



4055 HIGHWAY 401 SOUTH  
LILLINGTON, NC 27546

5/12, 130 vULT MAX

"23-6028-02"  
3 BEDROOM 2 BATH  
1600 SQ. FT.

**A HOME DESIGNED FOR:**

ANY COUNTY THAT MEETS REQUIREMENTS  
OF GE-101.  
  
SEE GE-101 FOR MAXIMUM WIND SPEED

SHEET INDEX

- CP-101 COVER SHEET
- GE-101 GENERAL NOTES
- L-101 LITERATURE PLAN
- EV-101 ELEVATIONS
- EV-102 ELEVATIONS
- EV-103 ELEVATIONS
- EV-104 ELEVATIONS
- AP-101 FLOOR PLAN
- AP-102 OPTION
- AP-201 STRUCTURAL BRACING
- AP-202 STRUCTURAL BRACING DETAILS
- AP-203 STRUCTURAL BRACING DETAILS
- EP-101 ELECTRICAL PLAN
- PP-101 DWV PLAN OFF-FRAME

SHEET INDEX-CONT.

- W-101 WATER LINE PLAN
- SE-101 SECTION PLAN OFF-FRAME
- F-101 PERIMETER FOUNDATION PLAN
- F-102 PERIMETER FOUNDATION DETAILS
- F-103 PERIMETER FOUNDATION DETAILS
- RS-101 RESCHECK
- WORK SHEET 1 VENT CALCS
- WORK SHEET 2 BRACE WALLS CALCS
- SHEARWALL CALCULATIONS SECTION 6 (ATTACHED PAGES 1-30) (PFS REVIEW ONLY)

**PFS CORPORATION**  
Approval Limited to Factory Built Portion Only

**State:** North Carolina  
*Harold Raugh*  
**Title:** Staff Plan Reviewer  
**Date:** 8/13/20

**THIS MODEL NOT DESIGNED FOR OCEAN HIGH HAZARD AREAS OR SPECIAL MOUNTAIN REGIONS OR FLOOD ZONES OR SPECIAL WIND REGIONS.**

**CHAMPION**  
MANUFACTURED BEAUTIFULLY™  
755 W. BIG BEAVER ROAD, SUITE 1000, TROY, AL 36064  
PHONE: 205-344-6500

MODIFICATIONS

PROJECT: 023-6032-02  
30'-4" x 60' 3 BD 2 BTH

DRAWN BY: STAFF  
DATE: 08-09-20  
SCALE: NTS

TITLE: COVER PAGE PLAN

FILENAME: 23-6028-02 MOD

SHEET: CP-101

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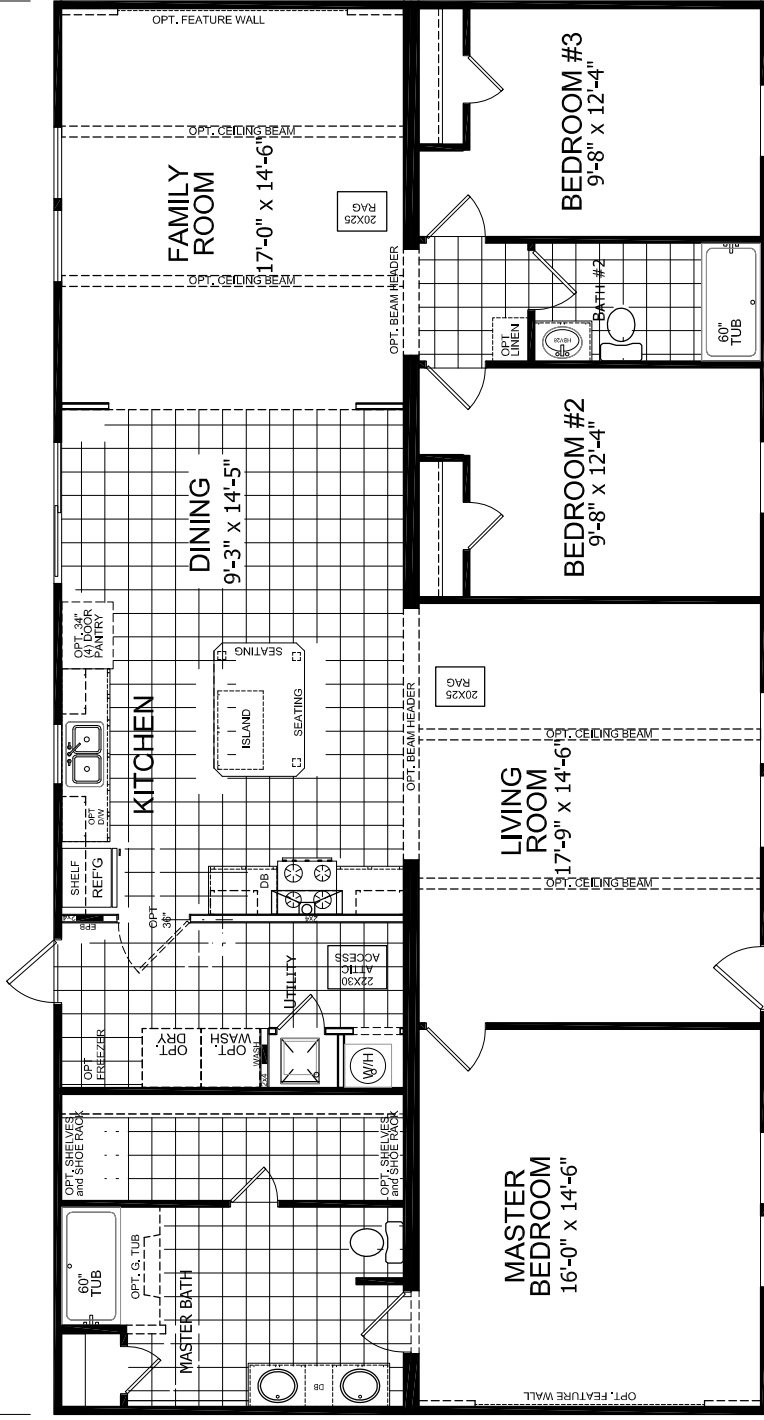


**MODEL 23-6032-02**  
**TITAN COLLECTION**  
**"The MONTANA"**

4 BDRM, 2 BATH  
 ACTUAL SIZE: 30'-4" X 60'-0"  
 TOTAL AREA: 1820 SQ.FT. AS SHOWN

60'

30'-4"

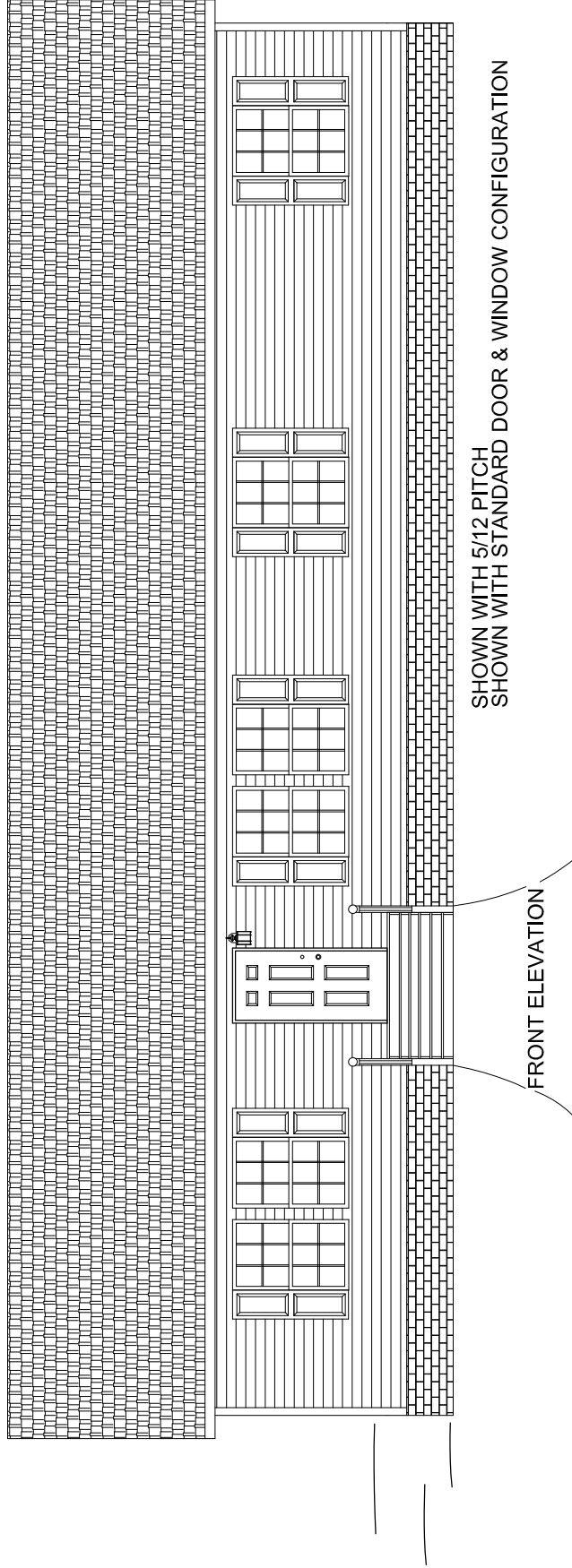


**PFS Corporation**  
 Northeast Region  
**APPROVED**  
**H Raup - 3**  
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<b>CHAMPION</b> MANUFACTURED BEAUTIFULLY™ 755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064 PHONE: 248-511-6500	PROJECT: <b>023-6032-02</b> <b>30'-4" x 60' 3 BD 2 BTH</b>	TITLE: <b>LITERATURE PLAN</b>	SHEET: <b>L-101</b>
	MODIFICATIONS:	DRAWN BY: STAFF DATE: 03-20-21 SCALE: NTS	FILENAME: 23-6032-02 MOD
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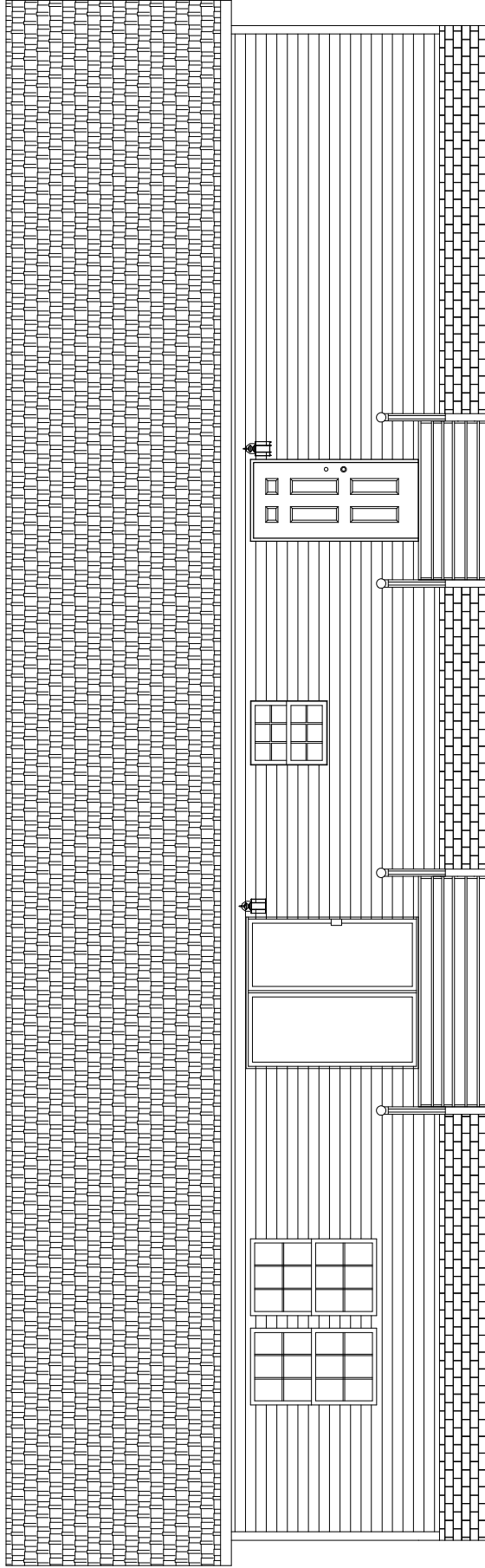


<b>CHAMPION</b> <b>MANUFACTURED BEAUTIFULLY™</b> 755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064 PHONE: 248-614-6500	PROJECT: <b>023-6032-02</b> <b>30'-4" x 60' 3 BD 2 BTH</b> DRAWN BY: STAFF DATE: 03-26-17 SCALE: NTS	TITLE: <b>ELEVATION PLAN</b> FILENAME: 23-6032-02.NOD	SHEET: <b>EV-101</b> PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL. PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION. COPYRIGHT © 2015-2017 BY CHAMPION
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COMPOSITE SHINGLE

RIDGE VENT



REAR ELEVATION

AND RAILS DONE ON SITE BY OTHERS  
 FOUNDATIONS, STEPS, PORCHES

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MODIFICATIONS

PROJECT: 023-6032-02  
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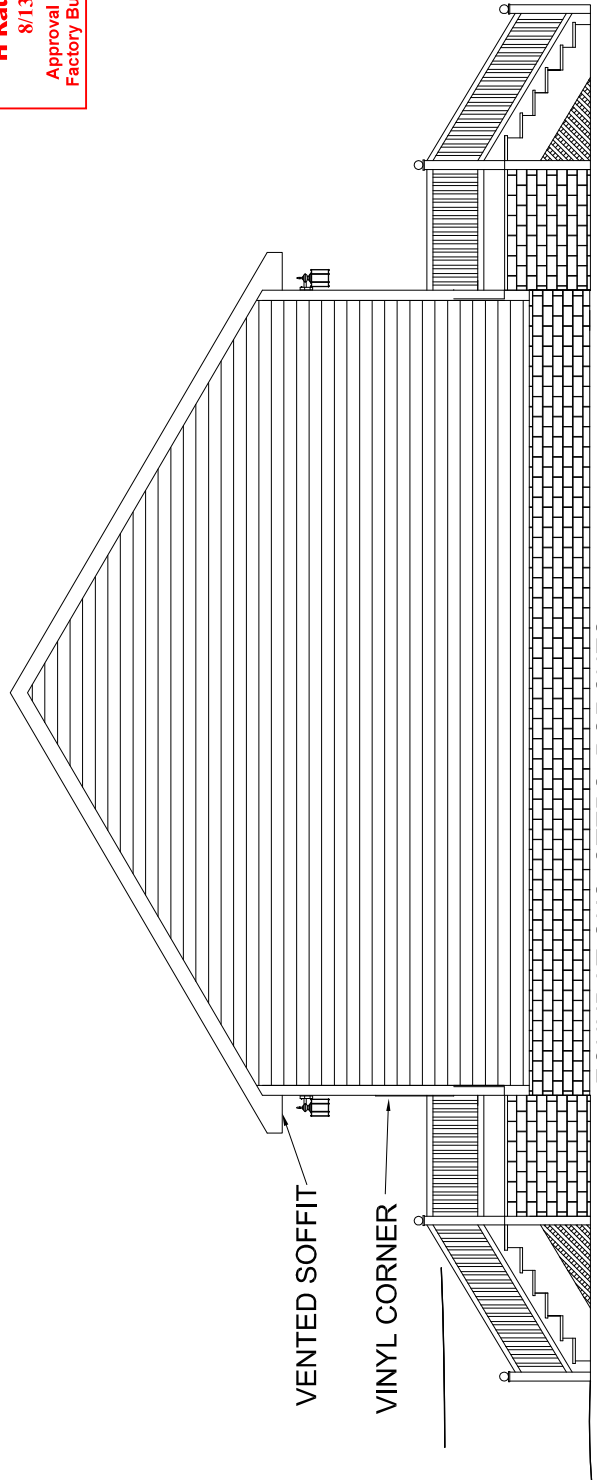
TITLE: ELEVATION PLAN

FILENAME: 23-6032-02.NOD

SHEET: EV-102

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FOUNDATIONS, STEPS, PORCHES  
 AND RAILS DONE ON SITE BY OTHERS  
 RIGHT ELEVATION

**CHAMPION**  
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 755 W. BIG BEAVER ROAD, SUITE 1000 TROY, MI 48064  
 PHONE: 248-514-5555

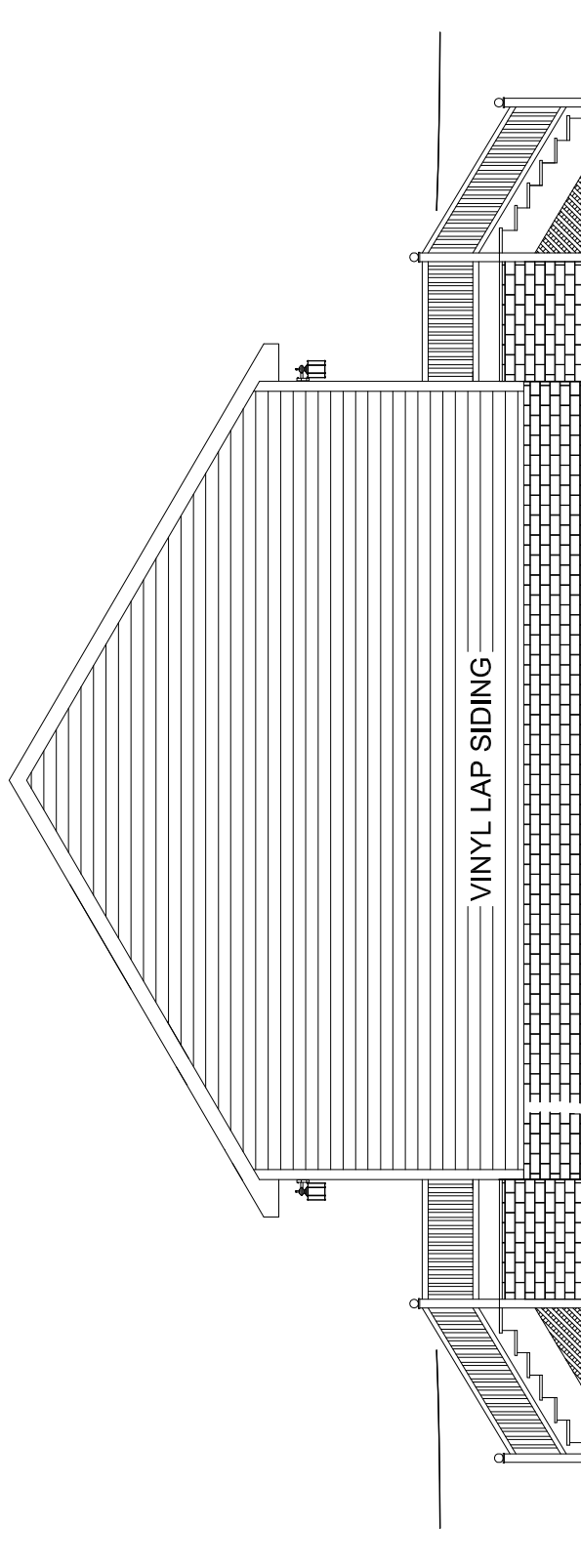
MODIFICATIONS

PROJECT: 023-6032-02  
 30'-4" x 60' 3 BD 2 BTH  
 DRAWN BY: STAFF  
 DATE: 03-28-17  
 SCALE: NTS

TITLE: ELEVATION PLAN  
 FILENAME: 23-6032-02.NOD

SHEET: EV-103  
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LEFT ELEVATION

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MODIFICATIONS

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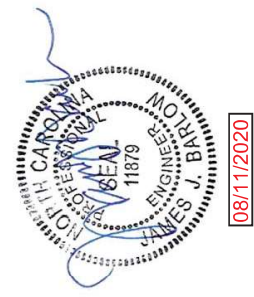
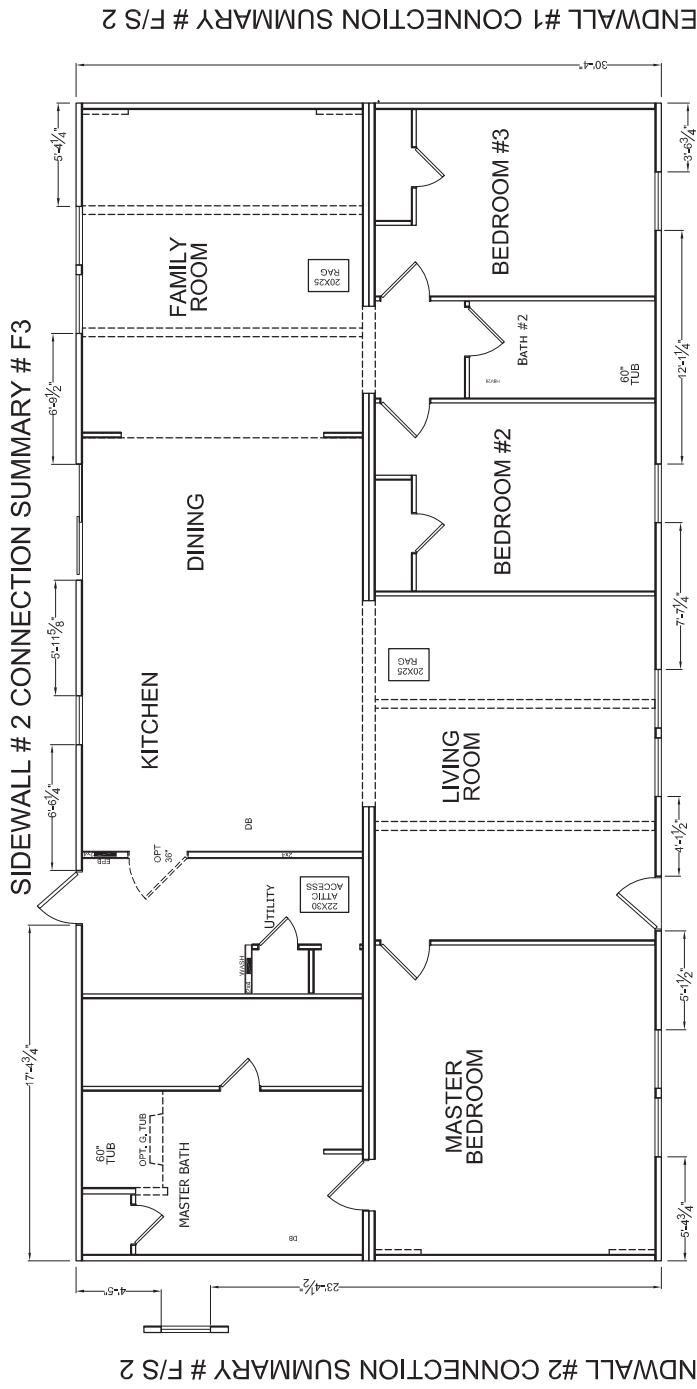
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SEE STRUCTURAL BRACING SUMMARY AP202 FOR MORE DETAILS



08/11/2020

<b>CHAMPION</b> MANUFACTURED BEAUTIFULLY™ 755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064 PHONE: 248-511-5555	PROJECT: 023-6032-02 30'-4" x 60' 3" BD 2 BTH DRAWN BY: STAFF DATE: 03-28-17 SCALE: 3/16" = 1'-0"	TITLE: STRUCTURAL BRACING & CONNECTIONS FILENAME: 23-6032-02.NOD	SHEET: AP-201 PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL. PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION. COPYRIGHT © 1979-2018 BY CHAMPION
	MODIFICATIONS	ENDWALL #2 CONNECTION SUMMARY # F/S 2 SIDEWALL #2 CONNECTION SUMMARY # F3 ENDWALL #1 CONNECTION SUMMARY # F/S 2 SIDEWALL #1 CONNECTION SUMMARY # F3	

# SHEAR CALCULATIONS

08/11/2020



DESIGNED BY : **CHAMPION HOMES**  
 DATE : **7/15/2020**  
 CHECKED BY : **JPT**

**MODEL No.:** 23-6032-02  
**SERIAL No.:**  
**WIND SPEED.:** 130 VULT  
**Roof** 5/12

## SHEARWALL DIAPHRAGM PANEL SUMMARY

By	CHK'd	LOCATION	EDGE FASTENING*		FIELD FASTENING*		NOTES	CONN. #
			8D	16 GA.	8D	16 GA.		
		ENDWALL #1 (HITCH)	6.0	6.0	12.0	12.0	7/16" OSB BLOCKED 100 FHS ( BEDROOM 3 )	F/S1
		ENDWALL #2 (REAR)	4.0	4.0	8.0	8.0	7/16" OSB BLOCKED 92 FHS ( MASTER BED / BATH )	F/S2
		SIDEWALL #1 (A MODULE)	6.0	6.0	12.0	12.0	7/16" OSB BLOCKED 63 FHS ( LIVING )	F3
		SIDEWALL #2 (B MODULE)	6.0	6.0	12.0	12.0	7/16" OSB BLOCKED 69 FHS ( KITCHEN / DINING )	F4
		ROOF SHEATHING	6.0	6.0	12.0	12.0	7/16" OSB UNBLOCKED	F5
		<b>INCREASE TO</b>	<b>6.0</b>	<b>6.0</b>	<b>8.0</b>	<b>12.0</b>	<b>7/16" OSB UNBLOCKED</b>	
		<b>WITH</b>	<b>6.0</b>	<b>3.0</b>			<b>O.C. FASTENERS AT PERIMETER</b>	
		<b>BLOCKING DISTANCE</b>	<b>0'</b>		<b>0'</b>		<b>FROM ENDWALLS ( ROOF DIAPHRAGM SHEATHING CONNECTION : 128 PLF )</b>	
			<b>5D</b>		<b>5D</b>			
		CEILING SHEATHING	7.0		7.0		1/2" GWB UNBLOCKED (FOAM ADHESIVE MEETS REQUIRED FASTENING)	F7
			<b>8D</b>	<b>15 GA.</b>	<b>8D</b>	<b>15 GA.</b>		
		FLOOR SHEATHING	6.0	2.0	12.0	5.0	19/32" OSB MIN.	F8

\* 8D COMMON NAILS (.131" x 2.5")

\* ROOF ( 16 GA. STAPLES )

\* FLOOR ( 8D COMMON NAILS (.131" x 2.5") )

<sup>1</sup> 16 GA. STAPLE (REF. SEC 16 Pg. 14 8D TO 16GA. (Z) )

<sup>1</sup> ROOF ( 16 GA. STAPLE (REF. SEC 16 Pg. 15 14GA. TO 16GA. (Z) )

<sup>1</sup> FLOOR ( 15 GA. STAPLE (REF. SEC 16 Pg. 14 10D TO 15GA. (Z) )

**SUCTION FASTENER SPACING MUST BE NO GREATER THAN SHEAR DIAPHRAGM FASTENER SPACING**

By	CHK'd	LOCATION	FASTENING *	ALT. FASTENER <sup>1</sup>	NOTES
		ROOF ZONE 1	12	5	<div style="border: 2px solid red; padding: 5px; display: inline-block;"> <b>PFS Corporation</b>  <b>Northeast Region</b>  <b>APPROVED</b>  <b>H Raup - 3</b>  <b>8/13/20</b>  <b>Approval limited to</b>  <b>Factory Built Portion</b> </div>
		ROOF ZONE 2	11	5	
		ROOF ZONE 3	7	3	
		ROOF ZONE 3 O/H	6	2	
		WALL ZONE 4	12	5	
		WALL ZONE 5	12	5	
		EDGE DIMENSION (Z)	4'	4'	

\* 8D COMMON NAILS (.131" x 2.5")

<sup>1</sup> 16 GA. STAPLE (1" MIN. PEN) (REF. SEC 16 Pg. 15 8D TO 16GA. (W) )

## UPLIFT CONNECTIONS

By	CHK'd	LOCATION	UPLIFT # FASTENING *	ALT. FASTENING *	CONN. #
		TRUSS TIE DOWN	148	(1) SIMPSON SDWC 15600	F9
		TRUSS TIE DOWN (FLAT STRAP)	148	(1) 1 1/2 x 20GA STRAP W/ (4) 0.113 NAILS	
		STUD TO TOP PLATE/CEILING BAND	99	(1) 1 1/2 x 20GA STRAP W/ (2) 0.113 NAILS	F10
		STUD TO TOP PLATE (ALTERNATE)	99	16 GA STAPLES EA. STUD	
		STUD TO FLOOR BAND	13	(1) 1 1/2 x 20GA STRAP W/ (4) 0.113 NAILS	F11
		STUD TO FLOOR BAND (ALTERNATE)	13	16 GA STAPLES EA. STUD	

\* QUANTITIES ARE EACH END

\*\* C-2019-2021 ED. SIMPSON CATALOG

(REF. SEC 18 Pg. 17 20GA. STRAP/NAILS )

(REF. SEC 18 Pg. 17 20GA. STRAP/NAILS )

## LATERAL CONNECTIONS

By	CHK'd	LOCATION	LOAD (PLF) AT IN. O.C.	LOAD (LBS)	FASTENING *	ALT. FASTENING *	CONN. #
		TRUSS TO TOP PLATE	248	24	496	( 6 ) .131 TOE NAIL OR ( 3 ) #10 X 5" TSCREW EA TRUSS	F12
		PLATE TO PLATE	248	5	103.34	15GA. x 2 1/2" STAPLES AT 5" O.C	F13
		PLATE TO STUD	248	16	330.67	(6) 15GA. x 2 1/2" STAPLES EACH END	F14
		BOTTOM PLATE TO FLOOR	248	5	103.34	15GA. x 2 1/2" STAPLES AT 5" O.C.	F15

\* STRAP NAIL/STAPLE QUANTITIES ARE EACH END

( SUBSTITUTION REF. SEC 16 Pg. 14 .162 TO .113 & 15GA. (Z) )

( SUBSTITUTION REF. SEC 16 Pg. 14 .131 TO 15 GA. (Z) )

( SUBSTITUTION REF. SEC 16 Pg. 14 .131 TO #8 WS (Z) )

## TOP PLATE SPLICES

By	CHK'd	LOCATION	FASTENING	NOTES	CONN. #
		PLATE TO PLATE	( 2 ) ROWS 15GA. X 2 1/2" STAPLES AT 1" O.C.	FACE NAILED 3' MIN SPLICE	F16

( SUBSTITUTION REF. SEC 16 Pg. 15 .162 TO 15 GA. (Z) )

## UNIT SHEAR & UPLIFT CONNECTIONS

By	CHK'd	LOCATION / LOAD	FASTENING	CONN. #
		ENDWALLS	SHEATHING SHEAR CONN. TO FLOOR BAND AND BOTTOM CHORD W/ ( 1 ) ROWS OF 16GA. STAPLES AT ( 3.7 ) IN O.C.	F17
		ENDWALLS	SHEATHING UPLIFT CONN. TO FLOOR BAND AND BOTTOM CHORD W/ ( 1 ) ROWS OF 16GA. STAPLES AT ( 3.7 ) IN O.C.	F18
		ENDWALLS	BOTTOM CHORD TO TOP PLATE W/ .131 x 3" TOENAILS AT 8" IN O.C.	F19
		SIDEWALLS	SHEATHING SHEAR CONN. TO FLOOR BAND W/ ( 1 ) ROWS OF 16GA. STAPLES AT ( 3.7 ) IN O.C.	F20
		SIDEWALLS	SHEATHING UPLIFT CONN. TO FLOOR BAND W/ ( 1 ) ROWS OF 16GA. STAPLES AT ( 3.7 ) IN O.C.	F21

( SUBSTITUTION REF. SEC 16 Pg. 14 .131 TO 16 GA. (Z) )

( SUBSTITUTION REF. SEC 20 Pg. 14 .162 TO .113 (Z) )

## CORNER CONNECTIONS

By	CHK'd	LOCATION	FASTENING *	NOTES	CONN. #
		ALL EXTERIOR WALL INTERSECTIONS	(1) ROW(S) #8 SCREWS AT 9.7" O.C	FACE NAILED/SCREWED	F22
		ALTERNATE FASTENER	(1) ROW(S) 3/8" LAG AT 14.4" O.C		

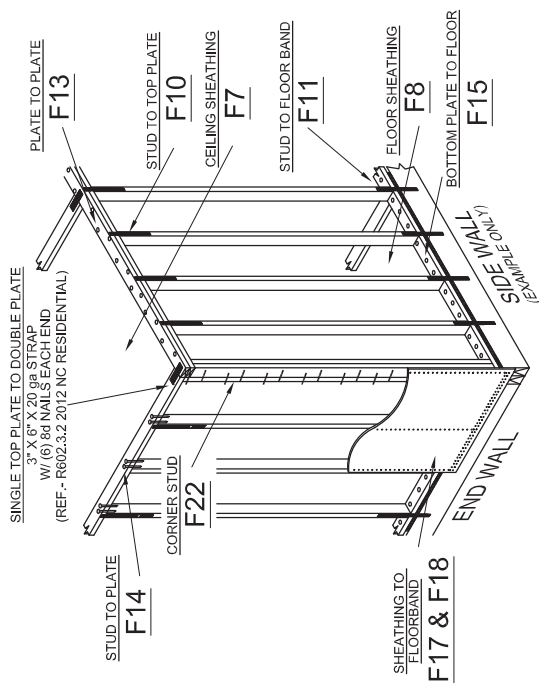
( SUBSTITUTION REF. SEC 16 Pg. 13 LATERAL (Z) )

( 3/8 LAG REF. SEC 2 Pg. 2 LATERAL (Z-1.6 Cd) )

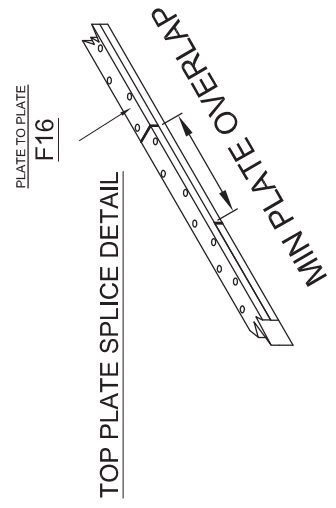
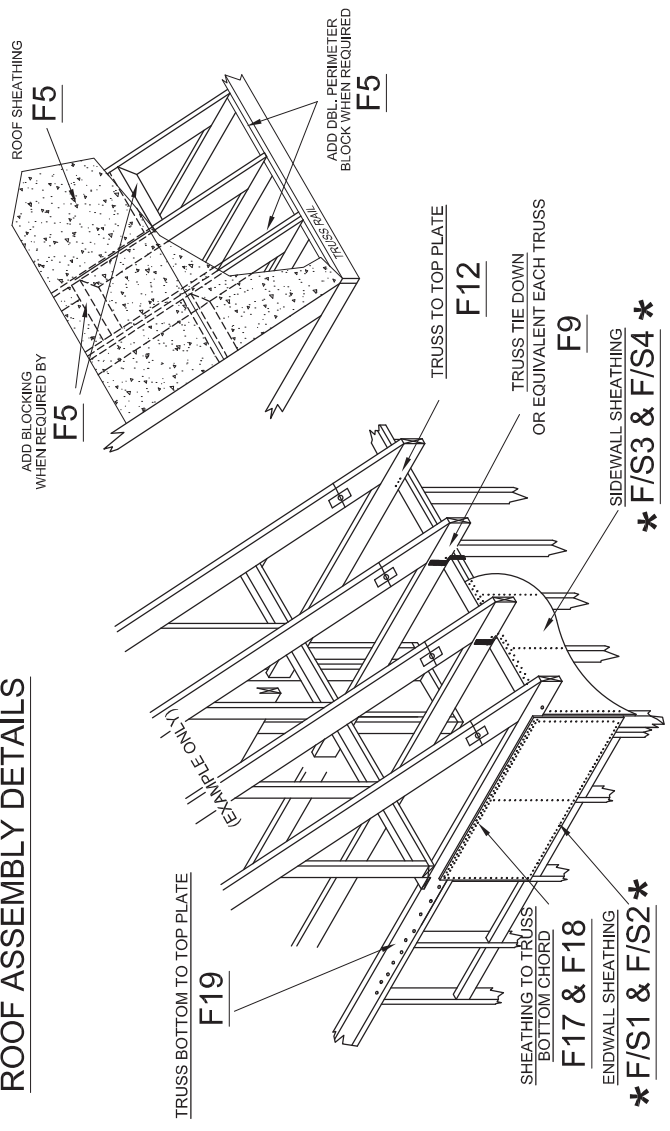
## CORNER HOLDDOWNS

By	CHK'd	LOCATION	FASTENING *	NOTES	CONN. #
		ALL EXTERIOR WALL CORNERS	3450 LBS MAX UPLIFT MINUS 5319 LBS Σ OF DEAD LOAD = 0 LBS	NO HOLD DOWNS REQUIRED	F23

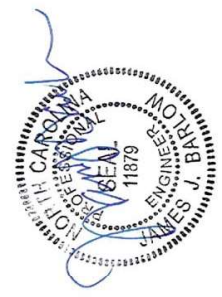
**SIDEWALL/ENDWALL DETAIL**



**ROOF ASSEMBLY DETAILS**



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08/11/2020

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 755 W. BIG BEAVER ROAD, SUITE 1000, TROY, AL 36064  
 PHONE: 205-344-6500

MODIFICATIONS

PROJECT: **023-6032-02**  
**30'-4" x 60' 3 BD 2 BTH**  
 DRAWN BY: STAFF  
 DATE: 03-09-17  
 SCALE: 3/16" = 1'-0"

TITLE: **WALL FASTENING**  
 FILENAME: 23-6032-02.MXD

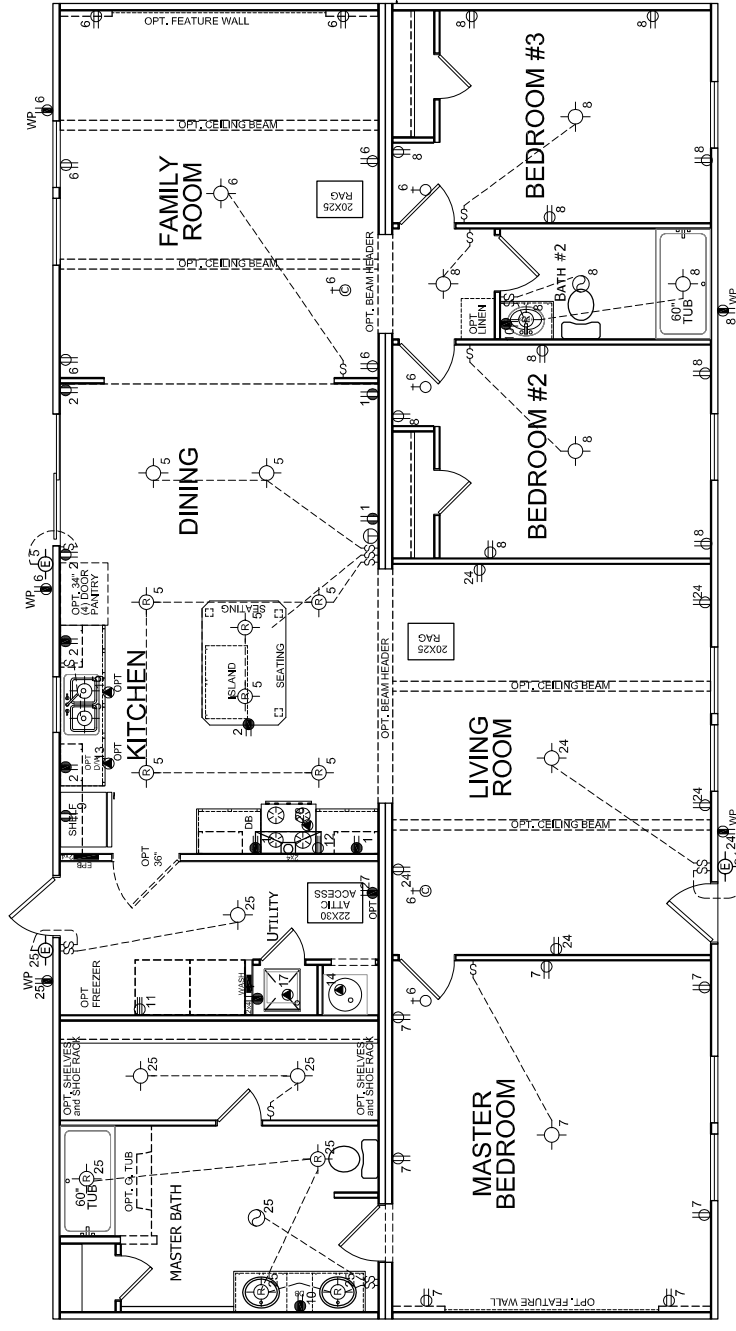
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- RECEPT TO BE INSTALLED FOR WHIRLPOOL TUB WITHIN 12" OF ACCESS
- BREAKER LOCKOUT TO BE INSTALLED FOR DISHWASHER, WATER HEATER
- RANGE HOOD EXHAUST FAN IS A NON VENTED RECIRCULATION TYPE (CHARCOAL)
- COSMOSKED DETECTOR COMPLIES WITH UL 217 AND UL 2034
- INSTALLER TO DISCONNECT TO BE CONSIDERED SUB PANEL BOX
- MAIN PANEL TO BE INSTALLED ON SITE BY OTHERS.

SEE ON MANUAL FOR APPROVED ELECTRICAL FIXTURES SECTION 4 PAGE 4

NC NOTE: PER NEC ECC 404.1, A MINIMUM OF 75% OF LAMPS INSTALLED IN PERMANENTLY INSTALLED FIXTURES MUST BE HIGH-EFFICIENT LAMPS (EXAMPLE: CFL S) ALL BULBS TO BE PROVIDED ON SITE BY OTHERS.



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ELECTRICAL LEGEND	
	GENERAL RECEPTACLE 120 VOLT - 15 AMP
	GFI PROTECTED RECEPTACLE 120 VOLT - 15 AMP
	CEILING VENT FAN W/LIGHT (2 SWITCHES)
	EXHAUST FAN
	SINGLE POLE SWITCH
	WATERPROOF EXTERIOR LIGHT
	FLUORESCENT LIGHT
	WALL LIGHT
	DIRECTLY WIRED CONNECTION
	THERMOSTAT
	SMOKE DETECTOR
	MAIN PANEL
	RECESSED LIGHT
	FLOOD LIGHT
	PHONE JACK
	TV/CABLE JACK
	HEAT TAPE RECEPTACLE 120 VOLT - 15 AMP
	JUNCTION BOX
	SMOKE DETECTOR CO COMBINATION

- NOTE:
- CIRCUIT NUMBERS MAY VARY AND NOT ALL CIRCUITS ARE IN USE
  - ALL CIRCUIT INTERRUPTERS SHALL BE IN ACCORDANCE WITH SECTION 210.12 (A) OF THE CURRENT NEC.
  - OPTIONAL 220 VOLT RECEPTACLE PROVIDED FOR RANGE AND DRYER.
  - POWER RANGE HOOD STANDARD.
  - ALL CLOSET LIGHTS TO BE A MIN. 12" OFF OF SHELF.
  - DWELLING UNIT RECEPTACLE SHALL BE RATED AS TAMPER RESISTANT ACCORDANCE WITH SECTION 406.12 NEC
  - RECEPTACLE COORDINATED FOR OUTDOOR SWITCHES AND RECEPTACLE PULL AND JUNCTION ARE IN ACCORDANCE TO ARTICLE 314
  - OUTLET DEVICE SHALL BE INSTALLED IF ATTIC TO BE USED FOR STORAGE, ON SITE
  - ATTIC LIGHT TO BE INSTALLED, IF ATTIC TO BE USED FOR STORAGE, ON SITE

ELECTRICAL SCHEDULE - CONT --	
BRK 1	15 AMP 120V
BRK 2	20 AMP 120V
BRK 3	20 AMP 120V
BRK 4	20 AMP 120V
BRK 5	20 AMP 120V
BRK 6	20 AMP 120V
BRK 7	20 AMP 120V
BRK 8	20 AMP 120V
BRK 9	20 AMP 120V
BRK 10	20 AMP 120V
BRK 11	20 AMP 120V
BRK 12	20 AMP 120V
BRK 13	20 AMP 120V
BRK 14	20 AMP 120V
BRK 15	20 AMP 120V
BRK 16	20 AMP 120V
BRK 17	20 AMP 120V
BRK 18	20 AMP 120V
BRK 19	20 AMP 120V
BRK 20	20 AMP 120V
BRK 21	20 AMP 120V
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BRK 83	20 AMP 120V
BRK 84	20 AMP 120V
BRK 85	20 AMP 120V
BRK 86	20 AMP 120V
BRK 87	20 AMP 120V
BRK 88	20 AMP 120V
BRK 89	20 AMP 120V
BRK 90	20 AMP 120V
BRK 91	20 AMP 120V
BRK 92	20 AMP 120V
BRK 93	20 AMP 120V
BRK 94	20 AMP 120V
BRK 95	20 AMP 120V
BRK 96	20 AMP 120V
BRK 97	20 AMP 120V
BRK 98	20 AMP 120V
BRK 99	20 AMP 120V
BRK 100	20 AMP 120V

**CHAMPION**  
 MANUFACTURED BEAUTIFULLY™  
 755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064  
 PHONE: 248-511-6500

PROJECT: **023-6032-02**  
**30'-4" x 60' 3 BD 2 BTH**

MODIFICATIONS:

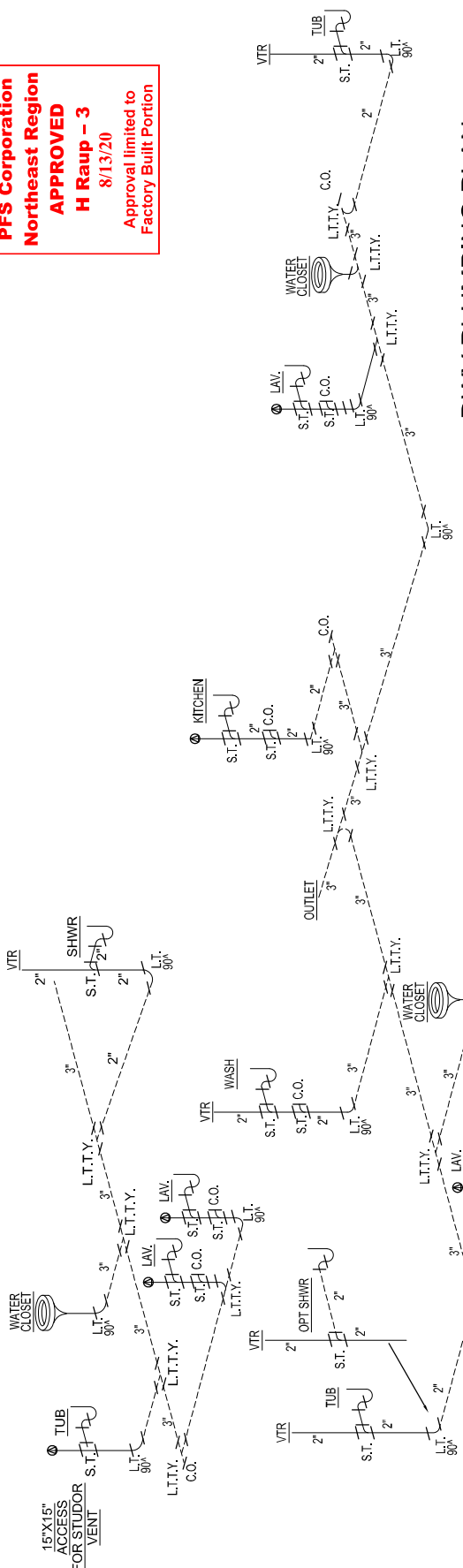
FILENAME: 23-6032-02 MOD

SHEET: **EP-101**

TITLE: **ELECTRICAL PLAN**

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**OPT MASTER BATH**



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**DWV PLUMBING PLAN**

- NOTES:**
- 1-ALL PIPE SIZES ARE 1/2" UNLESS OTHERWISE SPECIFIED.
  - 2-ONE END OF EACH TRAP OR CLEANOUT MUST BE ELIMINATED WITHOUT EFFECTIVE PIPING.
  - 3-ALL PIPES SHOWN IN DASHED LINE ARE FIELD INSTALLED BY OTHERS SUBJECT TO LOCAL JURISDICTION.
  - 4-AUTO VENTS TO BE INSTALLED ON SITE AFTER COMPLETE PLUMBING SYSTEM TEST.
  - 5-WATER STAND TEST MUST BE DONE ON SITE AFTER COMPLETION OF PLUMBING SYSTEM.
  - 6-ALL VENT PIPES MUST TERMINATE MIN. 6" ABOVE ROOF WITH APPROVED WATER TIGHT FLASHING. (P904.1 & P904.3)
  - 7-IF HOME LOCATED IN AREA WHERE 97.5% FOR OUTSIDE DESIGN TEMPERATURE IS 0° OR LESS, EVERY VENT EXTENSION SHALL BE MIN. 3". THIS TO BE DONE ON SITE BY OTHERS. (P904.2)
  - 8-RODENT PROOFING AT ALL SHOWERS, TUBS, TUB SHOWERS TO BE COMPLETED ON SITE BY OTHERS AFTER PLUMBING TEST COMPLETED.

PIPE SUPPORT TO BE AS FOLLOWS:
MAX HORIZONTAL SPACING = 4'
MAX VERTICAL SPACING = 10'

REFERENCE IPC TABLE 308.5

**\*\*ATTN. LOCAL BUILDING OFFICIAL\*\***  
 ALL P-TRAPS AT TUBS, SHOWERS & TUB/SHOWERS MUST BE RODENT PROOFED AND FINAL DRAFT STOPPING COMPLETED ON SITE BY OTHERS AFTER COMPLETION OF ALL PLUMBING TESTS. ALL OTHER RODENT PROOFING AND DRAFT STOPPING AT FLOOR LEVEL DONE AT FACTORY.

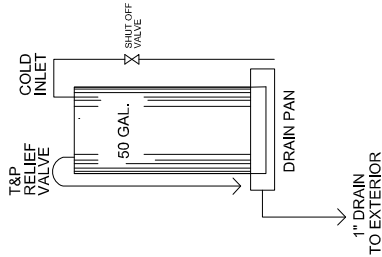
SEE PAGE AE-101 IN SETUP MANUAL IN HOME FOR DETAILS (SECTION 5, PG 36 QA MANUAL).

SEE Q/A MANUAL FOR APPROVED PLUMBING FIXTURES SECTION 4 PAGE 5

<p><b>CHAMPION</b>                  MANUFACTURED BEAUTIFULLY™                  755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064                  PHONE: 248-511-6500</p>	<p>PROJECT: <b>023-6032-02</b>  <b>30'-4" x 60' 3 BD 2 BTH</b></p>	<p>SHEET: <b>PP-101</b></p>
	<p>MODIFICATIONS</p>	<p>TITLE: <b>PLUMBING PLAN</b></p>
<p>DRAWN BY: STAFF                  DATE: 03-26-21                  SCALE: NTS</p>	<p>FILENAME: 23-6032-02 MOD</p>	<p>PROPRIETARY AND CONFIDENTIAL                  THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL                  PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION.                  COPYRIGHT © 2022-2023 BY CHAMPION</p>

WATER HEATER SECURED IN PLACE FOR TRANSIT WITH METAL SHIPPING STRAPS FROM WALL TO WALL

STATE WATER HEATER MODEL SC 6000 (ELECTRIC) COT104 IN 50 NDS1 2 (GAS) MANF. INFORMATION LOCATED IN O.A. MANUAL, SECTION 4, PAGE 04.01.01

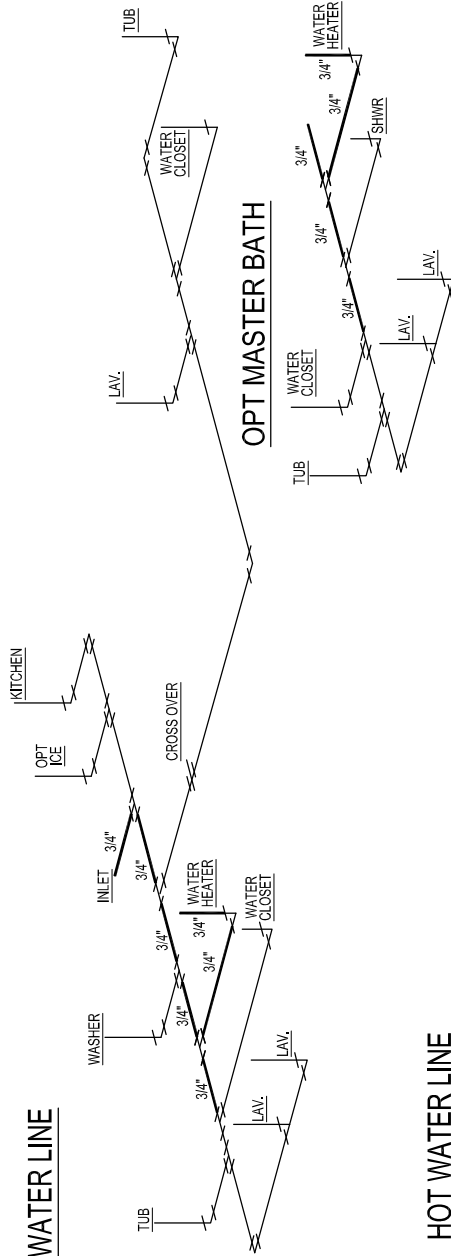


**SUPPLY AT WATER HEATER**

1. ALL PLUMBING FIXTURES HAVE SEPARATE SHUTOFF VALVES.
  2. WATER HEATER SHALL HAVE A SAFETY PAN WITH 1" INCH DRAIN TO EXTERIOR.
  3. WATER PIPES INSTALLED IN A WALL SHALL BE INSTALLED WITH INSULATION ON THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MINIMUM.
  4. DWV SYSTEM SHALL EITHER ABS OR PVC/DWV ETHYLENE (PEX), CPVC, OR COPPER, WHEN INSTALLED UNDER FLOORING SHALL BE INSTALLED TO THE MANUFACTURER'S SETTINGS 180 DEG F. THE POLYETHYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LIMITATIONS AND INSTRUCTIONS.
  5. BUILDING DRAIN AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS. SUBJECT TO LOCAL JURISDICTION.
  6. TUB ACCESS PROVIDED UNDER HOME UNLESS OTHERWISE NOTED.
  7. SHOWER STALLS SHALL BE COVERED W/ NON-ABSORBANT MATERIAL TO A HEIGHT OF 72 INCHES ABOVE FINISH FLOOR OR TO THE TOP OF THE SHOWER CURB OR PAN AND SHUTOFF WITHIN 2' OF WATER SUPPLY AT WATER HEATER.
  8. THIS UNIT MUST BE CONNECTED TO PUBLIC WATER SUPPLY AND SEWAGE SYSTEM IF THESE ARE AVAILABLE.
  9. PRESSURE OF 80 PSI. SEE SETUP MANUAL, SECTION 6.1.
- SEE O/A MANUAL FOR APPROVED PLUMBING FIXTURES SECTION 4 PAGE 5

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**WATER PLUMBING PLAN**

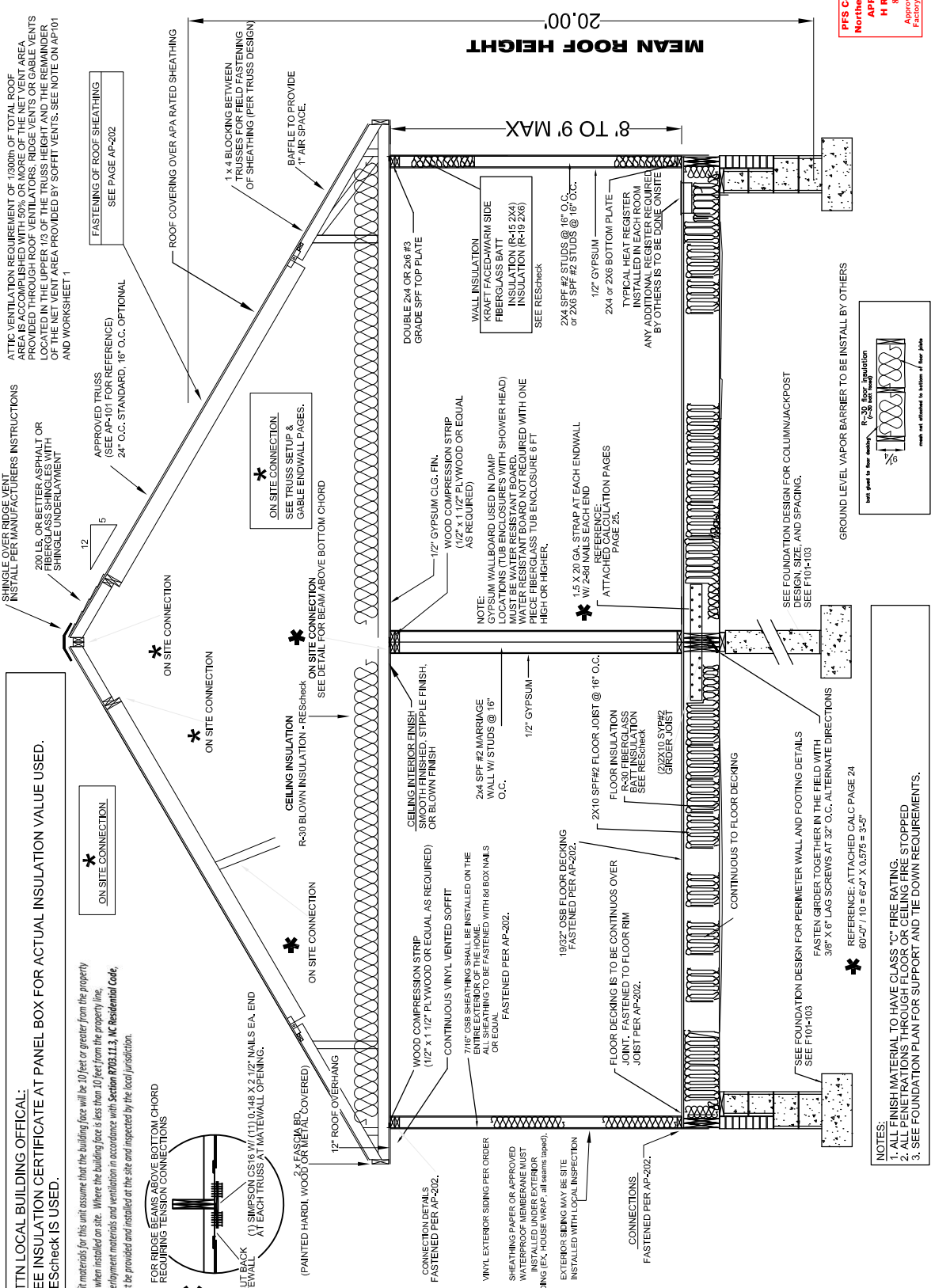
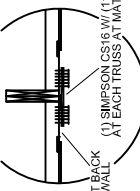
**NOTES:**  
 -ALL PIPE SIZES ARE 1/2" UNLESS OTHERWISE SPECIFIED.

<b>CHAMPION</b> MANUFACTURED BEAUTIFULLY™ 755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064 PHONE: 248-611-6500	PROJECT: <b>023-6032-02</b> <b>30'-4" x 60' 3 BD 2 BTH</b>	TITLE: <b>WATER LINE PLAN</b>	SHEET: <b>WP-101A</b>
	DRAWN BY: STAFF DATE: 03-28-17 SCALE: 3/16" = 1'-0"	FILENAME: 23-6032-02.MXD	PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL. PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION. COPYRIGHT © 2016-2017 BY CHAMPION

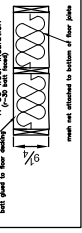
**\* ATTN LOCAL BUILDING OFFICIAL:**  
**SEE INSULATION CERTIFICATE AT PANEL BOX FOR ACTUAL INSULATION VALUE USED.**  
**RESHECK IS USED.**

*Soft materials for this unit assume that the building face will be 10 feet or greater from the property line when installed on site. Where the building face is less than 10 feet from the property line, underlayment materials and ventilation in accordance with Section R703.11.3, IRC Residential Code, must be provided and installed at the site and inspected by the local jurisdiction.*

**\* FOR RIDGE BEAMS ABOVE BOTTOM CHORD REQUIRING TENSION CONNECTIONS**



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**NOTES:**  
 1. ALL FINISH MATERIAL TO HAVE CLASS "C" FIRE RATING.  
 2. ALL PENETRATIONS THROUGH FLOOR OR CEILING FIRE STOPPED  
 3. SEE FOUNDATION PLAN FOR SUPPORT AND THE DOWN REQUIREMENTS.

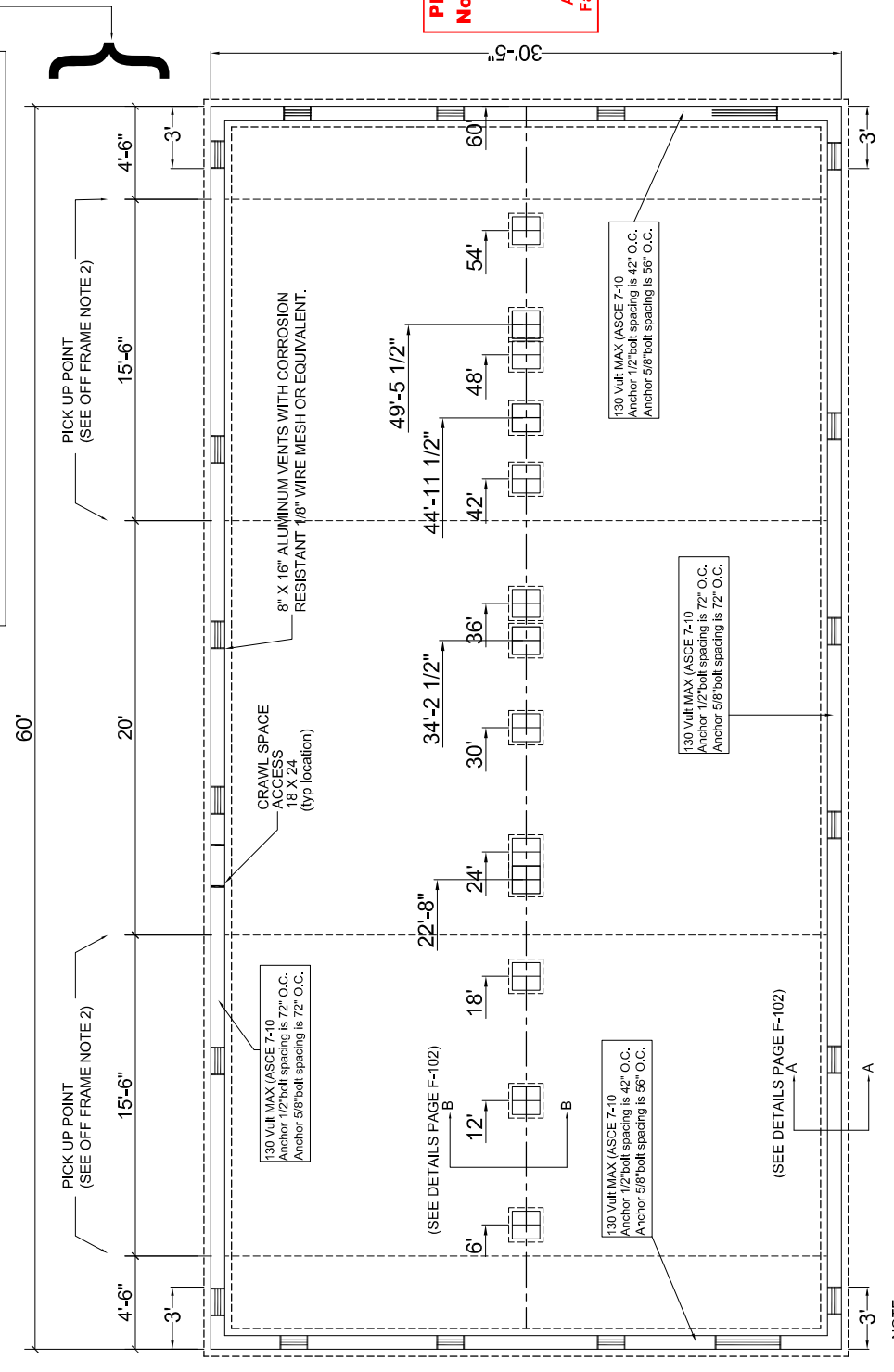
<b>CHAMPION</b> <b>MANUFACTURED BEAUTIFULLY™</b> 755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064 PHONE: 248-514-6500	PROJECT: <b>023-6032-02</b> <b>30'-4" x 60' 3 BD 2 BTH</b>	TITLE: <b>OFF-FRAME CROSS SECTION</b>	SHEET: <b>SE-101</b>
	DRAWN BY: STAFF DATE: 03-26-17 SCALE: NTS	FILENAME: 23-6032-02.NOD	PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL. PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION. COPYRIGHT © 1992-2018 BY CHAMPION



**FOUNDATION VENT TO PROVIDE 1sf OF VENT PER EACH 150sf OF CRAWL SPACE AREA**  
 1820 SF / 150 SF = 12.1  
 8'x16' (TYP) VENT = APPROX .5 SF  
 12.1 / .5 = APPROX. 24.2 VENTS

**NOTES:**  
 1. SPLICES IN MATE LINE GIRDERS MUST FALL ON A SUPPORT PIER.  
 2. PIERS OR POSTS TO BE SPACED PER CHART AND LOCATED UNDER OPENING COLUMN SUPPORTS WHEN OPENING WIDTH IS 4' OR GREATER.  
 3. FOR SEISMIC DESIGN CATEGORY D0, D1 & D2 FOUNDATION DESIGNED BY OTHERS

**OFF FRAME LIFTING NOTES:**  
 1. IF LIFTING POINTS ARE MORE THAN 32' FEET APART (TYPICAL OF UNIT LENGTHS GREATER THAN 64'), A THIRD AND FOURTH LIFTING POINT IS REQUIRED. THIRD AND FOURTH LIFTING POINT IS TO BE BETWEEN OUTER LIFTING POINTS AND MEET THE REQUIREMENTS OF NOTE 2.  
 2. PICK UP POINT MUST NOT BE LOCATED UNDER A WALL OPENING. IF AN OPENING CANNOT BE AVOIDED, A TEMPORARY WALL MUST BE INSTALLED.

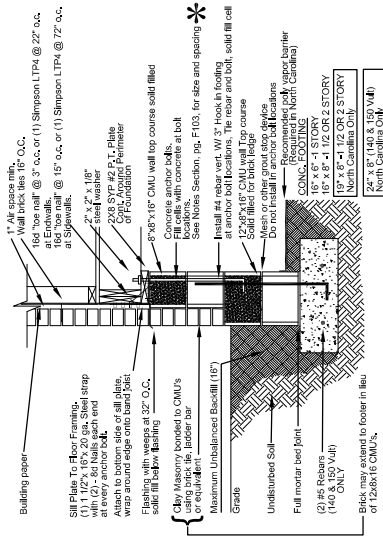


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**NOTE:**  
 1" ADDED TO OVERALL WIDTH TO ACCOMMODATE LIFT STRAPS

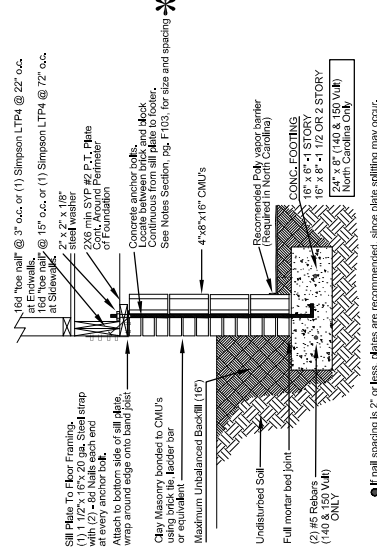
<b>CHAMPION</b> MANUFACTURED BEAUTIFULLY™ 755 W. BIG BEAVER ROAD, SUITE 100, TROY, MI 48064 PHONE: 248-511-5555	PROJECT: <b>023-6032-02</b> <b>30'-4" x 60' 3 BD 2 BTH</b>	SHEET: <b>F-101</b>
	DRAWN BY: STAFF DATE: 03-26-17 SCALE: NTS	TITLE: <b>FOUNDATION PLAN</b>

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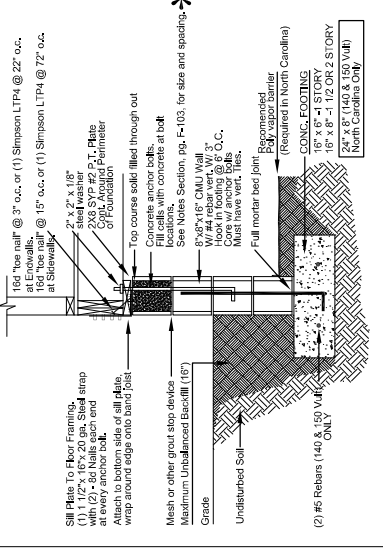
● If nail spacing is 2' or less, plates are recommended, since plate splitting may occur.

**SECTION A-A**  
**BRICK VENEER WALL**



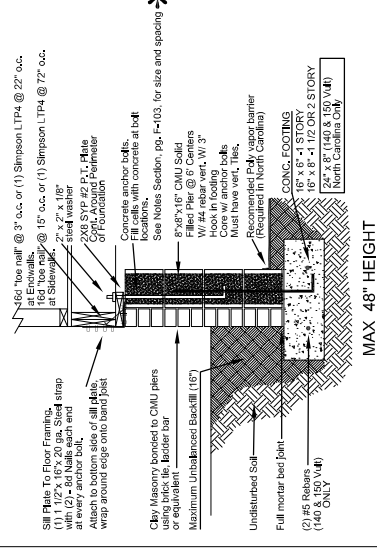
● If nail spacing is 2' or less, plates are recommended, since plate splitting may occur.

**SECTION A-A**  
**CONTINUOUS 8\"/>**



● If nail spacing is 2' or less, plates are recommended, since plate splitting may occur.

**SECTION A-A**  
**BLOCK WALL**



● If nail spacing is 2' or less, plates are recommended, since plate splitting may occur.

**SECTION A-A**  
**PIER & CURTAIN WALL**

<p><b>CHAMPION</b>  <b>MANUFACTURED BEAUTIFULLY™</b>          755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064          PHONE: 248-611-6555</p>	<p>PROJECT: <b>023-6032-02</b>  <b>30'-4" x 60' 3 BD 2 BTH</b></p>	<p>SHEET: <b>F-102</b></p>
	<p>MODIFICATIONS</p>	<p>TITLE: <b>FOUNDATION PLAN DETAILS</b></p>
<p>DRAWN BY: STAFF          DATE: 03-26-17          SCALE: NTS</p>	<p>FILENAME: 23-6032-02 MOD</p>	<p>PROPRIETARY AND CONFIDENTIAL          THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL          PROPERTY AND CONFIDENTIAL MATERIALS OF CHAMPION.          COPYRIGHT © 1992-2017 BY CHAMPION</p>

REFERENCE STRUCT. MANUAL SECTION 20

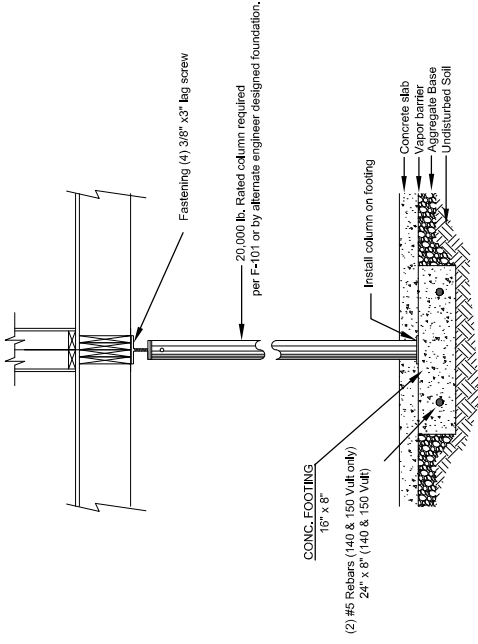
**TYPICAL FOUNDATION NOTES :**

- Foundation and its structural elements shall be capable of accommodating all superimposed live, dead, and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
- Lots shall be provided with adequate drainage and shall be graded so as to drain surface water away from foundation walls - by lot owner.
- Materials shall conform to applicable standards and codes.
- Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with code - 2500 psi concrete minimum.
- All exterior walls, bearing walls, columns, and piers shall be supported on continuous solid concrete footings which shall be of sufficient design to support safely the loads imposed as determined from the character of the soil, and shall in all cases, extend below the frost line. Top surface shall be level and bottom not exceeding 1 in 40 slope. Footings shall be not less than shown on drawings for 2000 psi soil.
- Foundation walls shall be constructed in accordance with the code and not less than as shown on the Drawings.
- Foundations shall extend not less than 12 inches below the finished natural grade or engineered fill and in no case less than the frost line depth. Footings on soil with a lower allowable soil pressure shall be designed in accordance with accepted engineering practice. However, where there is evidence that the groundwater table can rise to within 6 inches of the finished grade at the building perimeter or where there is evidence that the surface water does not readily drain from the building site, the building official may require that the grade in the under-floor space be as high as the outside finished grade, unless an approved drainage system is provided. Termit shields and/or protection shall be provided as per code. Local and state requirements for footings may exceed that shown on drawings. If there are any questions, contact your local building inspections department.
- Crawl space ventilation and access space shall be by openings in the foundation walls {cross-ventilation as required by code and/or as follows}. Provide 1 sq. Ft. of ventilation area for each 150 sq. Ft. of crawl space floor area. Use 8"x16" foundation vents with corrosion resistant wire mesh (1/8" mesh) or equal.
- Mortar shall be type "m" or "s".
- Minimum soil bearing capacity shall be 2000 psf.
- Anchorbolt length to be: masonry wall-20".
- Poured concrete footing w/two #5 rebar (120 & 130 only) continuous w'a minimum 25" lap. Place bars 3" from bottom.
- This foundation plan is provided for reference as a typical. Actual foundation conditions must be evaluated for applicability if this plan is to be used. Alternate foundation plans may be designed by others in accordance with the requirements of the jurisdiction having authority.

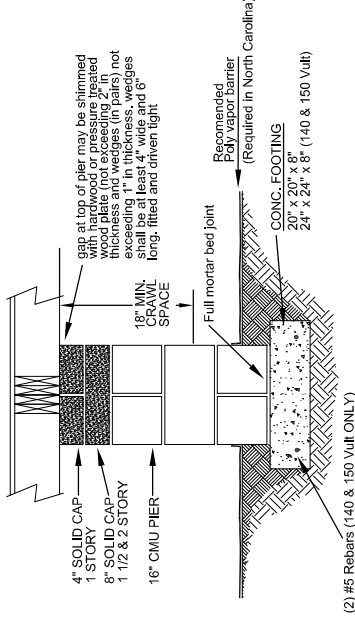
\* Vertical wall reinforcement or continuous anchorage is as follows:

- Sidewall anchor bolt spacing see F-101
- Endwall anchor bolt spacing see F-101

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**SECTION B-B**  
**BASEMENT WALL**



**SECTION B-B**  
**PIER & CURTAIN WALL, BLOCK WALL & BRICK VENEER WALL**  
**(where required on module mate lines)**

**CHAMPION**  
**MANUFACTURED BEAUTIFULLY™**  
 755 W. BIG BEAVER ROAD, SUITE 1000, TROY, MI 48064  
 PHONE: 248-511-6550

PROJECT: 023-6032-02  
 30'-4" x 60' 3 BD 2 BTH  
 DRAWN BY: STAFF  
 DATE: 03-26-17  
 SCALE: NTS

MODIFICATIONS

TITLE: FOUNDATION PLAN DETAILS  
 FILENAME: 23-6032-02.NOD

SHEET: F-103  
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# 2015 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	15.00
Below-Grade Wall	0.00
Floor	30.00
Ceiling / Roof	30.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
Window	0.34	0.28
Door	0.34	0.28

Heating & Cooling Equipment	Efficiency
Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

Name: \_\_\_\_\_ Jon Tyndall \_\_\_\_\_ Date: \_\_\_\_\_ 7-15-20 \_\_\_\_\_

Comments

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