

H2A

ARCHITECTURE & DESIGN

2475 NORTHWINDS PKWY STE 200
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DOCUMENTS ARE BASED ON EXISTING CONDITIONS AND OWNER PROVIDED INFORMATION. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BIDDING OR COMMENCING WORK. BENCHMARK REHAB PARTNERS ASSUMES NO LIABILITY FOR ACCURACY OF EXISTING INFORMATION.

BENCHMARK PHYSICAL THERAPY

2285 NC 24-87
CAMERON, NC 28326-6687

PLOT DATE: 7/20/2026 2:42:02 PM
FILE NAME: C:\Users\User1\Box\02-Projects\2028\ Upstream Projects\2028-0042-JR-CameronNC\2028-0042 - JR-CameronNC - Building.mxd

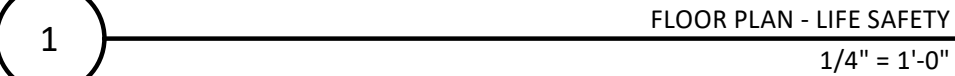
FIRE EXTINGUISHER GENERAL NOTES

1. ALL FIRE EXTINGUISHER ARE AS REQUIRED BY THE LOCAL FIRE MARSHALL
2. ALL STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NO FEWER THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER
3. PORTABLE FIRE EXTINGUISHERS SHOULD NOT BE PLACED MORE THAN 75FT OF TRAVEL DISTANCE FROM THE HAZARD (NFPA 10 TABLE 6.2.1.1)
4. GC TO VERIFY LOCATIONS WITH LOCAL BUILDING OFFICIAL BEFORE INSTALL

SYMBOL	CODE	DESCRIPTION
	XZ	EXISTING LED BATTERY BACK UP EXIT SIGN WITH EXTERIOR SYMBOL LIGHT VERIFY IN GOOD WORKING CONDITION

 1 HOUR FIRE RATING NON FIRE RATING
 2 HOUR FIRE RATING EXITING NON FIRE RATING
 3 HOUR FIRE RATING

"(IDENTIFY WHICH WALLS ARE RATED ON THE PLANS. (IDENTIFICATION OF THE FIRE BARRIERS) SHALL BE BY SIGNS OR STENCILING PERMANENTLY INSTALLED ON ALL RATED BARRIERS OR WALLS, ABOVE ANY DECORATIVE CEILING AND/OR IN CONCEALED SPACES. THE LETTERING SHALL BE 2" IN HEIGHT AND SPACED EVERY 12FT. THE FOLLOWING WORDING IS RECOMMENDED "2 HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS"



OCCUPANCY (CHAPTER 3 NCBC)	BUSINESS
PROPOSED TENANT SPACE	1,563 SF
SPRINKLERED	YES
MINIMUM OCCUPANT LOAD TABLE 1004.5 (NCBC)	
BUSINESS (B)	100
EXERCISE ROOM	50
OCCUPANT LOAD CALCULATION	
<u>GROUND LEVEL</u>	
B - $671/100 = 6.71 = 7$	
EXERCISE - $892/50 = 17.84 = 18$	
<u>TOTAL OCCUPANTS</u>	25

EGRESS CALCULATIONS (NCBC)	
OCCUPANCY	BUSINESS
NUMBER OF OCCUPANTS	25
NCBC SECTION 1005.3	
<u>EGRESS WIDTH:</u>	
<u>FIRST LEVEL</u>	
BUSINESS - 25 OCCUPANTS x 0.2 OCCUPANTS PER INCH = 5 INCHES	
TOTAL REQUIRED EXITING CAPACITY = 5 INCHES	
PROPOSED EXITING CAPACITY = 68 INCHES	
<u>TRAVEL DISTANCE:</u>	
(SECTION 1017.2 NCBC)	
BUSINESS - B:	
300 FEET WITH AUTOMATIC SPRINKLER SYSTEM	
200 FEET WITHOUT AUTOMATIC SPRINKLER SYSTEM	
<u>DEAD END LIMIT:</u>	
(SECTION 1020.5 NCBC)	
50 FEET WITH AUTOMATIC SPRINKLER SYSTEM	
20 FEET WITHOUT AUTOMATIC SPRINKLER SYSTEM	

OCCUPANCY	BUSINESS
NUMBER OF OCCUPANTS	25
NCBC SECTION 2902.1	
MALE/FEMALE = OCCUPANT COUNT DIVIDED BY 2 FOR EACH SEX THEREFORE 25 OCCUPANTS/2 = 12.5 = 13 OCCUPANTS PER SEX	
PLUMBING FIXTURES REQUIRED:	
FIXTURES REQUIRED PER NCBC TABLE 2902.1 FOR BUSINESS	
<u>FIXTURE PER OCCUPANT</u>	<u>NUMBER OF FIXTURES</u>
WATER CLOSETS\URINALS AT 1 PER 30 FOR 1ST 30	1 PER SEX
LAVATORIES AT 1 PER 40 FOR THE 1ST 80	1 PER SEX
DRINKING FOUNTAINS 1 PER 100	1
SERVICE SINK	1
PLUMBING FIXTURES PROVIDED*:	
<u>FIXTURE PER OCCUPANT</u>	<u>NUMBER OF FIXTURES</u>
WATER CLOSETS\URINALS	1 PER SEX
LAVATORIES	1 PER SEX
DRINKING FOUNTAINS	1
WATER STATION	1
SERVICE SINK	1
WE PROVIDED ONE UNISEX RESTROOM	

- 1. FIRE ALARM CONTRACTOR TO SUBMIT DRAWINGS INDICATING THE EXISTING AND NEW LOCATION OF FIRE ALARM DEVICES**
- 2. SPRINKLER CONTRACTOR TO SUBMIT DRAWINGS INDICATING THE EXISTING AND RELOCATION OF FIRE SPRINKLER HEADS AND ANY ADDITIONAL SPRINKLER HEADS.**
- 3. CONTRACTOR TO PROVIDE FIRE ALARM DEVICES THROUGHOUT AS REQUIRED BY CODE**

PROJECT NAME	
BENCHMARK PHYSICAL THERAPY	
ADDRESS	
2285 NC 24-87 CAMERON, NC 28326-6687	
TYPE OF PROJECT	BUSINESS
TENANT SPACE	1,563 SF
SPRINKLERED	YES

JURISDICTION	
NAME OF JURISDICTION	
TOWN OF CAMERON, NC	

JURISDICTION CONTACT
010-245-3212

JURISDICTION ADDRESS
247 Carter Street
Cameron, NC 28326

CURRENT CODES

2018 NORTH CAROLINA BUILDING CODE
2018 NORTH CAROLINA EXISTING BUILDING CODE
2018 NORTH CAROLINA PLUMBING CODE
2018 NORTH CAROLINA MECHANICAL CODE
2018 NORTH CAROLINA FIRE CODE
2023 NORTH CAROLINA ELECTRICAL CODE (NFPA 70 2023)
2009 NORTH CAROLINA ACCESSIBILITY CODE

CONSTRUCTION INFORMATION (NCBC)		
CONSTRUCTION TYPE (CHAPTER 3 NCBC)		IIB
BUILDING ELEMENT RATING (TABLE 601 NCBC)		
PRIMARY STRUCTURE		C
BEARING WALLS EXTERIOR		C
BEARING WALLS INTERIOR		C
NON BEARING WALLS & PARTITION EXTERIOR		SEE TABLE 602
NON BEARING WALLS & PARTITION INTERIOR		C
FLOOR CONSTRUCTION		C
ROOF CONSTRUCTION		C
BUILDING ELEMENT RATING (TABLE 602 NCBC)		
FIRE SEPERATION DISTANCE	TYPE OF CONSTRUCTION	OCCUPANCY B
5< X >10	IIB	1 HOUR
10< X >30	IIB	0 HOUR
X >30	ALL	0 HOUR
INTERIOR WALL AND CEILING FINISH REQUIREMENTS (TABLE 803.1 NCBC)		
EXIT STAIRWAYS, RAMPS AND EXIT PASSAGEWAYS		CLASS 0
CORRIDORS AND EXIT ENCLOSURES		CLASS 0
ROOMS AND ENCLOSED SPACES		CLASS 0

PROJECT TYPE
TENANT IMPROVEMENT

PROJECT SCOPE
THIS PROJECT IS THE TENANT BUILD OUT OF A 1,563 SF GROUND LEVEL SUITE IN AN EXISTING TENANT BUILDING. INTENDED USE IS FOR OUTPATIENT PHYSICAL THERAPY. NO CHANGE IN EGRESS, OCCUPANCY, OR STRUCTURE ARE ANTICIPATED IN THIS SCOPE OF WORK.

BUILDING EXTERIOR & FINISHES
EXISTING AND NOT IN SCOPE OF WORK BEING DONE.

BUILDING INTERIOR & FINISHES
NEW FLOORING, GYPSUM BOARD WALLS, FURNITURE AND EQUIPMENT

FILE NAME: C:\Users\luser\Box02\Project\2026\0402\UR-Cameron\NC\2026\0402 - UR-Cameron\NC - Building.rvt
PLOT DATE: 7/20/2026 2:42:09 PM

ACCESSIBLE DWELLING UNITS (SECTION 1107)								
UNIT CLASSIFICATION	TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A								

ACCESSIBLE PARKING (SECTION 1106)				
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED 96" SPACES	TOTAL # ACCESSIBLE PROVIDED 132" SPACES
PARKING EXISTING				
TOTAL				

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)											
USE		WATERCLOSETS			URINALS	LAVATORIES			SHOWERS /TUBS	DRINKING FOUNTAINS	
SPACE	EXIST'G	MALE	FEMALE	UNSEX		MALE	FEMALE	UNSEX		REGULAR	ACCESSIBLE
	NEW	N/A	N/A	N/A		N/A	N/A	N/A		N/A	N/A
	REQ'D	N/A	N/A	1		N/A	N/A	1		N/A	N/A

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

____NOT APPLICABLE_____

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2018 NC Administrative Code and Policies

Revised 6/15/2020

ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Yes (The remainder of this section is not applicable)

Exempt Building: Select one Provide code or statutory reference:

Climate Zone: 3A

Method of Compliance: Select one
(If "Other" specify source here) _____

THERMAL ENVELOPE (Prescriptive method only)

Roof/ceiling Assembly (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Openings (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
projection factor: _____
Door R-Values: _____

Walls below grade (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade

Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

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BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses	X < 30	0					
Bearing Walls	X < 30	0					
Exterior	X < 30	0					
North	X < 30	0					
East	X < 30	0					
West	X < 30	0					
South	X < 30	0					
Interior	0						
Nonbearing Walls and Partitions	X < 30	0					
Exterior walls	N/A	-					
North	N/A	-					
East	N/A	-					
West	N/A	-					
South	N/A	-					
Interior walls and partitions	0						
Floor Construction including supporting beams and joists	N/A						
Floor Ceiling Assembly	0						
Columns Supporting Floors	N/A						
Roof Construction, including supporting beams and joists	0						
Roof Ceiling Assembly	0						
Columns Supporting Roof	0						
Shaft Enclosures - Exit	N/A						
Shaft Enclosures - Other	N/A						
Corridor Separation	N/A						
Occupancy/Fire Barrier Separation	N/A						
Party/Fire Wall Separation	N/A						
Smoke Barrier Separation	N/A						
Smoke Partition	N/A						
Tenant/Dwelling Unit/ Sleeping Unit Separation	N/A						
Incidental Use Separation	N/A						

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
25 to less than 30	Protected	No limits	52.4%

LIFE SAFETY SYSTEM REQUIREMENTS

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Emergency Lighting: Yes
Exit Signs: Yes
Fire Alarm: Yes
Smoke Detection Systems: No
Carbon Monoxide Detection: No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: A-0.2

- ☒ Fire and/or smoke rated wall locations (Chapter 7)
- ☒ Assumed and real property line locations (if not on the site plan)
- ☒ Exterior wall opening area with respect to distance to assumed property lines (705.8)
- ☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
- ☒ Occupant loads for each area
- ☒ Exit sign locations (1013)
- ☒ Exit access travel distances (1017)
- ☒ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
- ☒ Dead end lengths (1020.4)
- ☒ Clear exit widths for each exit door
- ☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
- ☒ Actual occupant load for each exit door
- ☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
- ☐ Location of doors with panic hardware (1010.1.10)
- ☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
- ☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
- ☐ Location of doors equipped with hold-open devices
- ☐ Location of emergency escape windows (1030)
- ☒ The square footage of each fire area (202)
- ☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
- ☐ Note any code exceptions or table notes that may have been utilized regarding the items above

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2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES) (Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: BENCHMARK PHYSICAL THERAPY
Address: 2285 NC 24-87, Cameron, NC Zip Code 28326-6687
Owner/Authorized Agent: Peter Hillermann Phone # (678) 898 - 2936 E-Mail: peter@h2acorp.com
Owned By: Private
Code Enforcement Jurisdiction: City

CONTACT:

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	H2A CORP	Peter Hillermann	12517	(404)550-0718	peter@h2acorp.com
Civil	N/A			()	
Electrical	Ray Group	Ashim Ray	020543	(770)953-1443	
Fire Alarm	N/A			()	
Plumbing	Ray Group	Keith Mkaika	031285	(770)953-1443	
Mechanical	Ray Group	Keith Mkaika	031285	(770)953-1443	
Sprinkler-Standpipe	N/A			()	
Structural	N/A			()	
Retaining Walls >5' High	N/A			()	
Other				()	

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: Renovation

2018 NC EXISTING BUILDING CODE: Alteration Level II Repair N/A
CONSTRUCTED: (date) _____ CURRENT OCCUPANCY(S) (Ch. 3): Business
RENOVATED: (date) _____ PROPOSED OCCUPANCY(S) (Ch. 3): Business

RISK CATEGORY (Table 1604.5): Current: II Proposed: II

BASIC BUILDING DATA

Construction Type: II-B

Sprinklers: Yes NFPA 13

Standpipes: No

Primary Fire District: No

Flood Hazard Area: No

Special Inspections Required: No

Gross Building Area Table

FLOOR	EXISTING (SQ.FT)	NEW (SQ.FT)	SUB-TOTAL
3 rd Floor			
2 nd Floor			
Mezzanine			
1 st Floor	17,100 sf	n/a	17,100 sf
Basement			
TOTAL	17,100 sf	n/a	17,100 sf

2018 NC Administrative Code and Policies

Revised 6/15/2020

ALLOWABLE AREA

Primary Occupancy Classification(s): Business N/A N/A N/A N/A N/A

Accessory Occupancy Classification(s): N/A

Incidental Uses (Table 509): N/A

Special Uses (Chapter 4 – List Code Sections): N/A

Special Provisions: (Chapter 5 – List Code Sections): N/A

Mixed Occupancy: Yes Separation: 1 Hr. Exception: _____

$$\frac{\text{Non-Separated Use (508.3)}}{\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$\text{---} + \text{---} = 0.67 \dots = \text{---} \leq 1.00$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ⁴ AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
1	B - Phycinty	4,700	92,000 sf	N/A	92,000 sf
1	B – Benchmark Physical Therapy	1,563	92,000 sf	N/A	92,000 sf
1	B- Bluesprig	4,500	92,000 sf	N/A	92,000 sf
1	B - Vacant	3,000	92,000 sf	N/A	92,000 sf
1	B – Southern Smiles	3,337	92,000 sf	N/A	92,000 sf

- ¹ Frontage area increases from Section 506.3 are computed thus: N/A
a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. W = Minimum width of public way = _____ (W)
e. Percent of frontage increase $I_f = 100(F/P - 0.25) \times W/30 = \text{---} (\%)$

² Unlimited area applicable under conditions of Section 507.

³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).

⁴ The maximum area of open parking garages must comply with Table 406.5.4.

⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

FIRE PROTECTION REQUIREMENTS

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ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE ¹
Building Height in Feet (Table 504.3) ²	75 FEET	22 FEET	
Building Height in Stories (Table 504.4) ³	4	1	

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

² The maximum height of air traffic control towers must comply with Table 412.3.1.

³ The maximum height of open parking garages must comply with Table 406.5.4.

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ARCHITECTURE & DESIGN

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BENCHMARK PHYSICAL THERAPY

2285 NC 24-87
CAMERON, NC 28326-6687

PROJECT NAME / ADDRESS

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
	04/21/26	PERMIT SET

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SHEET TITLE

Appendix B

PROJECT NO: 2026-0042
ISSUE DATE: 04/21/26
SCALE:
DRAWN BY: JM
CHECKED BY: PH

A0.2A

FOR CONSTRUCTION



BENCHMARK PHYSICAL THERAPY

2285 NC 24-87
CAMERON, NC 28526-6687

PROJECT NAME / ADDRESS

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
04/21/26	PERMIT SET	

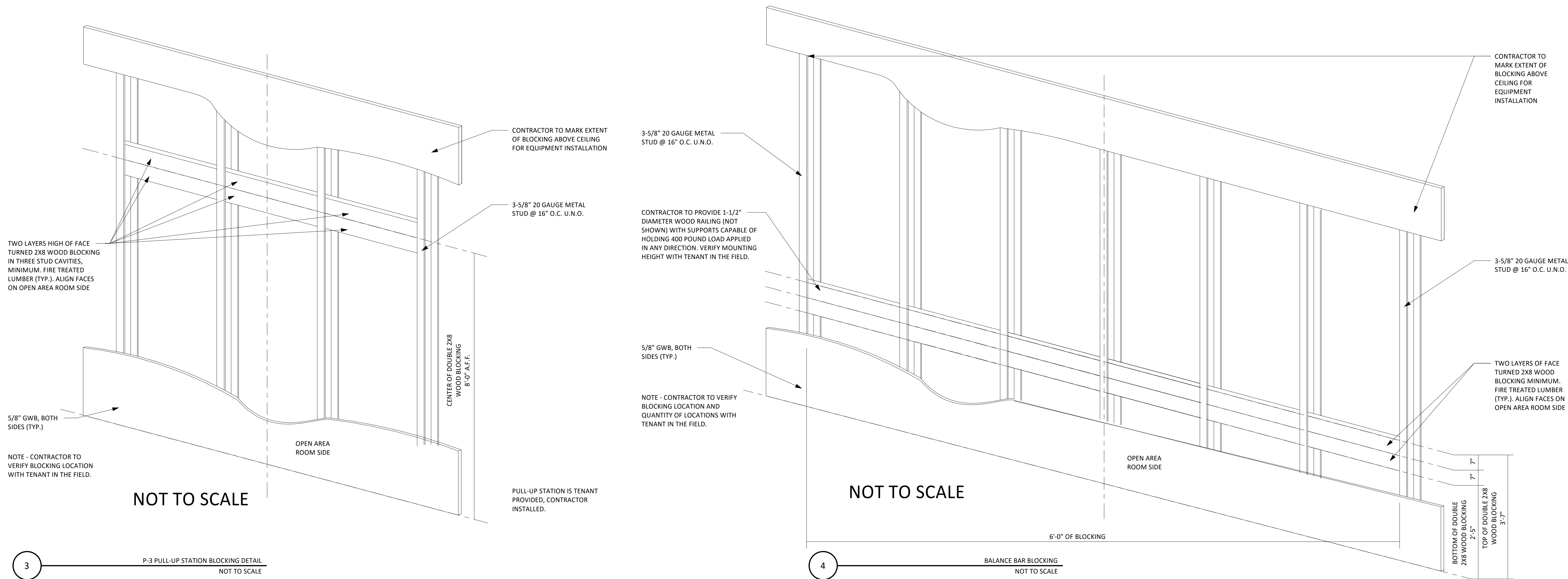
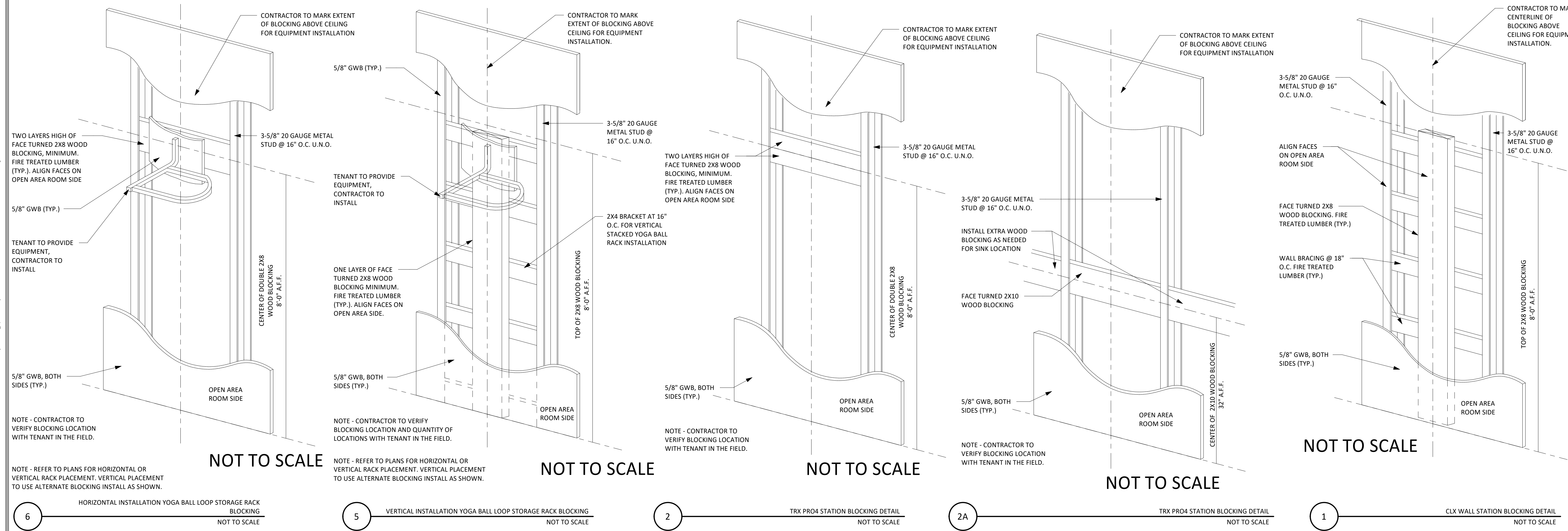
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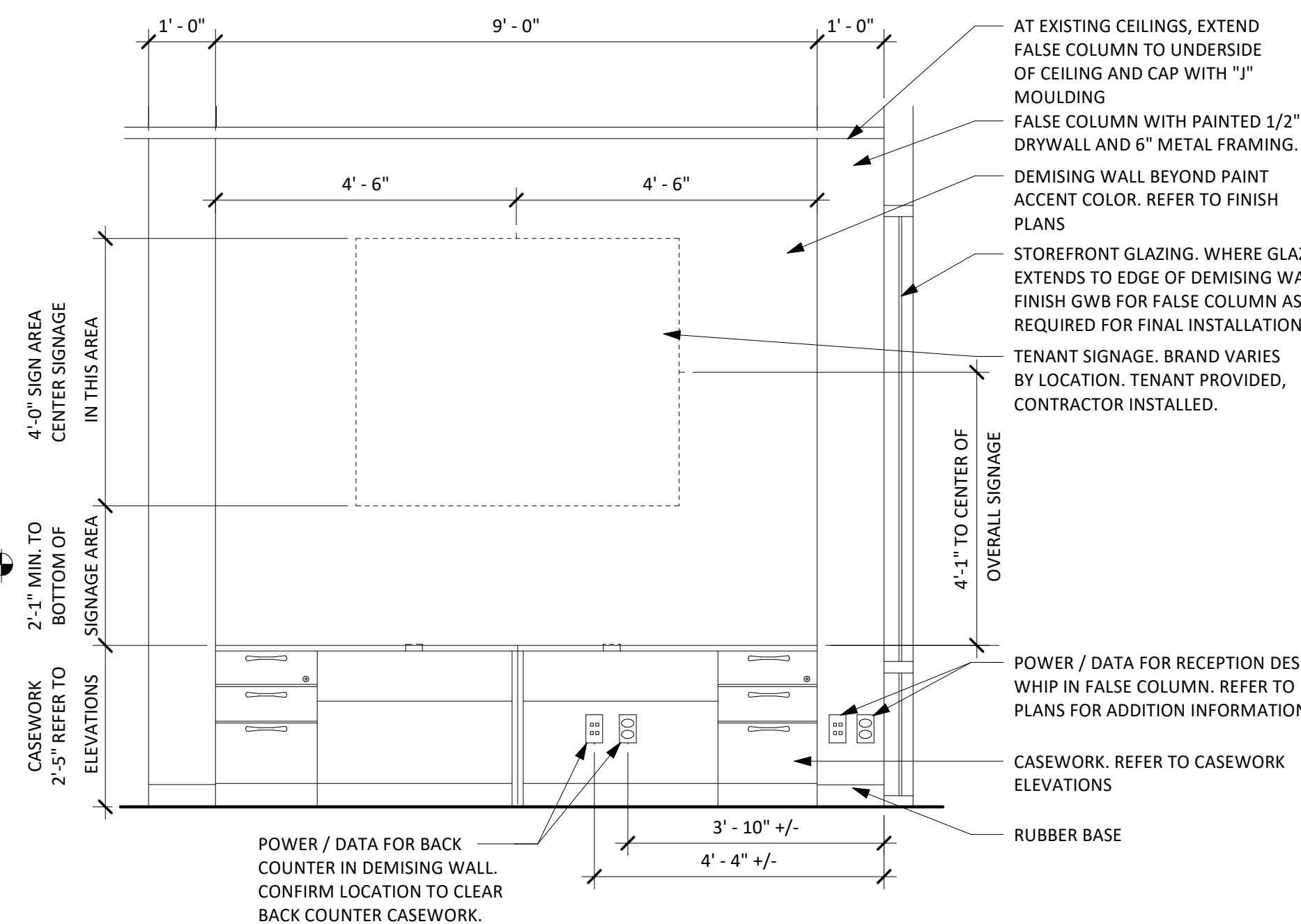
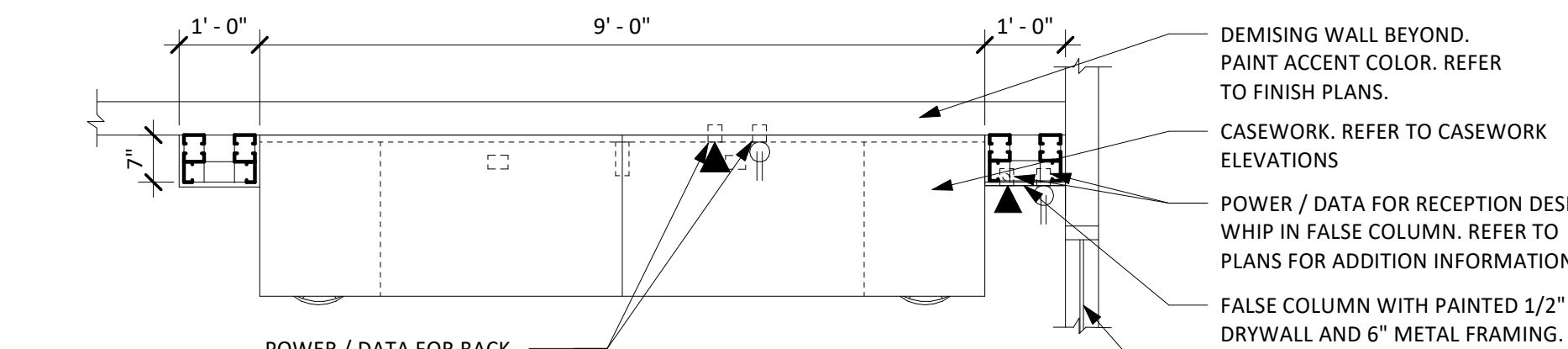
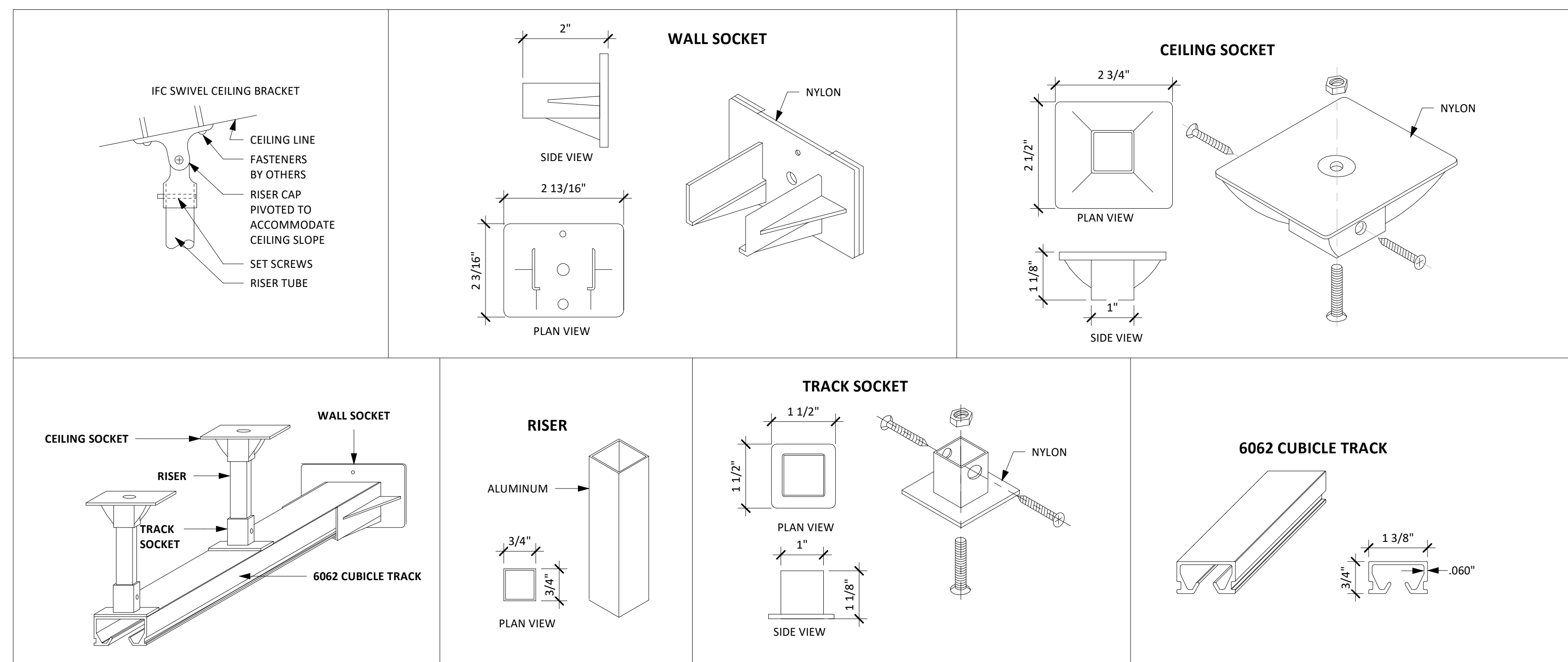
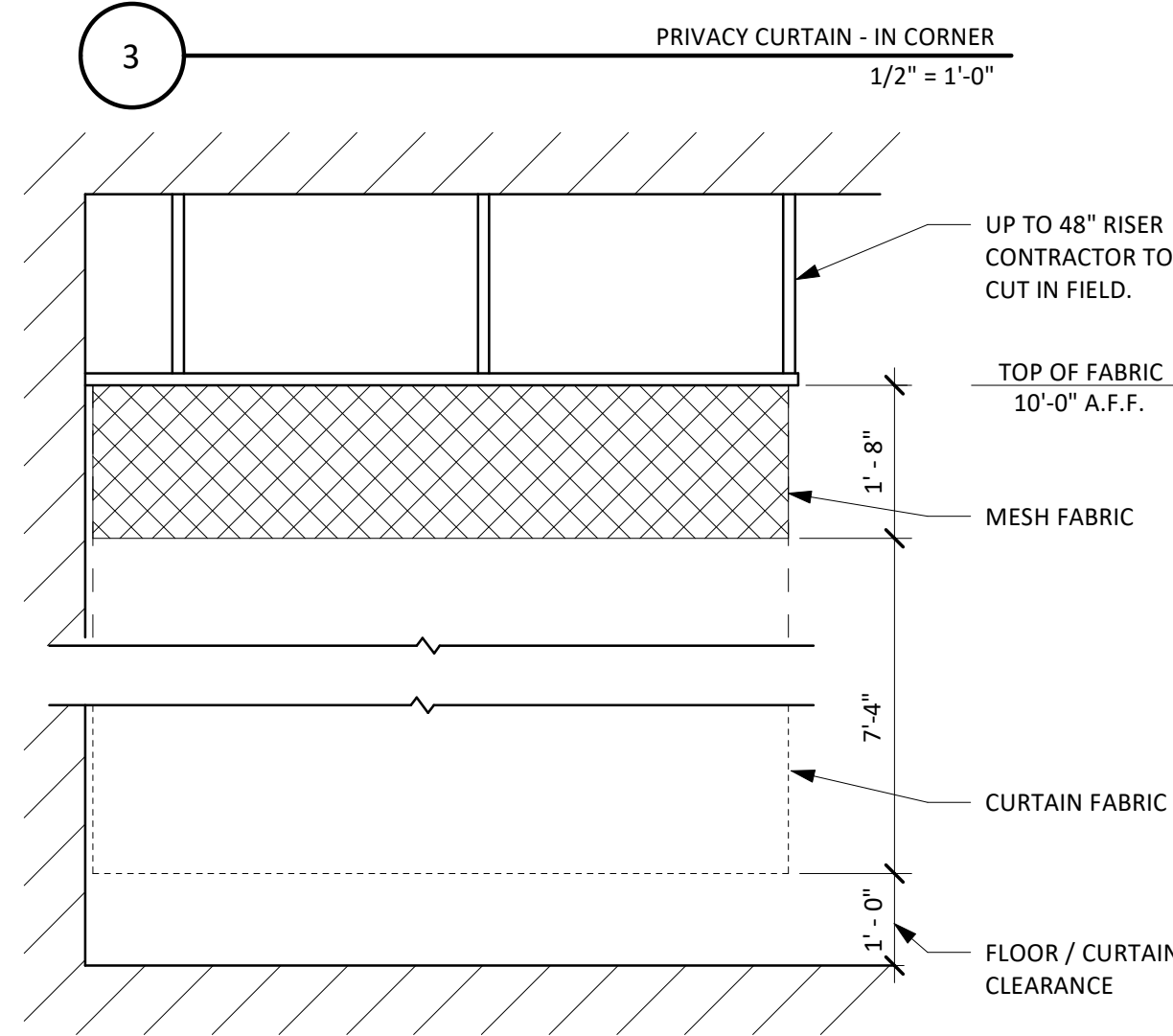
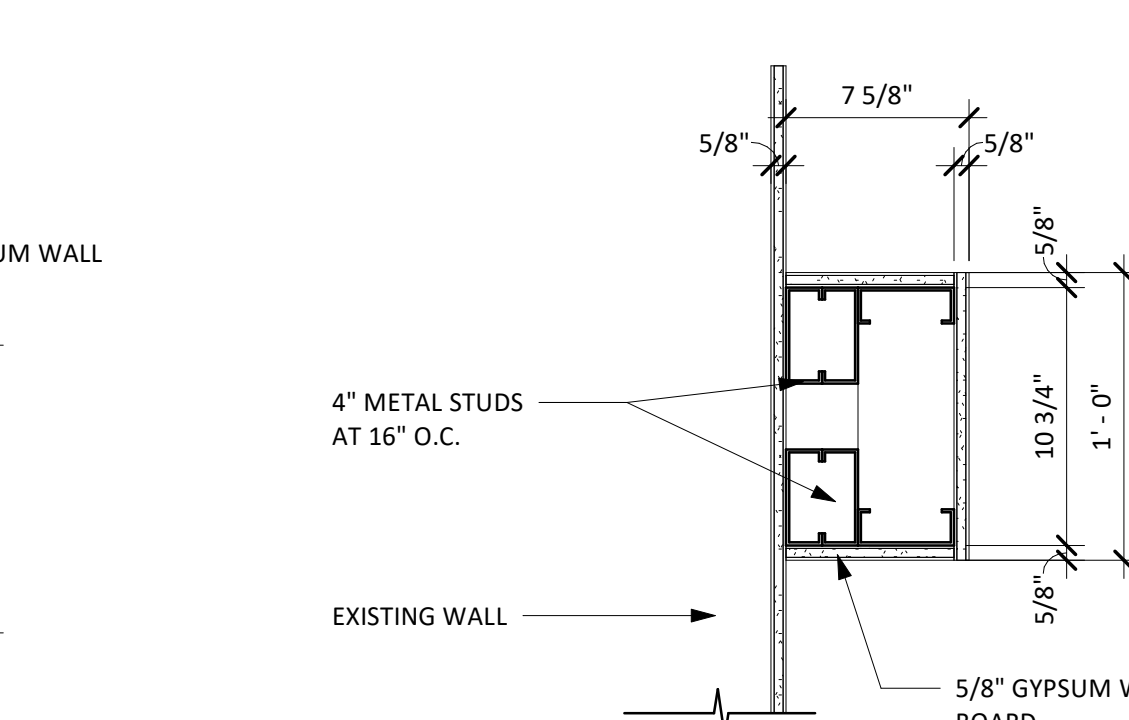
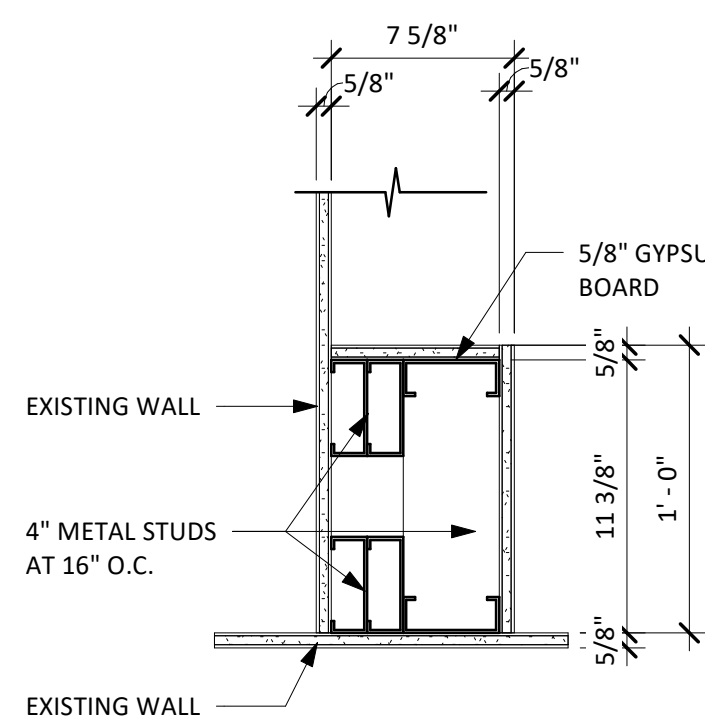
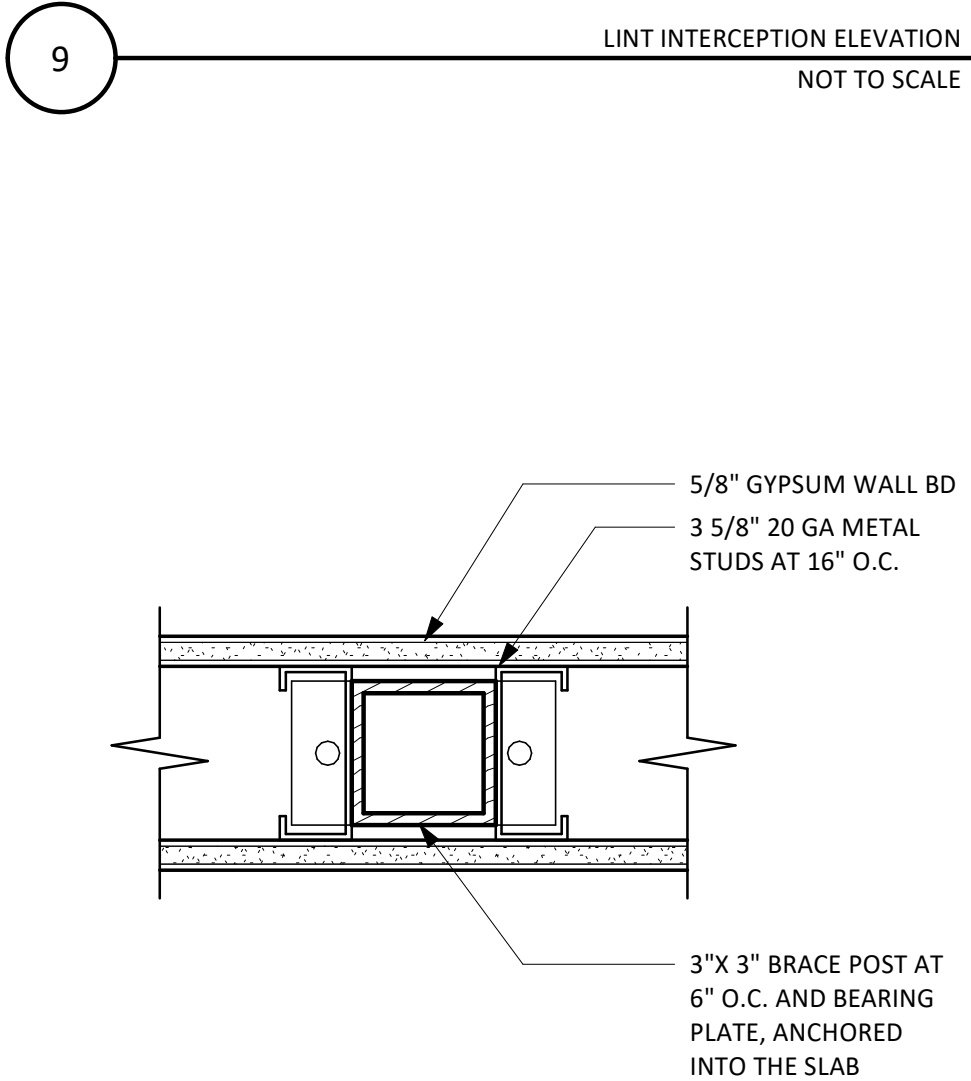
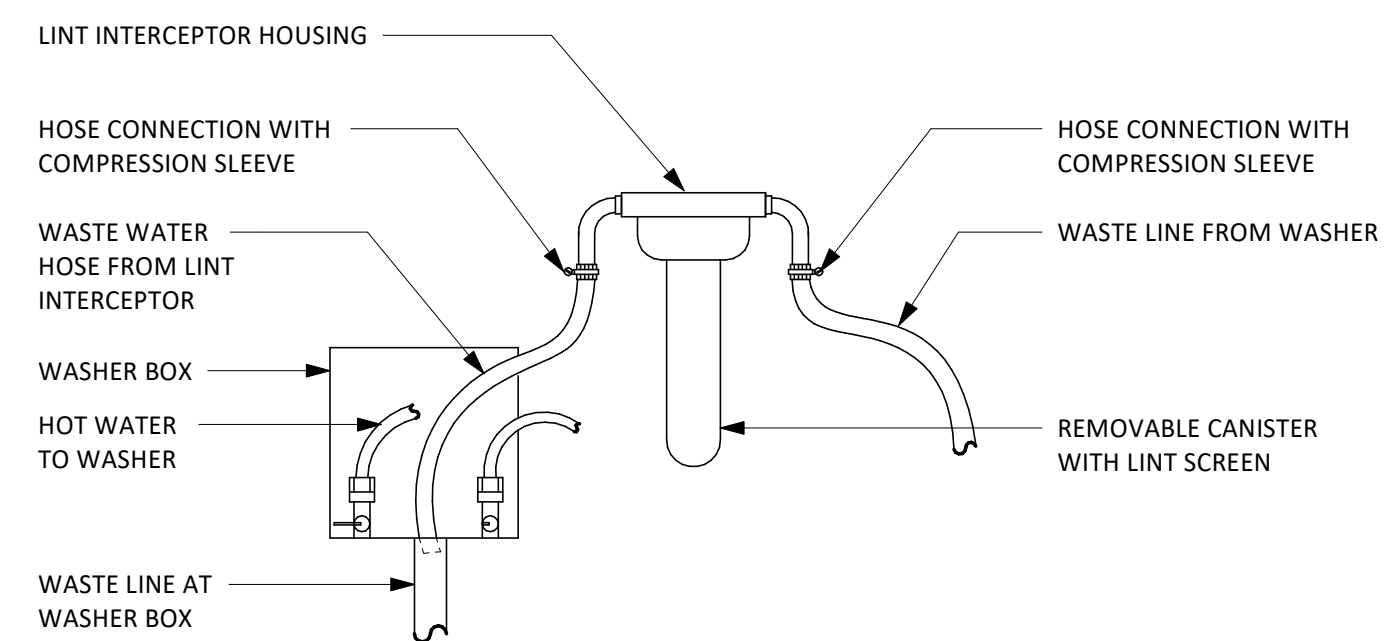
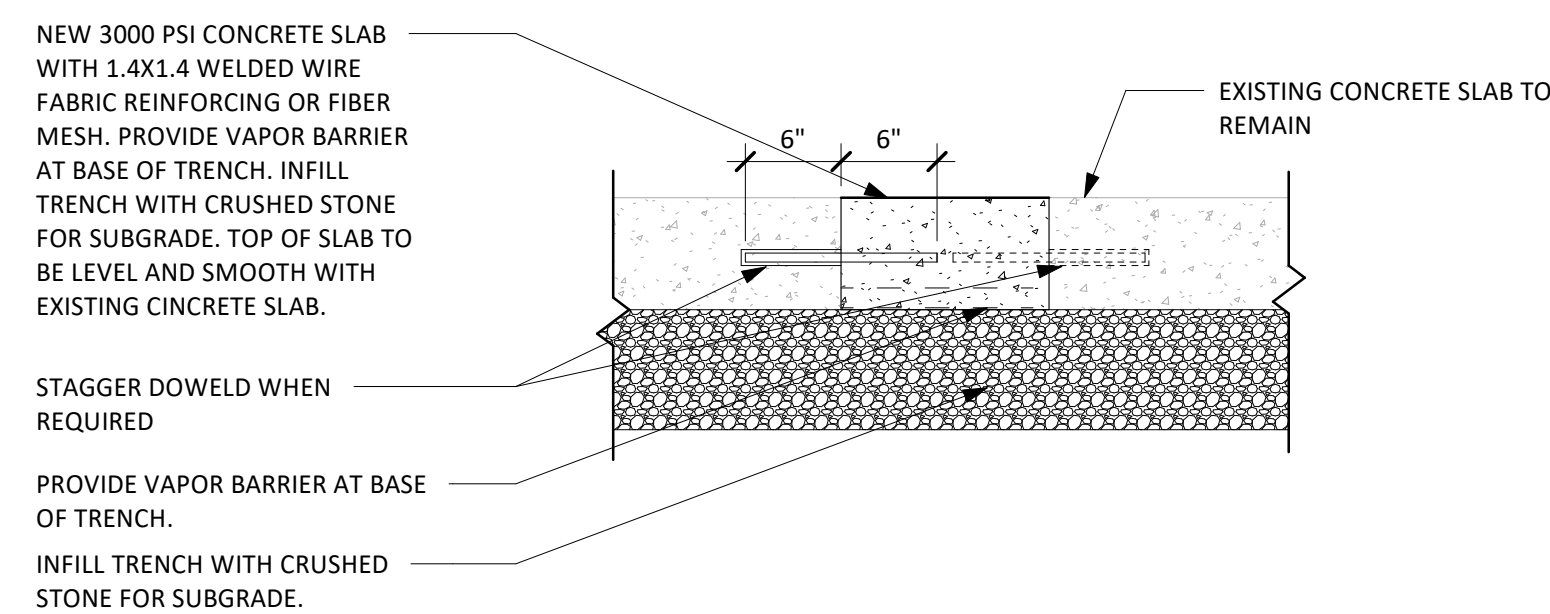
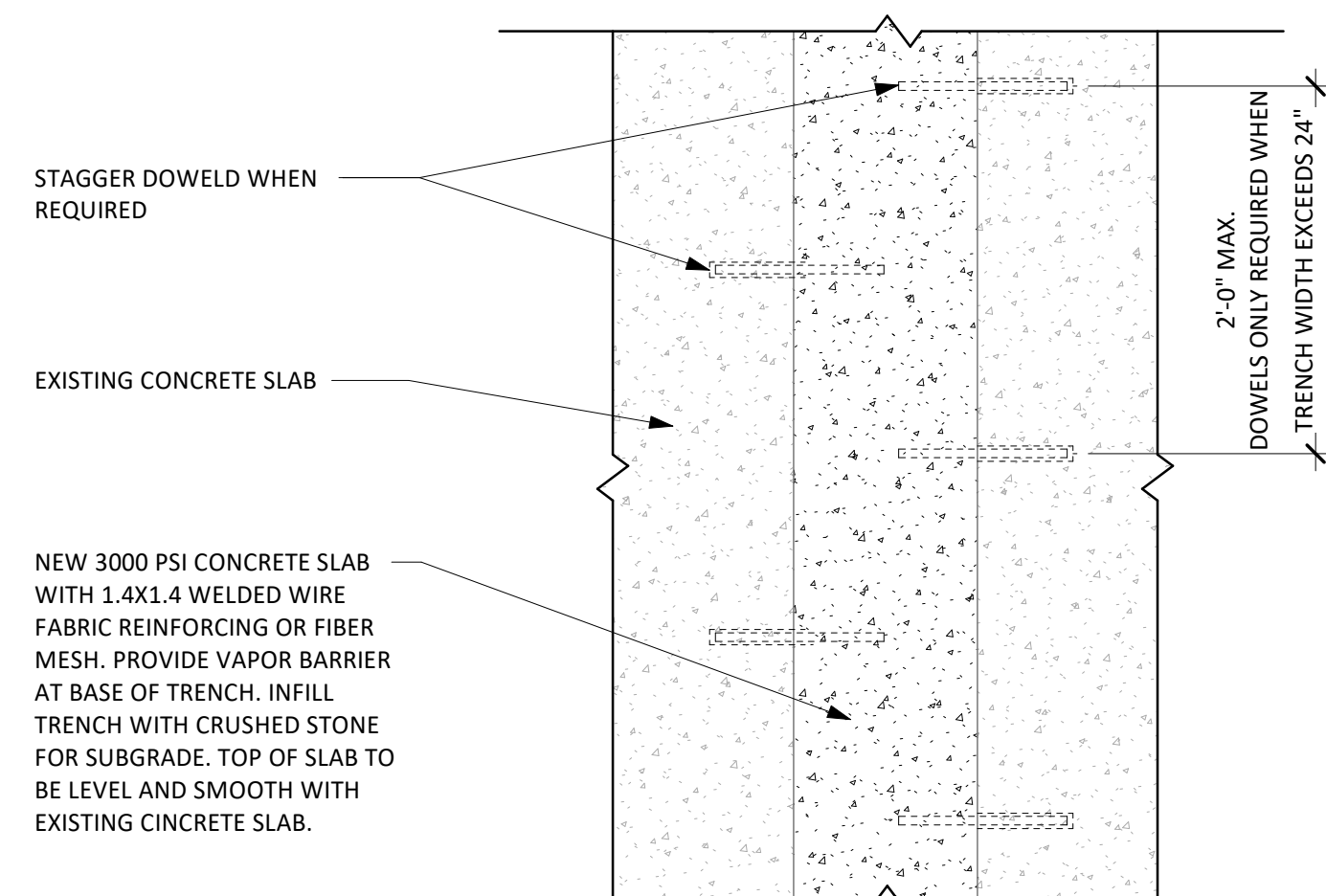
SHEET TITLE

WALL
BLOCKING
DETAILSPROJECT NO: 2026-0042
ISSUE DATE: 04/21/26
SCALE: 1 1/2" = 1'-0"
DRAWN BY: JM
CHECKED BY: PH

A0.5

FOR CONSTRUCTION

3 P-3 PULL-UP STATION BLOCKING DETAIL
NOT TO SCALE4 BALANCE BAR BLOCKING
NOT TO SCALE6 HORIZONTAL INSTALLATION YOGA BALL LOOP STORAGE RACK
BLOCKING
NOT TO SCALE5 VERTICAL INSTALLATION YOGA BALL LOOP STORAGE RACK
BLOCKING
NOT TO SCALE2 TRX PRO4 STATION BLOCKING DETAIL
NOT TO SCALE2A TRX PRO4 STATION BLOCKING DETAIL
NOT TO SCALE1 CLX WALL STATION BLOCKING DETAIL
NOT TO SCALE

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SHEET TITLE

**MISC GENERAL
DETAILS**

PROJECT NO:	2026-00
ISSUE DATE:	04/21/
SCALE:	As indicate
DRAWN BY:	J
CHECKED BY:	F

A0.6

FOR CONSTRUCTION

DOOR KNOB DETAILS	DOOR HARDWARE GROUPS	
OUTSIDE INSIDE KEY PUSH BUTTON DEAD LATCH TURN/PUSH BUTTON BLANK PLATE SPRING LATCH	OUTSIDE INSIDE SCHLAGE ND53PD ANSI F109 ENTRANCE LOCK • TURN/PUSH-BUTTON LOCKING: PUSHING AND TURNING THE BUTTON LOCKS THE OUTSIDE LEVER, REQUIRING USE OF A KEY UNTIL THE BUTTON IS MANUALLY UNLOCKED • PUSH-BUTTON LOCKING: PUSHING BUTTON LOCKS OUTSIDE LEVER UNTIL UNLOCKED BY KEY OR BY TURNING THE INSIDE LEVER • INSIDE LEVER ALWAYS FREE	OUTSIDE INSIDE SCHLAGE ND80PD ANSI F86 STOREROOM LOCK • OUTSIDE LEVER IS FIXED • ENTRANCE BY KEY ONLY • INSIDE LEVER ALWAYS FREE FOR IMMEDIATE EGRESS

FLOOR PLAN
1/4" = 1'-0"

DIMENSION NOTES

THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTANCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE TENANT AT ONCE.

THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. DIMENSIONS ARE NOT ADJUSTABLE UNLESS NOTED WITH A PLUS/MINUS (+/-) TOLERANCE.

"ALIGN" MEANS ALIGNMENT OF SIMILAR COMPONENTS OF CONSTRUCTION (I.E. WALLS, JAMBS, ETC.) WHICH ARE ADJACENT OR IN LINE WITH EACH OTHER ACROSS VOIDS.

DIMENSIONS ARE INDICATED AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWING:
COLUMNS – FROM CENTERLINE TO CENTERLINE
METAL STUD PARTITIONS – FROM F.O. STUD. TO F.O. STUD
CONCRETE - FROM F.O. CONC TO F.O. CONC
MASONRY – FROM F.O. MASONRY TO F.O. MASONRY
EXTERIOR WALL – FROM EXT. F.O. TO INT. F.O. FINISH
INTERIOR ELEVATION – FROM FIN. FLR. TO FIN. CEILING

ALL ROUGH OPENING DIMENSIONS FOR WINDOWS AND DOORS SHALL BE FIELD VERIFIED PRIOR TO UNIT FABRICATION OR INSTALLATION.

CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED BEFORE UNIT FABRICATION OR INSTALLATION

ALL FLOOR TO FLOOR AND CEILING HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR.

DOORS ARE TO BE INSTALLED 6" FROM HINGE EDGE TO NEAREST INTERSECTING WALL – TYPICAL, U.N.O.

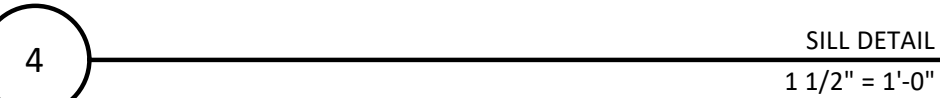
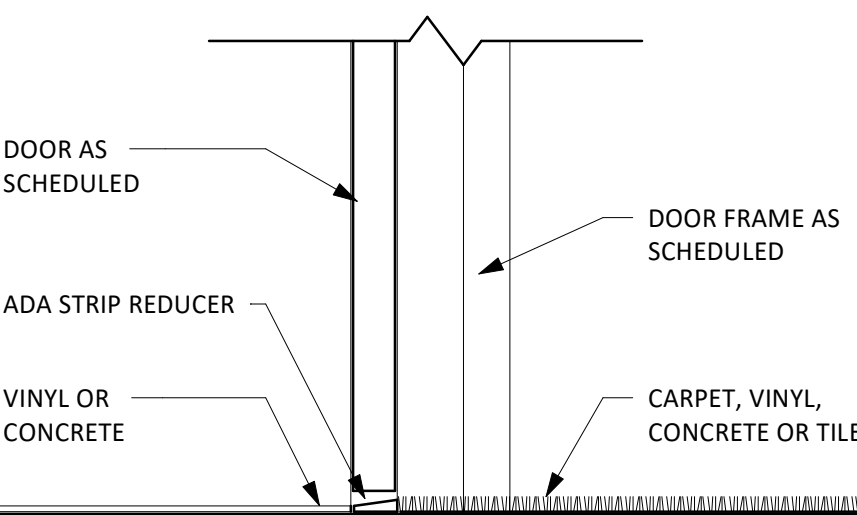
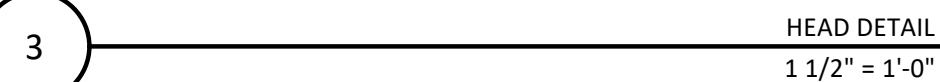
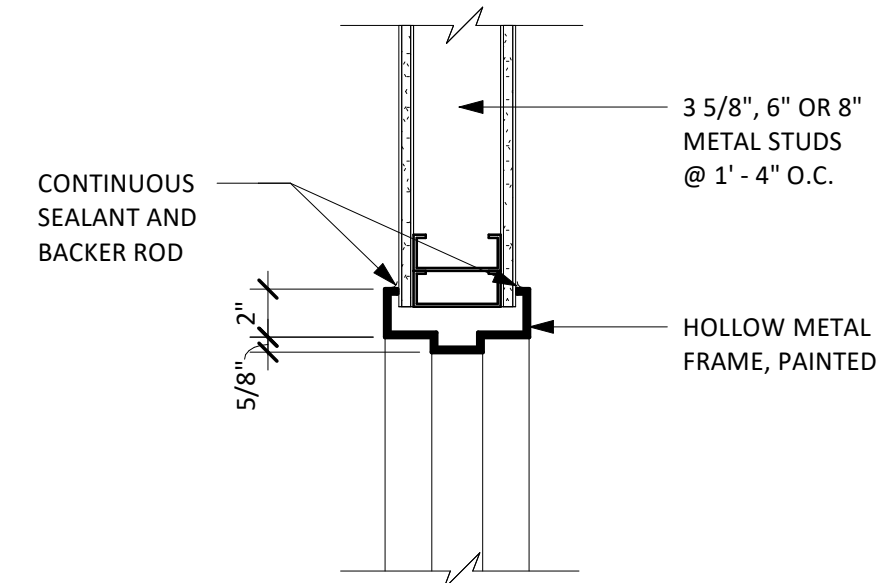
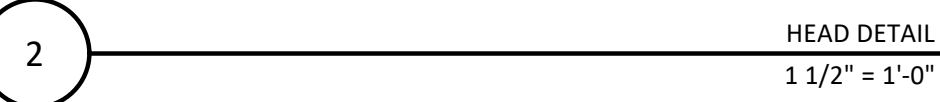
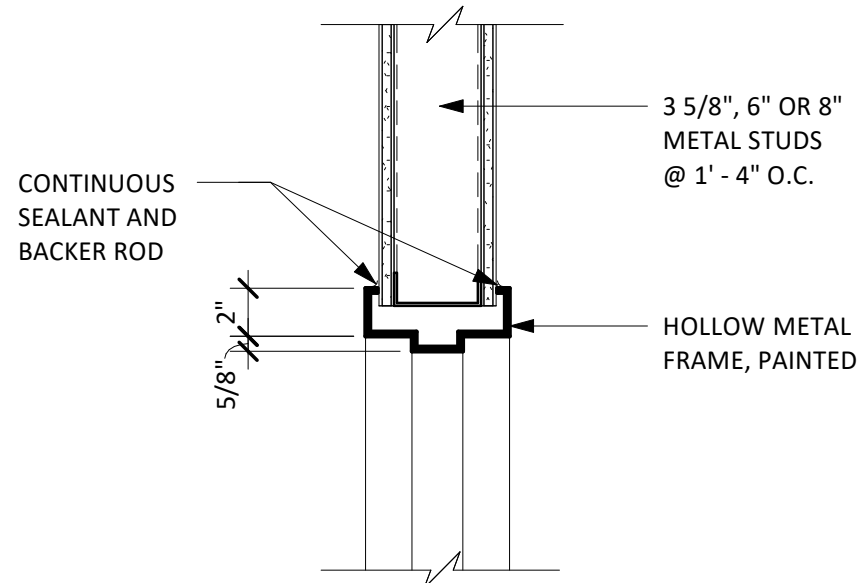
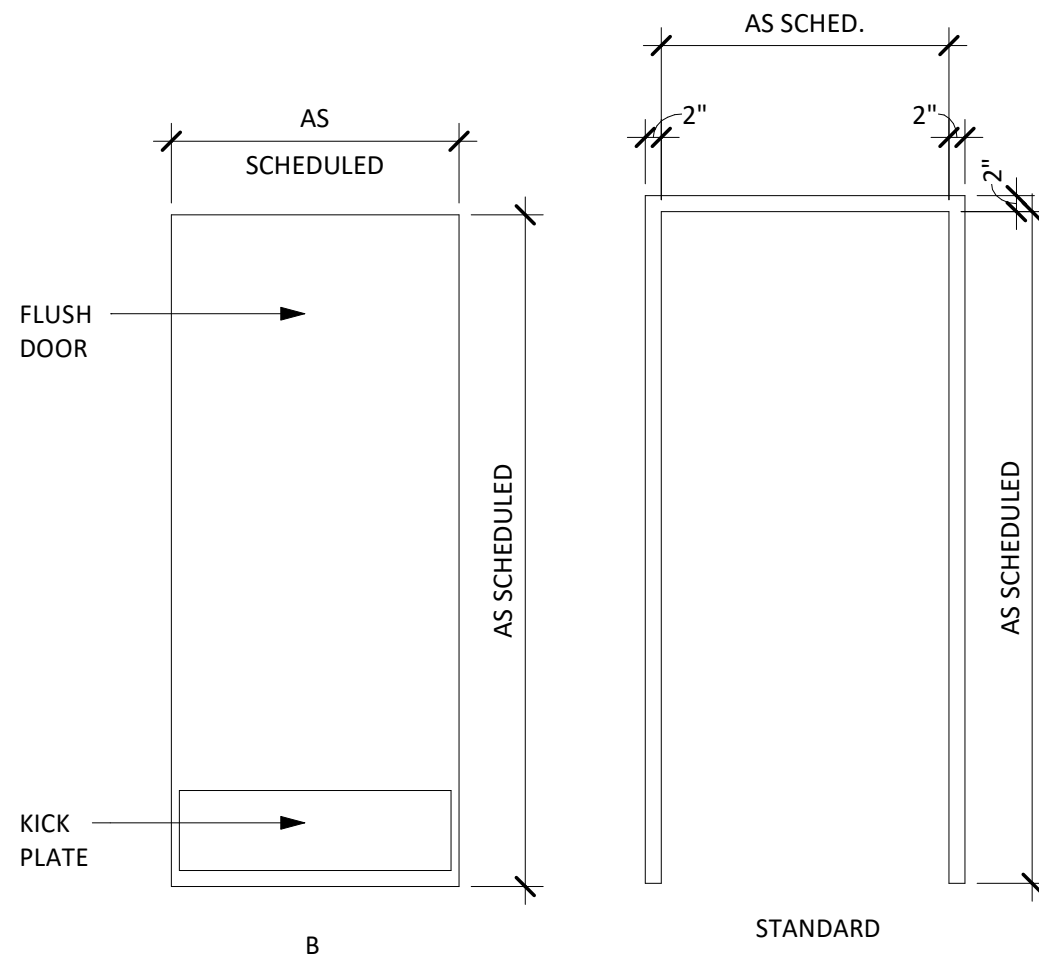
"TYPICAL" (TYP.) MEANS IDENTICAL FOR ALL CONDITIONS WHICH MATCH THE ORIGINAL CONDITION INDICATED UNLESS NOTED OTHERWISE.

"SIMILAR" (SIM) MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION OF CONDITIONS WHICH MAY VARY FROM TYPICAL OR SIMILAR CONDITIONS INDICATED.

"OPPOSITE HAND" (OPH) MEANS CONDITION NOTED IS THE MIRROR IMAGE OF THE DETAIL REFERENCED.

COORDINATE WITH SECTIONS, ELEVATIONS, DETAILS AND MANUFACTURER'S INSTALLATION CRITERIA TO PROVIDE ADDITIONAL BLOCKING IN WALLS AS NECESSARY.

PLAN KEYNOTES	
CODE	COMMENT
51	TENANT PROVIDED CABINETRY. CABINETRY INCLUDES TWO (2) 18" WIDE BASE CABINETS AND PLAM COUNTERTOP. CONTRACTOR INSTALLED.
52	CONTRACTOR TO COORDINATE WITH TENANT FOR TENANT PROVIDED EQUIPMENT AND BLOCKING. BLOCKING TO BE PROVIDED IN WALLS AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO INSTALL TENANT EQUIPMENT INCLUDING BUT NOT LIMITED TO CLX WALL STATION, HOT PAD RACKS, WEIGHT RACKS, BRANDING POSTERS, AND SIGNAGE. COORDINATE WITH TENANT AND EQUIPMENT PLAN FOR COMPLETE LIST OF WALL MOUNTED ITEMS
53	TENANT TO PROVIDE SIDE BY SIDE WASHER AND DRYER. CONTRACTOR TO PROVIDE WATER / SEWER AND ELECTRICAL AS REQUIRED. CONTRACTOR TO CONNECT POWER TO DRYER AND INSTALL WASHER / DRYER TO UTILITY CONNECTIONS. CONTRACTOR TO VERIFY CLEAR FLOOR AREA OF 60" WIDE AND 36" DEEP IS MAINTAINED FOR WASHER / DRYER PLACEMENT. DRYER PIPE TO BE 4" DIAMETER PIPE FROM WITHIN 12" OF DRYER CONNECTION POINT TO EXTEND THRU THE ROOF. CONTRACTOR TO COORDINATE WITH LANDLORD'S ROOFING CONTRACTOR.
54	TENANT PROVIDED REFRIGERATOR. CONTRACTOR TO PROVIDE A DEDICATED CIRCUIT
55	CONTRACTOR TO PROVIDE 3/8" WATER LINE TO ICE MAKER SHUT OFF BOX FOR TENANT PROVIDED DRINK STATION. TENANT PROVIDE AND CONTRACTOR INSTALLED. SEE EQUIPMENT PLANS FOR MORE INFORMATION.
56	EXISTING STOREFRONT TO REMAIN. VERIFY IN GOOD WORKING ORDER. REPAIR OR REPLACE DAMAGE AREAS AS REQUIRED.
57	TENANT PROVIDED FURNITURE AND CONTRACTOR TO ASSEMBLE. REFER TO ELECTRICAL PLANS FOR INSTALLATION OF PROVIDED POWER / DATA ITEMS WITHIN FURNITURE. COORDINATE WITH TENANT.
58	1" X 12" DEEP PAINTED WOOD SHELVING ABOVE WASHER /DRYER. AT 60" AFF TO 7'-6" AFF SUPPORTED WITH PROJECT SOURCE OR APPROVED EQUAL. 70.5-IN L X 0.55-IN D HEAVY DUTY WHITE SHELF BRACKET BY PROJECT SOURCE OR APPROVED EQUAL
59	EXISTING WALLS TO REMAIN TO BE PREPARED TO RECEIVE A LEVEL 4 FINISH PER THE NATIONAL GYPSUM ASSOCIATION.
60	CEILING MOUNTED PRIVACY CURTAIN. TENANT PROVIDED AND CONTRACTOR INSTALLED.
61	CONTRACTOR TO MARK THE WATER SHUT OFF VALVE FOR MAIN WATER SUPPLY WITH STICKER THAT IS VISIBLE IN THE CLINIC
62	TENANT LOGO WALL AREA WITH FALSE COLUMNS
63	1" X 12" DEEP PAINTED WOOD SHELVING ABOVE WASHER /DRYER. AT 60" AFF TO 7'-6" AFF SUPPORTED WITH PROJECT SOURCE OR APPROVED EQUAL. 48-IN L X 0.98 IN W X 0.57 IN D HEAVY DUTY WHITE SHELF UPRIGHT ATTACHED TO STUDS AT 16" OC AND 11.75 IN L X 0.55 IN W X 2.12 IN D HEAVY DUTY WHITE SHELF BRACKET BY PROJECT SOURCE OR APPROVED EQUAL
64	CONTRACTOR TO PROVIDE BLOCKING FOR TENANT PROVIDED CLX WALL STATION REFER TO 1/A0.5 FOR ADDITIONAL INFORMATION
65	CONTRACTOR TO PROVIDE PREMIUM ROLLER SHADES. COLOR: INTERLUDE BLACK 1320. SHADES TO ATTACH TO INTERIOR FACE OF DRYWALL WINDOW HEAD, TYP. COORDINATE WITH TENANT AS REQUIRED
66	ALL MILLWORK TENANT PROVIDED AND CONTRACTOR INSTALLED SEE SHEET A3.1 FOR DETAILS
67	PHONE AND DATA BOARD REFER TO 3/A1.6 FOR MORE INFORMATION
69	GC TO PROVIDE BATT INSULATION AND 5/8" GWB. PREPARED GWB TO RECEIVE A LEVEL 4 FINISH PER THE NATIONAL GYPSUM ASSOCIATION.
70	TENANT PROVIDED FURNITURE. CONTRACTOR ASSEMBLED. REFER TO ELECTRICAL PLAN ON SHEET A1.6 FOR INSTALLATION OF PROVIDED POWER / DATA ITEMS WITHIN FURNITURE. COORDINATE WITH TENANT. PROVIDE 30X48 CLEAR AREA FOR PARALLEL APPROACH AT 36" ADA TRANSACTION AREA.
71	ADA COMPLIANT TOILET ROOM. REFER TO A0.3 FOR CLEARANCES. CONTRACTOR TO PROVIDE AND INSTALL ADA REQUIRED TOILET, SINK INCLUDING WOOD BLOCKING (SEE DETAIL 2A/A0.5), PIPE WRAP, MIRROR, AND GRAB BARS. ADDITIONAL TOILET ROOM ACCESSORIES OF TOILET PAPER, PAPER TOWEL, AND SOAP DISPENSERS ARE TENANT PROVIDED AND CONTRACTOR INSTALLED USING SCREWS AND WALL ANCHORS.
72	TENANT PROVIDED CASEWORK. CONTRACTOR INSTALLED. CASEWORK INCLUDES DOUBLE BASIN SINK AND FAUCET AND TWO 36" WIDE WALL CABINETS. BOTTOM OF WALL CABINET TO BE 24" ABOVE COUNTERTOP.
73	CONTRACTOR TO PROVIDE ADA COMPLIANT SIGNAGE WITH RAISED BRAILLE THROUGHOUT AND AT EGRESS DOORS. REFER TO A0.3 FOR ADDITIONAL INFORMATION. SIGNS TO BE ON LATCH SIDE OF DOORS OR RIGHT SIDE OF DOUBLE DOORS.
74	TENANT PROVIDED CABINETRY. CABINETRY INCLUDES TWO (2) 18" WIDE BASE UNITS, PLAM COUNTERTOP AT 29" A.F.F. CONTRACTOR INSTALLED.
75	ALL MILLWORK TENANT PROVIDED AND CONTRACTOR INSTALLED SEE SHEET A-3.1 FOR DETAILS
76	CONTRACTOR TO PROVIDE WATER HEATER IN BREAK ROOM TO ACCOMMODATE HOT WATER LOAD. PROVIDE A WATER HEATER AND PLATFORM (REFER TO DETAIL 10/A0.06 FOR MORE INFORMATION). CONTRACTOR TO HIRE A LICENSED DESIGN-BUILD SUBCONTRACTOR AS REQUIRED.
77	SERVICE SINK PROVIDED AND INSTALLED BY CONTRACTOR. CONCRETOR TO BOLT UNIT TO THE FLOOR PER MANUFACTURER'S RECOMMENDATIONS.
78	ADA COMPLIANT HIGH LOW DRINKING FOUNTAIN. GC PROVIDED AND INSTALLED. REFER TO A0.3 FOR CLEARANCE
80	SQUAT RACK. TENANT PROVIDED. CONTRACTOR INSTALLED. CONTRACTOR TO BOLT UNIT TO THE FLOOR PER MANUFACTURER'S RECOMMENDATIONS. SQUAT RACK PLACEMENT TO BE CENTERD ON A MINIMUM OF 10'-0" SOLID SECTION OF WALL WITH CENTERLINE OF BAR POSITION 18" OFF WALL FACE AND 18" MINIMUM FROM THE END OF BAR TO ANY ADJACENT WALL OR SURFACE. NO PROJECTION OF BAR OR RACK TO EXTEND BEYOND WALL INTO AREAS OF WALKWAYS OR EGRESS PATHS.



ELECTRICAL PLANS ARE FOR GRAPHICAL INDICATION ONLY AND SHALL GOVERN DIMENSIONS AND LOCATIONS OF ELECTRICAL FIXTURES – ALL FIXTURES AND FINISHES TO BE SELECTED BY TENANT. ALL ELECTRICAL WORK SHALL MEET CURRENT ELECTRICAL CODES.

COORDINATE ALL ELECTRICAL LOADS WITH LICENSED ELECTRICIAN AND TENANT.

COLOR OF ALL SWITCHES, DIMMERS, COVER PLATES, SCREWS, ETC. TO MATCH EXISTING.
CONTRACTOR TO VERIFY AVAILABILITY AND LEAD TIMES. SWITCHES TO BE GANGED WHERE
POSSIBLE.

4'-0"

CONTRACTOR PROVIDE 3/4" FIRE TREATED PLYWOOD EQUIPMENT PANEL WITH SMOOTH FACE AND NO KNOT HOLES. PAINT TO MATCH ADJACENT WALL COLOR

EXTENDER

ISP MODEM

FORTINET SWITCH

UPS

FORTINET PATCH

PHONE BASE

PUNCHDOWN PANEL

PUNCH DOWN PANEL AS REQUIRED COORDINATE WITH TENANT

TENANT PROVIDED PATCH MOUNTED TO BOARD OR PARTICLE BOARD SHELF ROUTING TO DATA PORTS IN SUITE AS REQUIRED

TENANT BASE FOR PHONE SYSTEM

ALL POWER CABLEING TO BE NEATLY ROUTED AND SECURELY FASTENED TO EQUIPMENT PANEL

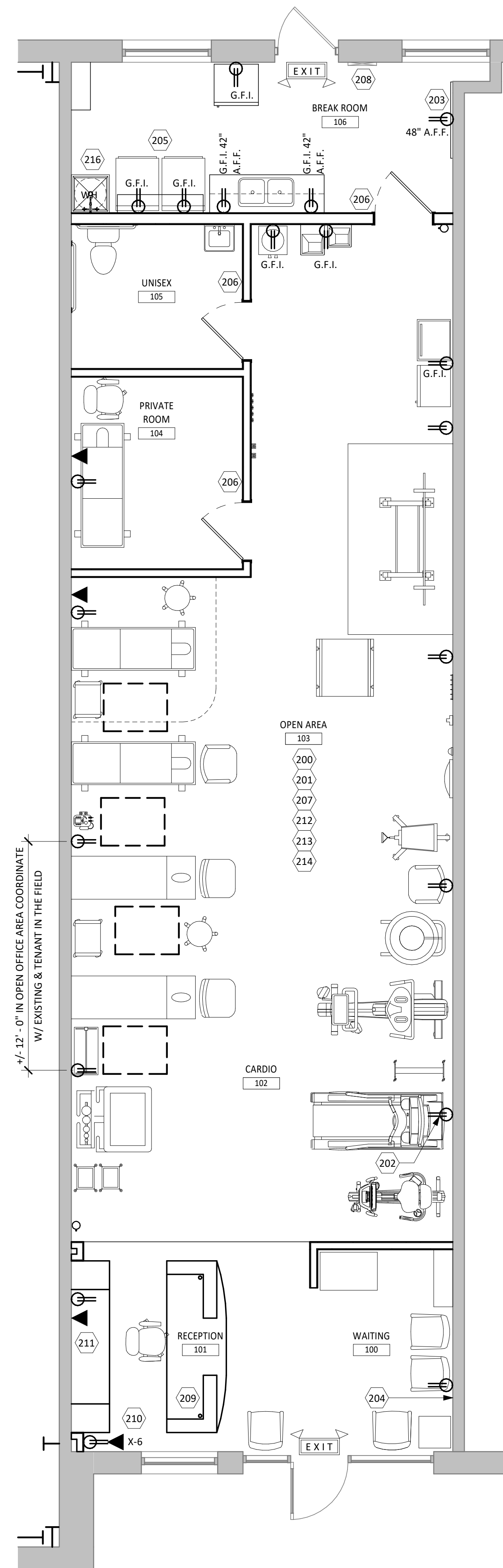
4'-8" TO FIN FLR

ALL EQUIPMENT TO BE PLUGGED INTO TO BATTERY BACK-UP / SURGE PROTECTOR SIDE OF UPS

POWER CORD FOR UPS POWER SUPPLY TO BE COILED FOR EXTRA CORD AND ZIP TIED. STAPLE CORD TO WALL BETWEEN EQUIPMENT PANEL AND OUTLET

48" TO FIN FLR

4'-0"



 ELECTRICAL OUTLET.
HEIGHT ABOVE FLOOR 18" UNO
GFI OUTLET IN WET LOCATIONS
AND AS REQUIRED BY CODE.

 DATA PORT. AT FLOOR LOCATIONS
PROVIDE A HEAVY DUTY COVER PLATE



BENCHMARK PHYSICAL THERAPY

2285 NC 24-87
CAMERON, NC 28326-6687

PROJECT NAME / ADDRESS

ISSUES / REVISIONS

[illegible]

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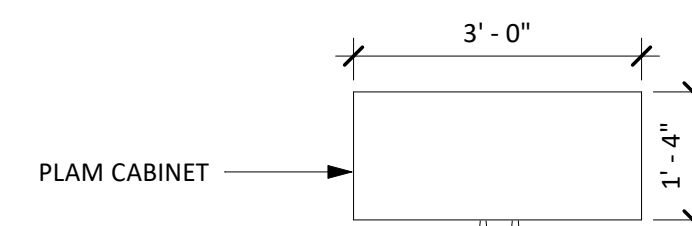
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CASEWORK DETAILS

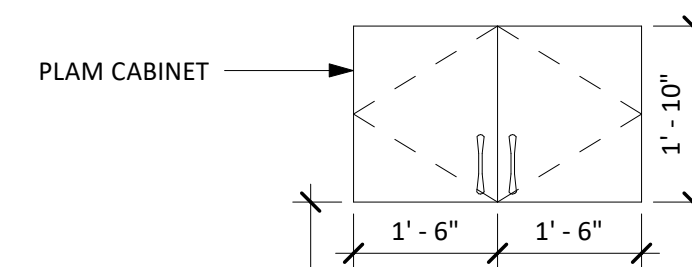
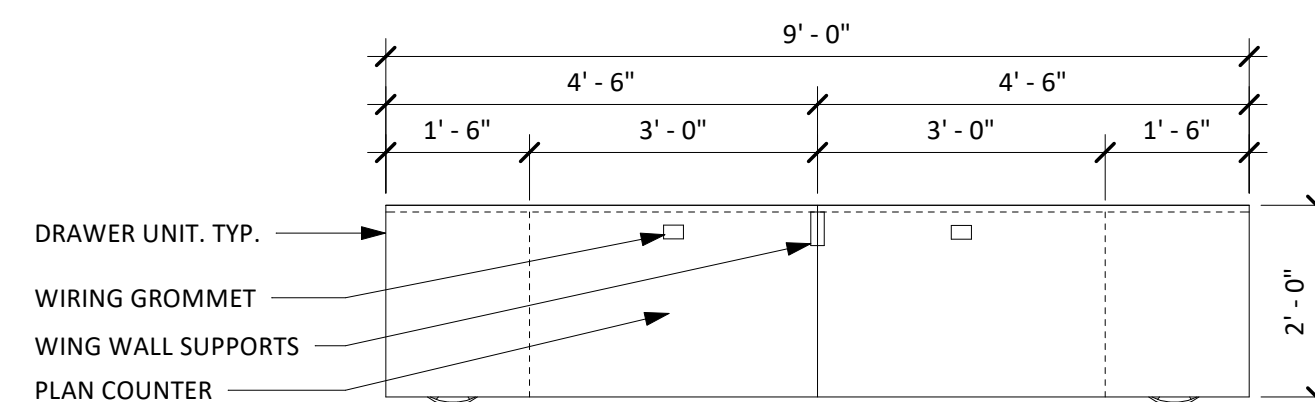
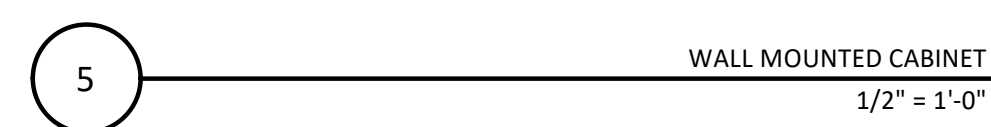
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ISSUE DATE:	04/21/26
SCALE:	1/2" = 1'-0"
DRAWN BY:	JM
CHECKED BY:	PH

A3.1

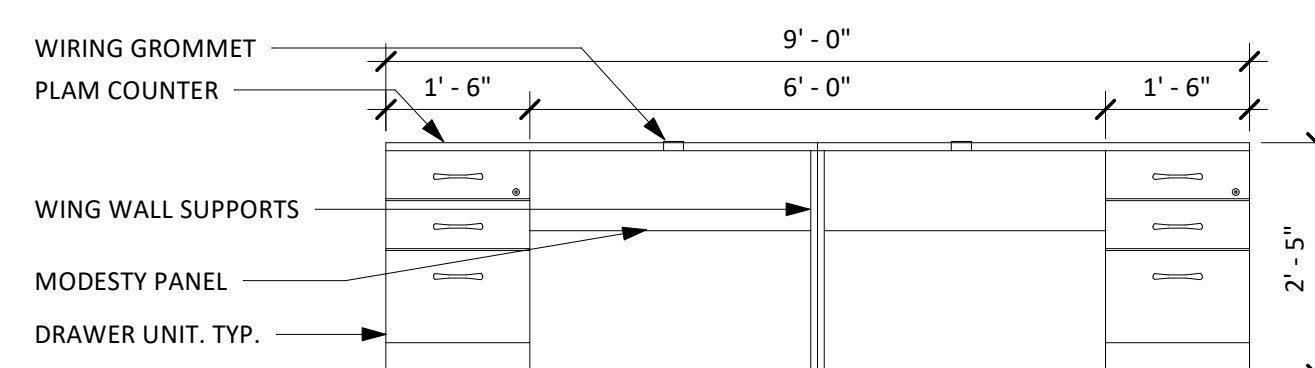
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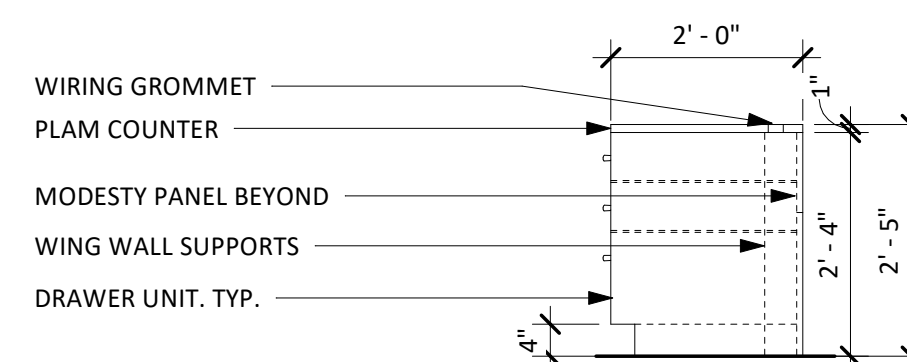
PLAN

ELEVATION

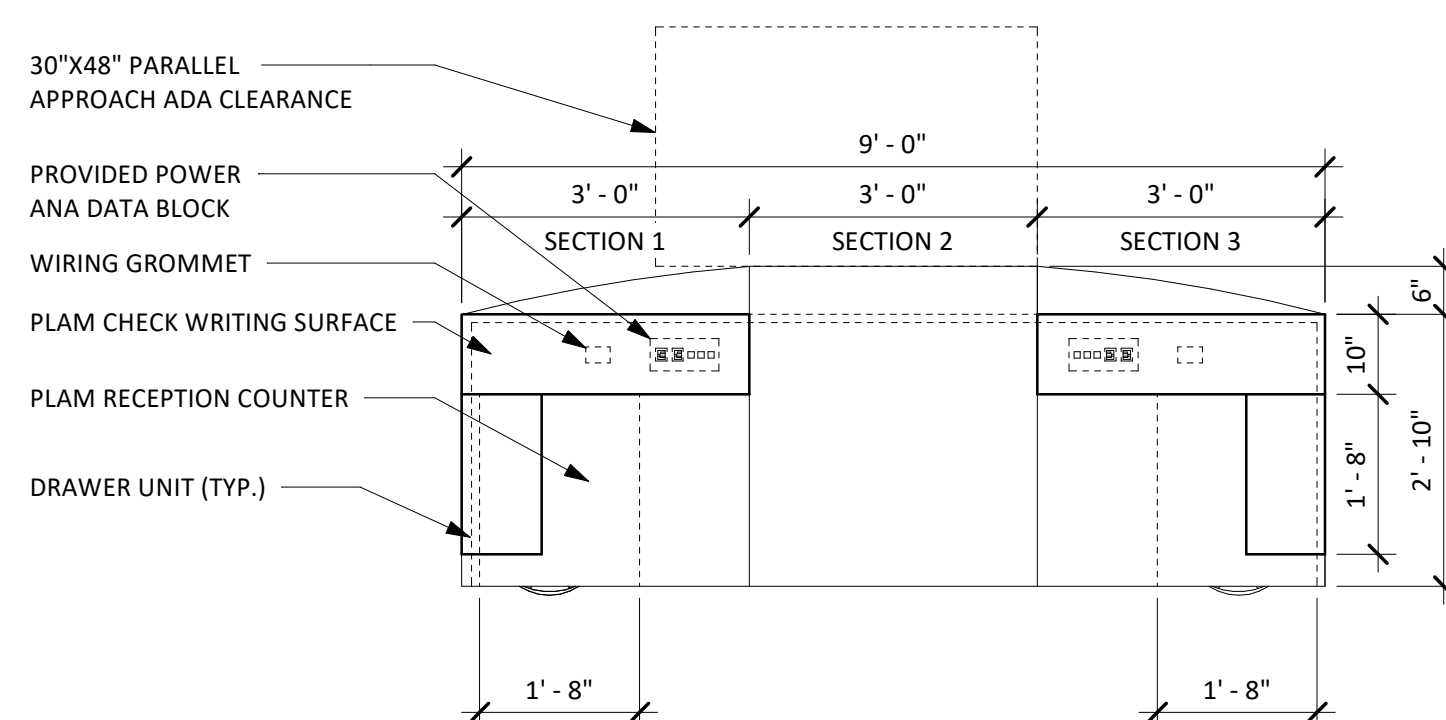
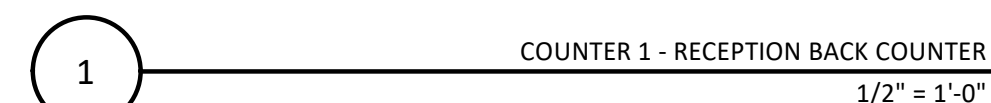
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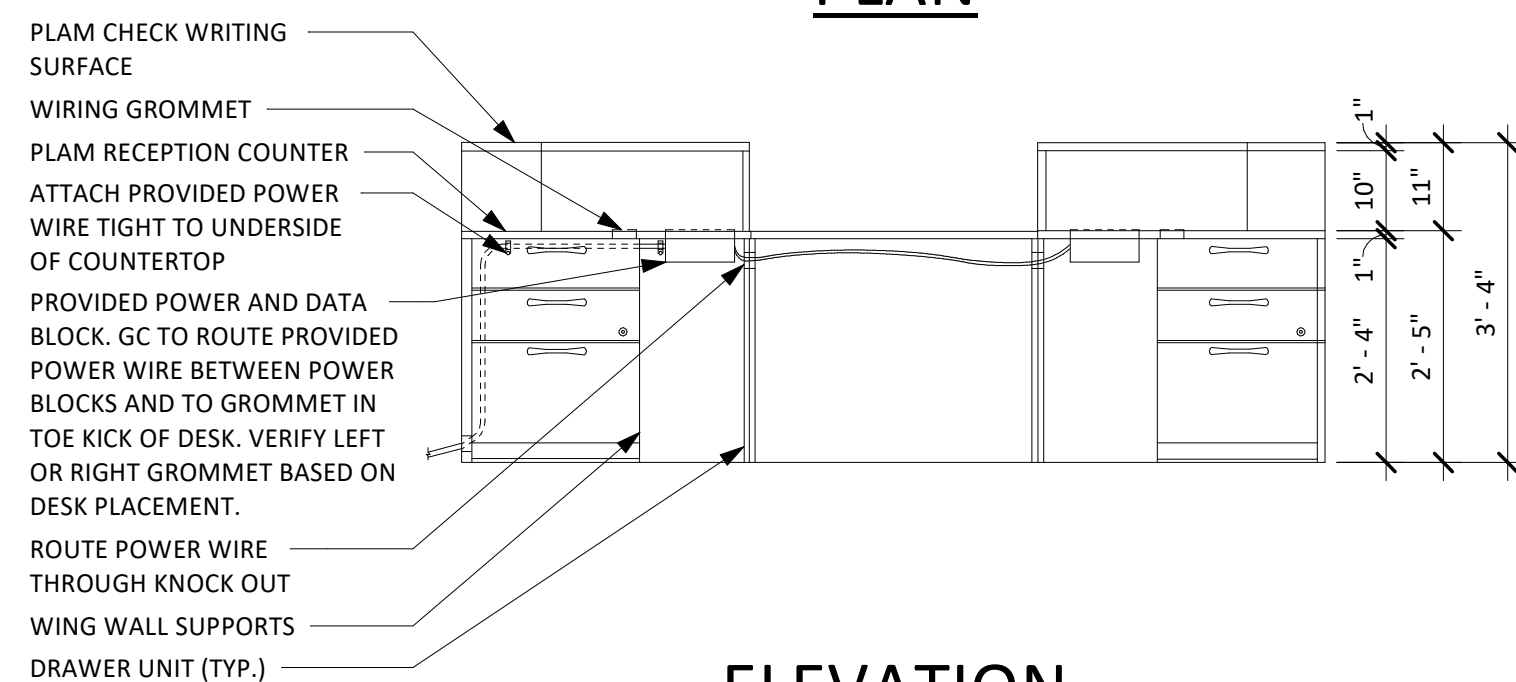
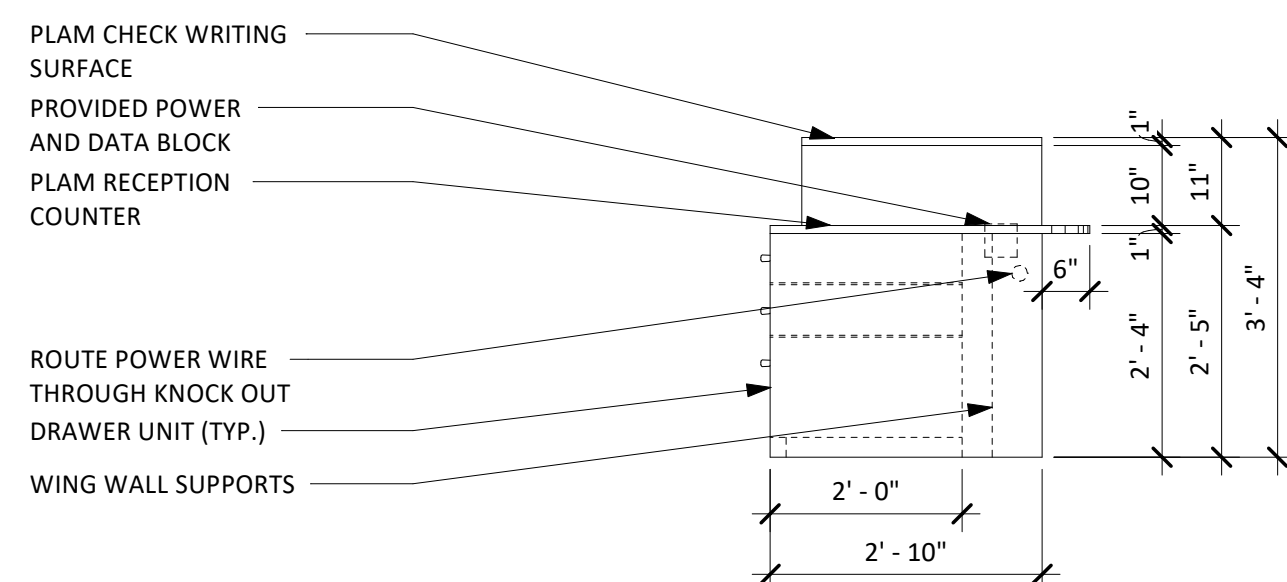
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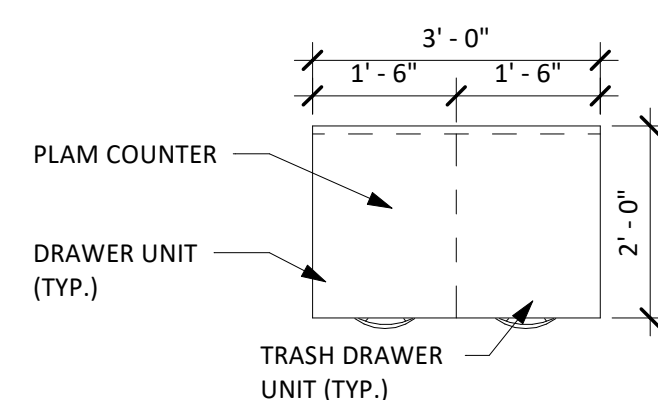
SECTION



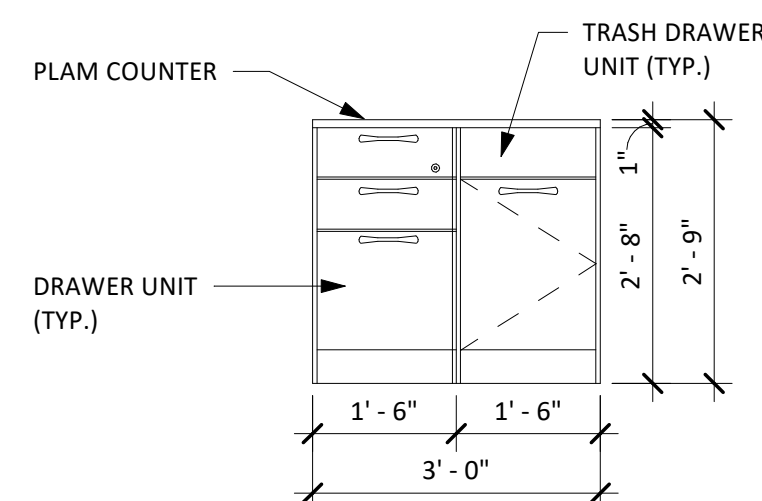
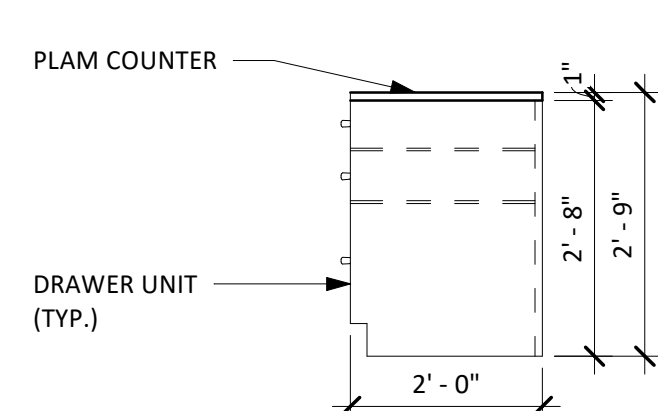
PLAN

ELEVATION

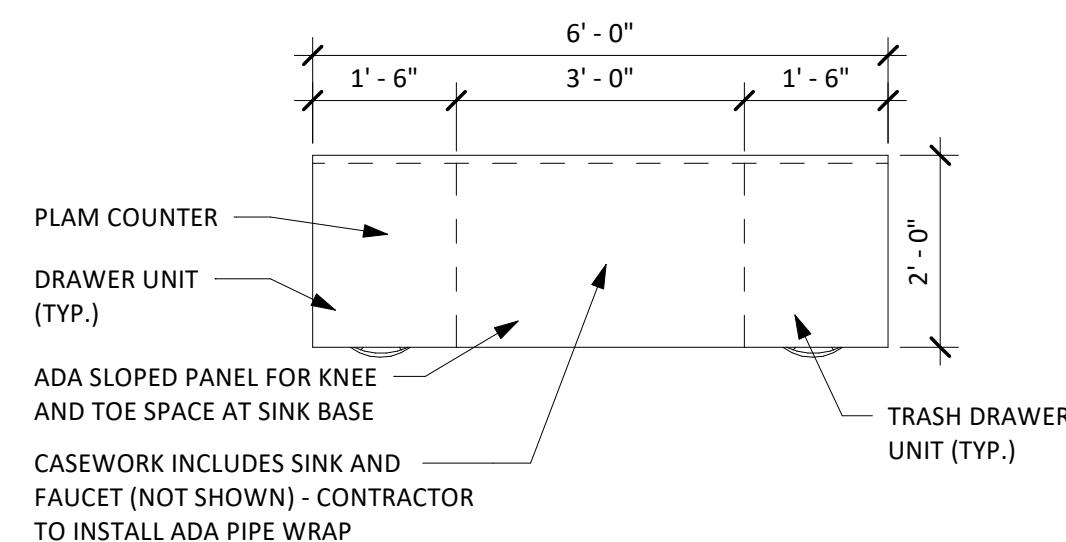
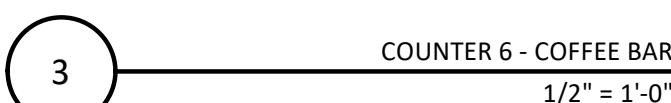
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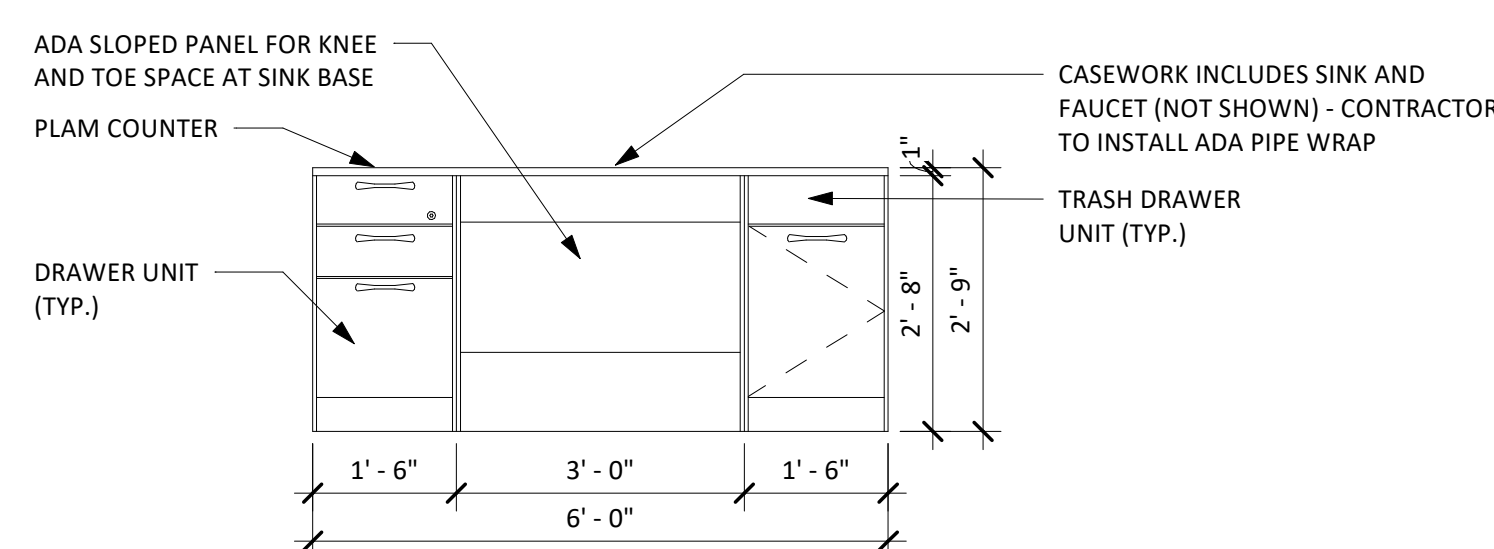
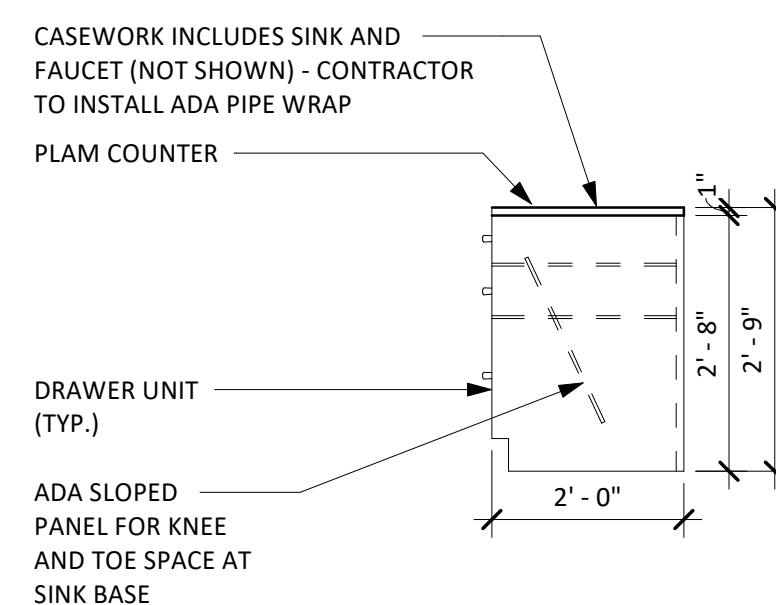
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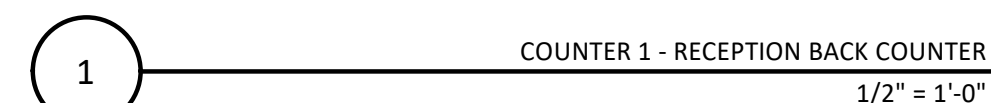
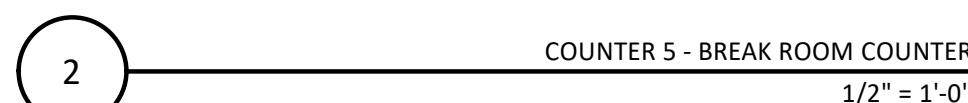
SECTION



PLAN

ELEVATION

SECTION



INDOOR FAN COIL UNIT										OUTDOOR HEAT PUMP UNIT										STATUS (EXIST. / NEW)	TYPE (HEAT/COOL)
MARK	SUPPLY FAN		OA CFM (EA)	ELEC HEAT		ELEC (60HZ) V/PH	BASIS OF DESIGN		MARK	COOLING		ELEC (60HZ)		SEER	HSPF	HEATING MBH (47°F)	BASIS OF DESIGN		REMARKS		
	CFM	ESP (W.G.)		OUTPUT (208V/1PH)	# STEPS		MFGFR	MODEL		NOM TONS	# STEPS	V/PH	MOCp				MANUFACTURER	MODEL			
FCU-1,2	1,200	0.6	130	3.8kW	1	208/1	CARRIER	FJ5ANXC36	HPU-1	3	1	208/1	30	14.3	7.5	36.08	CARRIER	27SCA536	(1)(2)(3)(4)	NEW	HEAT PUMP/ ELEC.

- | FANS | | | | | | | | | | | |
|------|-------------|-----------|-----|-----------|-------|--------------|---------|-----------|-----------------|----------|---------|
| MARK | TYPE | SERVICE | CFM | ESP (W.G) | MOTOR | ELEC (60 HZ) | | MAX SONES | BASIS OF DESIGN | | REMARKS |
| | | | | | | V/PH | DISC BY | | MANUFACTURER | MODEL | |
| EF-1 | CEILING-MTD | RESTROOMS | 50 | 0.25 | 6.1 W | 120/1 | MC | 0.6 | GREENHECK | SP-80-VG | (1) |

- | DIFFUSERS, REGISTERS, AND GRILLES | | | | | | | | | | | | |
|-----------------------------------|-------------------------|----------|-------------|--------|--------|-----------|------------|----------|--------|-----------------|------------|---------|
| MARK | TYPE | MOUNTING | NECK DAMPER | MAX NC | MAX ΔP | SIZE | | MAT'L | FINISH | BASIS OF DESIGN | | REMARKS |
| | | | | | | NECK | FRAME | | | MFGR | MODEL | |
| S1 | 4-WAY LOUVERED DIFFUSER | LAY-IN | N | 30 | 0.1" | PER PLANS | 24x24 | ALUMINUM | (2) | TITUS | TMS-AA (1) | |
| S2 | 4-WAY LOUVERED DIFFUSER | SURFACE | Y | 30 | 0.1" | PER PLANS | 12x12 | ALUMINUM | (2) | TITUS | TDC-AA (1) | |
| R1 | EGGCRATE GRILLE | SURFACE | N | 30 | 0.05" | PER PLANS | 24x24, UNO | ALUMINUM | (2) | TITUS | 50F (1) | |

- | HVAC LEGEND | |
|-------------|---|
| SYMBOL | DESCRIPTION |
| | EXISTING MECHANICAL CONSTRUCTION
(CROSS HATCHED = TO BE REMOVED) |
| | CONNECTION TO EXISTING CONSTRUCTION |
| | AIR DEVICE TAG |
| | SUPPLY AIR DEVICE |
| | RETURN / EXHAUST AIR DEVICE |
| | DUCTWORK, SIZED AS SPECIFIED
(LINED WHERE NOTED/SPECIFIED) |
| | FLEXIBLE DUCT OR CONNECTOR |
| | DUCTWORK, SIZED AS SPECIFIED
(LINED WHERE NOTED/SPECIFIED) |
| | DUCT OFFSET: (R)ISE, (D)ROP - ARROW
SHOWS DIRECTION OF OFFSET. |
| | FD = FIRE DAMPER
FSD = FIRE/SMOKE DAMPER |
| | FD = FIRE DAMPER
FSD = FIRE/SMOKE DAMPER |
| | MD = MANUAL DAMPER
MOD = MOTOR-OPERATED DAMPER |
| | MOTOR-OPERATED DAMPER |
| | (T)HERMOSTAT, (H)UMIDISTAT |

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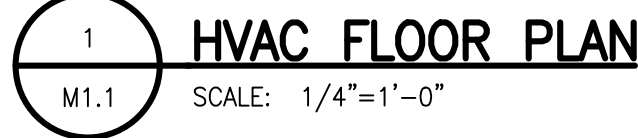
ABBREV.	DEFINITION	ABBREV.	DEFINITION
A/C	ABOVE CEILING	L&S	LOUVER AND SCREEN
AD	ACCESS DOOR	LAHJ	LOCAL AUTHORITY HAVING JURISDICTION
AFF	ABOVE FINISHED FLOOR	LF	LINEAR FEET
B/F	BELOW FLOOR	MD	MANUAL DAMPER
B/G	BELOW GRADE	MECH	MECHANICAL
BB	BASE BUILDING	MFR	MANUFACTURER
BD	BACKDRAFT DAMPER	MOD	MOTOR-OPERATED DAMPER
BLDG	BUILDING	MTD	MOUNTED
CD	CONDENSATE DRAIN	N/A	NOT APPLICABLE
CF(H/M)	CUBIC FEET PER (HOUR / MINUTE)	NC	NOISE CRITERIA
CLG	CEILING	NIC	NOT IN CONTRACT
CONC	CONCRETE	NOM	NOMINAL
CONN	CONNECT(ION)	OA	OUTSIDE AIR
CONT	CONTINUATION	OC	ON CENTERS
DIA	DIAMETER	OPNG	OPENING
DIV 15/16	DIVISION 15000 (MECH) / 16000 (ELEC)	PLBG	PLUMBING
DN	DOWN	RA	RETURN AIR
EA	EACH or EXHAUST AIR	SA	SUPPLY AIR
ELEC	ELECTRICAL	SF	SQUARE FEET
EXH	EXHAUST	SQ	SQUARE
EXIST	EXISTING	TBD	TO BE DETERMINED
FA	FREE AREA	THRU	THROUGH
FACP	FIRE ALARM CONTROL PANEL	T'STAT	THERMOSTAT
FD	FIRE DAMPER	TYP	TYPICAL
FLEX	FLEXIBLE	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR	WC	WATER COLUMN
FP	FIRE PROTECTION	WG	WATER GAUGE
FSD	COMBINATION FIRE AND SMOKE DAMPER	XFER	TRANSFER

1. WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES AND STANDARDS ADOPTED BY THE AUTHORITY HAVING JURISDICTION AND ALL APPLICABLE LOCAL ORDINANCES.
2. CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES, INSPECTIONS, ETC., AND PAY ALL INCIDENTAL FEES, AS REQUIRED TO OBTAIN A PERMIT AND A PERMANENT CERTIFICATE OF OCCUPANCY.
3. WORK SHALL BE COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO AVOID CONFLICTS. CONFLICTS WHICH ARISE DUE TO LACK OF PROPER COORDINATION SHALL BE CORRECTED AT THE CONTRACTOR'S COST.
4. DESIGN INDICATED IS SCHEMATIC AND MAY NOT REFLECT ALL CONSTRAINTS IMPOSED BY ACTUAL PROJECT CONDITIONS. CONTRACTOR SHALL VISIT SITE AND REVIEW CONSTRUCTION DOCUMENTS (INCLUDING ALL TRADES) TO FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BID. CONTRACTOR'S BID SHALL INCLUDE ANY AND ALL COSTS REQUIRED TO REWORK THE DESIGN TO FIT WITHIN THE PHYSICAL CONSTRAINTS WHILE ACHIEVING THE OVERALL DESIGN INTENT.
5. COORDINATE LOCATION AND ROUTING OF ALL WORK WITH ELECTRICAL CONTRACTOR TO AVOID CONFLICTS. DO NOT INSTALL ANY MECHANICAL WORK WITHIN "DEDICATED SPACE" REQUIRED BY NATIONAL ELECTRICAL CODE TO ELECTRICAL GEAR.
6. COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL EQUIPMENT AND DEVICES WITH THE ELECTRICAL CONTRACTOR PRIOR TO ORDERING.
7. ALL MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. ADDITIONAL WARRANTY APPLY WHERE SPECIFIED.
8. EQUIPMENT START-UP AND COMMISSIONING SHALL BE PERFORMED BY FACTORY-AUTHORIZED AGENTS ONLY. SUBMIT WRITTEN START-UP PROCEDURES TO OWNER FOR APPROVAL PRIOR TO PERFORMANCE OF START-UP ACTIVITIES. FINAL REPORTS SHALL BE APPROVED BY OWNER.
9. ALL PENETRATIONS OF FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRE STOPPED WITH UL-LISTED SYSTEM APPROVED FOR THE APPLICATION.
10. FLASH AND SEAL ALL PENETRATIONS OF BUILDING EXTERIOR, WALLS AND ROOF WITH APPROVED SEALANT.
11. PROVIDE PERMANENT LABELS FOR ALL EQUIPMENT, CONTROLS, AND PIPING.

1. EXCEPT WHERE OTHERWISE SPECIFIED, GENERAL DUCTWORK SHALL BE G90 GALVANIZED STEEL, LOCK-FORMING QUALITY, FABRICATED AND INSTALLED PER SMACNA "HVAC DUCT CONSTRUCTION STANDARDS" AND CODE. DUCTWORK SHALL BE RATED FOR FAN OPERATING PRESSURE, BUT NOT LESS THAN 1" WG, AND SEALED TO CLASS B SEAL. DUCT SIZES SHOWN ARE NET FREE AREA DIMENSIONS, ADJUST SHEETMETAL SIZES FOR DUCT LINER AS REQUIRED.
2. DRYER VENT SHALL BE G90 GALVANIZED STEEL WITH ALL JOINTS AND SEAMS TAPED. DO NOT USE SCREWS OR ANY OTHER FASTENERS WHICH PROTRUDE INTO DUCT.
3. INSULATE ALL METAL DUCTWORK WITH 2", R-8 FIBERGLASS DUCT WRAP EXCEPT WHERE OTHERWISE SPECIFIED. PROVIDE 1", 1.5 PCF ACOUSTICAL FIBERGLASS DUCT LINER AT SUPPLY AND RETURN DUCTWORK FROM EQUIPMENT CONNECTION THRU FIRST 15 FEET OF DUCTWORK. DUCT LINER SHALL HAVE NEOPRENE COATING WITH ANTIMICROBIAL TREATMENT ON AIR SIDE.
4. FLEXIBLE DUCT SHALL BE UL 181 CLASS 1, STEEL WIRE HELIX WITH REINFORCED INNER LAYER, R-6 FIBERGLASS INSULATION, AND FOIL-FACED OUTER VAPOR BARRIER.
5. EXCEPT WHERE NOTED OTHERWISE, EACH SUPPLY AIR DEVICE SHALL HAVE MANUAL BALANCING DAMPER AT TAKE-OFF CONNECTION TO SUPPLY TRUNK DUCT. NECK DAMPERS SHALL BE PROVIDED IF, AND ONLY IF, THE TAKE-OFF CONNECTION IS CONCEALED BEHIND PERMANENT INACCESSIBLE CONSTRUCTION (E.G., HARD CEILINGS).
6. AIR DEVICES SHALL BE AS NOTED OR SCHEDULED. COORDINATE BORDER AND MOUNTING WITH SURFACE IN WHICH INSTALLED, REFER TO ARCHITECTURAL DRAWINGS. AIR DEVICES IN FINISHED SPACES SHALL BE FREE OF VISIBLE FASTENERS. COLOR AND FINISH SHALL BE APPROVED BY THE ARCHITECT.
7. COOLING COIL CONDENSATE DRAINAGE PIPING SHALL BE TYPE M COPPER WITH SOLDER JOINTS, SIZED AS NOTED, AND SLOPED AT NOT LESS THAN 1 PERCENT UNIFORM SLOPE.
8. PROVIDE UL 555 FIRE DAMPERS (UL 555S COMBINATION FIRE/SMOKE DAMPERS) AT ALL AIR DISTRIBUTION SYSTEM PENETRATIONS OF FIRE RATED (FIRE AND SMOKE RATED) ASSEMBLIES.
9. SUPPORT EQUIPMENT DIRECTLY FROM BUILDING STRUCTURE PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE VIBRATION ISOLATION FOR ALL EQUIPMENT WITH ROTATING PARTS.
10. PROVIDE COMPLETE TESTING, ADJUSTING, AND BALANCING (TAB) REPORT FOR ALL MECHANICAL CONSTRUCTION SERVING AREAS UNDER THIS SCOPE OF WORK. TAB SHALL BE PERFORMED BY NEBB OR AABC CERTIFIED AGENT, USING PROCEDURES COMPLYING WITH CERTIFYING AUTHORITY. BALANCE ALL FLUID QUANTITIES TO WITHIN +/-5% OF DESIGN QUANTITIES INDICATED.

1. PROVIDE CERTIFIED TESTING, ADJUSTING, AND BALANCING (TAB) REPORT FOR ALL MECHANICAL CONSTRUCTION SERVING AREAS UNDER THIS SCOPE OF WORK. TAB SHALL BE PERFORMED BY NEBB OR AABC CERTIFIED AGENT, USING PROCEDURES COMPLYING WITH CERTIFYING AUTHORITY. SUBMIT FINAL REPORT TO ENGINEER FOR REVIEW AND APPROVAL.
2. REPORT SHALL INCLUDE NAME, CONTACT INFORMATION, AND PROOF OF CERTIFICATION FOR TAB AGENT.
3. FINAL BALANCE ALL QUANTITIES TO WITHIN +/-5% OF DESIGN. ADJUST FAN SPEED TO LOWEST POSSIBLE.
4. AT A MINIMUM, THE FOLLOWING SHALL BE CERTIFIED IN THE REPORT (DESIGN QUANTITIES AND FINAL, BALANCED QUANTITIES):
 - 4.1. MANUFACTURER, MODEL #, AND SERIAL # OF ALL EXISTING AND NEW EQUIPMENT.
 - 4.2. ELECTRICAL CHARACTERISTICS OF ALL EXISTING AND NEW EQUIPMENT.
 - 4.3. AIR CONDITIONING SYSTEM PERFORMANCE: UNIT SUPPLY AIR FLOW, UNIT OUTSIDE AIR FLOW, FAN INLET AND DISCHARGE PRESSURES, UNIT INLET AND DISCHARGE PRESSURES, FAN SPEED AND AMP DRAW, COOLING AND HEATING COIL ENTERING AND LEAVING TEMPERATURES (DRY BULB AND WET BULB), OUTSIDE AIR TEMPERATURE (DRY BULB AND WET BULB).
 - 4.4. AIR DISTRIBUTION: AIRFLOWS AT EACH AIR DEVICE, CONFIRMATION OF DIRECTIONAL ADJUSTMENT OF SUPPLY DIFFUSER PATTERN CONTROLLERS WHERE NOTED ON PLANS.
 - 4.5. DESCRIPTION OF ANY PROBLEMS NOTED DURING BALANCING.

FOR CONSTRUCTION



1. COORDINATE ALL MECHANICAL CONSTRUCTION WITH OTHER TRADES TO AVOID CONFLICTS.
2. DUCT SIZES INDICATED ARE NET FREE AREA.

- ① ON INTAKE SHALL BE MIN 10'-0" FROM RESTROOM EXHAUST, GAS VENT (FLUE), OR PLUMBING VENT TERMINATION, INCLUDING THOSE OF ADJACENT TENANTS (CONTRACTOR TO FIELD VERIFY).
- ② DRYER VENT LENGTH IS APPROXIMATELY 28.5 FT (21 FT STRAIGHT DUCT INCL. VERTICAL PLUS THREE 4" SMOOTH RADIAL 90 DEGREE ELBOWS @ 2.5FT PER IMC CH 5)..
- ③ INSTALL DRYER VENT AND RESTROOM VENT MIN 10 FT ABOVE THE GROUND.
- ④ DISCHARGE CONDENSATE AT MOP SINK OR, IF REQUIRED BY AHJ, OUTSIDE ON SPLASH BLOCK.
- ⑤ MOUNT HEAT PUMP UNIT ON 4" REINFORCED CONCRETE PAD.



2 AIR DEVICE CONNECTION
M1.1 SCALE: NONE

3 FAN COIL UNIT
M1.1 SCALE: NONE

FOR CONSTRUCTION

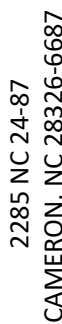
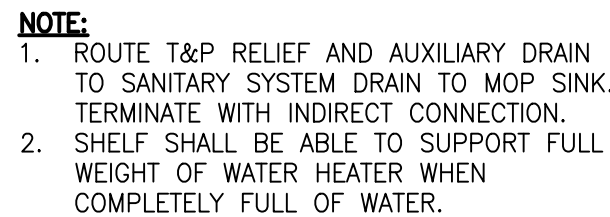
PLUMBING GENERAL NOTES

1. FIXTURES AND EQUIPMENT ARE INDICATED ON PLUMBING SHEETS FOR GENERAL REFERENCE ONLY, REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ELEVATIONS OF ALL FIXTURES AND EQUIPMENT.
2. ALL WORK SHALL BE BY LICENSED PLUMBER AND IN ACCORDANCE WITH APPLICABLE CODES.
3. PLUMBING WATER (COLD AND HOT) PIPING SHALL BE EITHER TYPE B PEX (WHERE APPROVED BY AUTHORITY HAVING JURISDICTION) WITH BRASS FITTINGS AND CRIMPED JOINTS, 100 PSIG RATED OR SCHEDULE 40 CPVC WITH SOLVENT WELD JOINTS. INSULATE HOT WATER PIPING CONTINUOUSLY WITH ELASTOMERIC FOAM PIPE INSULATION (1" FOR HW AND HWR) EXCEPT WHERE OTHERWISE SPECIFIED, PROVIDE CONTINUOUS SEAL AROUND ALL SEAMS AND JOINTS WITH INSULATION MANUFACTURER'S SEALING COMPOUND. PROVIDE 1/4-TURN BALL STOP VALVES AT FINAL CONNECTION TO FIXTURES, APPLIANCES, OR EQUIPMENT. ALL MATERIALS SHALL BE APPROVED FOR DOMESTIC WATER (POTABLE) SERVICE.
4. SANITARY DRAINAGE AND VENT PIPING SHALL BE DWV PVC WITH SOLVENT WELD JOINTS. PIPING 2-1/2" AND SMALLER SHALL BE SLOPED AT MINIMUM 2 PERCENT, PIPING 3" AND LARGER SHALL BE SLOPED AT MINIMUM 1 PERCENT. DRAIN PIPING UPSTREAM OF GREASE TRAP/INTERCEPTOR SHALL BE SLOPED AT MINIMUM 2 PERCENT, REGARDLESS OF PIPE SIZE. PROVIDE DRAINAGE PATTERN FITTINGS.
5. TRAP PRIMERS SHALL BE PROVIDED FOR ALL FLOOR DRAINS AND HUB DRAINS, EXCEPT WHERE DRAIN RECEIVES A CONTINUOUS DISCHARGE AND WHERE AHJ APPROVES INSTALLATION WITHOUT TRAP PRIMER.
6. WATER PIPING ROUTED ABOVE CEILING AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE OF BUILDING INSULATION ASSEMBLY.
7. PROVIDE SIGN DIRECTING ALL EMPLOYEES TO WASH HANDS.
8. SEAL AROUND EDGES OF ALL WALL-MOUNTED FIXTURES WITH APPROVED CAULK/SEALING COMPOUND.
9. WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES AND STANDARDS ADOPTED BY THE AUTHORITY HAVING JURISDICTION AND ALL APPLICABLE LOCAL ORDINANCES.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES, INSPECTIONS, ETC., AND PAY ALL INCIDENTAL FEES, AS REQUIRED TO OBTAIN A PERMIT AND A PERMANENT CERTIFICATE OF OCCUPANCY.
11. WORK SHALL BE COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO AVOID CONFLICTS. CONFLICTS WHICH ARISE DUE TO LACK OF PROPER COORDINATION SHALL BE CORRECTED AT THE CONTRACTOR'S COST.
12. DESIGN INDICATED IS SCHEMATIC AND MAY NOT REFLECT ALL CONSTRAINTS IMPOSED BY ACTUAL PROJECT CONDITIONS. CONTRACTOR SHALL VISIT SITE AND REVIEW CONSTRUCTION DOCUMENTS (INCLUDING ALL TRADES) TO FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BID. CONTRACTOR'S BID SHALL INCLUDE ANY AND ALL COSTS REQUIRED TO REWORK THE DESIGN TO FIT WITHIN THE PHYSICAL CONSTRAINTS WHILE ACHIEVING THE OVERALL DESIGN INTENT.
13. THE BASIS-OF-DESIGN PRODUCTS WERE USED TO DETERMINE DIMENSIONS, INSTALLATION AND ACCESS CLEARANCES, SUPPORTS, ELECTRICAL SERVICE, CONNECTION ARRANGEMENTS, ETC. WHERE ALTERNATE PRODUCTS ARE PROVIDED, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL REQUIREMENTS AND RECTIFY ANY CONFLICTS AT THE CONTRACTOR'S COST.
14. ALL WORK SHALL BE INSTALLED TO AVOID CONFLICT WITH ELECTRICAL EQUIPMENT "DEDICATED SPACE" AS REQUIRED BY NEC AND LOCAL ORDINANCES. COORDINATE LOCATIONS OF ALL ELECTRICAL GEAR (DISTRIBUTION PANELS, TRANSFORMERS, SWITCHGEAR, ETC.) WITH ELECTRICAL CONTRACTOR PRIOR TO FABRICATION AND INSTALLATION.
15. CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL EQUIPMENT AND DEVICES WITH THE ELECTRICAL CONTRACTOR PRIOR TO ORDERING.
16. ALL MATERIALS AND EQUIPMENT SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO ORDERING. CONTRACTOR ASSUMES LIABILITY AND COSTS FOR ANY PRODUCT WHICH IS ORDERED PRIOR TO RECEIPT OF APPROVED SUBMITTALS.
17. ALL MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. ADDITIONAL WARRANTY SHALL APPLY WHERE SPECIFIED.
18. EQUIPMENT START-UP AND COMMISSIONING SHALL BE PERFORMED BY FACTORY-AUTHORIZED AGENTS ONLY. SUBMIT WRITTEN START-UP PROCEDURES TO OWNER FOR APPROVAL PRIOR TO PERFORMANCE OF START-UP ACTIVITIES. FINAL REPORTS SHALL BE APPROVED BY OWNER.
19. ALL PENETRATIONS OF FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRE STOPPED WITH UL-LISTED SYSTEM APPROVED FOR THE APPLICATION.
20. FLASH AND SEAL ALL PENETRATIONS OF BUILDING EXTERIOR, WALLS AND ROOF WITH APPROVED SEALANT.
21. ALL WORK INSTALLED WITHIN HVAC PLENUMS SHALL BE PLENUM RATED (25/50 FLAME SPREAD/SMOKE DEVELOPED) AND, WHERE REQUIRED BY THE LAHJ, SHALL BE NON-COMBUSTIBLE.
22. ALL EQUIPMENT SHALL BE NEW EXCEPT FOR EQUIPMENT SPECIFICALLY NOTED AS EXISTING TO REMAIN. CONTRACTOR SHALL TEST EXISTING EQUIPMENT FOR PROPER OPERATION AND REPORT CONDITION TO OWNER. ALL UNREPORTED EQUIPMENT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED IF NOT FUNCTIONAL AT THE DATE OF BENEFICIAL OCCUPANCY. NEW EQUIPMENT SHALL BE UL OR ETL LISTED AND LABELED. GAS-FIRED EQUIPMENT SHALL ALSO BE AGA OR CSA LISTED AND LABELED. INSTALL ALL EQUIPMENT PER THESE DOCUMENTS, MANUFACTURER'S RECOMMENDATIONS, AND CODE REQUIREMENTS FOR SPECIFIC APPLICATION.
23. EXCEPT WHERE SPECIFIED OTHERWISE, MECHANICAL CONTRACTOR SHALL PROVIDE STARTERS AND ELECTRICAL DISCONNECTS FOR ALL EQUIPMENT FURNISHED UNDER THIS CONTRACT.
24. PROVIDE PERMANENT LABELS FOR ALL EQUIPMENT, CONTROLS, AND PIPING.
25. PROVIDE PRESSURE REDUCING VALVE IF LINE PRESSURE EXCEEDS 80 PSI, SET TO 60 PSI.
26. REMOVE ALL INACTIVE PLUMBING BACK TO ACTIVE MAINS, CAP, SEAL, AND INSULATE TO MATCH EXISTING.
27. PLUMBING FIXTURES ARE EXISTING TO REMAIN EXCEPT WHERE NOTED OTHERWISE. THOROUGHLY CLEAN TO LIKE-NEW APPEARANCE AND SERVICE VALVES, DRAINS AND FAUCETS TO ENSURE PROPER OPERATION.
28. SUPPORT ALL PIPING AS REQUIRED PER CODE AND MSS SP-69. RESTRAIN PIPING AGAINST LONGITUDINAL AND LATERAL MOVEMENT. SUPPORTS SHALL BE SECURED TO SUBSTANTIAL BUILDING STRUCTURE ONLY, DO NOT SUPPORT FROM OTHER PIPING, DUCTWORK, EQUIPMENT, OR CONDUIT. EXTERIOR SUPPORT SYSTEMS (STRUTS, CLAMPS, BOLTS AND HARDWARE) SHALL BE STAINLESS STEEL.
 - 28.1. SECURE WALL-MOUNTED PIPING WITH STEEL STRUT CHANNELS WITH PIPE CLAMPS, SECURE TO MASONRY WALL WITH EXPANSION ANCHORS OR DIRECTLY TO WALL FRAMING STUDS.
 - 28.2. SUPPORT SUSPENDED PIPING BY J-HOOK HANGERS, CLEVIS HANGERS, OR STEEL STRUT SUPPORT CHANNELS WITH PIPE CLAMPS.
 - 28.3. SUPPORT VERTICAL PIPING AT 5FT CENTERS WITH STEEL STRUT CHANNELS SECURED TO ROOF STRUCTURE, WALLS, OR FLOOR.
 - 28.3. SECURE HANGERS FROM ROOF STRUCTURE, WALLS, OR FLOOR.
 - 28.2. PROVIDE DIELECTRIC BUSHING AT HANGERS FOR ALL COPPER PIPES.
29. ALL PIPING BELOW ADA FIXTURES SHALL BE INSULATED WITH HANDI-LAV GUARD MODELS 102 AND 105 INSULATION KITS.

MARK	DESCRIPTION	PLUMBING REQUIREMENTS				BASIS OF DESIGN		ACCESSORIES/NOTES
		CW	HW	WASTE	VENT	MFRG	MODEL	
WC	WATER CLOSET, TANK BARRIER FREE	1/2	—	4	2	AMER. STD. OR EQUAL	"CADET"	1.28 GPF, FURNISH WITH OPEN FRONT, WHITE SEAT BY CHURCH OR OLSONITE CHROME 3/8" ANGLE TYPE SUPPLY. FLUSH TRIP LEVER SHALL BE ON WIDE SIDE OF WATER CLOSET.
LAV	LAVATORY WALL-HUNG BARRIER FREE	1/2	1/2	2	2	AMER. STD. OR EQUAL	"LUCERNE"	DELTA 501-WF SINGLE HANDLE FAUCET, GRID STRAINER, & CONCEALED ARM SUPPORTS; 0.5 GPM FLOW RESTRICTER, CHROME 17 GA. P-TRAP W/CHROME ANGLE TYPE SUPPLIES, AND TRUBRO TRAP WRAP KIT 102W; WATTS ASSE 1070 MIXING VALVE SET TO 110°F OUTLET
MS	MOP SINK — SQUARE	1/2	1/2	3	2	FIAT OR EQUAL	MSB 2424	830-AA FAUCET W/VAC BREAKER; CURB CAP & WALL GUARDS; HOSE W/BRACKET; MOP HANGER
SK	DOUBLE BOWL SS SINK	1/2	1/2	2	2	ELKAY OR EQUAL	LRAD332165	2.0 GPM; HI-ARC ADA FAUCET; DRAIN W/BASKET STRAINER, TAILPIECE, P-TRAP; ADA PIPE COVERS
VB	RECESSED VALVE BOX — WASHING MACHINE	1/2	1/2	2	2	IPS WATERTITE OR EQUAL	FR12 SERIES	1/4-TURN STOPS; ASSE 1010 WATER HAMMER ARRESTORS
EWC	ELECTRIC WATER COOLER	1/2	—	2	2	OASIS OR EQUAL	PG8ACSL	HI-LO SPLIT LEVEL; BARRIER FREE; REFRIGERATED; 8 GPH, 50F WATER; 1/4HP
LT	LINT INTERCEPTOR	—	—	1	—	ENVIRONMENTAL ENHANCEMENTS	LINT LUV-R	APPROX. 16"—18" ABOVE THE WASHING MACHINE, UNDER SHELF OR CABINET
WH-1	WATER HEATER	3/4	3/4	—	—	AO SMITH	DEL-20	20 GAL; 6.0kW, 208V/1PH; 120F OUTLET; VACUUM BREAKER; EASTMAN 60023 EXPANSION TANK; T&P RELIEF

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	SANITARY OR WASTE PIPING
	VENT PIPING
	CONNECTION TO EXISTING CONSTRUCTION
	SHUT-OFF VALVE (TYPE AS SPECIFIED)
	PRESSURE REDUCING VALVE
	CHECK VALVE
	STRAINER
	UNION
	PIPE REDUCER
	PIPE END CAP
	CLEANOUT
	P-TRAP
	CONTINUATION OF PIPING

PLUMBING ABBREVIATIONS	
ABBREVI.	DEFINITION
AAV	AIR ADMITTANCE VALVE
A/C	ABOVE CEILING
ABV	ABOVE
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
B/F	BELOW FLOOR
B/G	BELOW GRADE
BTUH	BRITISH THERMAL UNITS PER HOUR
CO	CLEANOUT
CLG	CEILING
CONN	CONNECT(ION)
CONT	CONTINUATION
CW	DOMESTIC COLD WATER
DN	DOWN
EX.	EXISTING
GV	GATE VALVE
FD	FLOOR DRAIN
HW	DOMESTIC HOT WATER
HW(R)	DOMESTIC HOT WATER (RECIRCULATION)
IE	INVERT ELEVATION
KHW	KITCHEN HOT WATER (140°F)
KW	KITCHEN HOT WATER
O/H	OVERHEAD
PLBG	PLUMBING
PRV	PRESSURE REDUCING VALVE
SAN OR S.	SANITARY
TP	TRAP PRIMER
V.	VENT
W.	WASTE
WCO	WALL CLEAN OUT

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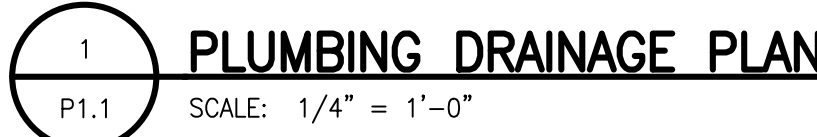
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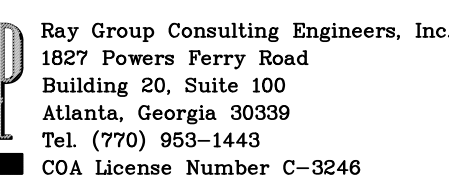
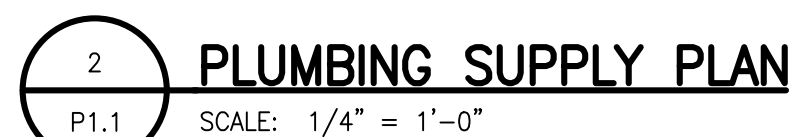
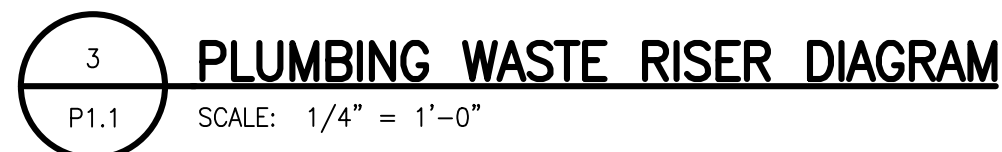


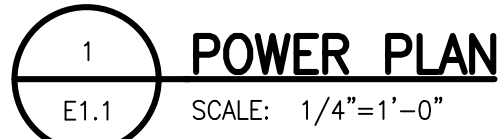
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1. CONTRACTOR SHALL CONFIRM EXISTING CONDITIONS PRIOR TO BID.
2. COORDINATE ALL MECHANICAL CONSTRUCTION WITH OTHER TRADES TO AVOID CONFLICTS.
3. CONFIRM LOCATIONS OF ALL EXISTING UTILITIES AND ADJUST ROUTING OF TENANT SYSTEMS AS REQUIRED.
4. EXISTING PLUMBING SERVICES (COLD WATER, HOT WATER, WASTE AND VENT) WHICH ARE NOT TO BE REUSED SHALL BE REMOVED BACK TO ACTIVE MAINS AND CAPPED. THERE SHALL BE NO "DEAD ENDS" LEFT IN PIPING SYSTEMS.

- ① PROVIDE ASSE 1070 TEMPERING VALVE, SET TO 110°F OUTLET, AT THE LAVATORY.
- ② ROUTE HW MAIN DOWN IN WALL TO WITHIN 2 FT OF LAVATORY CONNECTION, MAX LENGTH OF 3/8" RUNOUT TO LAVATORY SHALL BE 3 FT.
- ③ VENTS SHALL BE MIN 10'-0" FROM ANY OUTDOOR AIR INTAKE.

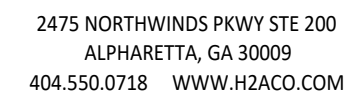




ELECTRICAL LEGEND		ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CONDUIT CONCEALED ABOVE CEILING OR IN WALL WHENEVER POSSIBLE.		THREE WAY SWITCH
	CONDUIT CONCEALED IN OR BELOW FLOOR.		NO DESIGNATION - FLUSH WALL 20A/125V/1PH/3W, NEMA 5-20R, DUPLEX RECEPTACLE C FLUSH WITH CEILING. MTG.. 18"A.F.F. UNLESS OTHERWISE NOTED
 A-2	HOME RUN TO PANELBOARD SHOWING CIRCUIT DESIGNATION. INDICATING PANEL AND CIRCUIT BREAKER NUMBER WITHIN THE PANEL... BREAKER LOCATIONS MAY BE REARRANGED TO PERMIT USE OF COMMON NEUTRAL CONDUCTOR.		20A/125V/1PH/3W, NEMA 5-20R, ISOLATED GROUNDING TYPE DUPLEX RECEPTACLE
	ELECTRIC MOTOR CONNECTION.		30A/125V/1PH/3W, NEMA 5-30R, RECEPTACLE
+ 44"	MOUNTING HEIGHT DESIGNATION IN INCHES ABOVE FINISHED FLOOR TO CENTERLINE... WHEN INDICATED ON DRAWINGS SUPERSEDES STANDARD MOUNTING HEIGHT IN LEGEND.		20A/125V/1PH/3W, NEMA 5-20R, DUPLEX GFCI RECEPTACLE @ 18" AFF. UNLESS OTHERWISE NOTED.
A.F.F.	ABOVE FINISHED FLOOR		FLOOR OUTLET WITH HEAVY-DUTY COVER PLATE.
A.B.S.	ABOVE BACKSLASH		208V/1PH, SEE INDIVIDUAL EQUIPMENT SPEC. SHEETS FOR PLUG TYPE.
	NON-FUSED DISCONNECT SWITCH		208V/3PH, RATING AS NOTED. SEE INDIVIDUAL EQUIPMENT SPEC. SHEETS FOR PLUG TYPE.
	FUSED DISCONNECT SWITCH		DATA PORT. AT FLOOR LOCATIONS, PROVIDE A HEAVY-DUTY COVER PLATE.
	JUNCTION BOX.	 96" A.F.F.	CABLE TELEVISION OUTLET. PROVIDE CLOCK PLUG OUTLET NEXT TO T.V. PORT AT SAME HEIGHT.
	ELECTRIC PANELBOARD.	#	NUMBER BESIDE DEVICE INDICATES CIRCUIT NUMBER
	SINGLE POLE SWITCH		EXISTING FIRE ALARM PULL STATION
	EQUIPMENT BACKBOARD		TELEPHONE LINE
	EXISTING FIRE ALARM HORN/STROBE		COMBUSTIBLE GAS DETECTOR
	EXISTING FIRE ALARM STROBE		

GENERAL NOTES:

KEYED NOTES:



BENCHMARK PHYSICAL THERAPY

2285 NC 24-87
CAMERON NC 28226-6687

PROJECT NAME / ADDRESS

ISSUES / REVISIONS

[illegible]

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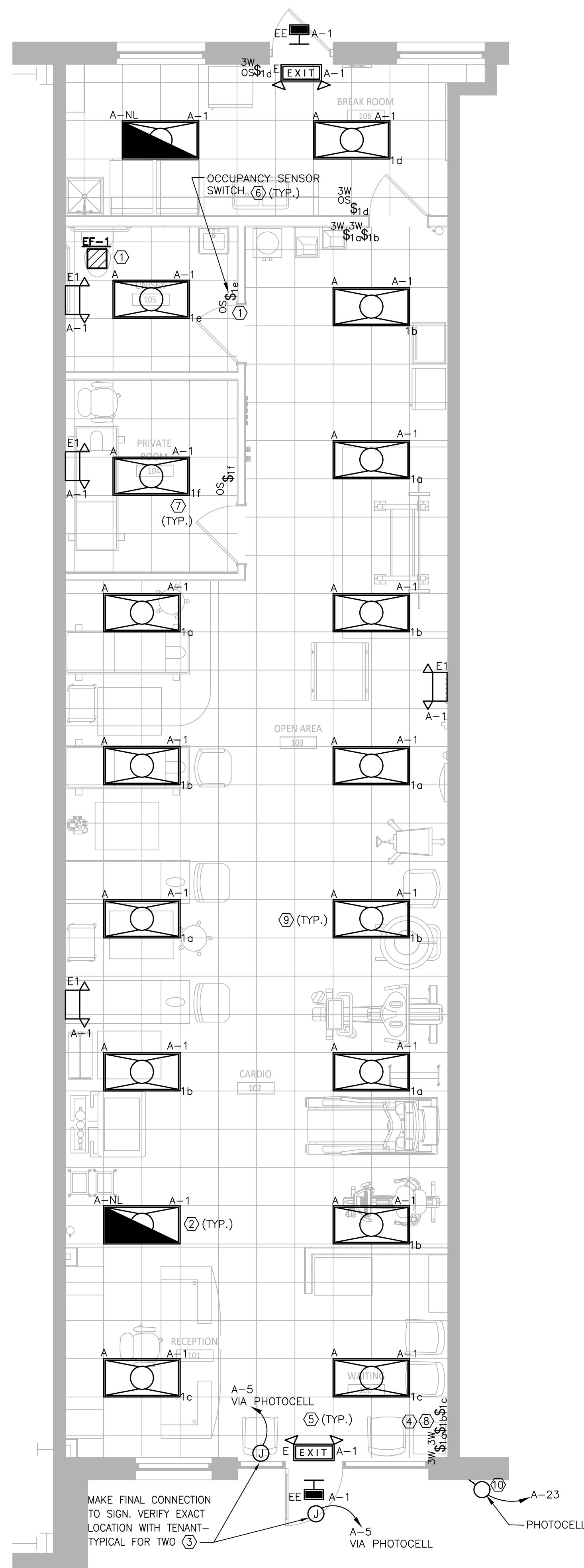
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ELECTRICAL LIGHTING PLAN

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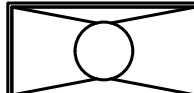
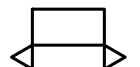
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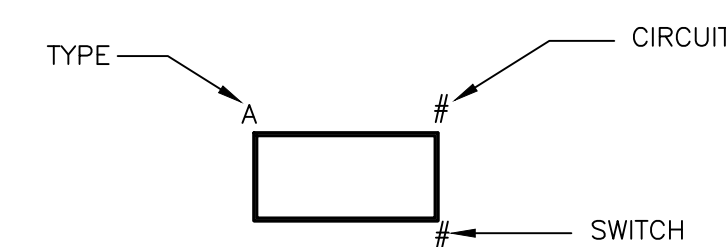


LIGHTING PLAN

E1.2 SCALE: 1/4"=1'-0"

LIGHTING FIXTURE SCHEDULE		
SYMBOL	TYPE	DESCRIPTION
	A	2 X 4 RECESSED LED LAY-IN FIXTURE; LITHONIA LIGHTING STAK 2X4 4000LM 80CRI 40K COL MIN1 ZT MVOLT OR APPROVED ALTERNATE; 33W LED
	A-NL	2 X 4 RECESSED LED LAY-IN FIXTURE; LITHONIA LIGHTING STAK 2X4 4000LM 80CRI 40K COL MIN1 ZT MVOLT OR APPROVED ALTERNATE; 33W LED; NIGHT LIGHT
	E	COMBO WALL MOUNTED EMERGENCY EXIT LIGHT AND EXIT SIGN WITH BATTERY BACK-UP
	E1	WALL MOUNTED EMERGENCY LIGHT WITH BATTERY BACK-UP
	EE	OUTDOOR EMERGENCY EGRESS LIGHT 2.2W LED; EXTERIOR DOOR LOCATIONS

LIGHT FIXTURE DESIGNATION:



KEYED NOTES:

- ① INTERLOCK EXHAUST FAN WITH RESTROOM LIGHT SWITCH.
- ② CONNECT NIGHT LIGHTS, EXIT SIGNS, EMERGENCY LIGHTS AHEAD OF SWITCH.
- ③ FIELD COORDINATE EXACT LOCATION OF JUNCTION BOX FOR SIGNAGE. PHOTOCELL SHALL CONTROL SIGNAGE.
- ④ LIGHT SWITCHES SHALL BE LOCATED NEAR RECEPTION/MAIN ENTRY DOOR FOR THE WAITING, RECEPTION AND TREATMENT AREA LIGHT FIXTURES. COORDINATE WITH TENANT.
- ⑤ PROVIDE NEW EXIT/EMERGENCY LIGHTS AS SHOWN. FIELD VERIFY AND RELOCATE AS REQUIRED.
- ⑥ PROVIDE OCCUPANCY SENSORS LUTRON MS-A102-WH OR EQUAL. FIELD COORDINATE EXACT LOCATION AND POWER PACK AS PER MANUFACTURER'S RECOMMENDATION. CONNECT TO THE CIRCUIT SERVING THE LIGHTING IN THE AREA. LIGHT SWITCHES SHALL BE COORDINATED TO BE LOCATED AT LOW VOLTAGE SIDE TO OPERATE IN VACANCY SENSING MODE. OCCUPANCY SENSORS SHALL TURN OFF LIGHTS WITHIN 30 MINUTES OF ALL OCCUPANTS LEAVING THE SPACE. LIGHT SWITCHES SHALL OVERRIDE THE OCCUPANCY SENSORS.
- ⑦ LIGHTS IN SEPARATE ROOMS SHALL BE INDIVIDUALLY SWITCHED FROM MAIN AREA.
- ⑧ DAY LIGHT ZONE RESPONSIVE CONTROL SHALL NOT APPLY. PROVIDE DAYLIGHT SWITCH AS SHOWN.
- ⑨ WHERE A MANUAL CONTROL PROVIDES LIGHT REDUCTION IN ACCORDANCE WITH SECTION C405.2.2.2, TIME-SWITCH CONTROLS SHALL NOT BE REQUIRED FOR SPACES WHERE PATIENT CARE IS DIRECTLY PROVIDED PER C405.2.2 TIME-SWITCH CONTROLS 2015 IECC.
- ⑩ PROVIDE PHOTOCELL FOR FRONT SIGNAGE. PHOTOCELL SHALL BE LOCATED ON THE NORTH-WEST SIDE OF THE TENANT SPACE. FIELD LOCATE.

GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL CONSTRUCTION WITH OTHER TRADES TO AVOID CONFLICTS.
2. CONTRACTOR SHALL VERIFY THERE IS NO OVERLOADING OF BRANCH CIRCUITS AND/OR PANELBOARDS REGARDLESS OF CIRCUITRY INDICATED.
3. CONTRACTOR SHALL MAINTAIN CIRCUIT CONTINUITY TO ALL DEVICES.
4. ALL NEW RECEPTACLES NEED TO BE FIELD VERIFIED.
5. COORDINATE WITH TENANT FOR LIGHTING CONTROL SWITCHES.



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PROJECT NAME / ADDRESS

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SHEET TITLE

PANEL AND RISER DIAGRAM

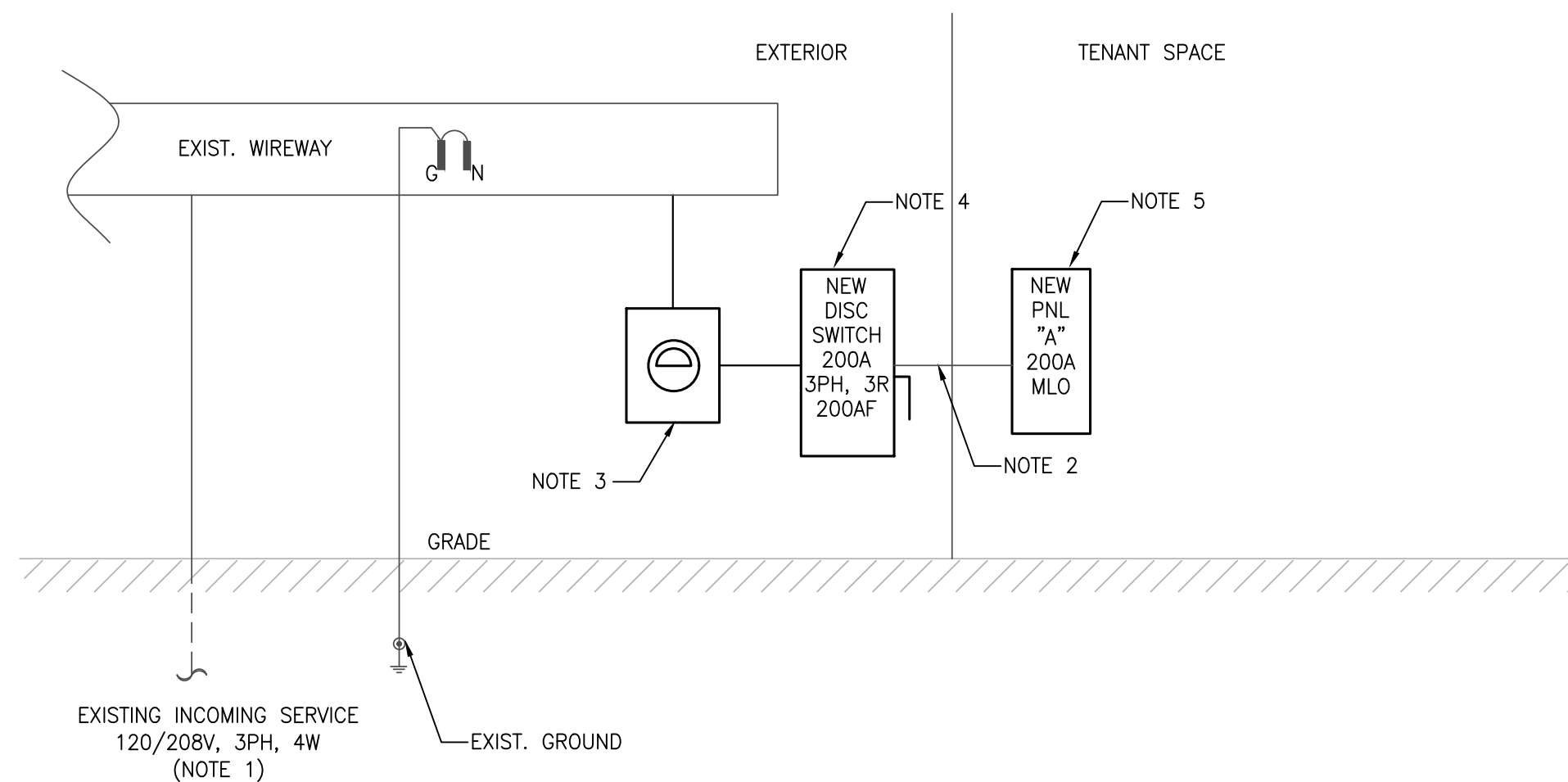
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ISSUE DATE:	04/21/26
SCALE:	
DRAWN BY:	AVK
CHECKED BY:	ARK

E2.1

FOR CONSTRUCTION

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* FIELD COORDINATE BASED ON AVAILABLE FAULT CURRENT.
 ** FIELD VERIFY BREAKER SIZE AND LOCATION.
 HACR - U.L. LISTED "HACR" TYPE CIRCUIT BREAKER



1 ELECTRICAL RISER DIAGRAM
E2.1 SCALE: NOT TO SCALE

NOTES:

1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF MAIN ELECTRICAL SERVICE, AND SERVICE ENTRANCE RATING IF NOT PROVIDED. FIELD VERIFY EXISTING GROUND OR ELSE PROVIDE.
2. PROVIDE 4#3/0, 1#6G IN EXISTING CONDUIT. FIELD VERIFY EXISTING 2" C OR ELSE PROVIDE.
3. PROVIDE METER AND METER CAN SUITABLE FOR 200A, 3PH SERVICE. COORDINATE WITH LANDLORD AND UTILITY COMPANY.
4. PROVIDE 200A, 3P, 3R FUSED DISCONNECT FUSED AT 200A.
5. PROVIDE 200A M.L.O., 120/208V, 3PH, 4W, 42 POLE PANEL BOARD.

GENERAL NOTES:

1. BRANCH CIRCUIT WIRING SHALL BE AS FOLLOWS:
 - A. LIGHTING AND POWER NETWORKS: (120/208V, 3Ø, 4W)
 - 1) 100 FEET OR LESS:
 - PHASE - 3#12 AWG
 - NEUTRAL - 1#12 AWG
 - GROUND - 1#12 AWG
 - 2) GREATER THAN 100 FEET: INCREASE ALL CONDUCTORS BY ONE WIRE GAUGE SIZE.
 - 3) TWO NETWORKS MAXIMUM PER CONDUIT.
2. PROVIDE SINGLE GANG JUNCTION BOX FOR EACH TELEPHONE AND/OR DATA OUTLET WITH 3/4". STUBBED-UP TO 6" ABOVE WALL PARTITION, OR LAY-IN CEILING. PROVIDE BLANK COVERPLATE ON EACH OUTLET.
3. MINIMUM CONDUIT SIZE SHALL BE 3/4", UNLESS OTHERWISE NOTED OR INDICATED.
4. EMERGENCY LIGHTING CIRCUITING SHALL BE THE SAME CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES.



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