

**NOTICE TO CONTRACTOR**  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

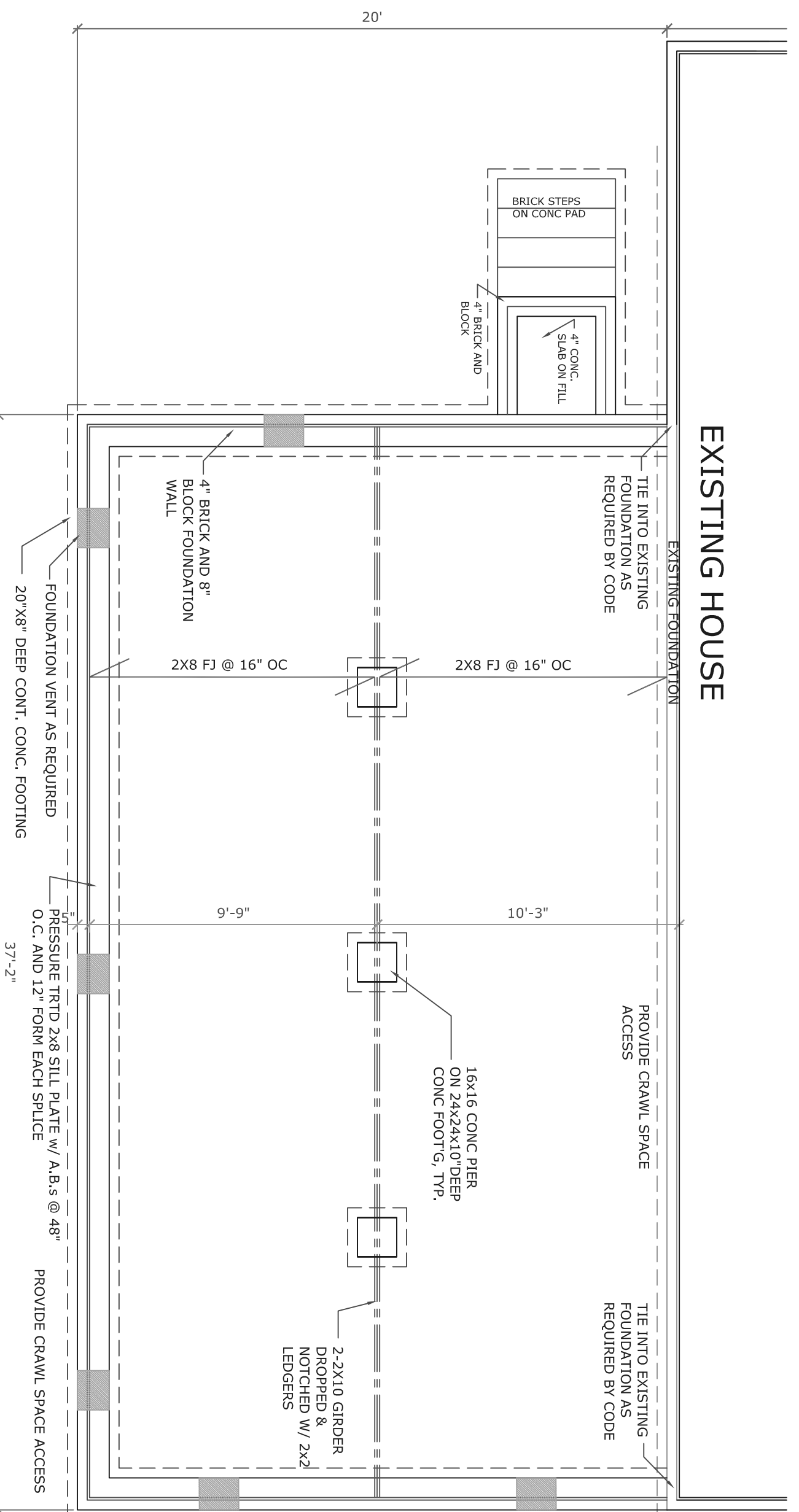
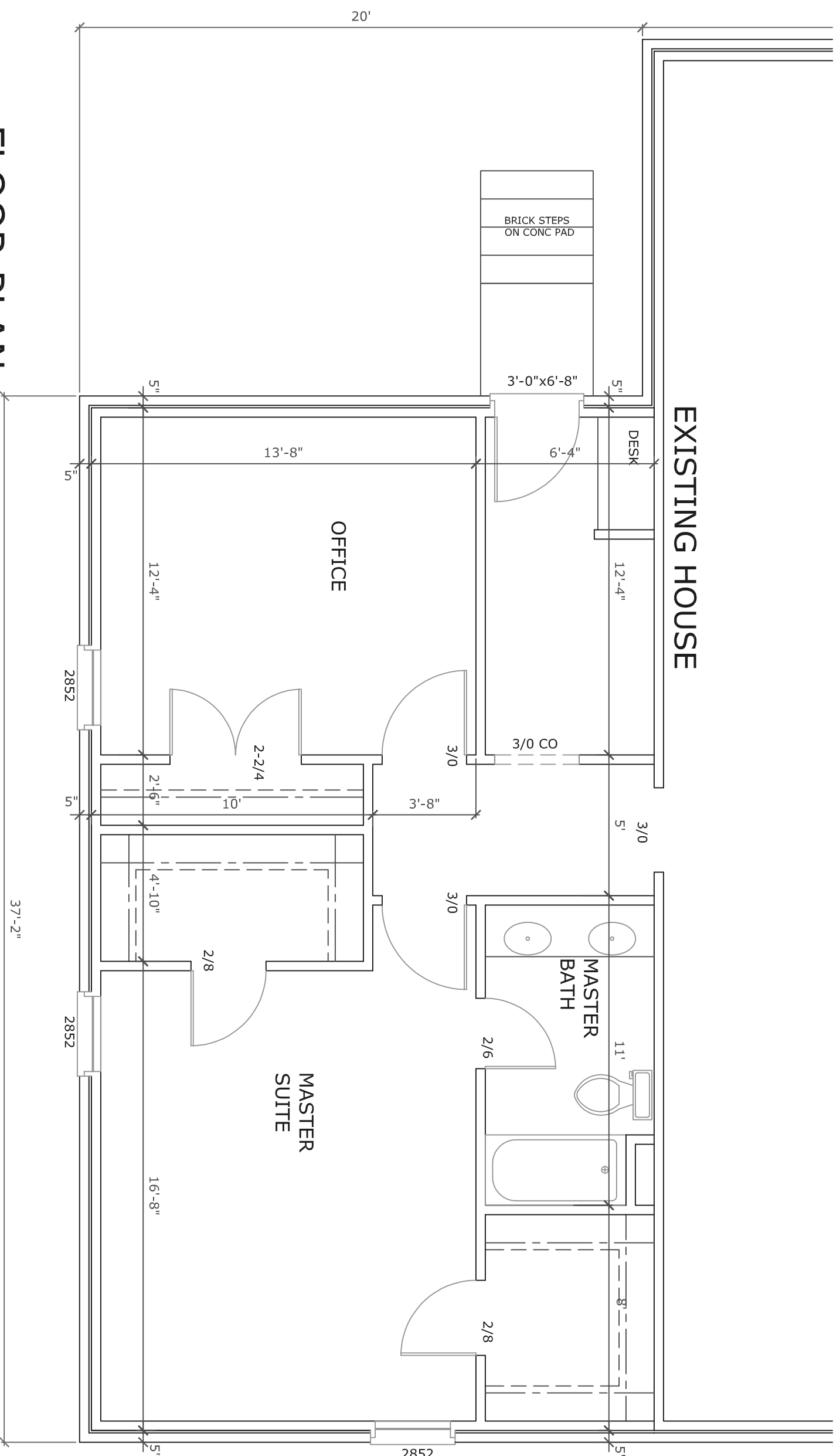
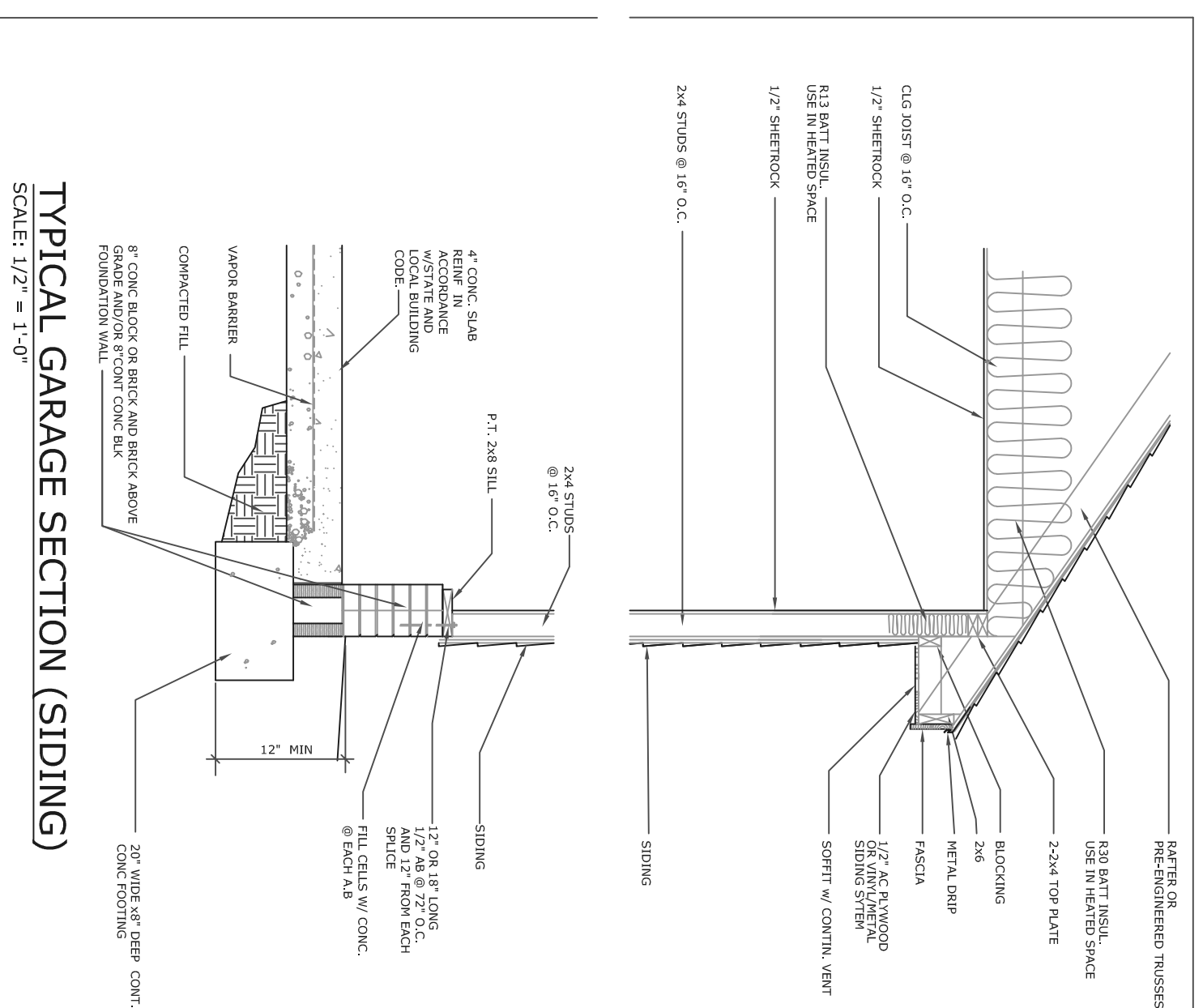
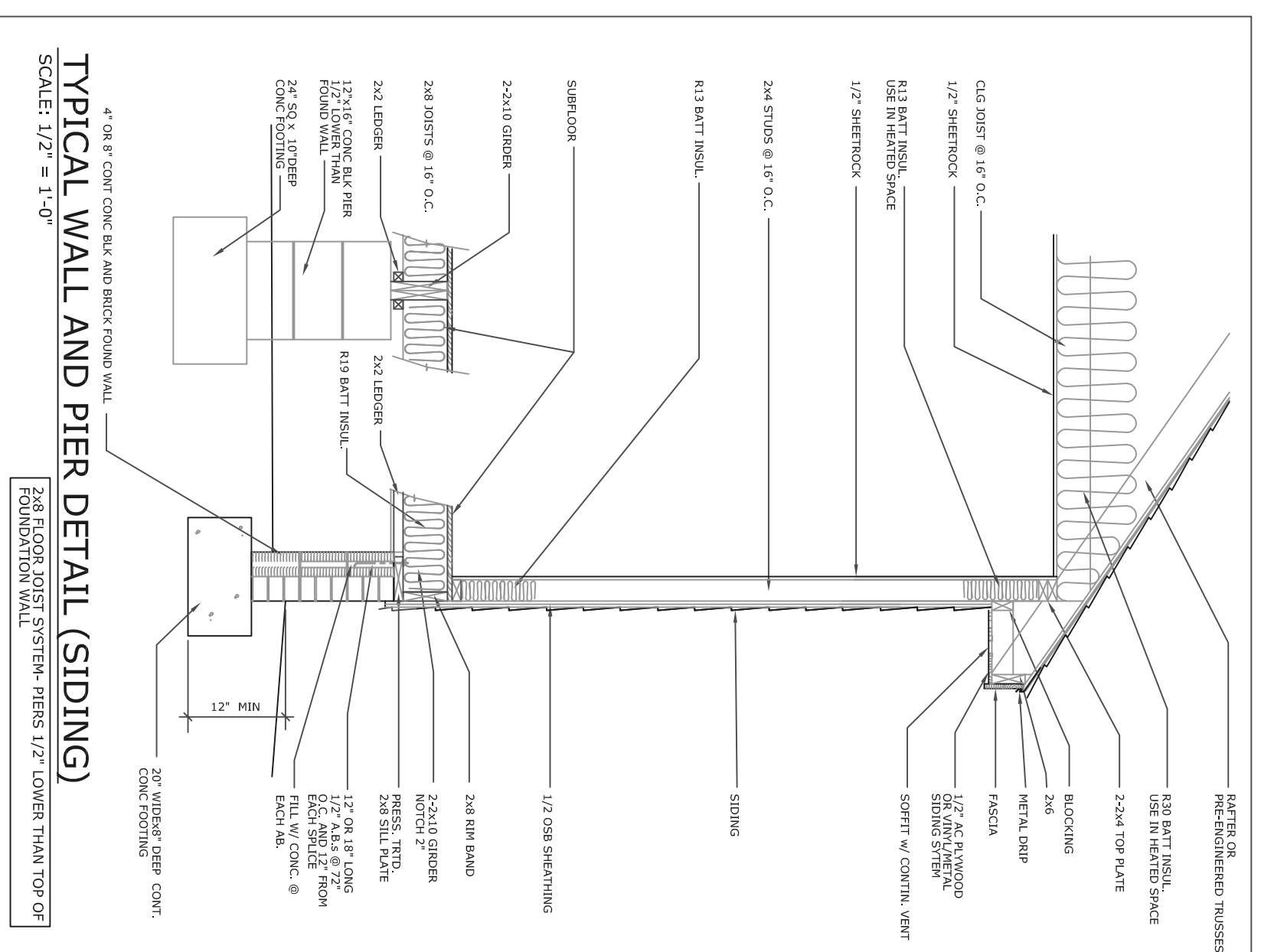
**APPROVED**  
Limited building only review  
Permit holder responsible for  
full compliance with the code

08/07/2020

*Boydton*



SEE ENGINEER SPECIFICATIONS FOR ALL STRUCTURALLY REQUIRED ENGINEERING AND DETAILS

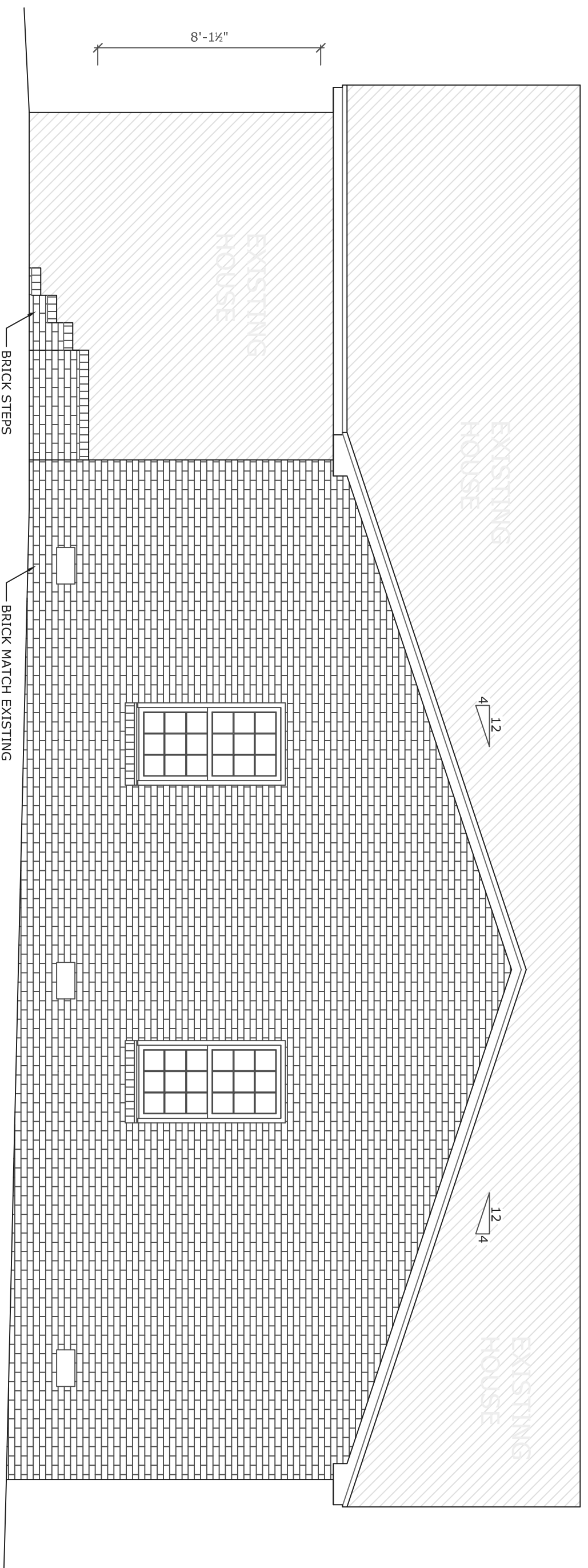


*A Master Suite  
for  
Mr. and Mrs. Johnson*

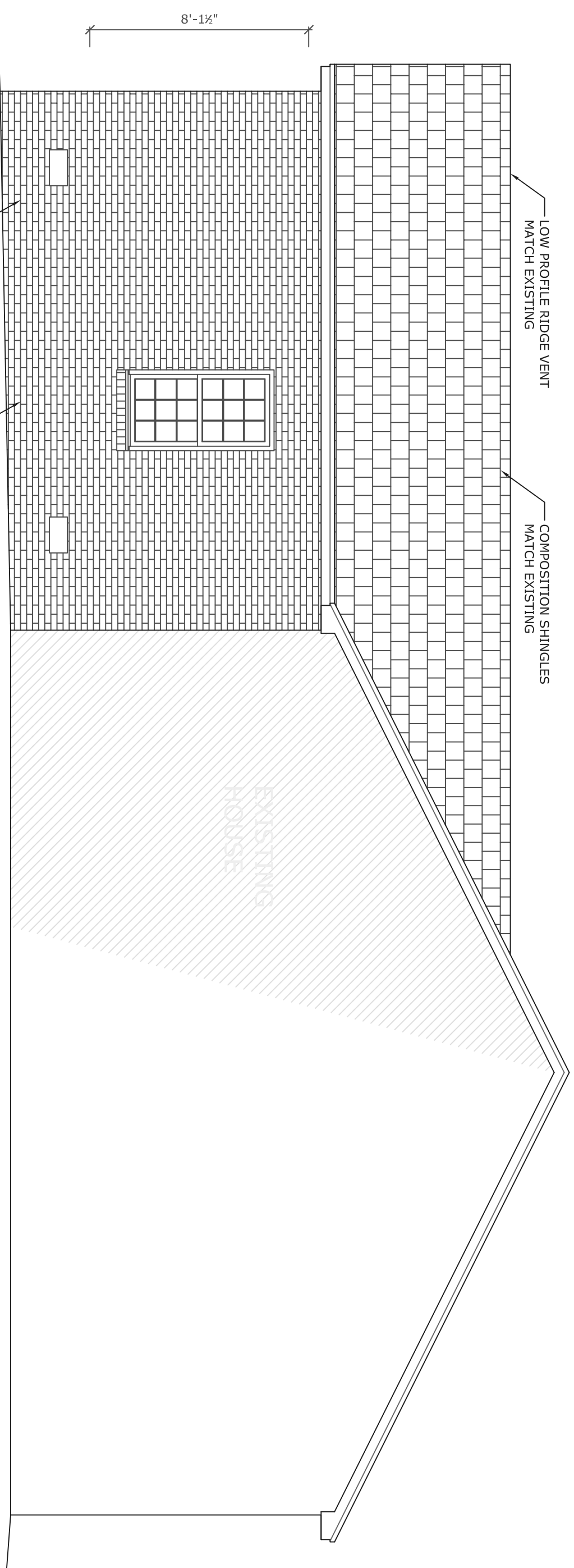


David Rogers  
Contractor  
919.453.5867

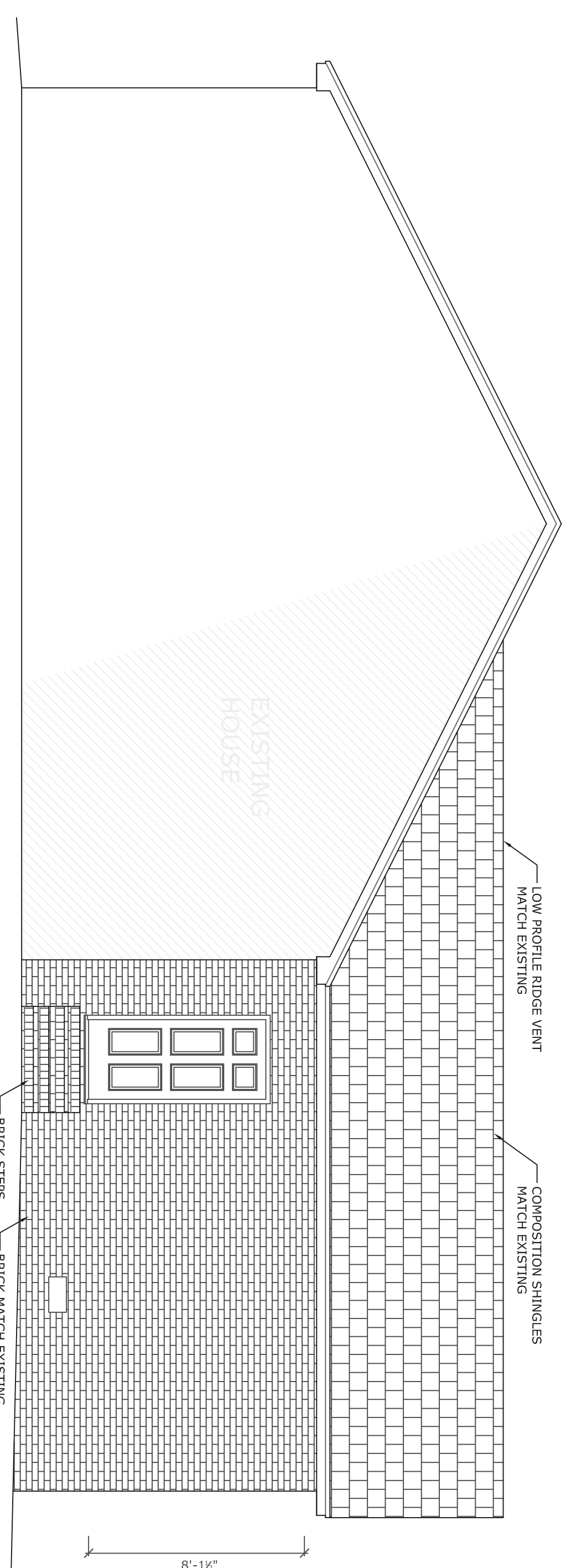
Job No: DKR20008  
Sheet No:



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**GENERAL DATA**

**ROOF/ATTIC VENTILATION INFORMATION**

TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED.  
TOTAL ATTIC SPACE AREA: 743  
CONTRACTOR SHALL ALLOW FOR ADEQUATE ROOF VENTILATION IN ACCORDANCE WITH THE 2012 IRC RESIDENTIAL BUILDING CODE SECTION 806.1 AND 806.2.

**FOUNDATION VENTILATION INFORMATION**

100% OF CRAWL SPACE SHALL BE COVERED w/POLY VAPOR BARRIER.  
ONE 8"x16" VENT IS 0.94  
TOTAL SQUARE FOOT VENTING FOR EACH 150sf OF CRAWL SPACE  
TOTAL 8"x16" FOUND VENTS REQ'D: 6 SHOWN 6  
BUILDER SHALL ALLOW FOR APPROPRIATE FOUNDATION CRAWL SPACE VENTILATION AS REQUIRED BY STATE 2012 RESIDENTIAL BUILDING CODE, AND AS APPROPRIATE FOR ANY REVISIONS OR NEW INTERNATIONAL CODE ADOPTED HEREAFTER.

**PRESCRIPTIVE BUILDING ENVELOPE REQUIREMENTS**

2018 INTERNATIONAL BUILDING CODE CHAPTER 11 ENERGY EFFICIENCY  
TABLE N1102.1.2(4)(a), (1.2)  
FLOOR ASSEMBLY: Simpson, Johnson, Gablehead 2A / 1/2" x 4" x 1/2" GYPSUM BOARD  
CEILING ASSEMBLY: Simpson, Johnson, Gablehead 2A / 1/2" x 4" x 1/2" GYPSUM BOARD  
GLAZED FENESTRATION SHIC: 0.25 / 0.40  
GLAZED FENESTRATION SHGC: 0.38 / 0.49  
MASS WALL R-VALUE: 8/13 / 8/13  
FLOOR R-VALUE: 19 / 10.2R  
SLAB R-VALUE: 10.2R / 10.2R

**DATE:**

24JUNE2020

**SHEET INDEX**

- 1 ELEVATIONS, GENERAL DATA
- 2 FLOOR PLAN, FOUNDATION PLAN, WALL SECTIONS
- 3 SITE PLAN

**SQUARE FOOTAGE**

GARAGE 743 SF  
TOTAL 743 SF

**CLG HGTS**

ADDITION 8'  
REC ROOM N/A  
BASEMENT FLOOR N/A  
ROOF HGT NO CHANGE  
ASSUMED MEAN ROOF HGT NO CHANGE

DRAWN BY: DKR

*A Master Suite  
for  
Mr. and Mrs. Johnson*

**Whittenton BUILDERS INCORPORATED**  
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Drawn by  
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Colum, NC  
919-653-8867

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