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RENOVATIONS PLANS FOR: AFREYA'S PLAYGROUND

12082 NC HIGHWAY 42
 FUQUAY VARINA, NC 27526

**R1 REVISED
 PERMIT SET**

08 MAY 2026
 JOB #2026010-LTDC



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05.08.2026

prepared for
 PERMIT SET
 project name

AFREYA'S PLAYGROUND

12082 NC HIGHWAY 42
 FUQUAY VARINA, NC 27526

project number
 2026010-LTDC
 drawing title

COVER SHEET
 drawing scale

AS NOTED

orientation
 revision history
 3/19/26 ENGINEER SET
 4/7/26 PERMIT SET
 4/10/26 PERMIT SET REISSUED
 5/8/26 REVISED PERMIT SET

issue date
 05/08/26
 sheet index

G000

▲ DESIGN TEAM ▲ ▲ LOCATION MAP ▲ ▲ PROJECT TITLE ▲ ▲ PROJECT INFORMATION ▲

- ALL WORK SHALL BE CARRIED OUT ACCORDING TO 0000 CONSTRUCTION PRACTICES.
- ALL WORK SHALL BE UNDERTAKEN AND MANAGED IN ACCORDANCE WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY.
- CONSTRUCTION DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS, LARGE SCALE DETAILS TAKE PRECEDENCE OVER PLANS AND ELEVATIONS AND ENGINEERING DRAWINGS TAKE PRECEDENCE OVER ARCHITECTURAL GRAPHIC REPRESENTATIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL LIFE SAFETY ELEMENTS INCLUDING BUT NOT LIMITED TO EXIT SIGNAGE, FIRE EXTINGUISHERS AND FIRE SPRINKLER SYSTEMS NECESSARY TO SATISFY LOCAL, STATE AND FEDERAL STANDARDS, CODES AND GUIDELINES.
- OWNER/ CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL PERMITS AND/OR INSPECTIONS REQUIRED BY ANY AUTHORITY HAVING JURISDICTION OVER CONSTRUCTION OF WORK DESCRIBED IN THESE PLANS.
- OWNER/ CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS SHOWN ON THESE PLANS, AND NOTIFY ARCHITECT OF ANY CONFLICT PRIOR TO CONSTRUCTION FOR RESOLUTION.
- GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DISCIPLINES AND TRADES AND THEIR POTENTIAL IMPACT ON THE PROJECT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING LOCATION OF TEMPORARY RESTROOM, DUMPSTER OTHER TEMPORARY FACILITIES AND EQUIPMENT. IF CONTRACTOR'S EMPLOYEES OR SUB CONTRACTORS USE EXISTING RESTROOMS, THEN THE CONTRACTOR WILL BE RESPONSIBLE TO RESTORE THE EXISTING TOOLS TO "LIKE NEW" CONDITIONS AT THE END OF THE PROJECT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR KNOWING AND COMPLYING WITH ALL LOCAL ORDINANCES REGARDING NOISE, WORK HOURS, ETC.
- OWNER/ CONTRACTOR SHALL CONFIRM CLEAR OPENING REQUIRED FOR ANY EQUIPMENT, FIXTURES, OR MILLWORK PRIOR TO FRAMING & INSTALLATION.
- ALL FURNITURE IS SHOWN FOR SCHEMATIC PURPOSES ONLY- SHALL BE PROVIDED BY OWNER.
- ALL BUILDING MATERIALS AND SYSTEMS SHALL BE INSTALLED IN COMPLETE ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR RECOMMENDATIONS, AS REQUIRED FOR FULL WARRANTY PROTECTION FOR LABOR & MATERIALS.
- DUE TO MANUFACTURER VARIATIONS ON TYPE AND SIZES OF EQUIPMENT, CASEWORK, FIXTURES, ETC. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR AND APPROPRIATE COORDINATE WITH THE SUBCONTRACTORS AND SUPPLIERS.
- ALL DIMENSIONS SHOWN ARE FROM FACE TO FACE OF MASONRY/STUDS. EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUDS. THE APPROPRIATE CONTRACTOR(S) SHALL CHECK AND FIELD VERIFY ALL DIMENSION AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS!
- GENERAL CONTRACTOR SHALL REPORT, TO THE ARCHITECT, ANY AND ALL DISCREPANCIES REGARDING EXISTING CONDITIONS OR WITHIN THE DRAWINGS AND THE SPECIFICATIONS. FAILURE TO DO SO WILL RELIEVE THE ARCHITECT OF ANY RESPONSIBILITY REGARDING ANY CONSEQUENCES THAT MIGHT RESULT FROM SUCH DISCREPANCIES.
- MECHANICAL DUCTS PASSING THROUGH WALLS CARRYING A FIRE RATING LABEL SHALL BE EQUIPPED WITH THE APPROPRIATE RATED FIRE DAMPER AT THE POINT OF INTERSECTION WITH THE WALL.
- SEE MECHANICAL DRAWINGS FOR ALL DOOR UNDERCUTS AND DOOR GRILLES.
- STRIKE SIDE OF ALL DOOR JAMBS SHALL BE INSTALLED A MINIMUM OF 2"-0" FROM FRAME TO ANY WALL PERPENDICULAR TO THE DOOR FRAME WHERE HANDICAPPED ACCESS IS REQUIRED.
- ALL SITE UTILITIES LOCATIONS, AND GRADING SHALL BE CHECKED OR FIELD VERIFIED BY THE APPROPRIATE CONTRACTOR.
- ALL FIRE RATED WALLS ARE TO BE MARKED (PAINTED RED WITH THE RATING OF THE WALL) ABOVE THE CEILING WITH HIGH STENCILED LETTERS @ 20"-0" O.C. MAX. (EXAMPLE):
 1 HOUR FIRE RATED WALL
 PROTECT ALL OPENINGS
- UNLESS NOTED OTHERWISE, INSTALL CONTINUOUS TREATED, FIRE-RETARDANT TREATED 2X6 WOOD BLOCKING, SUPPLEMENTARY FRAMING, AND BRACING AT TERMINATIONS IN THE WORK AND FOR SUPPORT OF FIXTURES, EQUIPMENT SERVICES, HEAVY TRIM, EXTERIOR SOUND, GRAB BARS, TOILET ACCESSORIES, FURNISHINGS, TELEVISIONS, MONITORS, ETC. AS NECESSARY OR AS DETAILED OR INDICATED AND WITH RECOMMENDATIONS OF THE OCPISM BOARD MANUFACTURER, OR IF NONE AVAILABLE, WITH "OCPISM CONSTRUCTION HANDBOOK" PUBLISHED BY UNITED STATES OCPISM CO.
- NO CHANGE ORDERS WILL BE ACCEPTED AFTER START OF WORK UNLESS DUE TO HIDDEN CONDITIONS OR CHANGES DIRECTED BY OWNER. ALL CHANGE ORDERS MUST BE APPROVED PRIOR TO START OF WORK.

- FIELD CONDITIONS:**
 CONTRACTOR SHALL VERIFY ALL CONDITIONS AS WELL AS ALL DIMENSIONS AND CONDITIONS INDICATED IN THE DRAWINGS, PRIOR TO ACTUAL CONSTRUCTION. ANY VARIATION FROM CONDITIONS INDICATED IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNERS REPRESENTATIVE PRIOR TO BID SUBMITTAL.
- COORDINATION OF WORK:**
 THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE WORKING DRAWINGS. CONTRACTOR SHALL CAREFULLY EXAMINE ALL THE DRAWINGS AND BE RESPONSIBLE FOR THE PROPER INSTALLATION OF HIS WORK AND PROPER CONSIDERATION FOR THE WORK OF OTHERS AND EXISTING BUILDING CONSTRUCTION. DO NOT PLACE DUCTS, PIPING, CONDUIT OR ANY OBSTRUCTION SO AS TO IMPAIR REQUIRED CEILING HEIGHTS AND CLEARANCE FOR LIGHT FIXTURES, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING ADJACENT TENANT(S) AND BUILDING FACILITIES.
- BUILDING CODES AND REGULATIONS:**
 ALL WORK SHALL CONFORM TO ALL CODES AND REGULATIONS. CONTRACTOR SHALL FILE, PAY FOR AND OBTAIN ALL REQUIRED PERMITS TO PERFORM THE WORK. CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS FROM GOVERNMENTAL AGENCIES INVOLVED PRIOR TO FINAL PAYMENT. APPROVALS TO OCCUPY THE SPACE BY LOCAL BUILDING OFFICIALS SHALL BE OBTAINED.
- INSURANCE:**
 - CONTRACTOR SHALL SECURE, PAY FOR, AND MAINTAIN DURING CONSTRUCTION AND FIXTURING WORK WITHIN LEASED PREMISES, ALL OF THE INSURANCE POLICIES REQUIRED AND IN THE AMOUNTS AS SET FORTH HEREIN. CONTRACTOR SHALL NOT COMMENCE ANY WORK UNTIL ALL REQUIRED INSURANCE HAS BEEN OBTAINED AND CERTIFICATES OF SUCH INSURANCE HAVE BEEN DELIVERED TO THE LANDLORD AND TENANT. LANDLORD MUST BE NAMED AS "ADDITIONAL INSURED". CERTIFICATES OF INSURANCE SHALL COVER ALL WORK PERFORMED BY HIM AND EACH OF HIS SUBCONTRACTORS AND ALL MAJOR SUPPLIERS.
 - GENERAL CONTRACTOR'S AND SUBCONTRACTORS' REQUIRED MINIMUM COVERAGE AND LIMITS OF LIABILITY:
 - WORKMAN'S COMPENSATION INSURANCE - IN ACCORDANCE WITH THE GOVERNING LAWS WITH A LIMIT OF NOT LESS THAN \$500,000. AND ANY INSURANCE REQUIRED BY ANY EMPLOYEE BENEFITS ACT, ETC., AS WILL PROTECT THE CONTRACTOR AND SUBCONTRACTORS FROM ANY AND ALL LIABILITY.
 - CONTRACTOR SHALL PAY FOR AND FURNISH TO TENANT AND LANDLORD, CERTIFICATES OF INSURANCE WHICH WILL PROTECT SAID CONTRACTOR FROM CLAIMS (I) UNDER WORKMAN'S COMPENSATION ACTS AND OTHER EMPLOYEE BENEFITS ACTS, WITH LIMITS OF NOT LESS THAN \$2,000,000; (II) FOR DAMAGES TO BODILY INJURY, (INCLUDING DEATH) TO HIS EMPLOYEES AND ALL OTHERS, WITH THE LIMITS OF \$2,000,000 PER PERSON AND \$2,000,000 PER OCCURRENCE; AND (III) FOR PROPERTY WITH LIMITS OF \$1,000,000 WHICH ARISE OUT OF OR RESULT FROM THE CONTRACTOR'S WORK UNDER THIS CONTRACT WHETHER SUCH WORK (INCLUDING OPERATION OR MOTOR VEHICLES) BE BY HIMSELF OR OTHERS DIRECTLY OR INDIRECTLY EMPLOYED BY EITHER; AND BUILDERS RISK INSURANCE IN THE FULL AMOUNT OF THE CONTRACT SUM.
- INDEMNIFICATION** - TO THE FULLEST EXTENT PERMITTED BY LAW, THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE LANDLORD, TENANT, AND THE ARCHITECT AND THEIR ASSETS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO THE ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK, PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (I) IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE, OR DEATH; OR TO INJURY OR TO DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) INCLUDING THE LOSS OF USE RESULTING THEREFROM AND (II) IS CAUSED IN WHOLE OR IN PART BY A NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM, OR BUILDERS RISK INSURANCE, REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER.
- LIEN WAIVERS AND SWORN AFFIDAVITS:** CONTRACTOR SHALL FURNISH WITHIN 30 DAYS AFTER COMPLETION, FINAL NOTARIZED WAIVERS OF LIEN FOR ALL WORK PERFORMED AS WELL AS ALL SUBCONTRACTORS AND MAJOR SUPPLIERS.
- CERTIFICATE OF OCCUPANCY:** CONTRACTOR WILL PROVIDE TENANT AND LANDLORD WITH A COPY OF THE CERTIFICATE OF OCCUPANCY.
- QUALITY STANDARDS:** ALL SUCH WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER AND SHALL BE IN GOOD AND USEABLE CONDITION AT THE DATE OF COMPLETION THEREOF. CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED TO BE FREE FROM ANY AND ALL DEFECTS IN WORKMANSHIP AND MATERIALS FOR ONE (1) YEAR FROM THE DATE ALL CONSTRUCTION PUNCH LIST ITEMS HAVE BEEN COMPLETED AND ACCEPTANCE HAS BEEN CONFIRMED IN WRITING BY THE TENANT REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR WITHOUT ANY ADDITIONAL CHARGE FOR ANY AND ALL WORK DONE OR FURNISHED WHICH SHALL BECOME DEFECTIVE WITHIN THE ONE (1) YEAR PERIOD. THE CORRECTION OF SUCH WORK SHALL INCLUDE, WITHOUT ADDITIONAL CHARGE, ALL EXPENSES AND DAMAGES IN CONNECTION WITH SUCH REPLACEMENT, OR REPAIR, OR REPAIR OF SUCH WORK WHICH MAY BE DAMAGED OR DISTURBED THEREBY. ALL WARRANTIES OR GUARANTEES AS TO MATERIALS OR WORKMANSHIP OR ON WITH RESPECT TO TENANTS WORK SHALL BE CONTAINED IN THE CONTRACT OR SUBCONTRACT WHICH SHALL BE SO WRITTEN THAT SUCH GUARANTEES OR WARRANTIES SHALL INSURE TO THE BENEFIT OF BOTH LANDLORD AND TENANT, AS THEIR RESPECTIVE INTEREST APPEAR AND CAN BE DIRECTLY ENFORCED BY EITHER.
- RUBBER WHEEL CARTS:** CONTRACTOR'S CARTS, EQUIPMENT BOXES, ETC. MUST BE EQUIPPED WITH RUBBER WHEELS.
- FIRE EXTINGUISHERS:** CONTRACTOR TO VERIFY REQUIRED NUMBER AND LOCATION OF ANY ADDITIONAL EXTINGUISHERS REQUIRED BY FIRE DEPARTMENT AND FURNISH AND INSTALL SAME. INSTALL AFTER FIXTURING.

- RESPONSIBILITY FOR MATERIALS ON SITE: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS SHIPPED TO THE JOB SITE INCLUDING MATERIALS FURNISHED BY OTHERS. COST OF ALL MISSING MATERIALS WILL BE DEDUCTED FROM THE CONTRACT PRICE AND FINAL PAYMENT. CONTRACTOR TO CHECK ALL INVOICES AT TIME SHIPMENT IS RECEIVED AND NOTIFY TENANT REPRESENTATIVE OF ANY DISCREPANCIES.
- RUBBISH REMOVAL:** CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY REMOVAL FROM THE PROJECT, ALL TRASH, RUBBISH AND SURPLUS MATERIALS RESULTING FROM CONSTRUCTION, FIXTURING AND EQUIPMENT OF THE UPFIT PREMISES. COORDINATE REMOVAL OF DEBRIS WITH BUILDING MANAGEMENT/LANDLORD.
- TEMPORARY UTILITIES:** CONTRACTOR SHALL ARRANGE FOR TEMPORARY UTILITIES AS REQUIRED AND SHALL PAY FOR THE UTILITY CHARGE.

GENERAL NOTE:
 1. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS OF 2018 NC BUILDING CODE, APPENDIX D WHERE APPLICABLE.
 2. AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED PER NBC 903.3.3.2 (GROUP E), EXCEPTION: AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED IN ANY AREA BELOW THE LOWEST LEVEL OF EXIT DISCHARGE SERVING THAT AREA WHERE EVERY CLASSROOM THROUGHOUT THE BUILDING HAS NOT FEWER THAN AN EXTERIOR EXIT DOOR AT GROUND LEVEL.

2018 NC BUILDING CODE
 2018 NC EXISTING BUILDING CODE

▲ BUILDING CODE ▲

ISSUED UNDER SEPARATE COVER
 CIVIL

GENERAL SHEETS
 G000 COVER SHEET
 G001 LIFE SAFETY SHEET & GENERAL NOTES
 G002 BUILDING CODE-APPENDIX B

ARCHITECTURAL SHEETS
 A100 EXISTING/DEMOLITION PLAN
 A101 CONSTRUCTION PLAN, REFLECTED CEILING PLAN, NOTES, SCHEDULES & DETAILS
 A200 EXTERIOR ELEVATIONS

ISSUED UNDER SEPARATE COVER
 PLUMBING SHEETS
 P1 PLUMBING COVER SHEET
 P2 PLUMBING DETAILS
 P3 PLUMBING DEMOLITION PLAN
 P4 PLUMBING WATER PLAN
 P5 PLUMBING WASTE PLAN
 P6 PLUMBING WATER RISER
 P7 PLUMBING WASTE RISER

MECHANICAL SHEETS
 M1 HVAC COVER SHEET
 M2 HVAC PLAN - DEMOLITION
 M3 HVAC PLAN - NEW WORK

ELECTRICAL SHEETS
 E1 ELECTRICAL COVER SHEET
 E2 ELECTRICAL SCHEDULES & DETAILS
 E3 ELECTRICAL DEMOLITION PLAN
 E4 ELECTRICAL POWER PLAN
 E5 LIGHTING PLAN

FIRE ALARM SHEETS
 FA1 FIRE ALARM RISER & DETAILS
 FA2 FIRE ALARM PLAN

▲ GENERAL NOTES ▲ ▲ GENERAL CONDITIONS ▲ ▲ INDEX OF SHEETS ▲

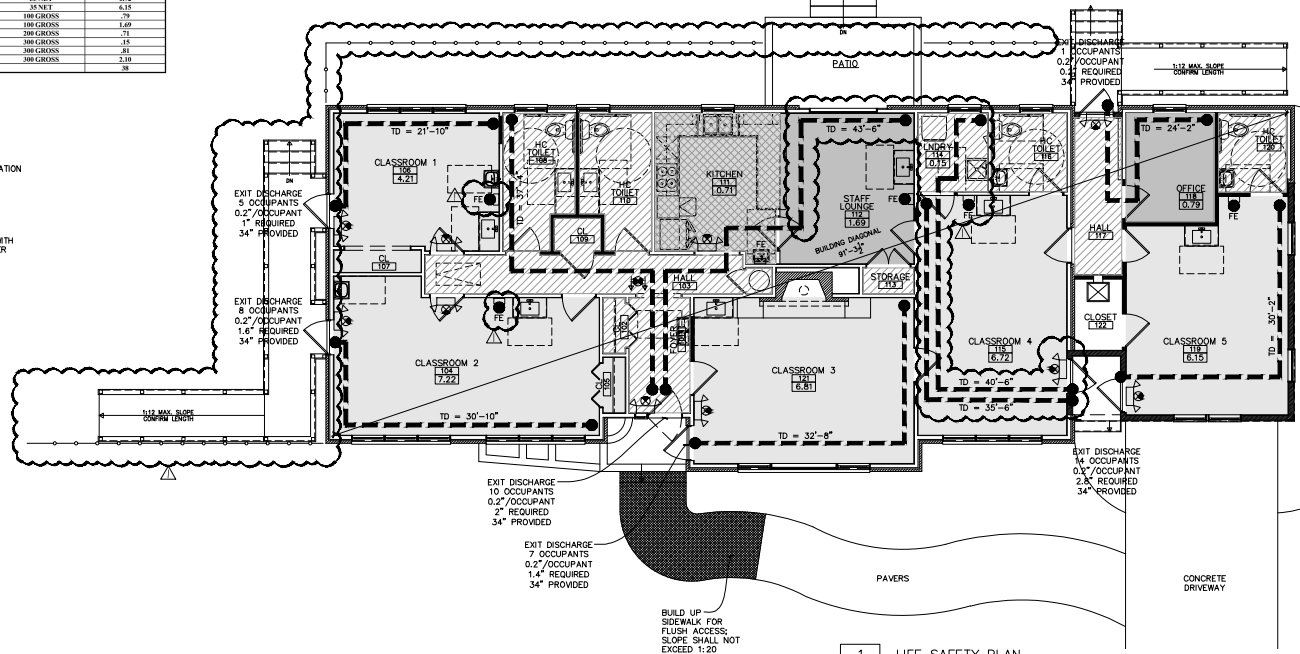
USE	AREA (SQ)	MEASUREMENT (TABLE 1004.1.2)	OCCUPANTS
CLASSROOM 1	184	55 NET	4.21
CLASSROOM 2	316	55 NET	7.23
CLASSROOM 3	298	55 NET	6.81
CLASSROOM 4	284	55 NET	6.72
CLASSROOM 5	269	55 NET	6.15
OFFICE	79	100 GROSS	7.9
LOUNGE	180	100 GROSS	1.80
KITCHEN	142	100 GROSS	1.42
LAUNDRY	45	100 GROSS	1.5
RESTROOMS	344	100 GROSS	3.44
CLOSETS, HALLS, ETC.	637	100 GROSS	3.10
TOTAL	2,689		58

LIFE SAFETY PLAN LEGEND

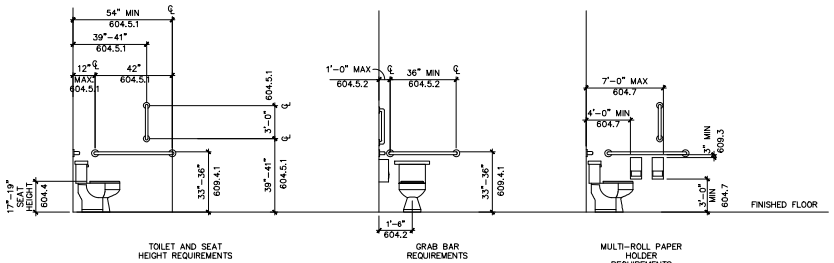
- XXX ROOM NUMBER
- XXX OCCUPANT LOAD
- X
- FE FIRE EXTINGUISHER—COORDINATE LOCATION WITH SANFORD FIRE MARSHALL
- EXISTING WALL TO REMAIN
- NEW 4" 2X4 WOOD STUD WALL 5/8" GYPSUM BOARD BOTH SIDES
- EXIT SIGNS WITH EMERGENCY LIGHT WITH 90 MINUTE BATTERY BACKUP — REFER TO ELECTRICAL

LIFE SAFETY NOTES

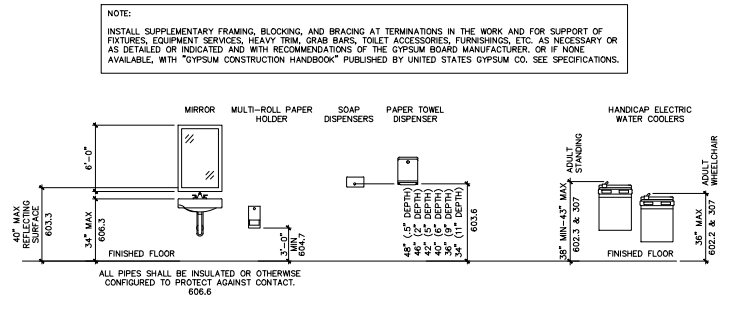
1. CONTRACTOR TO COORDINATE LOCATION AND NUMBER OF FIRE EXTINGUISHERS REQUIRED WITH FIRE MARSHAL PRIOR TO INSTALLATION.
2. CONTRACTOR TO INSTALL EXIT AND EMERGENCY LIGHTING AS REQUIRED BY CODE.



1 LIFE SAFETY PLAN
0001 SCALE: 3/16" = 1'-0"



A3 ADA TOILET REQUIREMENTS
0001 SCALE: 3/8" = 1'-0"



B3 TYPICAL MOUNTING HEIGHTS TOILET ROOM ACCESSORIES
0001 SCALE: 3/8" = 1'-0"



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REGISTERED ARCHITECT
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05.08.2026

prepared for
PERMIT SET
project name

AFREYA'S PLAYGROUND

12082 NC HIGHWAY 42
FLUQUAY VARINA, NC 27568

project number
2026010-TLDC
drawing title

LIFE SAFETY PLAN &
ADA REQUIREMENTS

drawing scale

AS NOTED



issue date
05/08/26
sheet index

G001

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: **AFREYA'S PLAYGROUND**
Address: **12082 NC HWY 42; FLOUAY-VARINA, NC** Zip Code: **27526**
Owner/Authorized Agent: **PARASAKHAR** P# **(919)924-2154** E- **parasakh@gsi.com**
Owned by: City/County Private State
Code Enforcement: City County **HARNETT**

CONTACT:
ARCHITECT: **FIRM NAME: HARRISON ARCHT. W. HARRISON 9543 (919)949-4030 harrisonarcht.com**
Civil: **(SEPARATE COVER)**
Electrical: **GREENTECH, INC. JAYKUMAR PATEL 649994 (216)681-9136 jayatel@greentec.com**
Fire Alarm: **NA**
Plumbing: **GREENTECH, INC. JAYKUMAR PATEL 649994 (216)681-9136 jayatel@greentec.com**
Mechanical: **GREENTECH, INC. JAYKUMAR PATEL 649994 (216)681-9136 jayatel@greentec.com**
Sprinkler-Standpipe: **NA**
Structural: **NA**
Remaining Walls: High / N/A
Other: _____

2018 NC BUILDING CODE: New Construction Addition Renovation
 1st Time Interior Completion
 Shell Core- Contact the local inspection jurisdiction for possible add'l procedures and requirements.
 Phased Construction- Contact the local inspection jurisdiction for possible add'l procedures and requirements.

2018 NC EXISTING BUILDING CODE: Prescriptive Repair Chapter 14
 ALTERNATION Level I Level II Level III
 Historic Property

CONSTRUCTED 1960 **CURRENT OCCUPANCY (Ch. 3): RESIDENTIAL**
RENOVATED NA **PROPOSED OCCUPANCY (Ch. 3): EDUCATIONAL- DAY CARE**
RISK CATEGORY (Table 104.5): Current: I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A I-B I-C I-D I-E I-F I-G I-H I-I I-J I-K I-L I-M I-N I-O I-P I-Q I-R I-S I-T I-U I-V I-W I-X I-Y I-Z
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Priority) Hood Hazard Area No Yes
Special Inspections Req'd: No Yes (Contact the local inspection jurisdiction for possible add'l procedures and requirements)

GROSS BUILDING AREA TABLE

Floor	Entirety (sq ft)	Net (sq ft)	Total
1 st FLOOR (ONLY)	2,124 HSF	545 HSF	
TOTAL			2,669 HSF

ALLOWABLE AREA
Primary Occupancy Classification Select Use:
Assembly: A-1 A-2 A-3 A-4 A-5
Business: B-1 B-2 B-3 B-4 B-5
Educational: E-1 E-2 E-3 E-4 E-5
Factory: F-1 F-2 F-3 F-4 F-5
Hazardous: H-1 H-2 H-3 H-4 H-5
Institutional: I-1 I-2 I-3 I-4 I-5
Mercantile: M-1 M-2 M-3 M-4
Residential: R-1 R-2 R-3 R-4
Storage: S-1 S-2 S-3 S-4
Utility and Miscellaneous: U-1 U-2 U-3 U-4
High-gild: High-gild
Parking Garage: Open Enclosed Repair Garage

Accessory Occupancy Classification:
Incidental Uses (Table 109.9)
Special Uses (Chapter 4 - List Code Sections)
Special Provisions (Chapter 5 - List Code Sections)
Mixed Occupancy: No Yes Separation: N/A Exception:

Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each shall not exceed 1.

Actual Area of Occupancy A	Actual Area of Occupancy B	Sum
2,124 HSF	545 HSF	2,669 HSF

STORY NO.	DESCRIPTION & USE	(A) AREA PER TABLE 506.2	(B) AREA PER TABLE 506.2	(C) AREA PER TABLE 506.2	(D) ALLOWABLE AREA PER STORY (A/B/C/D) (508.4)
1	E	2,669	5,560	N/A	5,560
TOTAL					

Footnote area increases from Section 506.2 are computed thus:
a. Perimeter which fronts on a public way or open space having 20 feet minimum width = _____ (ft)
b. Total Building Perimeter = _____ (ft)
c. Ratio (P/P) = (P/P) = _____
d. W = Minimum width of public way = 20 (ft)
e. Perimeter of Footnote Increase = 100 (P/P - 0.25) / W = _____ (%)
f. Difference area applicable under conditions of Section 507.
g. Maximum Building Area = total number of stories in the building x E (506.2)
h. The maximum area of open parking garages must comply with Table 506.4. The maximum area of air traffic control towers must comply with Table 412.3.
i. Footnote increase is based on the unimpacted area value in Table 506.2.

ALLOWABLE HEIGHT

Building Height in Feet (Table 504.3)	ALLOWABLE	SHOWS ON PLANS	CODE REFERENCE
40 FEET	15 FEET	504.3	
Building Height in Stories (Table 504.4)	1	504.4	

*Provide code reference if "Shown on Plans" value is not based on Table 504.3 or Table 504.4

PERCENTAGE OF WALL OPENINGS CALCULATIONS

REVD FROM PROPOSED UNITS	MALE	FEMALE	CHILDREN	DISABLED	ADULTS	ALLOWABLE AREA PER PROVISION (TABLE 705.6)	ACTUAL SHOWS ON PLANS
300 FT						UF, NS	NL

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION (MIN. RATING)	SMOKE PROVISION (MIN. RATING)	RAISED AND SMOKE SHEET (MIN. RATING)	MINIMUM RATED PENETRATIONS	SMOKE PROVISION (MIN. RATING)	SMOKE SHEET (MIN. RATING)
Structural Frame including columns, beams, girders	0	0	(EXISTING- NO CHANGE)			
Roofing	0	0	(EXISTING- NO CHANGE)			
Interior	0	0	(EXISTING- NO CHANGE)			
North	0	0	(EXISTING- NO CHANGE)			
East	0	0	(EXISTING- NO CHANGE)			
West	0	0	(EXISTING- NO CHANGE)			
South	0	0	(EXISTING- NO CHANGE)			
Other	0	0	(EXISTING- NO CHANGE)			
Nonbearing Walls and Partitions	0	0	(EXISTING- NO CHANGE)			
Interior walls	0	0	(EXISTING- NO CHANGE)			
North	0	0	(EXISTING- NO CHANGE)			
East	0	0	(EXISTING- NO CHANGE)			
West	0	0	(EXISTING- NO CHANGE)			
South	0	0	(EXISTING- NO CHANGE)			
Other walls and partitions	0	0	(EXISTING- NO CHANGE)			
Floor Construction including supporting beams and joists	0	0	(EXISTING- NO CHANGE)			
Roof Construction including supporting beams and joists	0	0	(EXISTING- NO CHANGE)			
Shaft Enclosures - Fire	N/A	N/A	(EXISTING- NO CHANGE)			
Shaft Enclosures - Other	N/A	N/A	(EXISTING- NO CHANGE)			
Corridor Separation	N/A	N/A				
Stairway Separation	N/A	N/A				
Partitions for Occupancy Separation	N/A	N/A				
Trunk Enclosures	N/A	N/A				
Underlaid the Separation	N/A	N/A				

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Partial Yes
Panic Hardware: No Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet # _____ SHEET _____
 Fire and/or smoke rated wall locations (Chapter 7) N/A
 Assumed and real property line locations (if not on the Site Plan) N/A- INTERIOR RENOVATION ONLY
 Ejector wall opening area with respect to distance to assumed property lines (705.4) N/A
 Occupancy use for each area as it relates to occupant load calculations (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (1006.2.1 & 1006.3.2)(1)
 Dead end lengths (1020.4) N/A
 Clear exit widths for each exit door
 Minimum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation N/A
 Location of doors with panic hardware (1010.1.10) N/A
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7) N/A
 Location of doors with electromagnetic egress locks (1010.1.9.9) N/A
 Location of doors equipped with hold-open devices N/A
 Location of emergency escape windows (1030) N/A
 The square footage of each fire area (203)
 The square footage of each smoke compartment for Occupancy Classification 1-2 (407.5) N/A
 Note any code exceptions or table notes that may have been utilized regarding the items above N/A

ACCESSIBLE DWELLING UNITS (SECTION 1107) NOT APPLICABLE

TOTAL UNITS	ACCESSIBLE UNITS (REQUIRED)	ACCESSIBLE UNITS (PROVIDED)	TYPE A UNITS (REQUIRED)	TYPE A UNITS (PROVIDED)	TYPE B UNITS (REQUIRED)	TYPE B UNITS (PROVIDED)	TOTAL ACCESSIBLE UNITS (PROVIDED)

ACCESSIBLE PARKING (SECTION 1105) SEE CIVIL ENGINEERING-SEPARATE COVER

TYPE OF PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	BISSUAL WITH 5 ACCESS SPACES	BISSUAL WITH 112 ACCESS SPACES	BISSUAL WITH 5 ACCESS SPACES	TOTAL # OF ACCESSIBLE SPACES PROVIDED
TOTAL						

OCCUPANT LOAD CALCULATION

USE	AREA (SQ FT)	AREA (SQ FT) (TABLE 1010.1.2)	FLOOR SPACES
CLASSROOM 1	184	35 SF/NET	5.23
CLASSROOM 2	206	35 SF/NET	5.89
CLASSROOM 3	204	35 SF/NET	5.82
CLASSROOM 4	204	35 SF/NET	5.82
CLASSROOM 5	204	35 SF/NET	5.82
OFFICE	79	108 GROSS	0.79
LOUNGE	169	108 GROSS	1.69
RECEPTION	142	200 GROSS	1.42
LAUNDRY	45	300 GROSS	0.45
BATHROOMS	244	300 GROSS	2.44
CLOSETS, HALLS, ETC.	629	300 GROSS	2.10
TOTAL			2,669

PLUMBING FIXTURE REQUIREMENTS

REVD FROM PROVD	WATER CLOSING UNITS (TABLE 705.6)	LAVATORIES (TABLE 705.6)	TOILETS (TABLE 705.6)	SHOWER UNITS (TABLE 705.6)	DRINKING FOUNTAINS (TABLE 705.6)
4					

STRUCTURAL DESIGN NOT APPLICABLE

DESIGN LOADS:
Importance Factors: Wind (I) _____ Snow (S) _____ Seismic (I) _____
Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor _____ psf
Ground Snow Load: _____ psf
Wind Load: Basic Wind Speed _____ mph (ASCE-7)
Exposure Category _____
Wind Base Shears (for MWFS) Vx = _____ Vy = _____

SEISMIC DESIGN CATEGORY: A B C D
Provide the following Seismic Design Parameters:
Occupancy Category (Table 1008.5) I II III IV
Spectral Response Acceleration S_s _____ %
Site Classification (Table 1013.2.3) A B C D E F
Data Source: _____
Basic structural system (check one):
 Dual w/ Special Moment Frame
 Building Frame
 Moment Frame
 Dual w/ Intermediate R/C or Special Steel
 Inverted Pendulum
Seismic base shear: V_s = _____ V_e = _____
Analysis Procedure: Simplified Equivalent Lateral Force
Architectural, Mechanical, Components anchored? Yes No
Dynamic

LATERAL DESIGN CONTROL: Earthquake Wind
SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity _____ psf
Pile size, type, and capacity _____

SPECIAL INSPECTIONS REQUIRED: Yes No
SPECIAL APPROVALS
Special approval (Local Jurisdiction, Department of Insurance, OSG, DPB, DHHS, ICC, etc., describe below): _____

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special addition required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.
Climate Zone: 3 4 5
Method of Compliance:
 Prescriptive (Energy Code)
 Performance (Energy Code)
 Prescriptive (ASHRAE 90.1)
 Performance (ASHRAE 90.1)

THERMAL ENVELOPE
Roof/ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights (each assembly): _____
U-Value of skylight: _____
total square footage of skylights in each assembly: _____
Exterior Walls (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Solar heat gain coefficient: _____
Door R-Values: _____
Opening (windows or doors with glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
Door R-Values: _____

Walls below grade (each assembly) N/A
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Floors over unconditioned space (each assembly) N/A
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal-vertical requirement: _____
slab heated: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal-vertical requirement: _____
slab heated: _____

MECHANICAL SUMMARY SEE P&E ENGINEERING

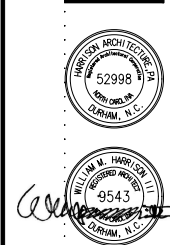
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone: winter dry bulb _____ summer dry bulb _____
Interior design conditions: winter dry bulb _____ summer dry bulb _____ relative humidity: _____
Building heating load: _____
Building cooling load: _____
Mechanical Spacing Conditioning System: Unitary
description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler: _____
Size category, if oversized, state reason: _____
Chiller: _____
Size category, if oversized, state reason: _____
List equipment efficiencies: _____

ELECTRICAL SYSTEM AND EQUIPMENT SEE P&E ENGINEERING
Method of Compliance:
Energy Code: Prescriptive Performance
ASHRAE 90.1: Prescriptive Performance
Lighting schedule (each fixture type):
lamp type required in fixture _____
number of lamps in fixture _____
ballast type used in the fixture _____
total wattage in fixture _____
total interior wattage specified vs. allowed (whole building or space by space) _____
total exterior wattage specified vs. allowed _____

Additional Prescriptive Compliance
 506.2.1 More Efficient Mechanical Equipment
 506.2.2 Reduced Lighting Power Density
 506.2.3 Energy Recovery Ventilation Systems
 506.2.4 Higher Efficiency Service Water Heating
 506.2.5 On-Site Supply of Renewable Energy
 506.2.6 Automatic Daylighting Control Systems



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-No Harrison, Architect
-harrisonarcht@gmail.com



05.08.2026

Permitted by _____
PROJECT NAME: _____

AFREYA'S PLAYGROUND
12082 NC HIGHWAY 42
FLOUAY VARINA, NC 27526

PROJECT NUMBER: _____
2026010 - TLDC

drawing title: _____
drawing scale: _____

AS NOTED
orientation: _____

revision history:
3/19/26 ENGINEER SET
4/7/26 PERMIT SET
4/10/26 PERMIT SET REISSUED
5/8/26 REVISED PERMIT SET

DATE: _____
SHEET NO.: _____

05/08/26
G002



05.08.2026

prepared for
 PERMIT SET
 project name

AFREYA'S PLAYGROUND

12082 NC HIGHWAY 42
 FLOUATY VARINA, NC 27526

project number
 2026010-TLDC
 drawing title

EXTERIOR ELEVATIONS
 drawing scale

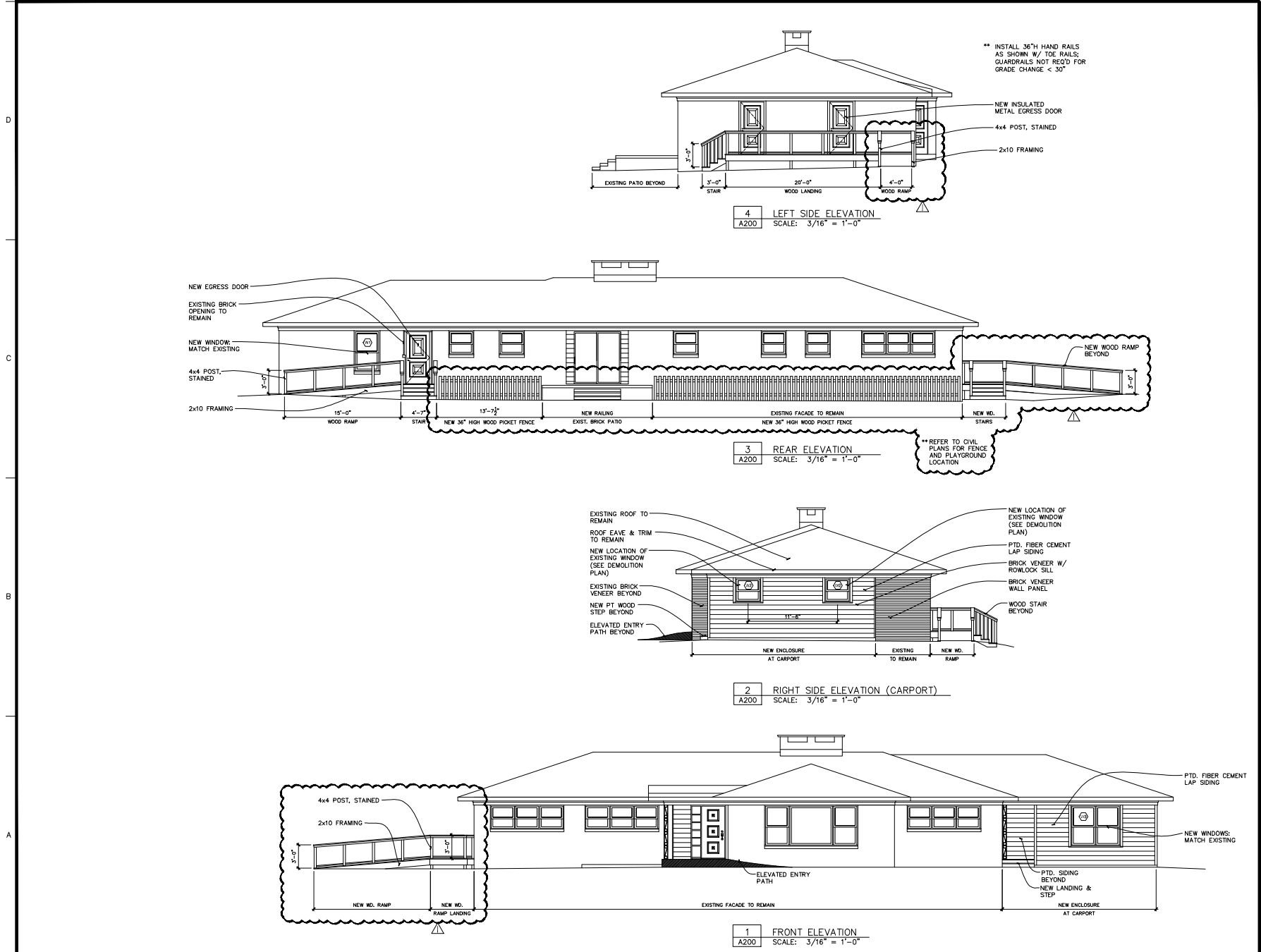
AS NOTED
 orientation



revision history
 3/19/26 ENGINEER SET
 4/7/26 PERMIT SET
 4/10/26 PERMIT SET REISSUED
 5/8/26 REVISED PERMIT SET

issue date
 05/08/26
 sheet index

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