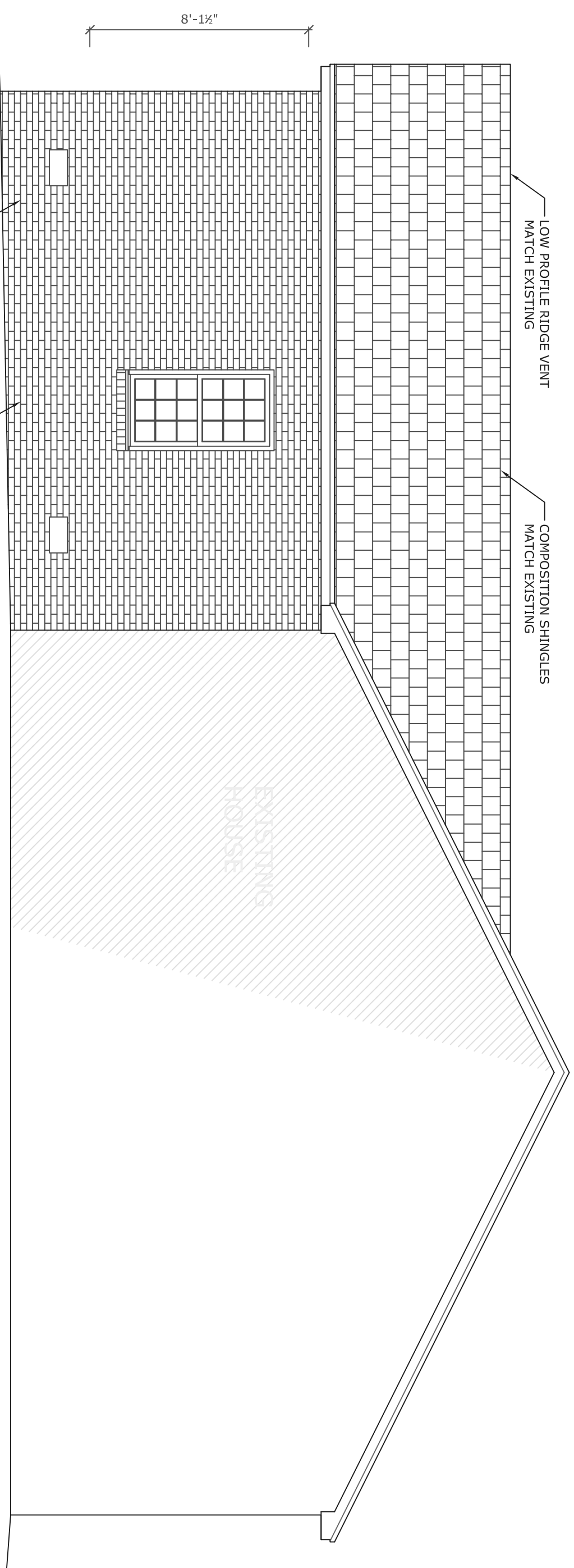
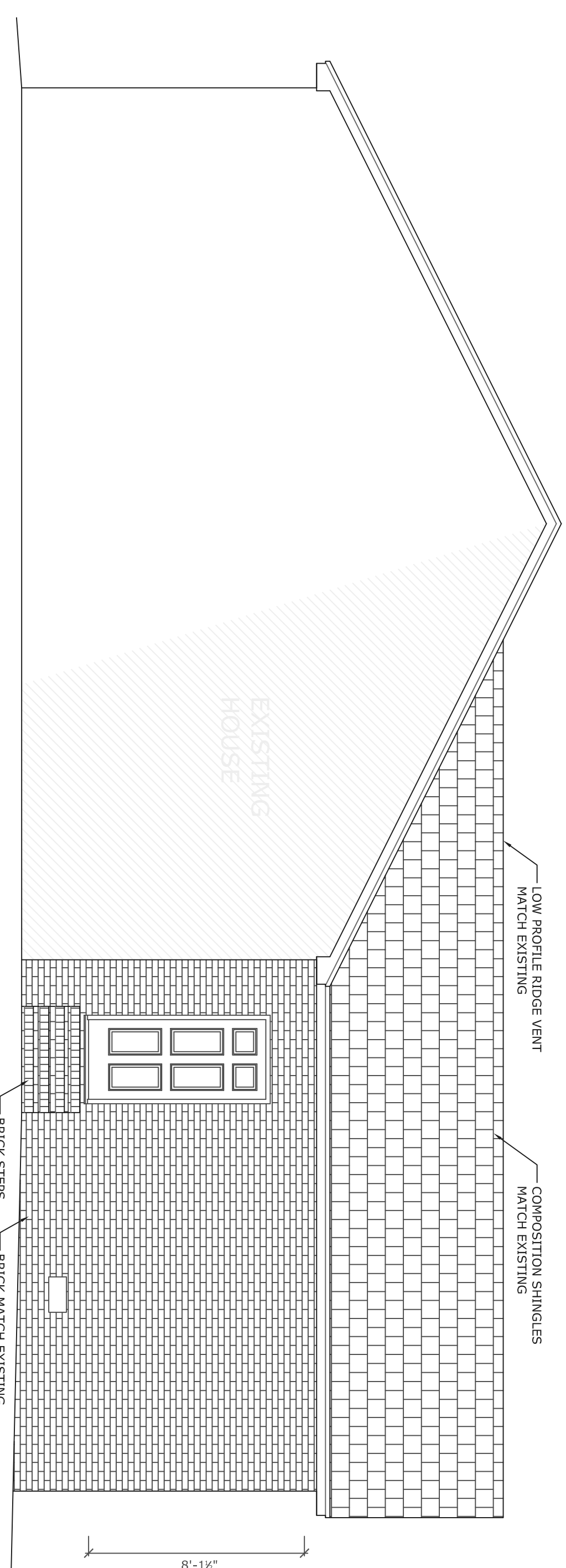


REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL DATA

ROOF/ATTIC VENTILATION INFORMATION

TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED.
TOTAL ATTIC SPACE AREA: 743
CONTRACTOR SHALL ALLOW FOR ADEQUATE ROOF VENTILATION IN ACCORDANCE WITH THE 2012 IRC RESIDENTIAL BUILDING CODE SECTION 806.1 AND 806.2.

FOUNDATION VENTILATION INFORMATION

100% OF CRAWL SPACE SHALL BE COVERED w/POLY VAPOR BARRIER.
ONE 8"x16" VENT IS 0.94
TOTAL SQUARE FOOT VENTING FOR EACH 150sf OF CRAWL SPACE
TOTAL CRAWL SPACE AREA: 743 SHOWN 6
BUILDER SHALL ALLOW FOR APPROPRIATE FOUNDATION CRAWL SPACE VENTILATION AS REQUIRED BY STATE 2012 RESIDENTIAL BUILDING CODE, AND AS APPROPRIATE FOR ANY REVISIONS OR NEW INTERNATIONAL CODE ADOPTED HEREAFTER.

PRESCRIPTIVE BUILDING ENVELOPE REQUIREMENTS

2018 INTERNATIONAL BUILDING CODE CHAPTER 11 ENERGY EFFICIENCY
TABLE N1102.1.2(4)(a)(1,2)
FLOOR ASSEMBLY: Simpson, Johnson, Gablehead 2A / 1/2" x 4" x 1/2" GYPSUM BOARD
CEILING ASSEMBLY: Simpson, Johnson, Gablehead 2A / 1/2" x 4" x 1/2" GYPSUM BOARD
GLAZED WINDOW/DOOR: U-0.25 / 0.40
GLAZED PARTITION: U-0.25 / 0.40
CEILING FINISH: 38 R-13/50mm / 49
MASS WALL R-VALUE: R/13 / 813
FLOOR R-VALUE: 19 / 10.2R
SLAB R-VALUE: 10.2R / 10.2R

DATE:

24JUNE2020

SHEET INDEX

- 1 ELEVATIONS, GENERAL DATA
- 2 FLOOR PLAN, FOUNDATION PLAN, WALL SECTIONS
- 3 SITE PLAN

SQUARE FOOTAGE

GARAGE 743 SF
TOTAL 743 SF

CLG HGTS

ADDITION 8'
REC ROOM N/A
BASEMENT FLOOR N/A
ROOF HGT NO CHANGE
ASSUMED MEAN ROOF HGT NO CHANGE

DRAWN BY: DKR

*A Master Suite
for
Mr. and Mrs. Johnson*

Whittenton BUILDERS INCORPORATED
863 Neighbors Rd, Dunn, NC 28334
Ph: (919) 427-8465
Fax: (919) 894-5916

Drawn by
David Rogers
Colum, NC
919-653-8867

JOB NO: DKR20008
SHEET NO: