



Initial Application Date: 1/24/19

Application # BRES1901-0044

CU# _____

COUNTY OF HARNETT RESIDENTIAL LAND USE APPLICATION

Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 ext:2 Fax: (910) 893-2793 www.harnett.org/permits

A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) & SITE PLAN ARE REQUIRED WHEN SUBMITTING A LAND USE APPLICATION

LANDOWNER: Benita Houston Mailing Address: 512 Homestead Lane
City: Angier State: NC Zip: 27501 Contact No: 252 560 9946 Email: badrian.houste@gmail.com

APPLICANT: Benita Houston Mailing Address: 512 Homestead Lane
City: Angier State: NC Zip: 27501 Contact No: 252 560 9946 Email: badrian.houste@gmail.com
*Please fill out applicant information if different than landowner

ADDRESS: 512 Homestead Lane PIN: _____

Zoning: _____ Flood: _____ Watershed: _____ Deed Book / Page: _____

Setbacks - Front: 166' Back: 100' Side: 92' Corner: _____

PROPOSED USE:

- SFD: (Size _____ x _____) # Bedrooms: _____ # Baths: _____ Basement (w/wo bath): _____ Garage: _____ Deck: _____ Crawl Space: _____ Slab: _____ Slab: _____
(Is the bonus room finished? () yes () no w/ a closet? () yes () no (if yes add in with # bedrooms))
- Mod: (Size _____ x _____) # Bedrooms _____ # Baths _____ Basement (w/wo bath) _____ Garage: _____ Site Built Deck: _____ On Frame _____ Off Frame _____
(Is the second floor finished? () yes () no Any other site built additions? () yes () no)
- Manufactured Home: _____ SW _____ DW _____ TW (Size _____ x _____) # Bedrooms: _____ Garage: _____ (site built? _____) Deck: _____ (site built? _____)
- Duplex: (Size _____ x _____) No. Buildings: _____ No. Bedrooms Per Unit: _____
- Home Occupation: # Rooms: _____ Use: _____ Hours of Operation: _____ #Employees: _____
- Addition/Accessory/Other: (Size 14 x 36) Use: storage Bldng Closets in addition? () yes () no

Water Supply: County _____ Existing Well _____ New Well (# of dwellings using well _____) *Must have operable water before final
(Need to Complete New Well Application at the same time as New Tank)

Sewage Supply: _____ New Septic Tank _____ Expansion _____ Relocation Existing Septic Tank _____ County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Does owner of this tract of land, own land that contains a manufactured home within five hundred feet (500') of tract listed above? () yes () no

Does the property contain any easements whether underground or overhead yes () no

Structures (existing or proposed): Single family dwellings: Existing Manufactured Homes: _____ Other (specify): Storage/decks proposed

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

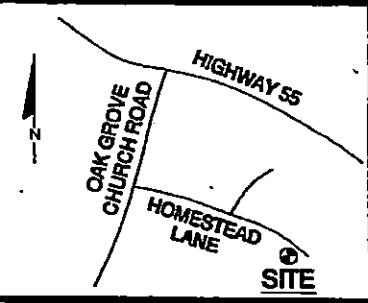
Benita Houston
Signature of Owner or Owner's Agent Date 1/24/2019

It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.
*This application expires 6 months from the initial date if permits have not been issued**

APPLICATION CONTINUES ON BACK

strong roots • new growth

Storage now others are Future



- NOTES**
1. LOT IS SUBJECT TO HARNETT COUNTY AND CITY OF ANGIER ZONING REQUIREMENTS.
 2. LOT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
 3. LOT IS INDEXED HARNETT COUNTY PIN#0681-79-1828-000.
 4. LOT IS ADDRESSED AS 512 HOMESTEAD LANE, ANGIER, NC.
 5. NO TITLE SEARCH RECEIVED AT TIME OF SURVEY.
 6. INFORMATION SHOWN BASED ON FIELD LOCATED ABOVE GROUND STRUCTURES AND REFERENCES LISTED.
 7. PRIOR TO LAND DISTURBING ACTIVITIES HAVE UNDERGROUND LINES DETERMINED BY PROFESSIONALS.
 8. AREA COMPUTED BY COORDINATE METHOD. NO MONUMENT REPORTED WITHIN 2000' OF SITE.
 9. DISTANCES SHOWN ARE HORIZONTAL GROUND MEASURED IN FEET UNLESS OTHERWISE NOTED.
 10. THE SOLE PURPOSE OF THIS DRAWING IS TO DEPICT THE EXISTING ABOVE GROUND FEATURES AS FIELD LOCATED ONLY. BUILDING SETBACKS ARE TO FOUNDATION OF STRUCTURE.
 11. CONTACT KRAUSE SURVEYING ASSOCIATES FOR ANY DESIRED ON OR OFFSITE LOCATIONS, REVISIONS OR COPIES IN THE FUTURE. SITE WAS STILL UNDER CONSTRUCTION AT TIME OF SURVEY. NO DRIVEWAY OR WALKWAYS EXIST.
 12. IRONS PIPES FOUND AT OR NEAR GROUND SURFACE UNLESS OTHERWISE NOTED.

VICINITY MAP (NOT TO SCALE)

LEGEND

- IPS ○ IRON PIPE SET
- IPF ○ IRON PIPE FOUND
- ERB ○ EXISTING REBAR
- PKNF ○ PK NAIL FOUND
- GW ○ GROUND WATER
- CC ○ COMPUTED CORNER
- WM ○ WATER METER
- WFH ○ WATER HYDRANT
- BFP ○ BACK FLOW PREVENTER
- LP ○ LAMP POST
- UP ○ UTILITY POLE
- TRAN ○ TRANSFORMER
- x— EXISTING FENCE
- UPED ○ UTILITY PEDISTAL
- WSS ○ WOOD STAKE SET
- WSBO ○ WOOD STAKE BY OTHERS
- UGPT ○ UNDER GROUND PROPANE TANK
- SSMH ○ SANITARY SEPTIC MANHOLE
- CO ○ SANITARY SEWER CLEANOUT
- MB ○ MAILBOX
- BG ○ BELOW GROUND
- AG ○ ABOVE GROUND
- — — REINFORCED CONCRETE PIPE
- NFNS ○ NOT FOUND NOT SET
- EOP ○ EDGE OF PAVEMENT

RAYO USE Shed
Chaszewski 01/24/17
 LOT#16
 DB 848 PG 518
 PB.C PG 128B
 PIN#0682-70-0264.000

PATRICK & KATHRYN WALLACE
 DB 1244 PG 145
 PB F PG 772D
 PIN#0681-69-9919.000

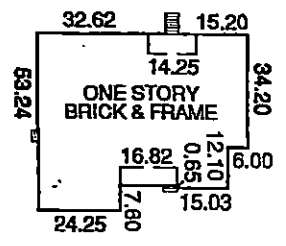
OTIS & GLENN WALLACE
 DB 2337 PG 304
 PIN#0682-60-3009.000

LOT#18
 DB 3470 PG 300
 PB.C PG 128B
 PIN#0681-79-1828.000
 144,220 SF+-
 3.311 ACRES+-

LOT#20
 DB 2744 PG 308
 PB C PG 128B
 PIN#0681-79-1565.000

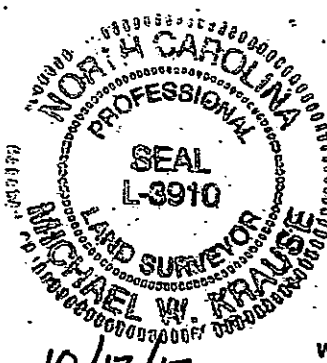
LOT#26
 DB 2042 PG 441

HOUSE DETAIL



REFERENCES

- DB 3470 PG 300
 - DB 2744 PG 308
 - DB 2042 PG 441
 - DB 2337 PG 304
 - DB 1244 PG 145
 - DB 848 PG 518
 - PB C PG 128B
 - PB F PG 772D
- HARNETT COUNTY GIS & REGISTRY ONLINE SERVICES



F- Fire Pit Place & landscape.
 B- Future deck off storage building 18' x 16'.
 C8.0 = Future storage buildings.
 CSD = 14' x 36' each.
 A = Existing Home



GREG ROBINSON, P.E.
CONSULTING ENGINEER

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Raleigh, North Carolina 27615
(919) 846-4752 (919) 847-0455 fax
greg@gar-pe.com



751 South Church Street
Sanford, North Carolina 27252
Call: (919) 770-4762
payrej1@batmail.com



GARPE Project #15038

DRAWING INDEX:

- C1 Cover Sheet and General Notes
- 2 Floor and Wall Framing Plans
- 3 Roof Framing Plans and Exterior Elevations
- 4 Wall Framing Elevations and Wall Section
- D1 Details
- D2 Details

GENERAL NOTES AND OUTLINE SPECIFICATIONS

01000 GENERAL

1. Design Live Loads
 - Floor 40 psf
 - Roof 20 psf
2. Ground Snow Loads (2012 NC Building Code, 2009 IRC, ASCE 7-05)
Ground Snow Load: 15 psf
3. Wind loads (2012 NC Building Code, 2009 IRC, ASCE 7-05)
Basic Wind Velocity: 110 mph; Exposure: C; Importance Factor, I: 0.87
4. Earthquake Loads (2012 NC Building Code, 2009 IRC, ASCE 7-05)
Exempt from seismic requirements: R301.2.2.
5. Lateral design controlled by Wind Loads.

02000 FOUNDATION

1. Design soil bearing capacity: 2,000 psf (presumed).

06090 PRE-ENGINEERED WOOD CONNECTORS

1. Connectors shall be hot-dipped galvanized or electro-plated galvanized with a minimum coating of 690.
2. Nails shall be "common" unless otherwise noted in the drawings.

06110 WOOD FRAMING

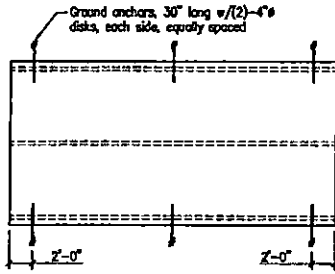
1. Unless noted otherwise: kiln-dried, S-P-F, #2 grade, surfaced dry, 15 percent maximum moisture content.
Floor joists: preservative-treated, kiln-dried, Southern Pine, #2 grade, surfaced dry, 15 percent maximum moisture content.
Wall studs: preservative treated, kiln-dried, Southern Pine, #2 grade, surfaced dry, 18 percent maximum moisture content.
2. Nail sizes: Pennyweight Length Diameter

	(inches)	(inches)
8d	2.5	0.131
10d	3	0.148
12d	3.25	0.168

06120 STRUCTURAL WOOD PANELS

1. Sheathing shall conform to the grading rules of U.S. Product Standard PS 1, latest edition, and shall have appropriate grade trade mark of an American Plywood Association approved agency on each plywood panel. Sheathing shall be APA rated sheathing in thicknesses and span ratings shown drawings. Sheathing shall be applied in full sheets or in largest pieces practical for the area being covered.
2. Particleboard sheathing: ANSI A208.1 APA Oriented Strand Board; wood flakes set with waterproof resin binder; unsanded faces.
3. Secure roof sheathing perpendicular to framing members with ends staggered and sheet ends over firm bearing.
4. Secure wall sheathing with long dimension parallel to wall studs, with ends over firm bearing and staggered.
5. Install sheathing two span continuous minimum.

**14'-0" x 30'-0" to 36'-0"
A-Frame Shed**



Ground Anchors

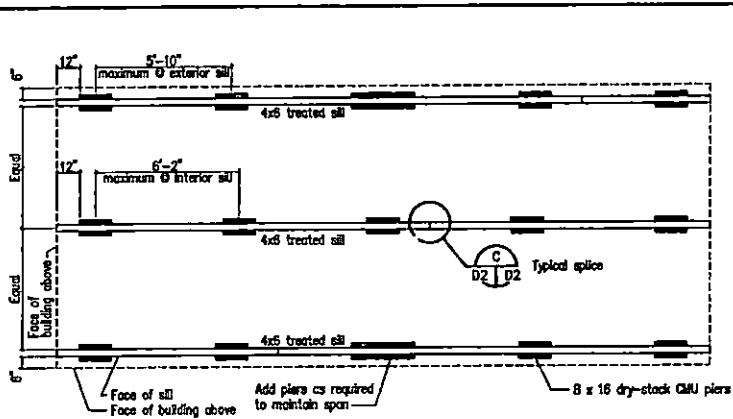
Scale: 1/8"=1'-0"

Ground Anchor Schedule

Building Length	Number of Ground Anchors Each Long Side
30 ft - 36 ft	3
12 ft - 28 ft	2

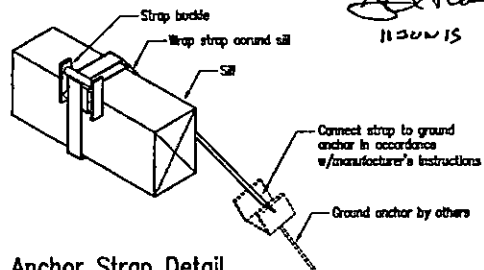
- Notes:
1. Minimum uplift capacity of each anchor: 2,300 pounds
 2. Install ground anchors and strapping in accordance with manufacturer's instructions

Location of window/doors custom to customer



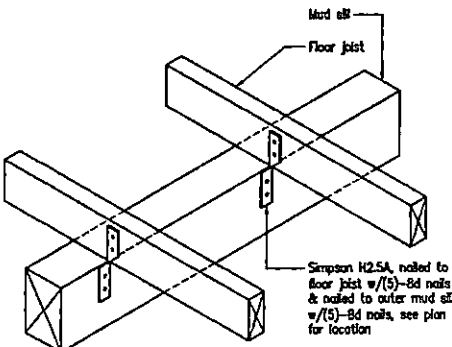
Floor Framing and Foundation Pier Plan, 14' x 36' (maximum)

Scale: 1/4"=1'-0"



Anchor Strap Detail

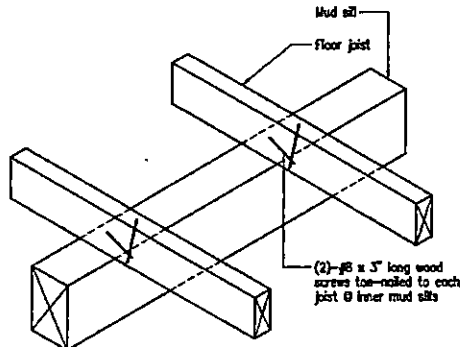
Scale: 1 1/2"=1'-0"



A Floor Joist to Outer Mud Sill

D2 Connection Detail

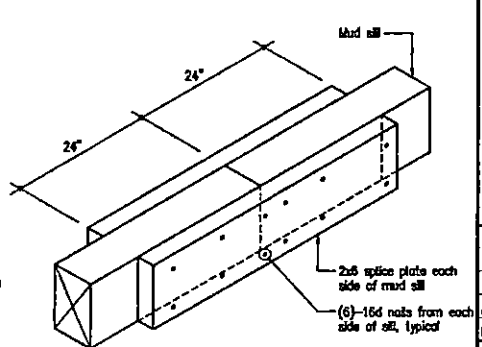
Scale: 1 1/2"=1'-0"



B Floor Joist to Inner Mud Sill

D2 Connection Detail

Scale: 1 1/2"=1'-0"



C Mud Sill Splice Detail

D2

Scale: 1 1/2"=1'-0"

ALSO SHED Dept

CHAS. ROBINSON, P.E.
 REGISTERED ENGINEER

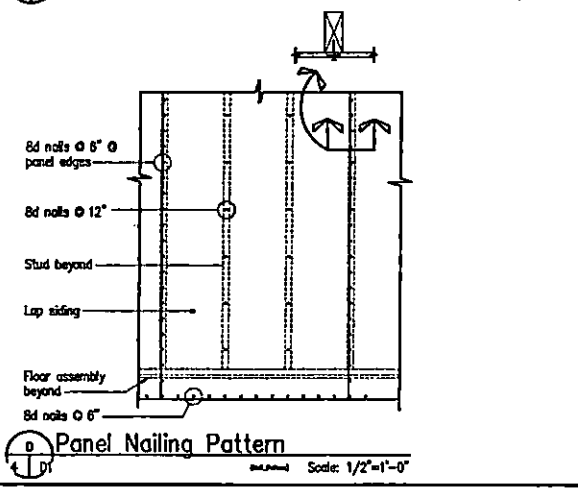
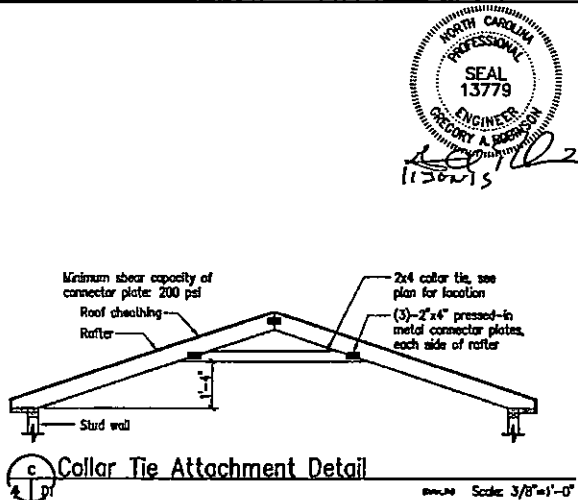
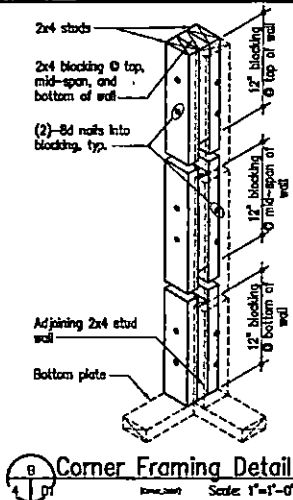
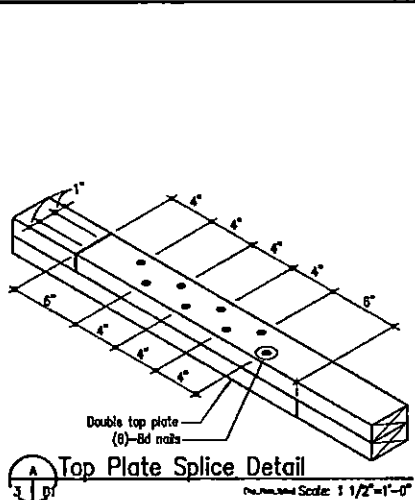
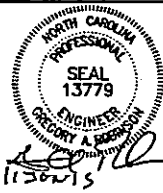
4516 S.W. Parkwood, Suite 402A
 Raleigh, North Carolina 27615
 (919) 872-1111



14' x 30' to 36' x 6' Storage Shed
Drawn: GAR
Checked: GAR
Date: 01JUN15
Rev:
Rev:

Garpe Job # 15038

D2
6 of 6



ALPHASHEETS
Depot
Construction

GARY WILSON, P.E.
REGISTRATION NUMBER
6512 Six Forks Road, Suite 400A
Blowing Rock, North Carolina 28610
PH: 828-293-1111 FAX: 828-293-1112

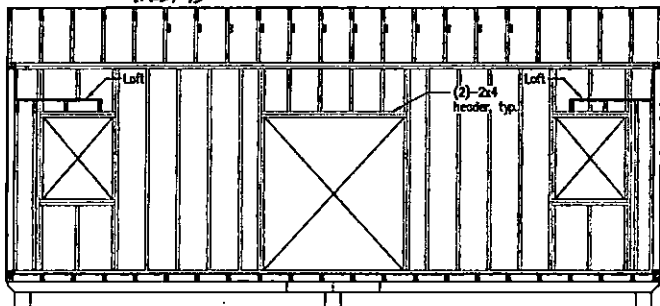
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D1
5 of 6

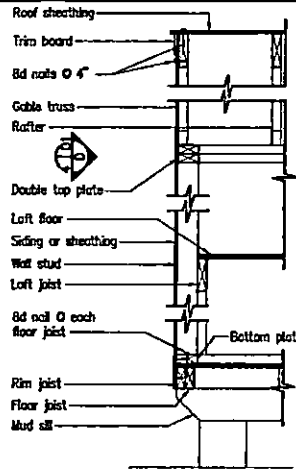


11/20/15



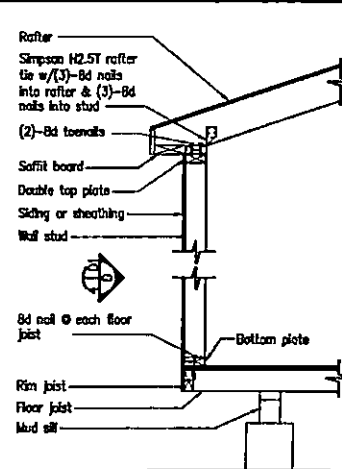
C Wall Framing Elevation

Scale: 1/4"=1'-0"



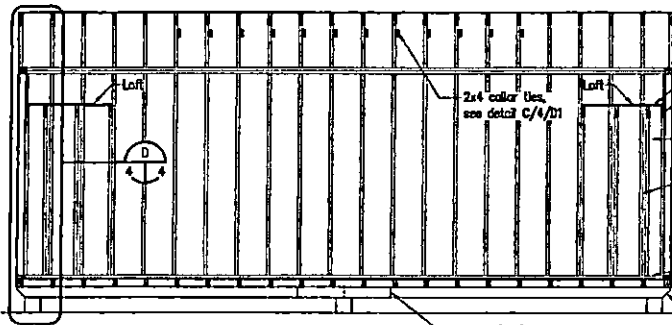
D Wall Section

Scale: 3/4"=1'-0"



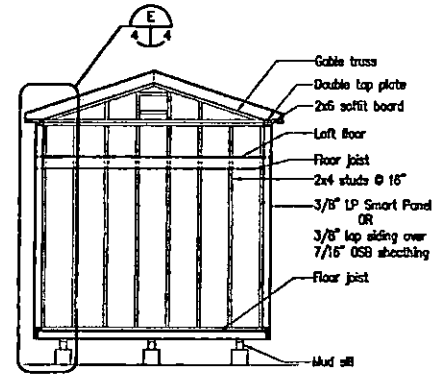
E Wall Section

Scale: 3/4"=1'-0"



A Wall Framing Elevation

Scale: 1/4"=1'-0"



B Wall Framing Elevation

Scale: 1/4"=1'-0"

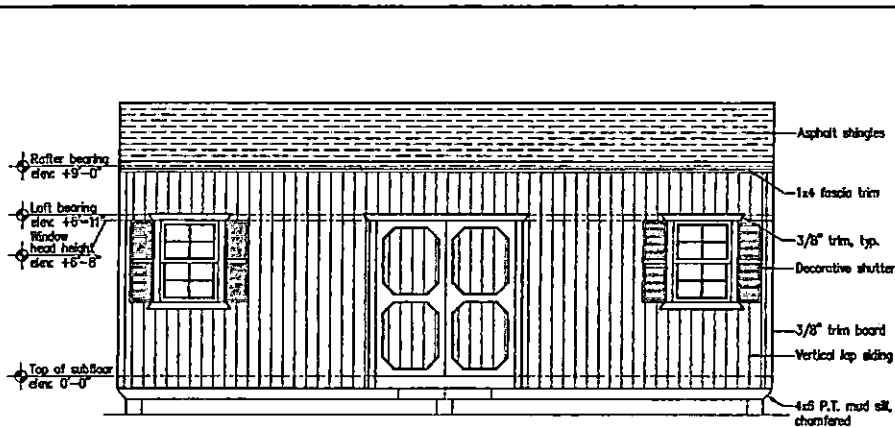


SHED DEPOT
 OPERATING SINCE 1988
 4512 Six Forks Road, Suite 300A
 Raleigh, North Carolina 27616
 (919) 871-1111

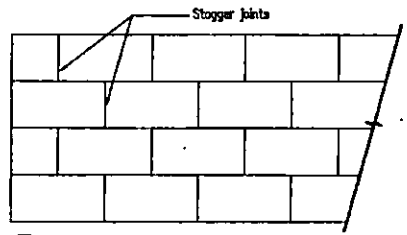
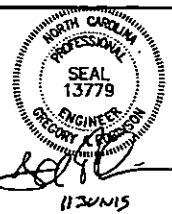


14' x 30' to 36' x 6' Storage Shed
 GARPE Job # 15033

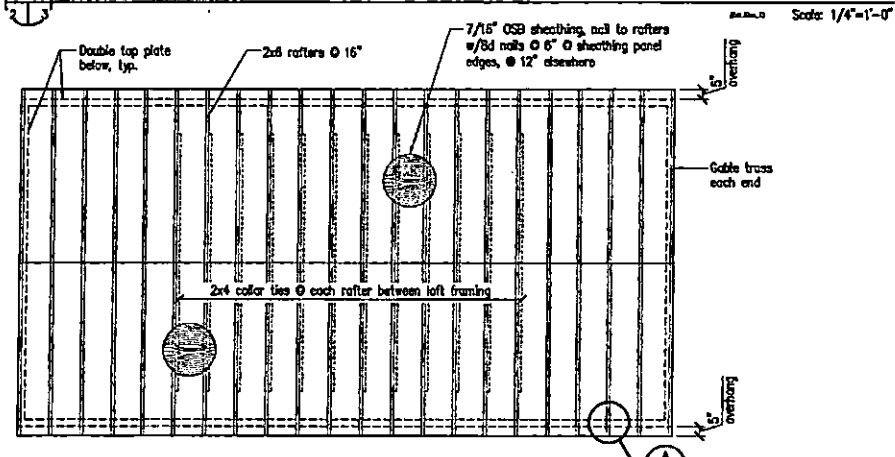
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 Date 01/20/15
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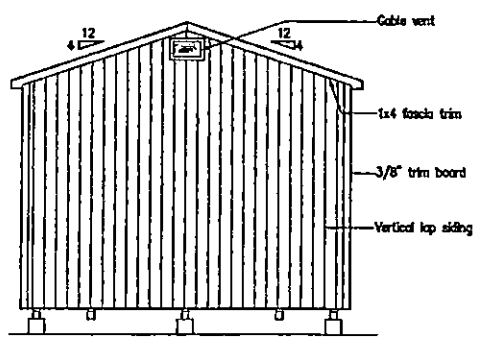
C Exterior Elevation



D Roof Sheathing Joint Pattern



A Roof Framing Plan



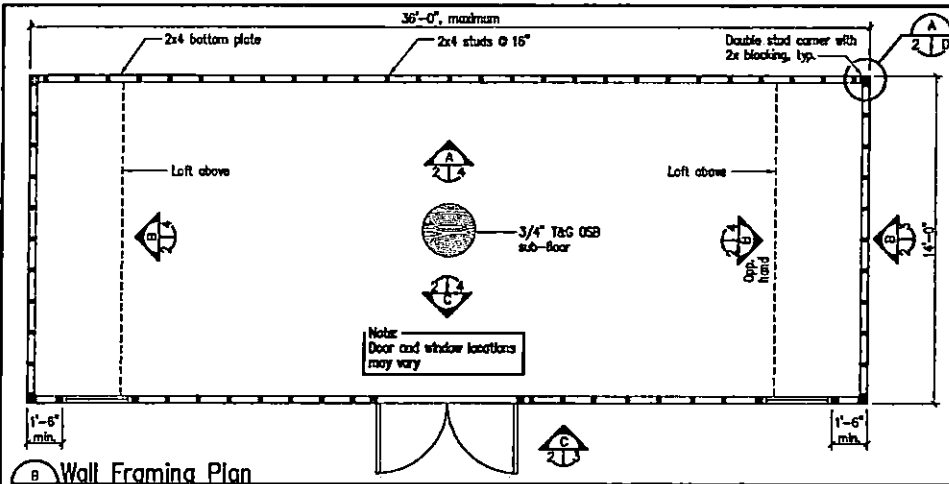
B Exterior Elevation

Depot
 CONSTRUCTION DESIGNER
 GREG ROBINSON, P.E.
 6812 Via Parks Road, Suite 400A
 Raleigh, North Carolina 27618
 (919) 872-1111
 www.gregrobinson.com



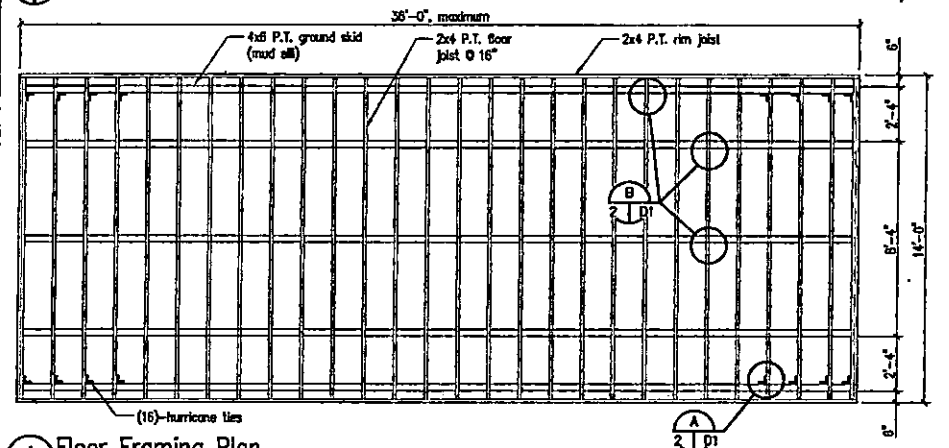
14' x 30' to 36' x 6' Storage Shed
 GARJE Job # 15008

Drawn GAR
 Checked GAR
 Date 01JUN15
 Rev
 Rev



Wall Framing Plan

Scale: 1/4"=1'-0"



Floor Framing Plan

Scale: 1/4"=1'-0"

11JUN15

DEPOT SHED

GREG A. ROBINSON, P.E.
 PROFESSIONAL ENGINEER
 SEAL 13779
 GREGORY A. ROBINSON

4538 Old Parks Road, Suite 402A
 Raleigh, North Carolina 27615
 919-876-1111

14' x 30' to 36' x 60' Storage Shed
 GARPT Job # 15038
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