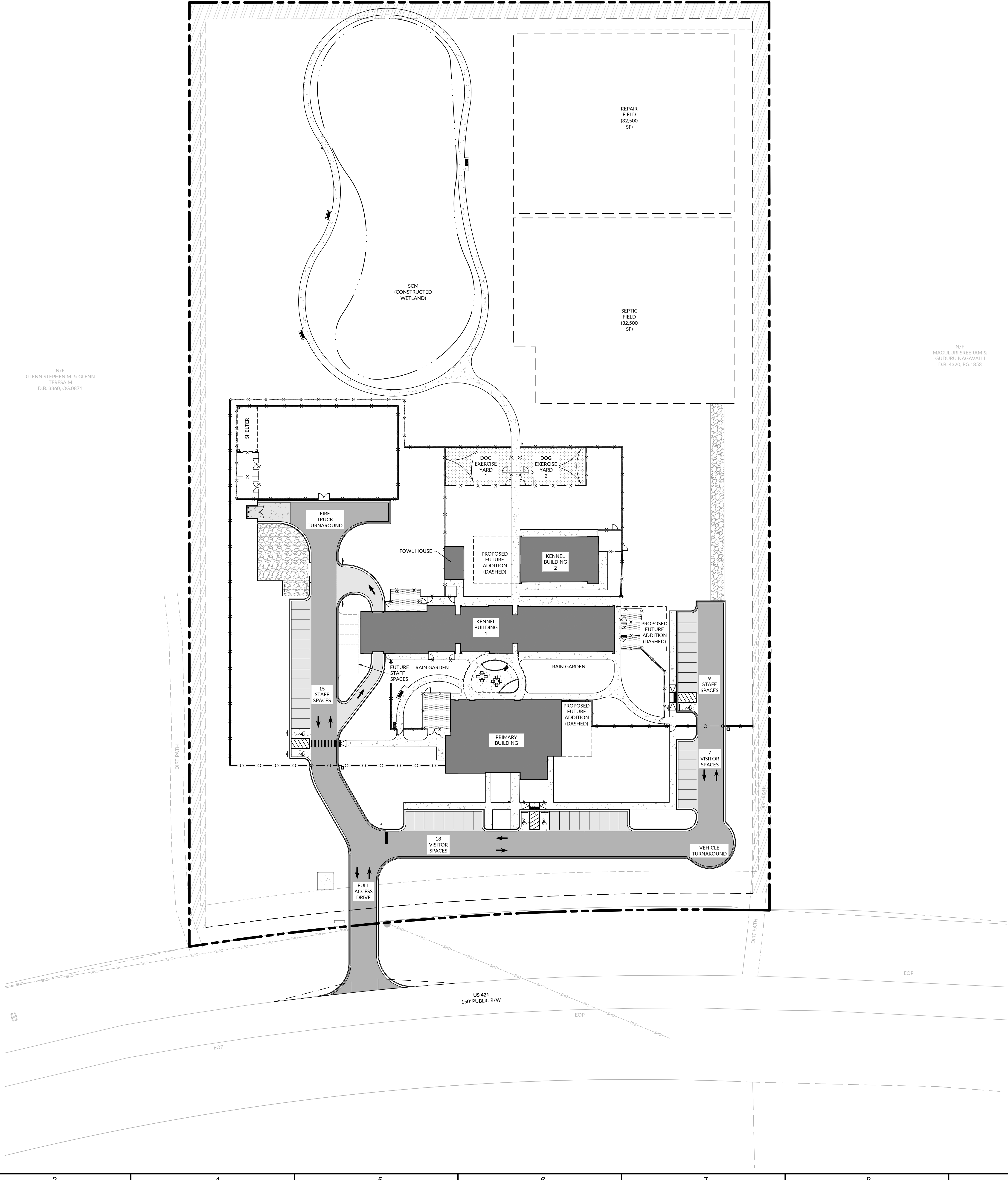
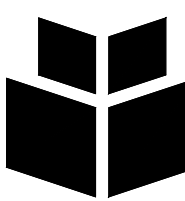


3/19/2026 10:29:02 AM

SITE DATA TABLE		
PROJECT LOCATION	3708 US 421 N, LILLINGTON, NC 27546	
PARCEL PIN NO.	0630-67-7502	
DEED REFERENCE	DB: 4276, PG: 0466	
TOTAL PROJECT AREA (ACRES)	10.01 AC / 436,039 SF	
WATERSHED	CAPE FEAR RIVER	
EXISTING ZONING & LAND USE	RA-30 & VACANT	
PROPOSED USE	ANIMAL SERVICES	
SETBACKS:		
FRONT	35 FT	
SIDE	10 FT	
REAR	25 FT	
OPEN SPACE:		
MINIMUM OPEN SPACE REQUIRED	N/A	
PROPOSED OPEN SPACE	N/A	
EXISTING IMPERVIOUS AREA	0 SF	
PROPOSED IMPERVIOUS AREA	X,XXX SF	
BUILDING HEIGHT	PRIMARY BUILDING: 22' KENNEL A: 20'-4" KENNEL B: 20'-4"	
EXISTING GROSS FLOOR AREA	0 SF	
PROPOSED GROSS FLOOR AREA	PRIMARY BUILDING: 6,794 SF KENNEL A: 9,439 SF KENNEL B: 3,082 SF	
PARKING:	PER 06.04.2026 PRE-DEVELOPMENT MEETING WITH HARNETT COUNTY, 1 SPACE PER 200 SF OF THE MAIN BUILDING IS REQUIRED. 6800 SF / (1 SPACE/200 SF) = 34 SPACES	
PARKING PROVIDED	VISITOR: 25 SPACES STAFF: 24 SPACES	
ACCESSIBLE PARKING REQUIRED	VISITOR: 1 SPACES (1 VAN) STAFF: 2 SPACES (2 VAN)	
ACCESSIBLE PARKING PROVIDED	VISITOR: 2 SPACES (2 VAN) STAFF: 3 SPACES (3 VAN)	

- GENERAL NOTES:
- WORK ON THIS PROJECT MUST CONFORM TO THE LATEST NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL, PLANNING AND DESIGN MANUAL, HARNETT COUNTY STANDARDS AND SPECIFICATIONS, GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS AT THE TIME OF PLAN APPROVAL. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS OR PLANS, THE MOST STRINGENT WILL GOVERN, UNLESS OTHERWISE NOTED IN THESE PLANS.
 - THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR HAVING VISITED THE SITE AND HAVING FAMILIARIZED THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID AND COMMENCING WORK.
 - ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS MUST BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING. WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES WITHOUT WRITTEN CLARIFICATION FROM THE ENGINEER AND APPROVAL BY OWNER WILL BE DONE AT THE CONTRACTOR'S RISK AND EXPENSE.
 - THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY DURING CONSTRUCTION. WORK MUST COMPLY WITH MUNICIPAL, COUNTY AND STATE REGULATIONS, AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. CONTRACTOR MUST COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OSHA ACT.
 - THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, PUBLIC AND PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT LIE IN OR ADJACENT TO THE PROJECT SITE AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGES WHICH MIGHT BE OCCASIONED TO THE UNDERGROUND UTILITIES. NOT ALL UTILITIES AND FACILITIES ARE NECESSARILY SHOWN. HAND DIGGING TO PROTECT UTILITIES FROM DAMAGE MAY BE REQUIRED.
 - ANY UTILITIES AND EXISTING SITE ELEMENTS (I.E. SIGNS, ROADWAYS, PATHS, STRUCTURES, NATURAL VEGETATION, OTHER EXISTING PROPERTY ITEMS, ETC.) DAMAGED DURING THE PROJECT BY THE CONTRACTOR'S WORKERS OR EQUIPMENT MUST BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER, UTILITY OWNER, REGULATORY AGENCY, AND ENGINEER.
 - THE CONTRACTOR MUST MAKE EVERY EFFORT TO PRESERVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A NORTH CAROLINA LICENSED LAND SURVEYOR MUST REPLACE, AT THE CONTRACTOR'S EXPENSE, PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES DESTROYED BY THE CONTRACTOR.
 - THE CONTRACTOR MUST PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM DISTURBANCE TO THE OWNER, ADJACENT PROPERTIES AND THE PUBLIC. CONTRACTOR MUST COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL REGULATORY AGENCIES ON TRAFFIC CONTROL PLANS.
 - ADJACENT STREETS AND SIDEWALKS MUST BE MAINTAINED IN AN UNOBSTRUCTED, CLEAN CONDITION, MUD AND DUST-FREE.
 - THE CONTRACTOR MUST REPLACE WITH NEW, DRIVEWAY PIPES AND OTHER DRAINAGE PIPES/CULVERTS THAT ARE DISTURBED WHILE INSTALLING THE UTILITIES. NEW PIPE/CULVERTS MUST MEET THE REQUIREMENTS OF NCDOT.
 - ROADWAY DITCHES DISTURBED DURING CONSTRUCTION MUST BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER AND CONFORM TO NCDOT REQUIREMENTS OR AUTHORITIES HAVING JURISDICTION. DITCHES MUST BE LINED WITH EROSION CONTROL MATTING UNLESS OTHERWISE NOTED.
 - EXCAVATED MATERIAL MUST BE PLACED WITHIN THE LIMITS OF DISTURBANCE DURING UTILITY INSTALLATION. THE CONTRACTOR MUST PROVIDE THE NECESSARY SEDIMENT AND EROSION CONTROL MEASURES TO CONTROL RUN-OFF. EXCESS EXCAVATED MATERIAL MUST BE REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF LEGALLY.
 - THE CONTRACTOR MUST HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS THE REQUIRED PERMIT APPROVALS AND EXECUTED EASEMENTS ON THE JOB SITE DURING CONSTRUCTION ACTIVITIES.
 - CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CAD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADI, BUILDING SETBACKS, BUILDING FOOTPRINTS, ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER WILL RENDER IT VOID.
 - THE CONTRACTOR MUST FURNISH AND INSTALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. THE PAVEMENT MARKING MATERIALS MUST ADHERE TO NCDOT STANDARDS, UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR MUST COMPLY WITH MUTCD, HARNETT COUNTY, AND NCDOT REQUIREMENTS, AS APPLICABLE RELATED TO TRAFFIC CONTROL DEVICES AND STREET SIGNS.
 - ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE AND ADA STANDARDS FOR ACCESSIBLE DESIGN.
 - WHERE THE PROPOSED CURB AND GUTTER TIES TO THE EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10' MUST BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES, UNLESS OTHERWISE SHOWN ON THE PLANS.
 - THE CONTRACTOR MUST INSTALL A SEALED EXPANSION JOINT WHERE CONCRETE PAVEMENT ABUTS BACK OF CURB OR BUILDING FOUNDATION.
 - THE CONTRACTOR MAY INSTALL PVC SLEEVES UNDER PAVEMENT AREAS FOR POWER, TELECOM, AND OR IRRIGATION LINES PRIOR TO PAVING FOR THE INSTALLATION OF THESE UTILITIES.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AS-BUILT DRAWINGS OF THE WATER, SANITARY SEWER, STORM SEWER, AND STORMWATER CONTROL MEASURES, AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION IN BOTH PDF AND CAD FORMATS PREPARED BY A PROFESSIONAL LAND SURVEYOR BEING LICENSED IN THE STATE OF THE PROJECT.





WithersRavenel

137 S Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

SITE LEGEND	
SYMBOL	DESCRIPTION
	ADJOINER
	BOUNDARY
	SETBACK
	BUFFER
	FUTURE ADDITION
	STANDARD CURB
	SPILL CURB
	CHAIN LINK FENCING
	DECORATIVE METAL FENCING
	LIMIT OF DISTURBANCE
	BUILDING
	HEAVY DUTY ASPHALT PAVING
	LIGHT DUTY ASPHALT PAVING
	CONCRETE PAVING
	SYNTHETIC TURF
	PEA GRAVEL
	GRAVEL
	ADA PARKING SPACE
	ACCESSIBLE PARKING SIGNAGE
	WHEELSTOP
	GATE
	BENCH
	WASTE RECEPTACLE
	PET WASTE STATION
	OUTDOOR TABLE

N/E
MAGALURI SREERAM &
GUDURI NAGAVALLI
D.B. 4320, PG.1853

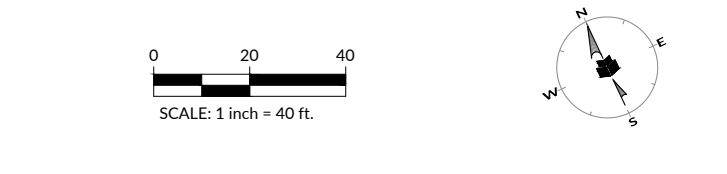


Moseley

911 N. WEST STREET, SUITE 205
RALEIGH, NORTH CAROLINA 27603
PHONE (919) 469-3340
MOSELEYDESIGNS.COM

PROGRESS
PRINT NOT FOR
CONSTRUCTION

DIGITAL SIGNATURE LOCATION:



HARNETT COUNTY ANIMAL
ADOPTION CENTER

HARNETT COUNTY
3708 US 421 NORTH, LILLINGTON, NC 27546

PROJECT NO: 651067 DATE: 07.01.2026

SUBMITTAL: DESIGN DEVELOPMENT REVISIONS

DATE	DESCRIPTION
------	-------------

OVERALL SITE PLAN

C2.00