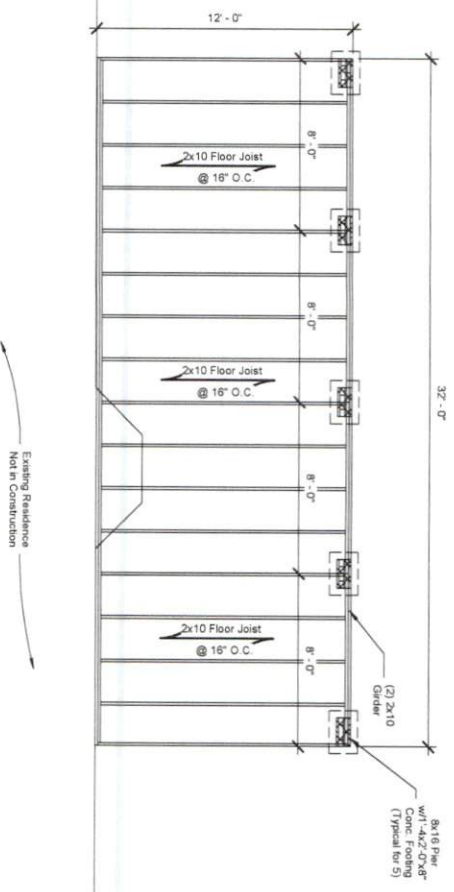
Porch Deck Addition  
20 Wood Run Dr  
Sanford, NC 27332  
Cover Sheet

SCALE:  
DATE: 3/17/2021  
Project number: 020820210001  
Drawn by: TP  
Checked by: TP  
C

- General Notes:**
1. All dimensions are given from the exterior face of the stud to the centerline of interior studs unless otherwise noted.
  2. All work shall be performed in conformance with the 2018 NC Building Code for One and Two Family Dwellings and all referenced standards.
  3. All fixtures, appliances, equipment and fixtures shall be coordinated by Owner.
  4. G.C. to field verify all existing dimensions and conditions prior to commencing work.
  5. Drawings are an instrument to communicate intent of construction. Do not scale drawings.
  6. All doors and windows to be selected by Owner and provided and installed by G.C.
  7. All casework to be selected by Owner and provided and installed by G.C.

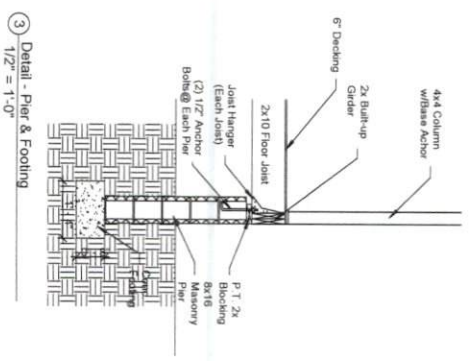


① First Floor Plan  
1/4" = 1'-0"



Existing Residence  
Not in Construction

② Foundation Plan  
1/4" = 1'-0"



③ Detail - Pier & Footing  
1/2" = 1'-0"

IT IS THE SOLE RESPONSIBILITY OF THE DESIGNER TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO VERIFY THAT ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, REGULATIONS, ORDINANCES, AND CODES ARE FULLY COMPLIED WITH. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO VERIFY THAT ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, REGULATIONS, ORDINANCES, AND CODES ARE FULLY COMPLIED WITH.

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TIMOTHY PEPPERS, JR.  
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CONSULTANT

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PROPERTY OF TPJR  
DRAWINGS AND SPECIFICATIONS AS SHOWN ARE THE PROPERTY OF TPJR AND SHALL REMAIN THE PROPERTY OF TPJR. NO PART OF THIS PROJECT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TPJR.

Porch Deck Addition  
20 Wood Run Dr  
Sanford, NC 27332  
First Floor Plan

SCALE:	As Indicated
DATE:	3/17/2021
Project number:	030820210001
Drawn by:	TP
Checked by:	TP

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFORM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS, IN BUILDING CODES ANY OTHER LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING AND CONSTRUCTION PRACTICES

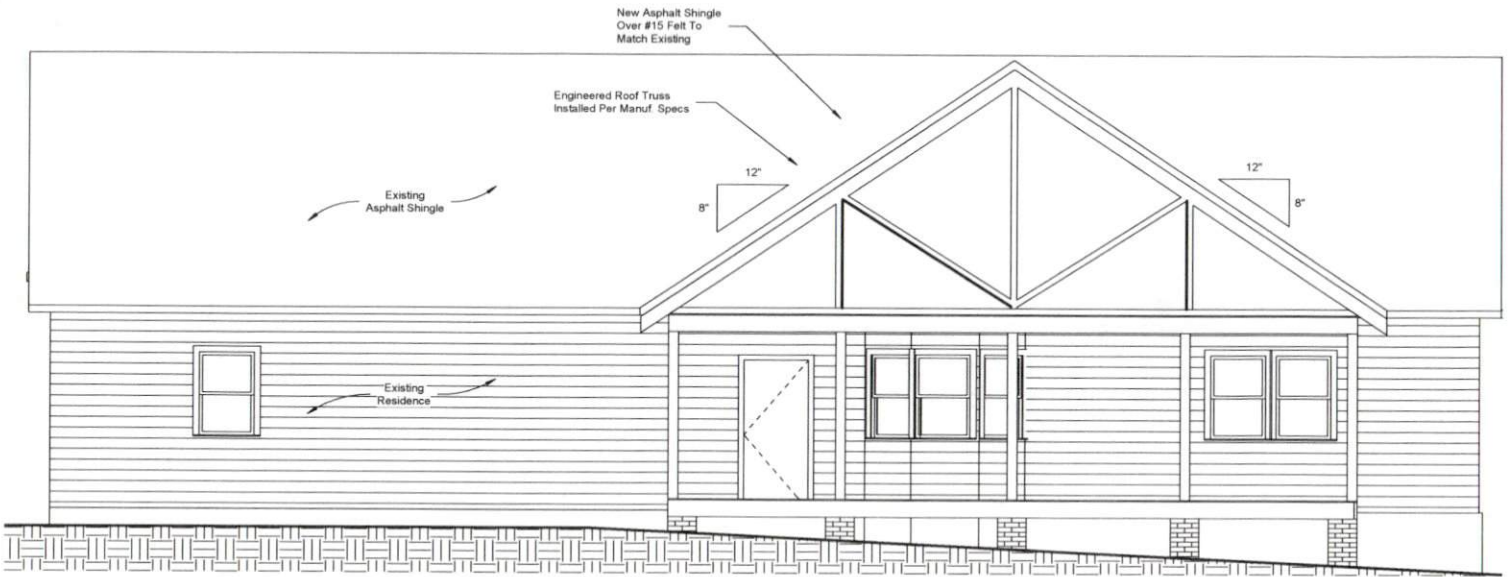
I CERTIFY THAT THE CONSTRUCTION EXHIBITS FOR IDENTIFICATION OF THE PROPERTY BY HOUSE TYPE, LOT, LOCK, SUBDIVISION NAME, AND SO ON, MEET ALL LOCAL CODE REQUIREMENTS AND ARE IN SUBSTANTIAL CONFORMITY WITH BOTH SAN AND VA MINIMUM PROPERTY REQUIREMENTS. ALL BUILDING STANDARDS AS SET FORTH BY THE INTERNATIONAL CODE COUNCIL (ICC) AND FEDERAL SAFE DRINKING WATER PLUMBING STANDARD

DESIGNED BY:  
TIMOTHY PEPPERS JR.  
RESIDENTIAL DESIGN  
CONSULTANT  
CAMERON  
NORTH CAROLINA  
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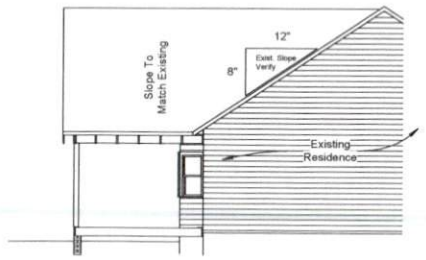
PROPERTY OF TPJR  
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN PROPERTY OF THE DESIGNER WHETHER THE PROJECT FOR WHICH THEY ARE MADE FOR IS EXECUTED OR NOT. THE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY THE OWNER ON OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH THE APPROPRIATE COMPENSATION TO THE DESIGNER.

Porch Deck Addition  
20 Wood Run Dr  
Sanford, NC 27332  
Elevations

SCALE: As indicated  
DATE: 3/17/2021  
Project number: 030820210001  
Drawn by: TP  
Checked by: TP

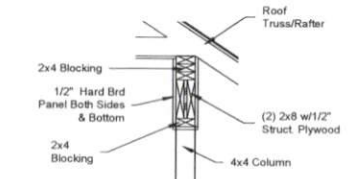


③ Rear  
1/4" = 1'-0"



① Left  
1/8" = 1'-0"

12" / 12"



② Detail - Porch Header  
3/4" = 1'-0"

**Elevation Notes:**

1. Gutters and downspouts are not shown for clarity, downspouts shall be located towards the front and rear of the house. Locate downspouts in non-visually offensive locations. General contractor shall verify existing grades and coordinate any necessary drainage requirements with owner.
2. Plumbing and HVAC vents shall be grouped in attic to limit roof penetrations and to be located away from public view and shall be primed and painted to match roof color where necessary.
3. Provide attic ventilation per local code requirements.
4. Exterior flashing shall be correctly installed at all connections between roofs, walls, chimneys, projections and penetrations as required by approved construction practices.
5. Contractor shall provide adequate attic ventilations/roof vents per local governing code. Install continuous ridge ventilation and match to roof. Provide appropriate soffit ventilation at overhangs.