

PROJECT:  
**Center #: 8278 - Cameron, NC**  
 183 Mittie Haddock Dr, Cameron, NC 28326

OWNER:  
**The UPS Store, Inc.**



319 N. Fourth Street, Suite 1000  
 St. Louis, MO 63102  
 P 314-231-5700  
 F 314-231-0816

**PROJECT DIRECTORY**

Franchisee: Patel, Nirav  
 P: 256.394.7161  
 niravpatel1@live.com

General Contractor: To Be Selected

Municipality: Harnett County  
 P: 910.893.7525

**DISCLAIMER**

PROPERTY CONTAINED WITHIN THESE DOCUMENTS ARE TAKEN DIRECTLY FROM A DESIGN INTENT DRAWING FROM THE TENANT DESIGNER AND THE DESIGN IS NOT NECESSARILY THE PROPERTY OF LAWRENCE GROUP. CONTACT CUSHMAN & WAKEFIELD PROJECT MANAGER AND DESIGNER FOR ANY CLARIFICATIONS ON PROJECT AND DELIVERY SCOPE.

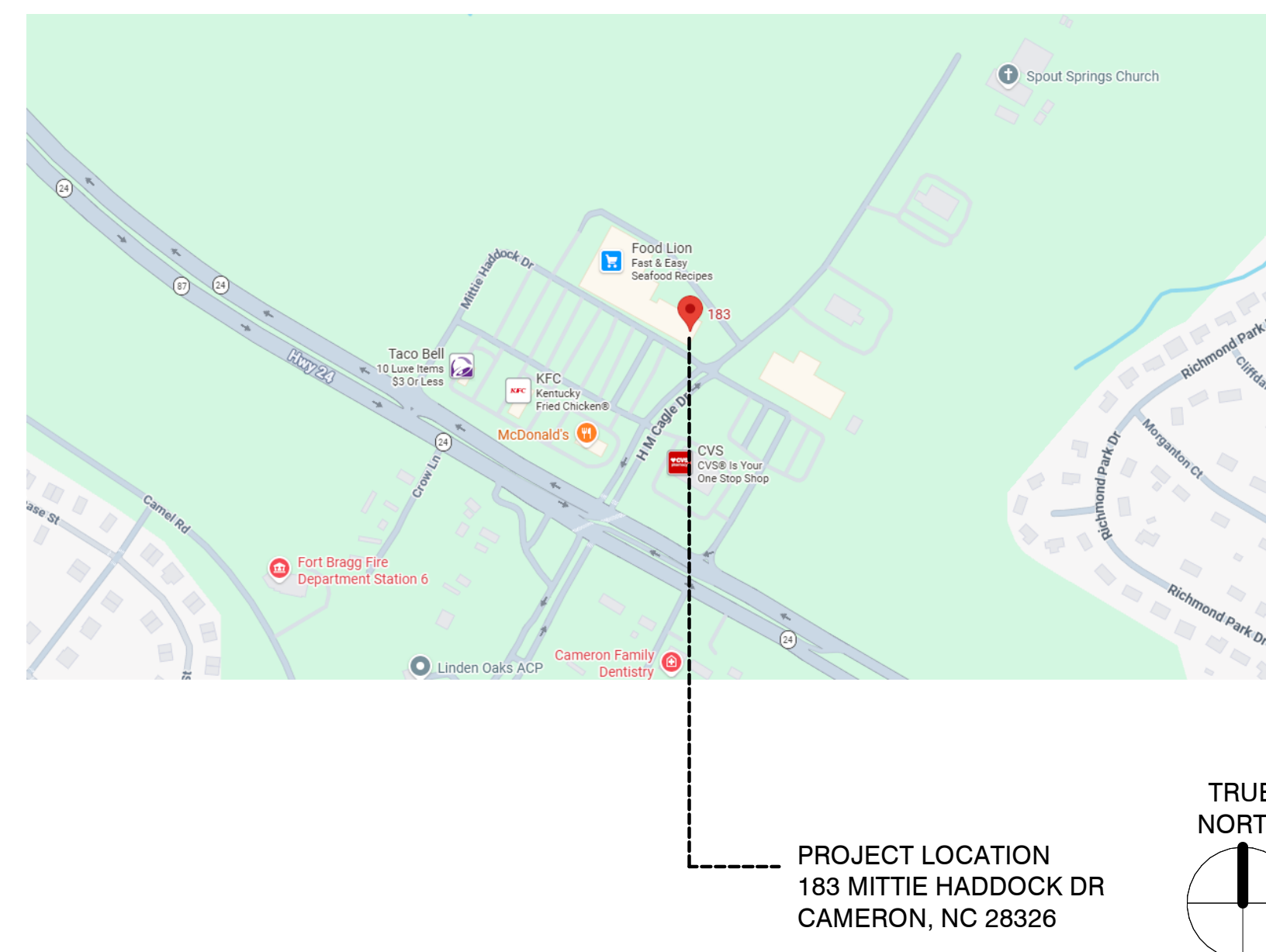
**PLAN NORTH VS TRUE NORTH**

PLAN NORTH IS BASED ON THE PREDOMINANT AXIS OF THE BUILDING GEOMETRY. FOR THIS PROJECT, PLAN NORTH POINTS TOWARDS THE TOP OF THE DRAWING AREA. ALL VIEWS IN THIS DRAWING SET USE PLAN NORTH AS IT'S ORIENTATION. TRUE NORTH IS THE REAL-WORLD NORTH DIRECTION BASED ON SITE CONDITIONS. TRUE NORTH INFORMATION IS NOT USED OR PROVIDED FOR THESE DOCUMENTS.

**NOTE TO CONTRACTOR**

IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW THE OWNER'S DESIGN INTENT DRAWINGS & NOTIFY THE ARCHITECT IMMEDIATELY WITH ANY MAJOR DISCREPANCIES. THE ARCHITECT SHALL IN NO WAY BE HELD RESPONSIBLE FOR ANY DIFFERENCES BETWEEN THE DESIGN INTENT AND ARCHITECT PROVIDED DRAWINGS.

**PROJECT LOCATION**



**SITE PLAN**



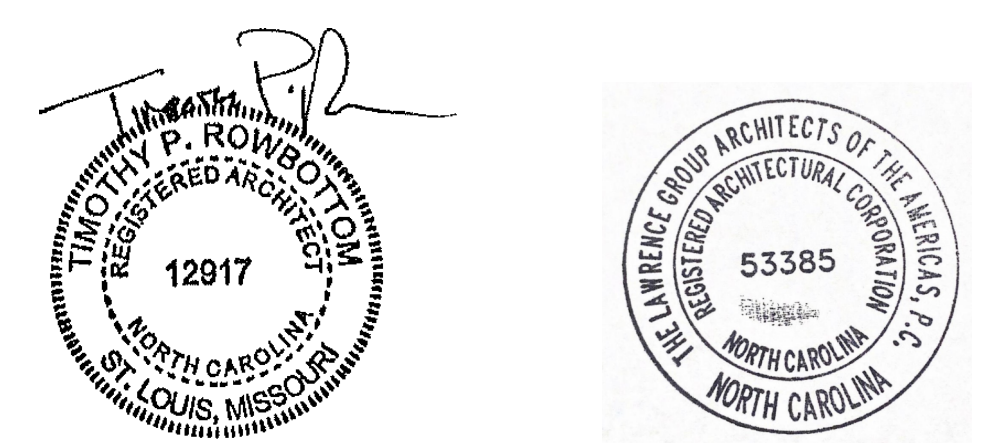
**LIST OF DRAWINGS**

Sheet Number	Sheet Name
A0	Cover Sheet
A0.2	Appendix B
A1	Demolition Floor Plan
A2	Construction & Modular Fixture & Life Safety Plan
A3	Reflected Ceiling Plan
A4	Electrical Plan
A5	Finish Plan
A6	Fixture Plan
A7	Graphics Plan & Elevations
A7.1	Graphic & Sign Install Instructions
A8	Interior Elevations
A9	Details
A10	Details

**GENERAL NOTES**

- GENERAL CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE PRIOR TO BID DATE TO FAMILIARIZE THEMSELVES WITH THE ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCES BETWEEN THEIR WORK AND THAT OF TRADES. IF ACCESS IS DENIED, CONTACT TUPSS DESIGN COORDINATOR IMMEDIATELY. FAILURE TO CONTACT THE TUPSS DESIGN COORDINATOR WILL RESULT IN THE CONTRACTOR TO ABSORB ANY ADDITIONAL COSTS DUE TO HIDDEN CONDITIONS.
- THE GENERAL CONTRACTOR SHALL CHECK FOR APPARENT VIOLATIONS OF LOCAL, STATE OR FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS BEFORE ENTERING INTO A CONTRACT WITH EITHER THE TENANT GENERAL CONTRACTOR AND/OR TENANT. IF ANY INTERFERENCES OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT DOCUMENTS IS REQUIRED, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF RECORD, TENANT'S PROJECT MANAGER AND TENANT IN WRITING. BEFORE ENTERING INTO CONTRACT WITH THE TENANT. FAILURE TO PROVIDE ARCHITECT AND TENANT WITH THE AFOREMENTIONED NOTIFICATION SHALL RESULT IN THE SPECIFIC CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK REQUIRED TO MEET THE ORIGINAL DESIGN INTENT DRAWINGS AT HIS/HER OWN COSTS WITH NO ADDITIONAL EXPENSES (EXTRAS) BEING INCURRED BY TENANT.
- GENERAL CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH THE TUPSS DESIGN COORDINATOR AND SUBMIT SCHEDULE TO TUPSS DESIGN COORDINATOR AND THE UPS STORE BASE DAILY WITH STORE TEAM AT OPENING AND CLOSING TO COORDINATE PHASING/SCOPE OF WORK/REQUIRED STORE PREP FOR THE FOLLOWING DAY.
- GENERAL CONTRACTOR TO ENCLOSE ALL EXPOSED BUILDING COLUMNS AND DEMISING WALL WITHIN LEASED SPACE. FIRE RATED ENCLOSURE TO MEET LOCAL AND STATE CODES AND LANDLORD REQUIREMENTS.
- GENERAL CONTRACTOR TO IMMEDIATELY NOTIFY TUPSS DESIGN COORDINATOR OF ANY DISCREPANCIES, ERRORS OR OMISSIONS DISCOVERED IN THE DESIGN INTENT DRAWINGS ACTUAL WIDTHS, LENGTHS, AVAILABLE CEILING HEIGHTS, COLUMN LOCATIONS, STOREFRONT CONDITIONS, UTILITY LOCATIONS, ETC. BEFORE PROCEEDING WITH RELATED WORK; OTHERWISE, THE CORRECTION OF SUCH ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION, INCLUDING TRIM, MUST BE WITHIN LEASE LINES (WHERE APPLICABLE). USE OF ANY AREA OUTSIDE OF LEASE LINES FOR STORAGE OF MATERIALS, TOOLS, FIXTURES, ETC., IS PROHIBITED.
- GENERAL CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM JOB SITE AS DIRECTED BY LANDLORD. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN LEASE SPACE AT ALL TIMES.
- ALL WOOD FRAMING, BLOCKING AND PLYWOOD TO BE FIRE RETARDANT AND PRESSURE TREATED MILL STAMP. USE SELECT GRADE LUMBER AT ALL EXPOSED AREAS. ALL FIRE RETARDANT WOOD FRAMING, BLOCKING, FURRING STRIPS AND PLYWOOD SHALL REMAIN UNPAINTED FOR VISUAL INSPECTION.
- ALL DIMENSIONS ARE TO FINISH FACE OF GYPSUM WALL BOARD OR TO FINISH FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
- ALL ANGLES 90 DEGREES UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR IS RESPONSIBLE TO HAVE ENTIRE STORE THOROUGHLY CLEAN AND DUST FREE AT THE TIME OF TURN OVER.
- TENANT'S GENERAL CONTRACTOR TO ASSEMBLE ALL MISCELLANEOUS FLOOR DISPLAYS, RACKS, BRACKETS, HANG RODS, ETC., INCLUDING, BUT NOT LIMITED TO, ROUND RACKS, 2 WAY RACKS, 4 WAY RACKS, DISPLAY MERCHANDISE TABLES, NON-SALES AREA-TENANT'S GENERAL CONTRACTOR TO ASSEMBLE ALL MISCELLANEOUS NON-SALES OFFICE EQUIPMENT, SHELVES, RACKS, BRACKETS, HANG RODS, ETC. TENANT'S GENERAL CONTRACTOR MUST FILE BURRS SMOOTH BEFORE INSTALLING SNAP-IN END CAPS ANYTIME HANG ROD IS CUT TO LENGTH.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS MUST FAMILIARIZE THEMSELVES WITH THE UPS STORE TENANT CRITERIA MANUAL. THE UPS STORE CONSTRUCTION REGULATIONS AND LOCAL CODE REQUIREMENTS FOR ANY ADDITIONAL INFORMATION NOT SPECIFICALLY INCLUDED IN THESE DOCUMENTS.
- THE SPRINKLER SYSTEM SHALL BE FULLY CHARGED AND OPERATIONAL WHEN THE CONTRACTOR IS OFF-SITE.
- MATERIALS, EQUIPMENT, AND ASSEMBLIES SHOWN OR SPECIFIED ARE MINIMUM REQUIREMENTS OR PERFORMANCE STANDARDS. LOCAL JURISDICTIONS MAY REQUIRE PERFORMANCE STANDARDS BEYOND THOSE SHOWN OR SPECIFIED. FURTHERMORE, LOCAL JURISDICTIONS MAY PREVENT THE USE OF COMMONLY ACCEPTED MATERIALS. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL LOCAL REQUIREMENTS FOR LICENSING, MATERIALS, AND PERFORMANCE STANDARDS PRIOR TO SUBMITTING BID. ALL CONFLICTS BETWEEN THE DESIGN INTENT DRAWINGS AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION AND RESOLVED, BY MUTUAL AGREEMENT, PRIOR TO SUBMISSION OF BID OR HIGHEST PRICED WORK. LOCAL REQUIREMENTS VERSUS SPECIFIED REQUIREMENTS SHALL BE INCLUDED IN THE BID.
- THIS DESIGN CRITERIA IS PROVIDED FOR BUILDING OFFICIAL REVIEW CONVENIENCE ONLY IS NOT INTENDED FOR USE BY COMPONENT DESIGNERS OR MANUFACTURERS AS THEIR SOLE DESIGN CRITERIA WITHOUT VERIFICATION. EACH DESIGNER AND/OR MANUFACTURER MUST INDEPENDENTLY CONFIRM ALL CODE CRITERIA WITH WHICH THEIR ELEMENTS OR COMPONENTS MUST COMPLY INCLUDING BUT NOT LIMITED TO LOADING, APPLICATION, FUNCTIONALITY, ETC. PERFORMANCE CRITERIA PROVIDED ELSEWHERE BY A SPECIFIC DISCIPLINE SHOULD BE REGARDED AS THE MINIMUM STANDARDS ACCEPTABLE TO THE CLIENT. EACH SUPPLIER MUST EVALUATE THESE MINIMUMS AGAINST SPECIFIC INDUSTRY STANDARDS AS WELL AS CODES, LAWS, ORDINANCES AND UNDERWRITER REQUIREMENTS GOVERNING HIS PRODUCT AS WELL AS OWNER INSURER REQUIREMENTS, AS APPLICABLE. THE MOST STRINGENT OF THESE CRITERIA SHALL GOVERN.
- LEAVE ALL APPROPRIATE DOCUMENTATION INDEXED IN A BINDER.
- LEAVE AS-BUILT SET OF PLANS WITH THE LANDLORDS TENANT COORDINATOR.
- TURN OVER ALL KEYS TO FRANCHISEE OWNER MARKING EACH KEY FOR IDENTIFICATION.
- CONTRACTOR TO PROVIDE CIRCUIT DIRECTORY ON ELECTRICAL PANELS, TYP.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IF ANY DIMENSIONS FROM THE PLAN ARE CONTRADICTORY TO FIELD CONDITIONS, CONTACT TUPSS DESIGN COORDINATOR IMMEDIATELY. FAILURE TO CONTACT TUPSS DESIGN COORDINATOR WILL RESULT IN THE GENERAL CONTRACTOR ABSORBING ANY ADDITIONAL COSTS.

PROFESSIONAL SEAL:



ISSUE DATE: 04/09/2026  
 EXP. DATE: 06/30/2026

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**CODE SUMMARY**

**APPLICABLE CODES:**

- 2018 NORTH CAROLINA BUILDING CODE
- 2020 NATIONAL ELECTRIC CODE
- 2018 NORTH CAROLINA FIRE CODE
- 2018 NORTH CAROLINA MECHANICAL CODE
- 2018 NORTH CAROLINA PLUMBING CODE
- 2018 NORTH CAROLINA ENERGY CONSERVATION CODE

**PROJECT AREA:**

PARTIAL 1ST FLOOR: 1681 SF

**OCCUPANCY:**

PARTIAL 1ST FLOOR OF EXISTING 1-STORY BUILDING  
 PROPOSED: (B) BUSINESS (PROFESSIONAL SERVICES)

**CALCULATED OCCUPANT LOAD:**

PARTIAL 1ST FLOOR  
 TOTAL LOAD = 17 OCCUPANTS (100 SF/OCC)

**CONSTRUCTION TYPE:**

TYPE IIB, UNCOMBUSTIBLE, UNPROTECTED

**FIRE PROTECTION:**

SPRINKLER SYSTEM: YES

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No.	Description	Date

Sheet Title:  
**Cover Sheet**

Project Number:  
 2026901.084

Issue Date:  
 04/09/2026

Sheet Number:  
**A0**

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2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: The UPS Store #8278
Address: 183 Mittie Haddock Dr, Cameron, NC
Owner/Authorized Agent: Phone # ( ) E-Mail
Owned By: City/County Private State
Code Enforcement Jurisdiction: City County Hamett State

CONTACT:
DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural
Civil
Electrical
Fire Alarm
Plumbing
Mechanical
Sprinkler-Standpipe
Structural
Retaining Walls >5' High
Other

2018 NC BUILDING CODE:
New Building Addition Renovation
1st Time Interior Completion
Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING:
Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III
Historic Property Change of Use
CONSTRUCTED: (date) Unknown CURRENT OCCUPANCY(S) (Ch. 3): N/A
RENOVATED: (date) PROPOSED OCCUPANCY(S) (Ch. 3): (B) Business

RISK CATEGORY (Table 1604.5):
Current: I II III IV
Proposed: I II III IV
BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes Flood Hazard Area: No Yes
Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

2018 NC Administrative Code and Policies

PERCENTAGE OF WALL OPENING CALCULATIONS
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES
DEGREE OF OPENINGS PROTECTION (TABLE 705.8)
ALLOWABLE AREA (%)
ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: A2
Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
Occupant loads for each area
Exit access travel distances (1017)
Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1030)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

2018 NC Administrative Code and Policies

Gross Building Area Table
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL
3rd Floor
2nd Floor
Mezzanine
1st Floor
Basement
TOTAL

ALLOWABLE AREA
Primary Occupancy Classification(s):
Assembly A-1 A-2 A-3 A-4 A-5
Business
Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
Institutional
I-1 Condition I-2
I-2 Condition I-1 I-2
I-3 Condition I-1 I-2 I-3 I-4 I-5
I-4
Mercantile
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-piled
Parking Garage Open Enclosed Repair Garage
Utility and Miscellaneous

Accessory Occupancy Classification(s): None
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: No Yes Separation: Hr. Exception:
Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A + Actual Area of Occupancy B / Allowable Area of Occupancy A + Allowable Area of Occupancy B <= 1

2018 NC Administrative Code and Policies

ACCESSIBLE DWELLING UNITS (SECTION 1107)
TOTAL UNITS ACCESSIBLE UNITS REQUIRED PROVIDED
TYPE A UNITS TYPE B UNITS
TYPE A UNITS PROVIDED TYPE B UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)
LOT OR PARKING AREA TOTAL # OF PARKING SPACES REQUIRED PROVIDED
# OF ACCESSIBLE SPACES PROVIDED
REGULAR WITH 5' ACCESS AISLES VAN SPACES WITH 13' ACCESS AISLES 8' ACCESS AISLES
TOTAL # ACCESSIBLE PROVIDED

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)
USE WATERCLOSETS URINALS LAVATORIES SHOWERS DRINKING FOUNTAINS
MALE FEMALE UNSEX MALE FEMALE UNSEX REGULAR ACCESSIBLE
SPACE EXIST'G NEW REQ'D

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

2018 NC Administrative Code and Policies

STORY NO. DESCRIPTION AND USE (A) BLDG AREA PER STORY (ACTUAL) (B) TABLE 506.2 AREA (C) AREA FOR FRONTAGE INCREASE 1,2 (D) ALLOWABLE AREA PER STORY OR UNLIMITED 1,3

Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase I\_f = 100[F/P - 0.25] x W/30 = (%)
Unlimited area applicable under conditions of Section 507.
Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
The maximum area of open parking garages must comply with Table 406.5.4.
Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT
Building Height in Feet (Table 504.3) 2 75' Existing
Building Height in Stories (Table 504.4) 3 4 1 (Existing)

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
The maximum height of air traffic control towers must comply with Table 412.3.1.
The maximum height of open parking garages must comply with Table 406.5.4.

2018 NC Administrative Code and Policies

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.
Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)
Exempt Building: No Yes (Provide code or statutory reference):
Climate Zone: 3A 4A 5A
Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)
Roof/ceiling Assembly (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
total square footage of skylights in each assembly:
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:
Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

2018 NC Administrative Code and Policies

ETR - EXISTING TO REMAIN FIRE PROTECTION REQUIREMENTS
BUILDING ELEMENT FIRE SEPARATION DISTANCE (FEET) RATING REQ'D PROVIDED (W/REDUCTION) DETAIL # AND SHEET # DESIGN # FOR RATED ASSEMBLY SHEET # FOR RATED PENETRATION SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses
Bearing Walls
Exterior
North
East
West
South
Interior
Nonbearing Walls and Partitions
Exterior walls
North
East
West
South
Interior walls and partitions
Floor Construction
Including supporting beams and joists
Floor Ceiling Assembly
Columns Supporting Floors
Roof Construction, including supporting beams and joists
Roof Ceiling Assembly
Columns Supporting Roof
Shaft Enclosures - Exit
Shaft Enclosures - Other
Corridor Separation
Occupancy/Fire Barrier Separation
Party/Fire Wall Separation
Smoke Barrier Separation
Smoke Partition
Tenant/Dwelling Unit/ Sleeping Unit Separation
Incidental Use Separation

\* Indicate section number permitting reduction.

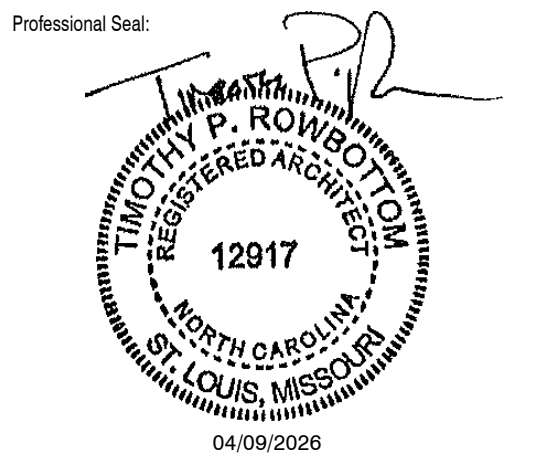
2018 NC Administrative Code and Policies



Office: 319 N. Fourth Street, Suite 1000
St. Louis, MO 63102
p 314-231-8700
f 314-231-0816

Project Team:
Franchisee: Patel, Nirav
P: 256.394.7161
niravpatel1@live.com

General Contractor: To Be Selected



COMMERCIAL TENANT IMPROVEMENT FOR:
THE UPS STORE, INC.
Center #: 8278 - Cameron, NC
183 Mittie Haddock Dr, Cameron, NC 28326

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Table with 3 columns: No., Description, Date

Sheet Title:











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**FIXTURE SCHEDULE - NEW**

FIXTURE TAG	COUNT	DESCRIPTION	VIRA	3C #
BH-B1L	1	SINGLE REAR LOAD MAIL CABINET	ASY53541	402
BH-B2	2	MODULAR MAIL BOX	BH-B2	136
BH-B3	2	MAIL UPPER CABINET	BH-B3	137
BH-B3L	1	SINGLE MAIL UPPER CABINET	BH-B3L	417
BH-B5	1	KEY CABINET; INSTALL BOTTOM OF CABINET AT 34" AFF	4403-V	4403-C
BH-B7	1	MOBILE MAIL STORAGE RACK	BH-B7	222
BH-C8	1	TIME SAVING KIOSK 48" X 24"	BH-C8	410L
BH-C9	1	4X4 SLAT WALL WITH FINISH TRIM; INSTALL TOP OF SLAT WALL 1" FROM TOP OF PT-02 PAINT LINE	BH-C9	501
BH-D2	1	PEG BOARD 40"H X 20"W - CENTER ON FIXTURE/MODULAR WALL, INSTALL VERTICALLY AT 82" AFF	BH-D2	286
BH-D9	1	LOBBY ISLAND	BH-D9	502
BH-E1A	1	RETAIL WALL KIT 48"W X 84"H; LIGHT TO REMAIN ON AT ALL TIMES	BH-E1A	019
BH-E20	1	RETAIL SOFFIT 56"W X 60"H WITH LIGHT AND (2) 4"W X 84" H RETAIL MODULAR WALL	BH-E20	369
BH-F1BL	3	POS COUNTER W/ SOLID FRONT 36"W X 32"D X 36"H	BH-F1BL	416
BH-F3L	3	SCALE STAND 36"W X 32"D	BH-F3L	466
BH-F6	1	ADA PULL OUT SHELF	BH-F6	009
BH-F8	1	PEG BOARD 24"H X 20"W - CENTER ON FIXTURE/MODULAR WALL, INSTALL VERTICALLY AT 78" AFF	BH-F8	059
BH-F11	1	POS MODULAR WALL UNIVERSAL FASCIA KIT (24"H) - GC CUT TO FIT	BH-F11	334
BH-F14	3	36" POS RISER		430
BH-H4	1	TOOL CABINET W/ DOOR	BH-H4	049
BH-I1	1	GATE POCKET 120"H X 26.5"W X 18"D, SCRIBE HEIGHT AND CUT DOWN GATE POCKET DOOR IN FIELD. FOR SLIDING GATES, GATE POCKET DOOR TO BE CUT DOWN 2" FROM CEILING TO ACCOMODATE SLIDING GATE TRACK.	BH-I1	181
BH-I2	1	MODULAR WALL, POS 36"W X 18"D X 96"H	BH-I2	038
BH-I7	1	GATE POCKET 120"H X 15.75"W X 24"D, SCRIBE HEIGHT AND CUT DOWN GATE POCKET DOOR IN FIELD. FOR SLIDING GATES, GATE POCKET DOOR TO BE CUT DOWN 2" FROM CEILING TO ACCOMODATE SLIDING GATE TRACK.	BH-I7	186

**FIXTURE SCHEDULE - NEW**

FIXTURE TAG	COUNT	DESCRIPTION	VIRA	3C #
BH-I21L	1	MODULAR WALL 144"H X 15"W X 5"D	TBD	TUPSS509A
BH-I22L	1	MODULAR MAILROOM CABINET 24"W X 15"D X 96"H	BH-I22L	510
BH-I23L	1	MODULAR MAILDROP CABINET W/ MAIL SLOT 24"W X 15"D X 96"H	BH-I23L	511
BH-J1	1	MOBILE PRINT TABLE - CUTTING MAT 106"W X 58"D X 36"H	BH-J1	044
BH-J7LA	1	MOBILE PACK TABLE ADJUSTABLE - CARPET TOP 72"W X 48"D X 31"H	TBD	TBD
BH-J17	1	METAL CARTON RACK 24"W X 24"D X 96"H - STARTER	BH-J17	206
BH-J18	3	METAL CARTON RACK 24"W X 24"D X 96"H - ADDER	BH-J18	210
BH-J21	2	METAL STORAGE RACK W/ 2 SHELVES; 72"W X 24"D X 96"H; TOP SHELF TO BE INSTALLED FLUSH WITH CORNER POSTS; CORNER POSTS ARE NOT SHARED.	ASY53922	252T
BH-J21L	3	PRIVACY PANEL WITH FRP SEAM INSTALLED HORIZONTALLY 72"W X 96"H	BH-J21L	474
BH-J21T	1	METAL STORAGE RACK SHELF KIT 72"W X 24"D (2 ADDITIONAL SHELVES)	BH-J21T	252S
BH-J22	7	METAL STORAGE RACK W/ 2 SHELVES; 96"W X 24"D X 96"H; TOP SHELF TO BE INSTALLED FLUSH WITH CORNER POST; CORNER POSTS ARE NOT SHARED. IF INSTALLED WITH J43, TOP SHELF INSTALLED APPROX. 48" AFF.	ASY13578	253T
BH-J22T	5	METAL STORAGE RACK SHELF KIT 72"W X 24"D (2 ADDITIONAL SHELVES)	BH-J22T	253S
BH-J26	2	RETRACTABLE EXTENSION CORD REEL - REFER TO SHEET A9 FOR INSTALL INFORMATION - INSTALL WITH NARROW SIDE FACING STOREFRONT	BH-J26	256
BH-J28	1	PRIVACY PANEL, PERFORATED 96"W X 24"H, IF INSTALLED ON 7" RACK THEN GC CUT TO FIT AND INSTALL CUT SIDE DOWN	BH-J28	031
BH-J29	1	PRIVACY PANEL 24"W X 96"H	BH-J29	057
BH-J32	1	MANAGER'S DESK 60"W X 30"D (BOM)		011
BH-J35	1	PATCH PANEL CABINET 60"W X 24"H - PHONE BOARD AND DATA TO BE INSTALLED WITHIN CABINET. TOP OF CABINET TO BE INSTALLED AT 96" AFF. MAINTAIN 18" MIN. CLEARANCE FROM THE CEILING.	BH-J35	052
BH-J37	1	BREAK BAR KIT - INSTALL COUNTERTOP AT 34" AFF	BH-J37	026
BH-J43	1	WALL MOUNTED BUBBLE WRAP; IF INSTALLED WITH BH-J22, MOUNT AT 9'-6" AFF AND CENTERED BETWEEN 8" RACK CORNER UPRIGHTS. IF CEILING HEIGHT IS 9'-6" OR LOWER, MOUNT 6" BELOW CEILING.		151

**FLOOR PLAN KEYED NOTES**

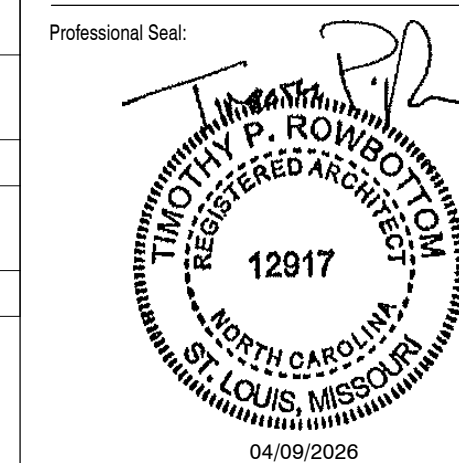
Key Value	Keynote Text
601	EXISTING DOOR TO REMAIN.
602	EXISTING STOREFRONT TO REMAIN.
603	METAL SECURITY GATE PROVIDED BY TUPSS APPROVED VENDOR. PROJECT SPECIFIC VENDOR GATE INFORMATION ON A10. FOR ROLL DOWN GATES REFER TO DETAIL 8/A9 FOR ADDITIONAL INSTALLATION REQUIREMENTS.
605	ELECTRICAL PANEL
609	MAILBOX MODULES PROVIDED BY TUPSS VENDOR.
610	FIBERGLASS REINFORCED PLASTIC PANELS; INSTALLED VERTICALLY (TO BE PROVIDED BY FIXTURE VENDOR AND INSTALLED BY GC)
611	COPIER
612	BINDER
613	COMPUTER
614	LAMINATOR
618	DIGITAL MONITOR WITH CEILING MOUNT. BOTTOM OF MONITOR TO BE INSTALLED AT 80" AFF, REFER TO DETAIL 6/A9. FOR CEILING HEIGHTS OVER 12'-0" OR OPEN CEILING APPLICATIONS REFER TO DETAIL 5/A9.
622	INFLATABLE AIR CUSHIONING MACHINE
624	TOP SHELF FLUSH WITH TOP OF CORNER UPLIGHTS AND LOWER SHELF TO BE INSTALLED AT 72" AFF
625	WALL MOUNTED BUBBLE WRAP; IF INSTALLED ABOVE A BH-J22, MOUNT AT 9'-6" AFF AND CENTERED BETWEEN 8" RACK CORNER UPRIGHTS. IF CEILING HEIGHT IS 9'-6" OR LOWER, MOUNT 6" BELOW CEILING. TOP SHELF OF BH-J22 AT 48" AFF.
630	BH-K11L FASCIA PANEL TO FILL SPACE BETWEEN GLASS STOREFRONT AND BH-I21L. REFER TO DETAIL 14/A9.
631	ILLUMINATED OPEN SIGN
633	PRIVACY PANEL FRP TO BE INSTALLED/SEALED HORIZONTALLY; SEE INSTALL MANUAL FOR DETAILS
635	CUTTER



Office: 319 N. Fourth Street, Suite 1000  
St. Louis, MO 63102  
p 314-231-5700  
f 314-231-0816

Project Team:  
Franchisee: Patel, Nirav  
P: 256.394.7161  
niravpatel1@live.com

General Contractor: To Be Selected



Project Title:

COMMERCIAL TENANT IMPROVEMENT FOR:  
**THE UPS STORE, INC.**

Center #: 8278 - Cameron, NC  
183 Mittie Haddock Dr, Cameron, NC 28326

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No.	Description	Date

Sheet Title:

**Fixture Plan**

Project Number: 2026901.084

Drawn By: CEL

Issue Date: 04/09/2026

Sheet Number:

**A6**

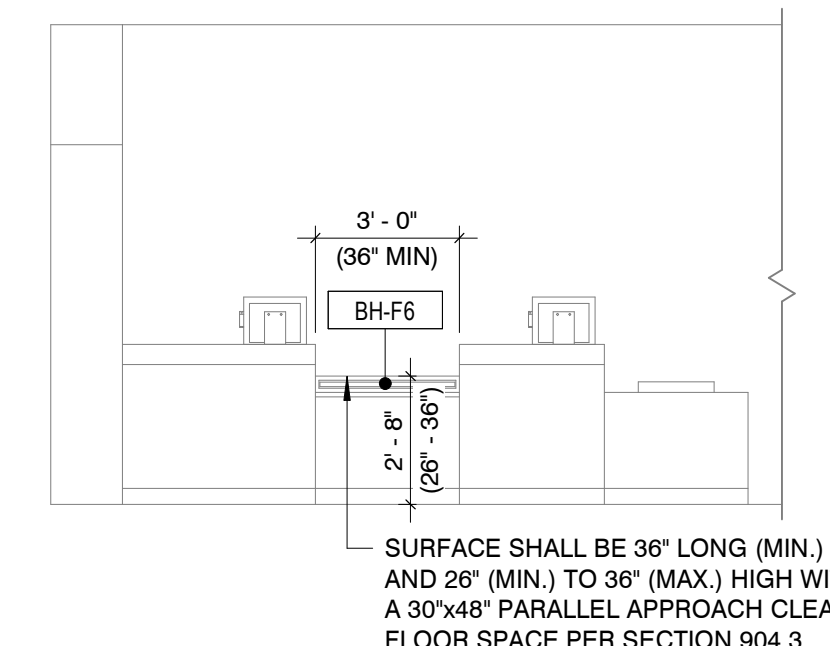
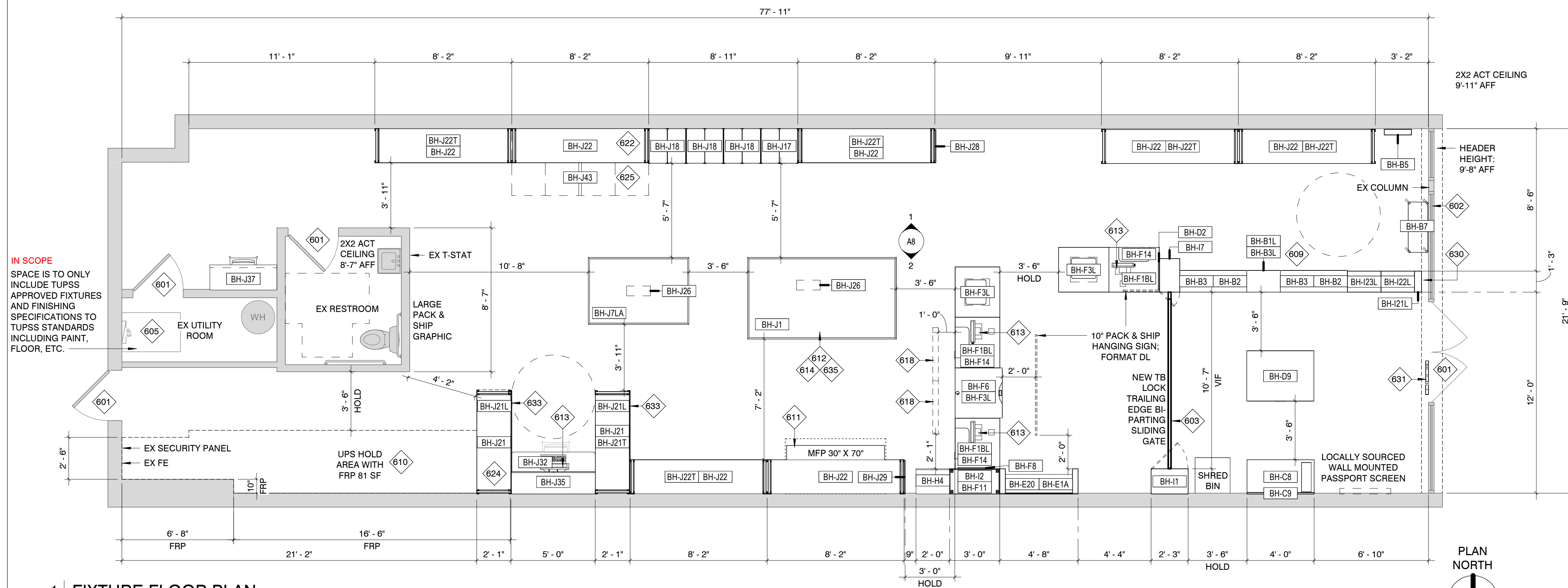
NOTE: ELEVATION FOR REFERENCE ONLY. PROJECT CONDITIONS MAY VARY. SEE FIXTURE PLAN FOR PROJECT SPECIFIC INFORMATION.

DIMENSIONS PROVIDED ON PLAN ARE FOR GENERAL REFERENCE ONLY. ACTUAL FINAL MEASUREMENTS OF FIXTURES BOTH NEW AND EXISTING MAY VARY SLIGHTLY.  
GC TO VERIFY ON SITE AND NOTIFY PROJECT MANAGER OF VARIANCES.

CLT HGHT: 9'-11" SALES AREA; 8'-7" RESTROOM  
2X2 CEILING GRID/TILES IS TO BE REUSED

LLD TO PROVIDE 2X2 LED LIGHTS IF ADDITIONAL ARE NEEDED

REAR LOAD MB ITEMS TO ORDER:  
6 SMALL BANKS  
4 MED. BANKS



**1 FIXTURE FLOOR PLAN**

A6 1/4" = 1'-0"

**2 FRONT COUNTER ACCESSIBILITY**

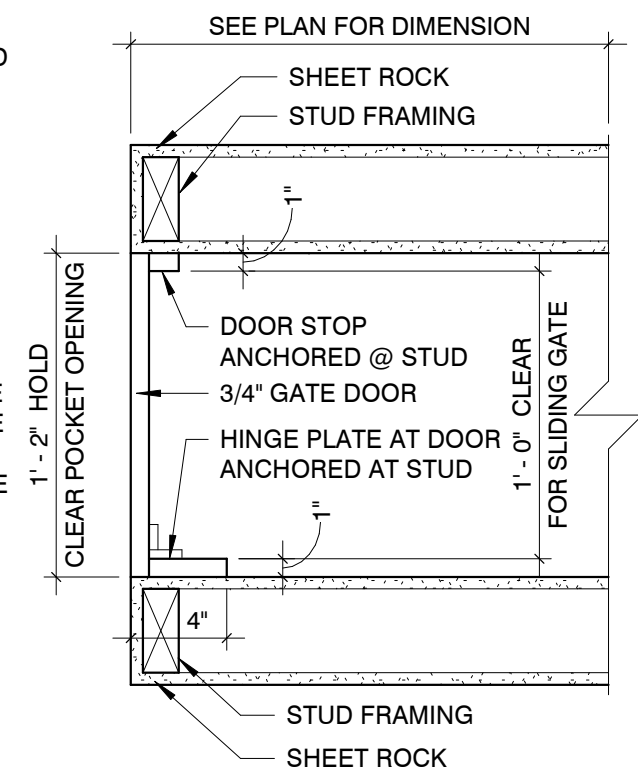
A6 1/4" = 1'-0"







GATE POCKET DOOR AND JAM MOUNTING HARDWARE PROVIDED BY TUPSS FIXTURE SUPPLIERS  
 DOOR IS BUILT TO EXACT DIMENSIONS OF 13 1/2" WIDE X 10'-0" TALL  
 GATE POCKET DOOR IS UNIVERSAL TO HANG LEFT OR RIGHT SWING  
 GATE POCKET OPENING MUST BE PLUMB AND EXACT IN FINISH SIZE IN ORDER TO INSTALL PRE-FAB GATE POCKET DOOR / HARDWARE  
 FIXTURE SUPPLIER WILL PROVIDE INSTALL INSTRUCTIONS WITH GATE POCKET DOOR FIXTURE



**3 PLAN SECTION THROUGH CONV. GATE POCKET FOR SLIDING GATES**  
 A9 1 1/2" = 1'-0"

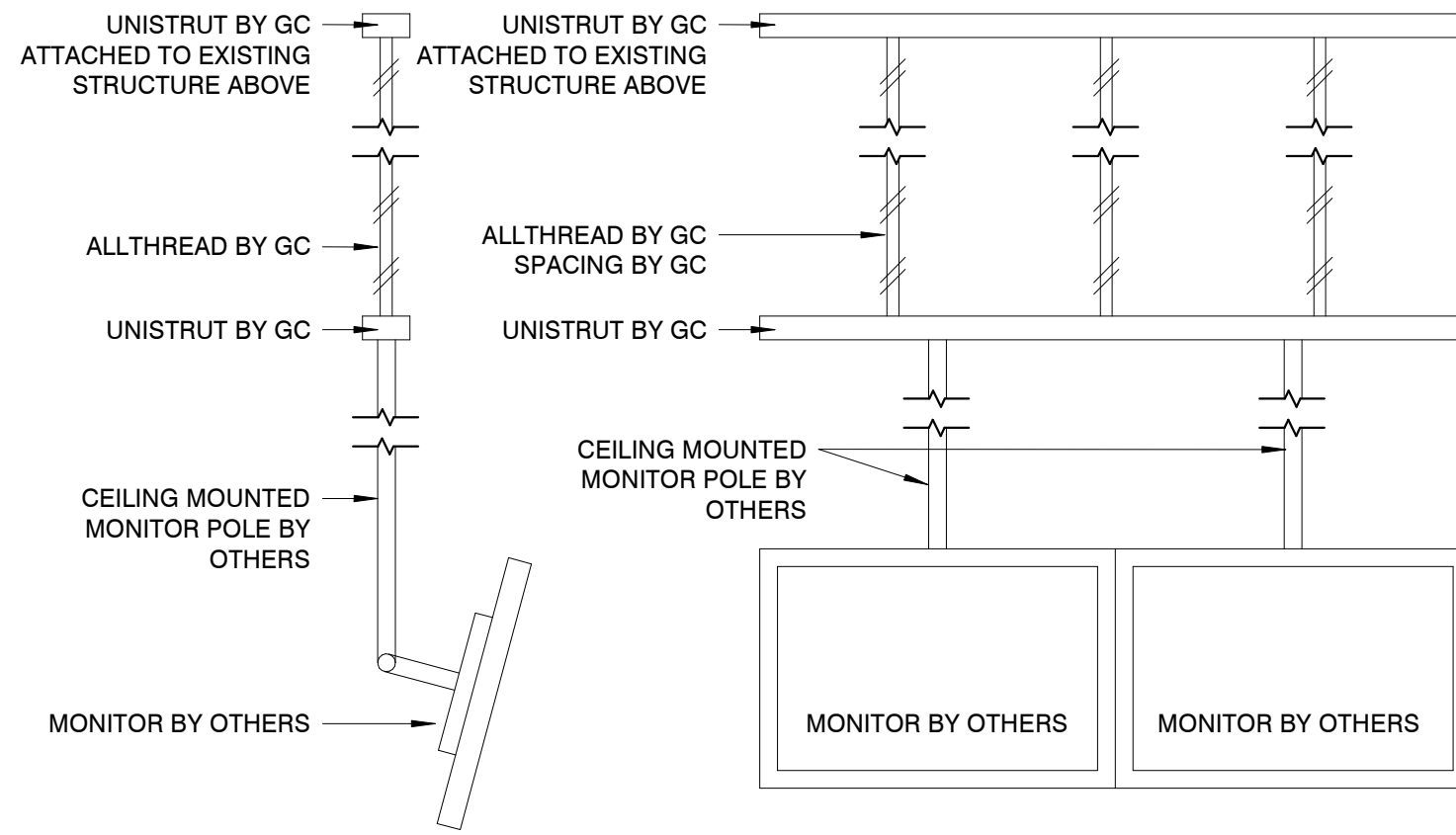
GC TO REMOVE ONE KNOCKOUT FROM EACH POS COUNTERTOP. FRANCHISEE TO SELECT EITHER RIGHT OR LEFT KNOCKOUT WHERE MONITORS WILL BE PLACED. ALL POS FIXTURES MUST HAVE THE SAME KNOCKOUT SELECTED.

GC TO DRILL THE CENTER OF THE KNOCKOUT USING A 3/8" DRILL BIT. USE A HAND ROUTER WITH FLUSH TRIM BIT AND PLACE IN DRILLED HOLE. ROTATE CLOCKWISE TO GIVE A FLUSH CLEAN EDGE. INSERT GROMMET INTO KNOCKOUT MARKER.

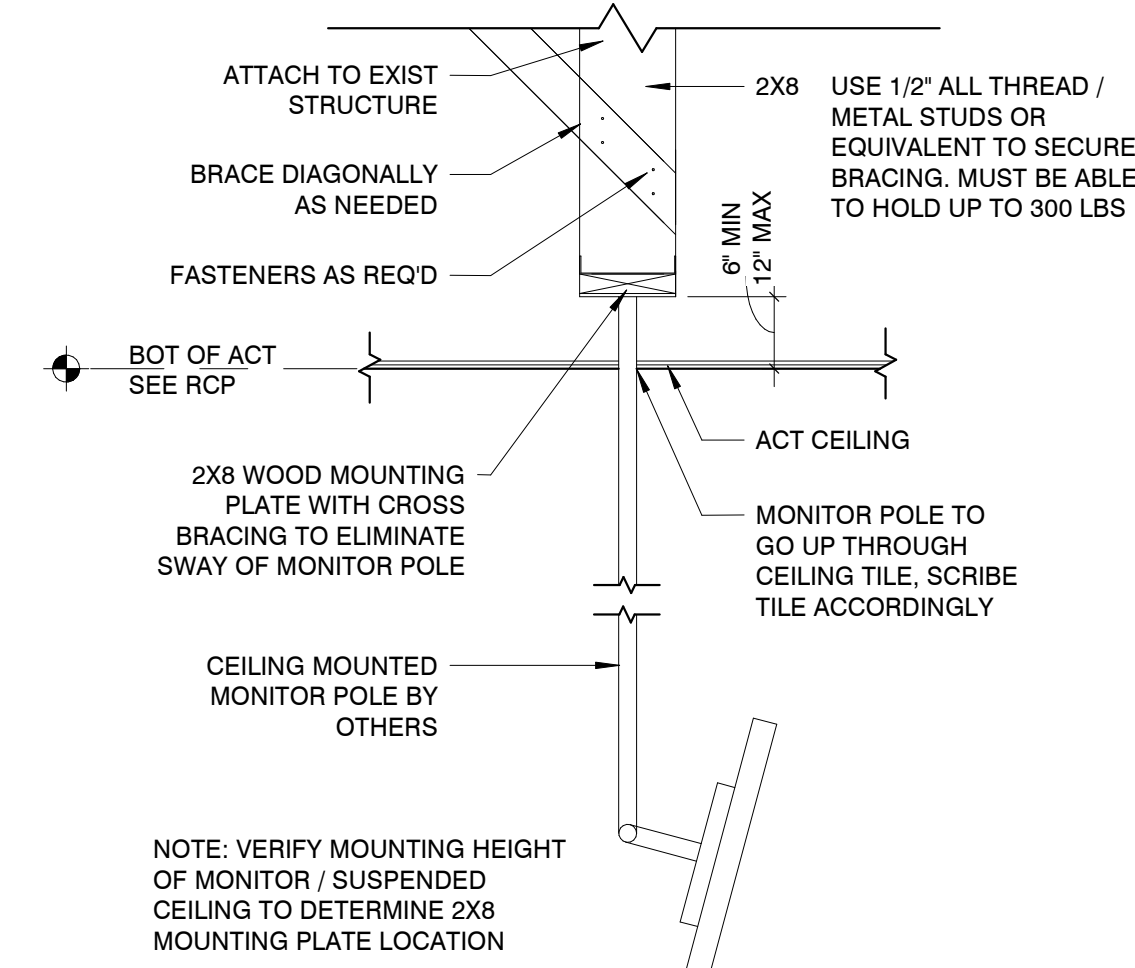
KNOCKOUTS ON SIDE OF FIXTURES TO BE DRILLED OUT WHERE WIRING IS TO BE RUN.



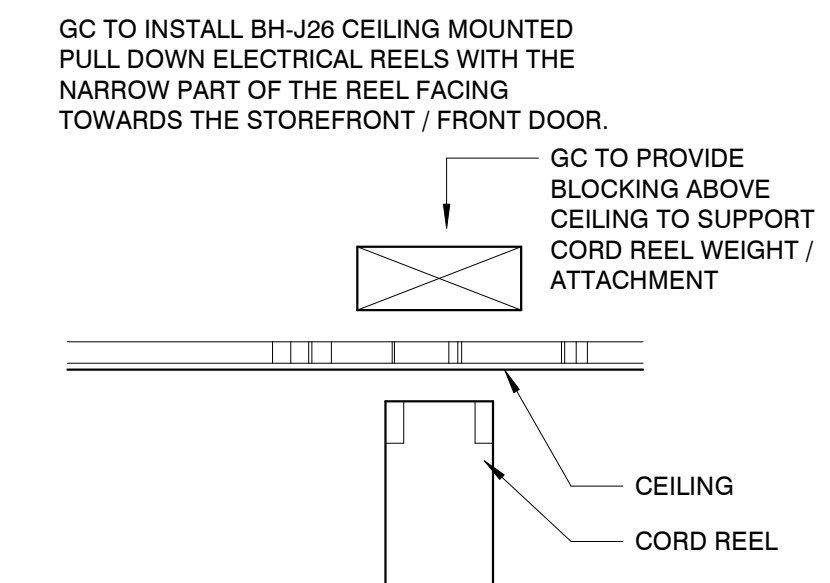
**4 POS COUNTER - KNOCKOUTS**  
 A9 3/4" = 1'-0"



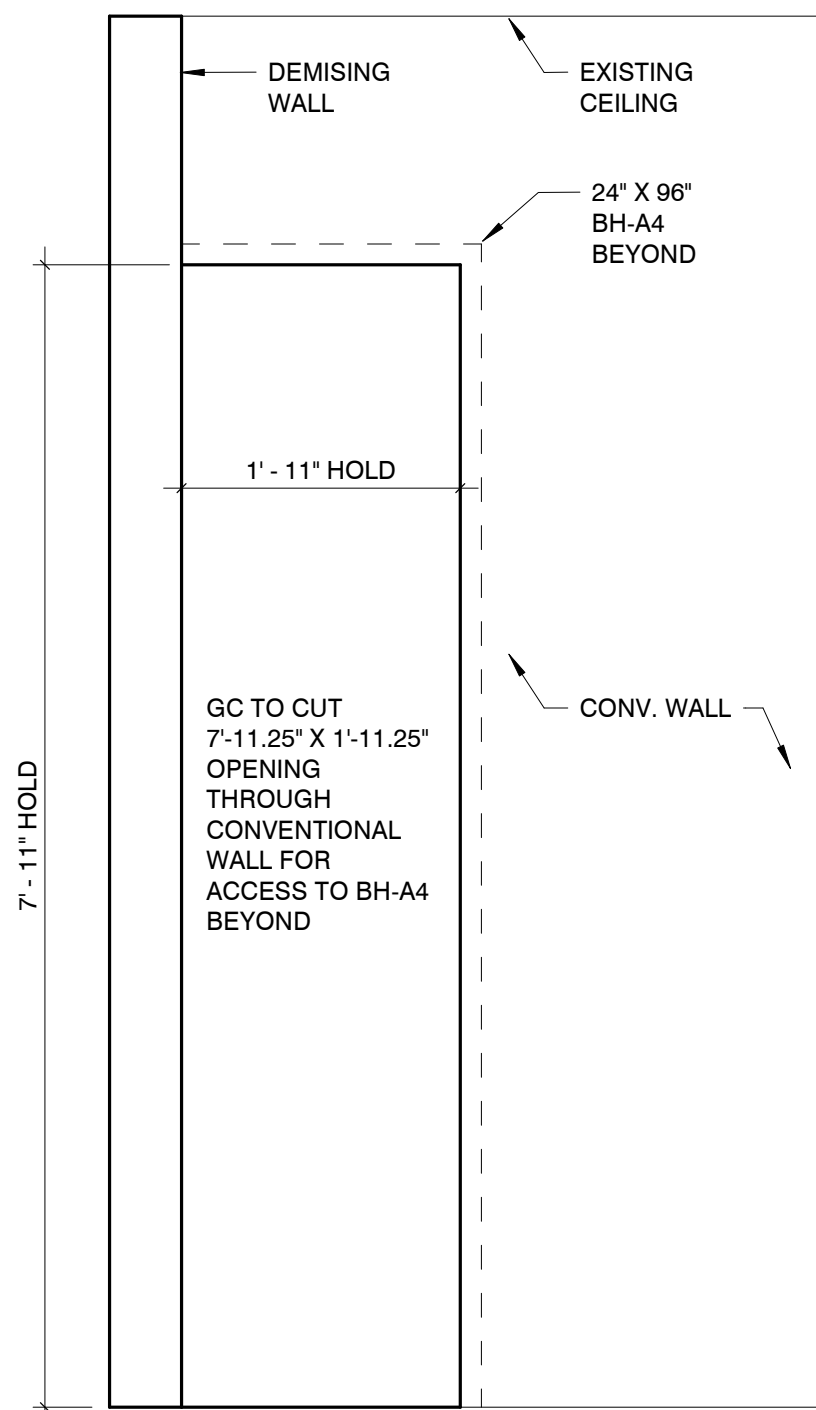
**5 MONITOR MOUNT DETAIL FOR OPEN CEILINGS OR CEILINGS ABOVE 12'-0"**  
 A9 3/4" = 1'-0"



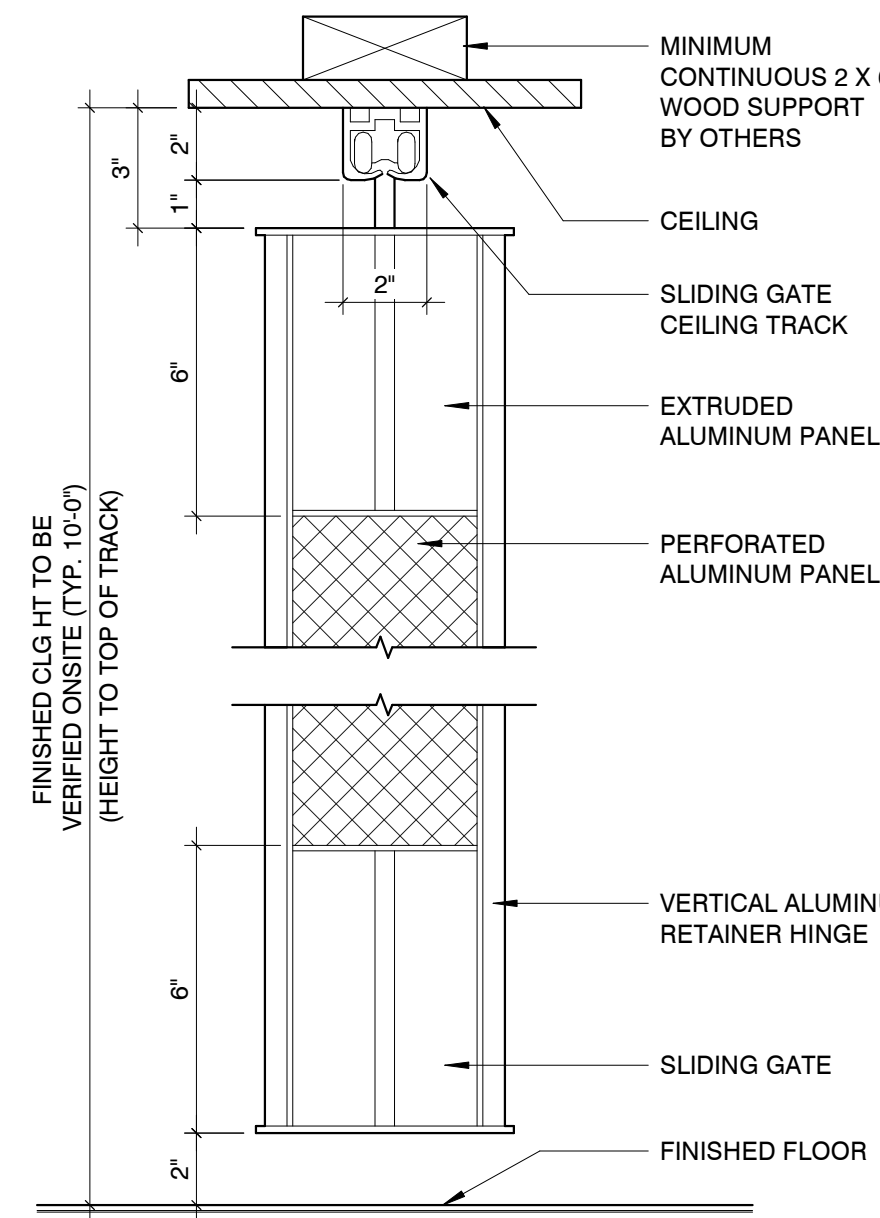
**6 MONITOR MOUNT DETAIL TYP**  
 A9 3/4" = 1'-0"



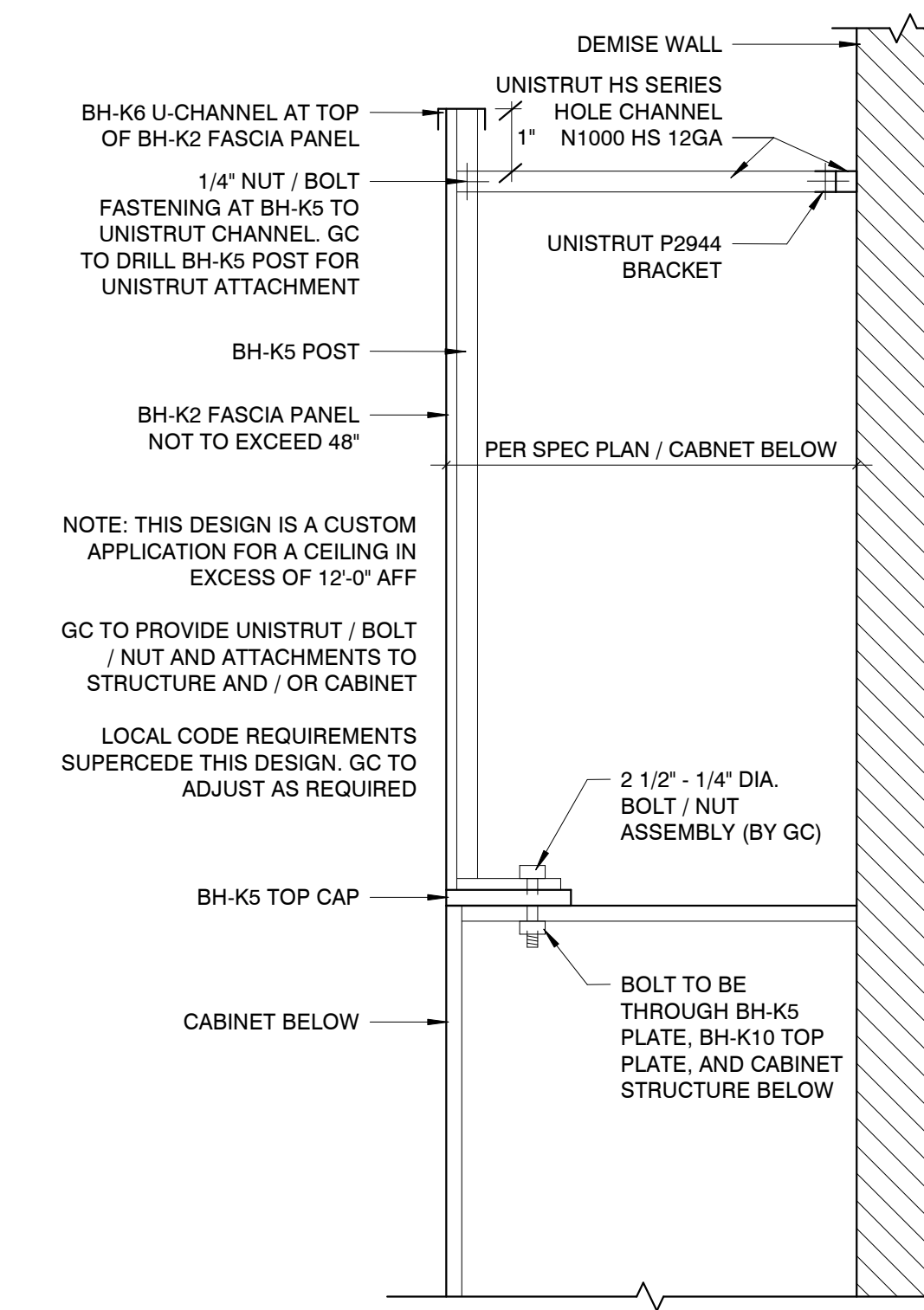
**7 RETRACTABLE EXTENSION CORD**  
 A9 3" = 1'-0"



**9 ELEV - CONV WALL ACCESS FOR BH-A4**  
 A9 3/4" = 1'-0"



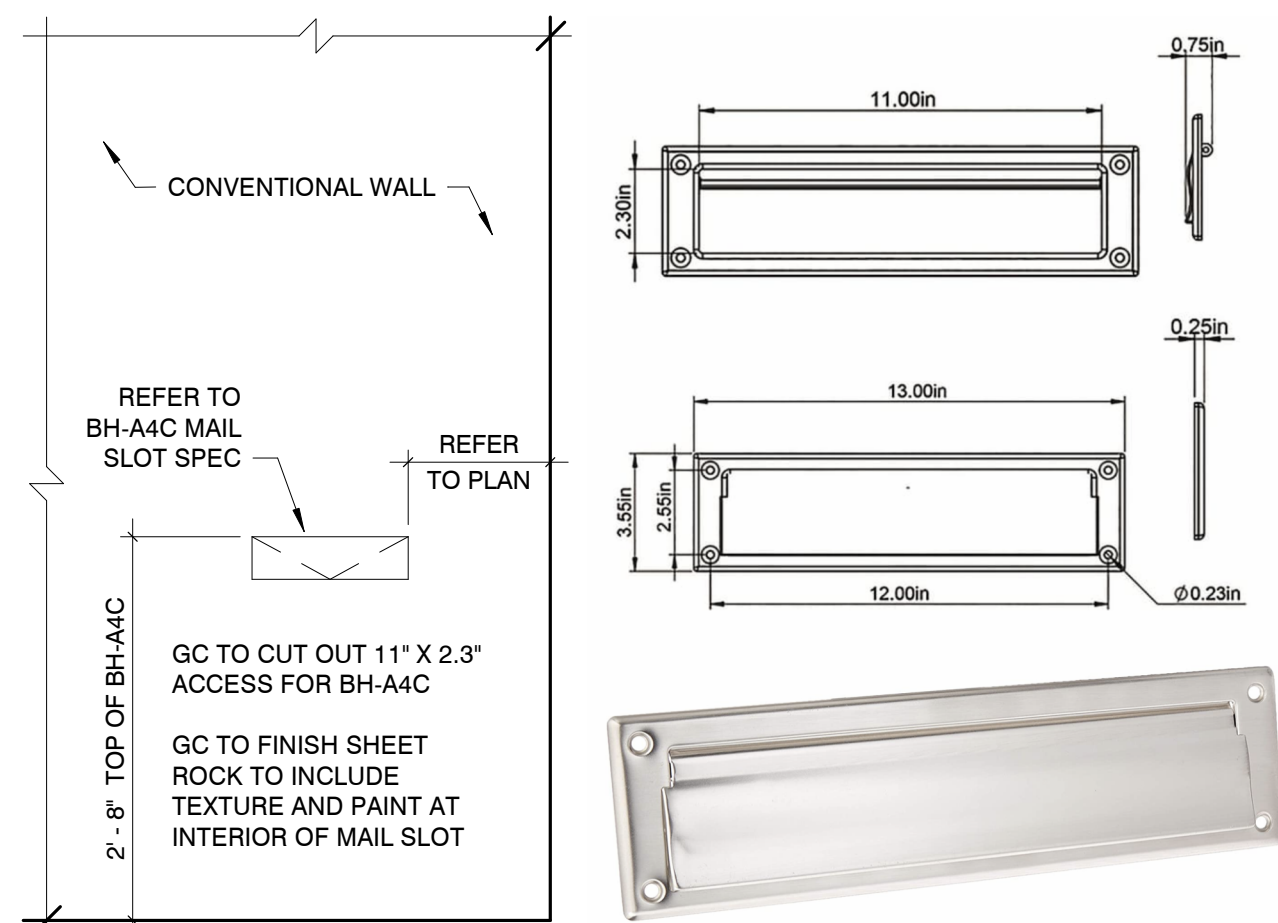
**10 HEADER TRACK SUPPORT DETAIL**  
 A9 3" = 1'-0"



**11 FASCIA ATTACHMENT DETAIL FOR OPEN CEILINGS OR CEILINGS ABOVE 12'-0"**  
 A9 1 1/2" = 1'-0"

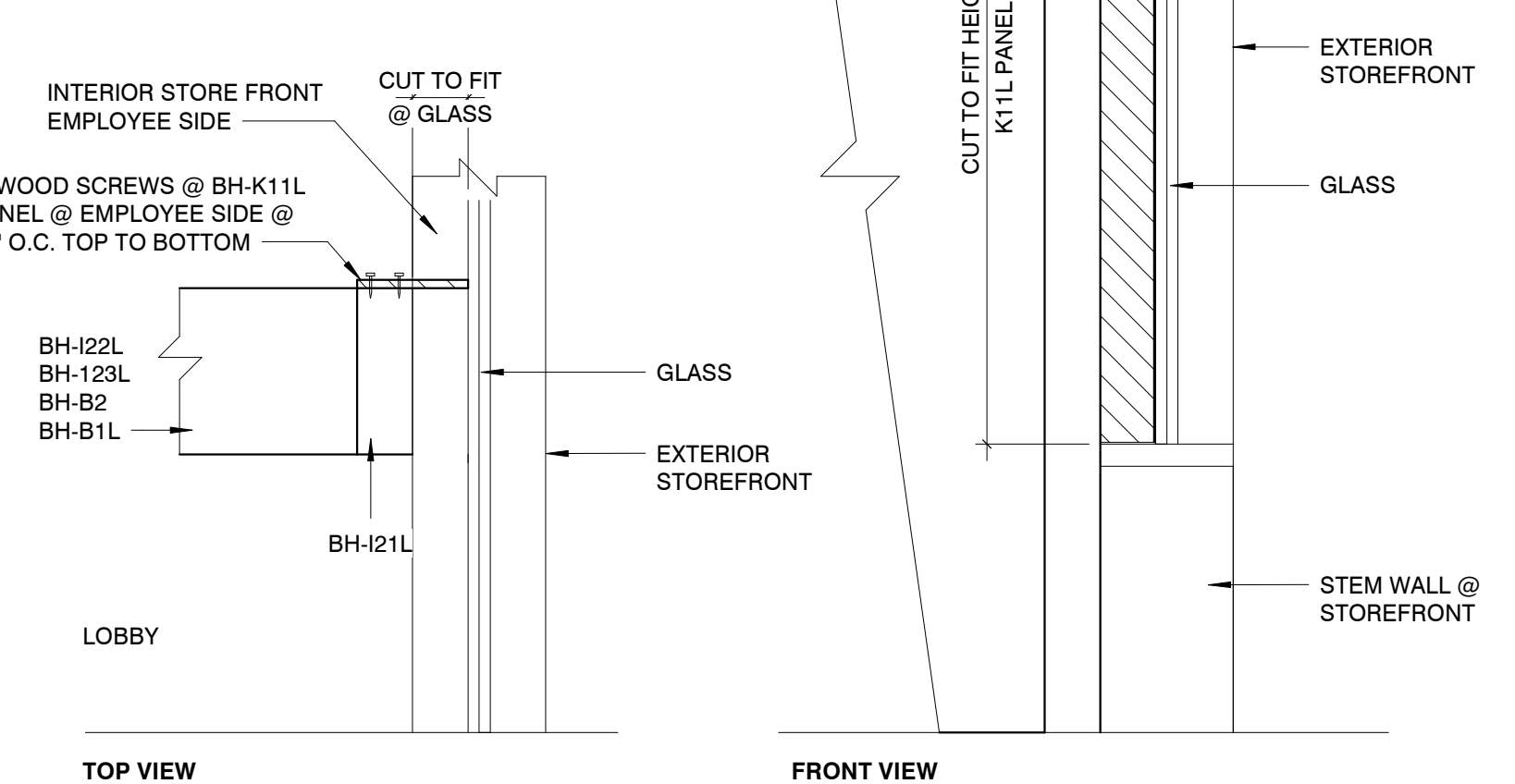


**12 FIXTURE INSTALL QR CODES**  
 A9 3/4" = 1'-0"



**13 BH-A4C MAIL SLOT MOUNTING INSTALL - CONVENTIONAL WALLS**  
 A9 3/4" = 1'-0"

- GC TO CUT BH-K11L PANEL TO FILL VOID AT BH-I21L & GLASS AT STOREFRONT
- USE 2" WOOD SCREWS @ BH-I21L & BH-K11L PANEL ATTACHMENT
- GC TO HAVE FINISHED EDGE OF BH-K11L AT STOREFRONT

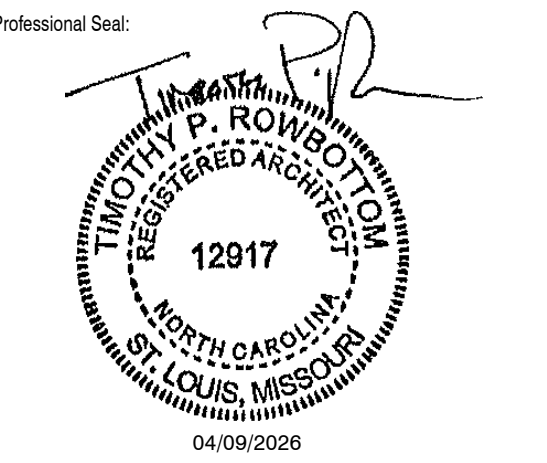


**14 STOREFRONT FILLER @ BH-I21L APPLICATION**  
 A9 3/4" = 1'-0"

Office: 319 N. Fourth Street, Suite 1000  
 St. Louis, MO 63102  
 p 314-231-5700  
 f 314-231-0816

Project Team:  
 Franchisee: Patel, Nirav  
 P: 256.394.7161  
 niravpatel1@live.com

General Contractor: To Be Selected



Project Title:

COMMERCIAL TENANT IMPROVEMENT FOR:  
**THE UPS STORE, INC.**  
 Center #: 8278 - Cameron, NC  
 183 Mittie Haddock Dr, Cameron, NC 28326

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No.	Description	Date

Sheet Title:

Details

Project Number: 202601.084

Drawn By: CEL

Issue Date: 04/09/2026

Sheet Number:

**A9**

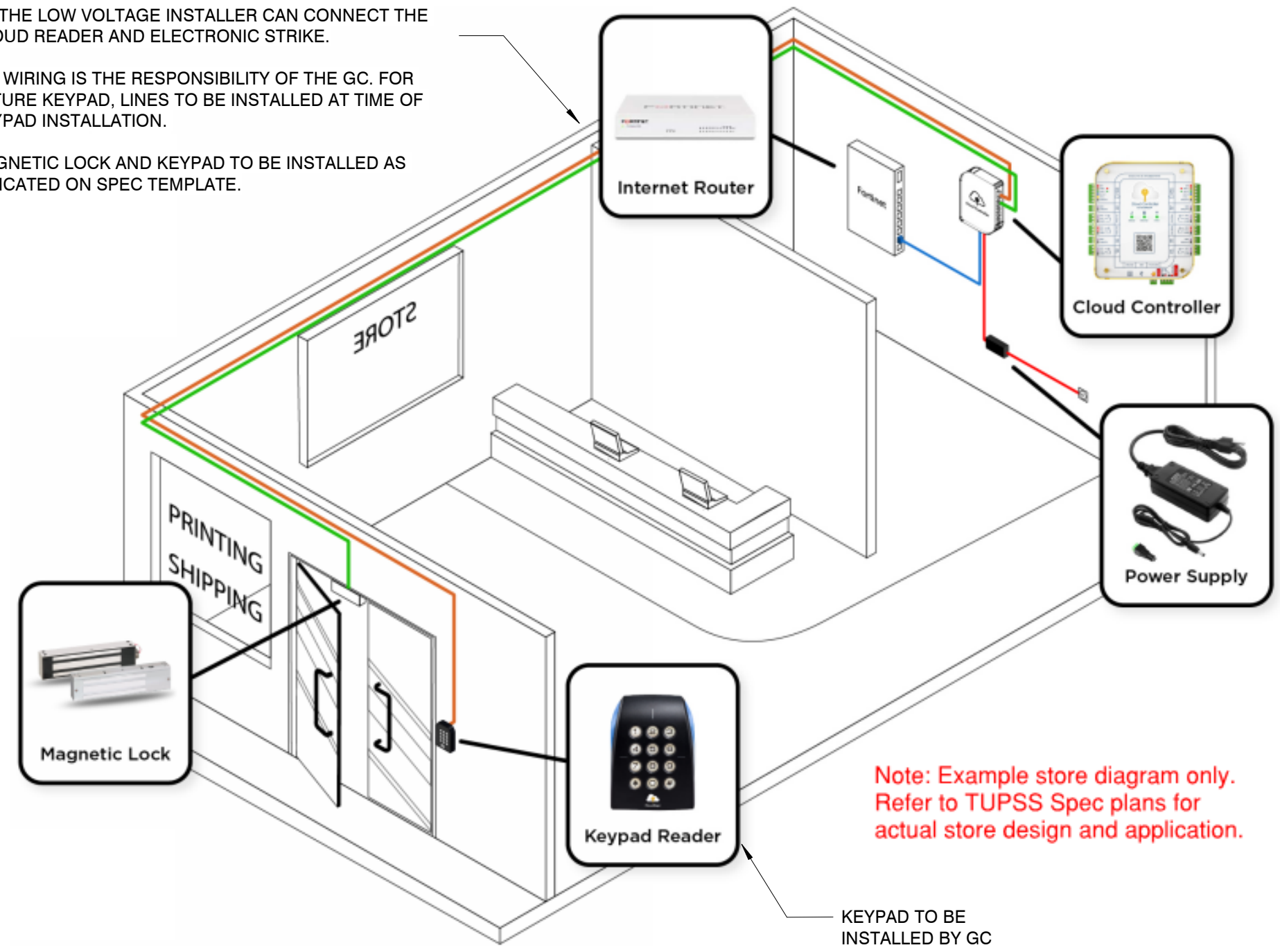
4/9/2026 9:01:50 AM \\vs-f62\users\sl\c089119\Documents\BIM\LOCAL\pln\_202601\_084\_v24\_Chariotta.Lorenz.RMMVB.rvt

(2) CAT-6 LINES TO BE RUN FROM BACK NETWORK INTERNET ROOM AREA TO THE FRONT DOOR.  
 - ONE LINE WITH WHIP TO FRONT DOOR FOR ELECTRO MECHANICAL LOCKING DEVICE  
 - ONE LINE TO CLOUD KEYPAD READER

LEAVE 10'-0" OF EXTRA LINE ABOVE THE FRONT DOOR SO THE LOW VOLTAGE INSTALLER CAN CONNECT THE CLOUD READER AND ELECTRONIC STRIKE.

ALL WIRING IS THE RESPONSIBILITY OF THE GC. FOR FUTURE KEYPAD, LINES TO BE INSTALLED AT TIME OF KEYPAD INSTALLATION.

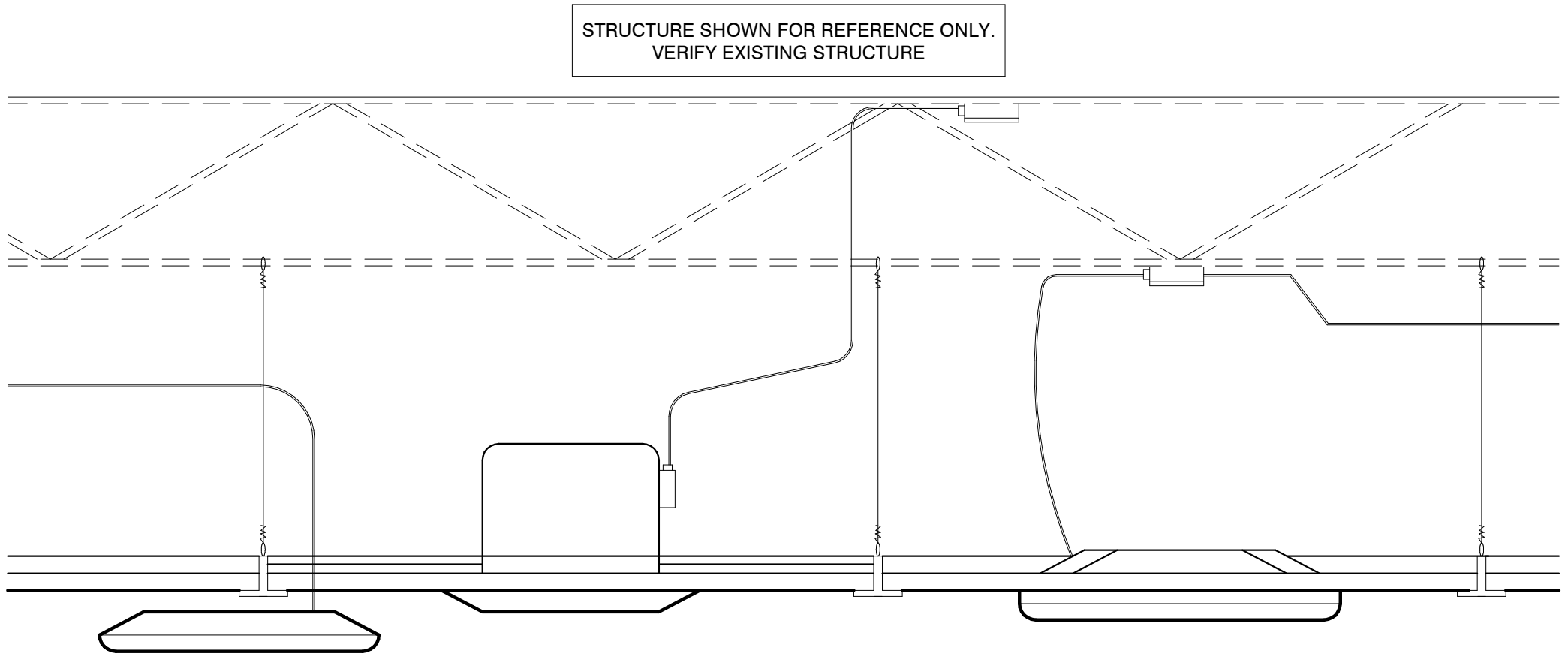
MAGNETIC LOCK AND KEYPAD TO BE INSTALLED AS INDICATED ON SPEC TEMPLATE.



Note: Example store diagram only. Refer to TUPSS Spec plans for actual store design and application.

**1 KEYLESS ENTRY WIRING DIAGRAM**

A10 NTS



- ALL LIGHT FIXTURES & AIR DIFFUSERS SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM MAIN RUNNERS. THE ATTACHMENT DEVICE SHALL HAVE A CAPACITY OF 100% OF THE FIXTURE WEIGHT.
- 12 GA. HANGER WIRES SHALL BE ATTACHED TO THE GIRDER MEMBERS WITHIN 3" OF EACH CORNER OF ALL FIXTURES. TANDEM FIXTURES MAY UTILIZE COMMON WIRES.
- FIXTURE DIFFUSERS WEIGHING 20 LBS BUT NOT MORE THAN 56 LBS IN ADDITION TO THE ABOVE REQS SHALL HAVE (2) 12" GA. HANGER WIRES CONNECTED FROM THE HOUSING TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK.
- FIXTURES & DIFFUSERS WEIGHING MORE THAN 56 LBS SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE BY APPROVED HANGERS.
- CEILING AREAS EXCEEDING 2500 SQ. FT. MUST HAVE A SEISMIC SEPARATION JOINT OR FULL HEIGHT PARTITION TO BREAK THE CEILING INTO AREAS NOT EXCEEDING 2500 SQ. FT. THE RATIO OF LONG TO SHORT SIDE DIMENSION FOR EACH CEILING AREA SHALL NOT EXCEED 4.
- LIGHT FIXTURES (ALL TYPES) SHALL BE MECHANICALLY ATTACHED TO THE GRID PER NEC 410-16.
- RIGID LAY-IN OR CAN LIGHT FIXTURES SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE AS FOLLOWS:
  - LESS THAN 10 LBS - ONE 12 GA. WIRE (MAY BE SLACK).
  - 10 TO 56 LBS - TWO 12 GA WIRES (MAY BE SLACK).
  - OVER 56 LBS - SUPPORTED DIRECTLY TO THE STRUCTURE BY APPROVED HANGERS
- PENDANT HUNG FIXTURES SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE USING #9 GA. WIRE
- CABLE TRAYS AND ELECTRICAL CONDUIT SHALL BE SUPPOSED AND BRACED INDEPENDENT OF THE SUSPENDED CEILING SYSTEM.

**2 SUSPENSION DIAGRAM**

A10 NTS

LOCALLY SOURCED GRAY METAL SHELVING TO BE SIMILAR OR LIKE TO ULINE STAINLESS WALL-MOUNT SHELVING. GC TO SOURCE AND INSTALL. SHELVING NOT TO EXCEED LENGTH OF EQUIPMENT SHELVING IS MOUNTED OVER.



**5 LOCALLY SOURCED - GRAY METAL SHELF**

A10 3/4" = 1'-0"

NO GAP BETWEEN HEADER & TOP OF GRID WORK

**ELEVATION / SECTION**

9' - 0"    7' - 0"

The header shall be designed to support the weight of the sliding grille normal to the line of travel and laterally. Use the following formulae to determine the load requirement per foot of width.

$4 \text{ lbs/ft}^2 \times \text{Width of Grille in ft} \times \text{Height of Grille in ft} = \text{Grille Weight in lbs}$

$\frac{\text{Grille Weight in lbs}}{\text{Total Required Stacking (Both Sides)}} = \text{Weight per ft of Width Required for Support}$

**NIGHT LOBBY SIDE**

10'-7"

1'-1 1/4" REQUIRED STACKING

1'-4 3/8" REQUIRED STACKING

SEC # 1    SEC # 2

12 FULL PANELS    7 FULL PANELS

4" MINIMUM    8" MINIMUM

BH-I7

PER PLANS 1'-7 3/4" POCKET IS AVAILABLE FOR GATE TO STACK ON THIS SIDE.

ACTUAL POCKET DEPTH IS:

BH-I1

PER PLANS 1'-3 3/4" POCKET IS AVAILABLE FOR GATE TO STACK ON THIS SIDE.

ACTUAL POCKET DEPTH IS:

MUST KEEP A MINIMUM OF 4" CLEAR EITHER SIDE OF CL OF TRACK IN ORDER TO STACK PROPERLY

**SECURE SIDE**

Please sign and date to confirm all dimensions, layout, locking, and finishes are approved for fabrication.

Reviewer Name: \_\_\_\_\_

Reviewer Phone #: \_\_\_\_\_

Company name: \_\_\_\_\_

Date: \_\_\_\_\_

**TRACK LAYOUT**    **SLIDING GRILLE PLAN**

NOTES:  
 1. POCKETS TO BE BUILT BY OTHERS AFTER GRILLE IS INSTALLED. SIDE OR REAR ACCESS IS REQUIRED FOR CONVENIENT AND EASY OPERATION.  
 2. TRACK IS FOR GRILLE SUPPORT ONLY. CEILING OR OTHER CLOSURES MUST NOT BE SUPPORTED BY OR ATTACHED TO GRILLE TRACK.  
 3. ALL CURVED TRACK BENDS ARE 12" RADIUS UNLESS OTHERWISE SPECIFIED.  
 4. LENGTHS OF TRACK WILL NEED TO BE TRIMMED IN FIELD TO SUIT OPENING DIMENSIONS.

FINISHES:  
 CURTAIN - CLEAR  
 POSTS - CLEAR  
 TRACK - CLEAR  
 WALL STRIKE - CLEAR

LEGEND:  
 INTERMEDIATE POST W/CYLINDER OPERATED DROP LOCK  
 BI-PART POST W/CYLINDER OPERATED HOOK LOCK & DROP LOCK  
 TRAILING EDGE W/ CLOSURE PLATE  
 THUMBTURN W/ PROTECTIVE CUP

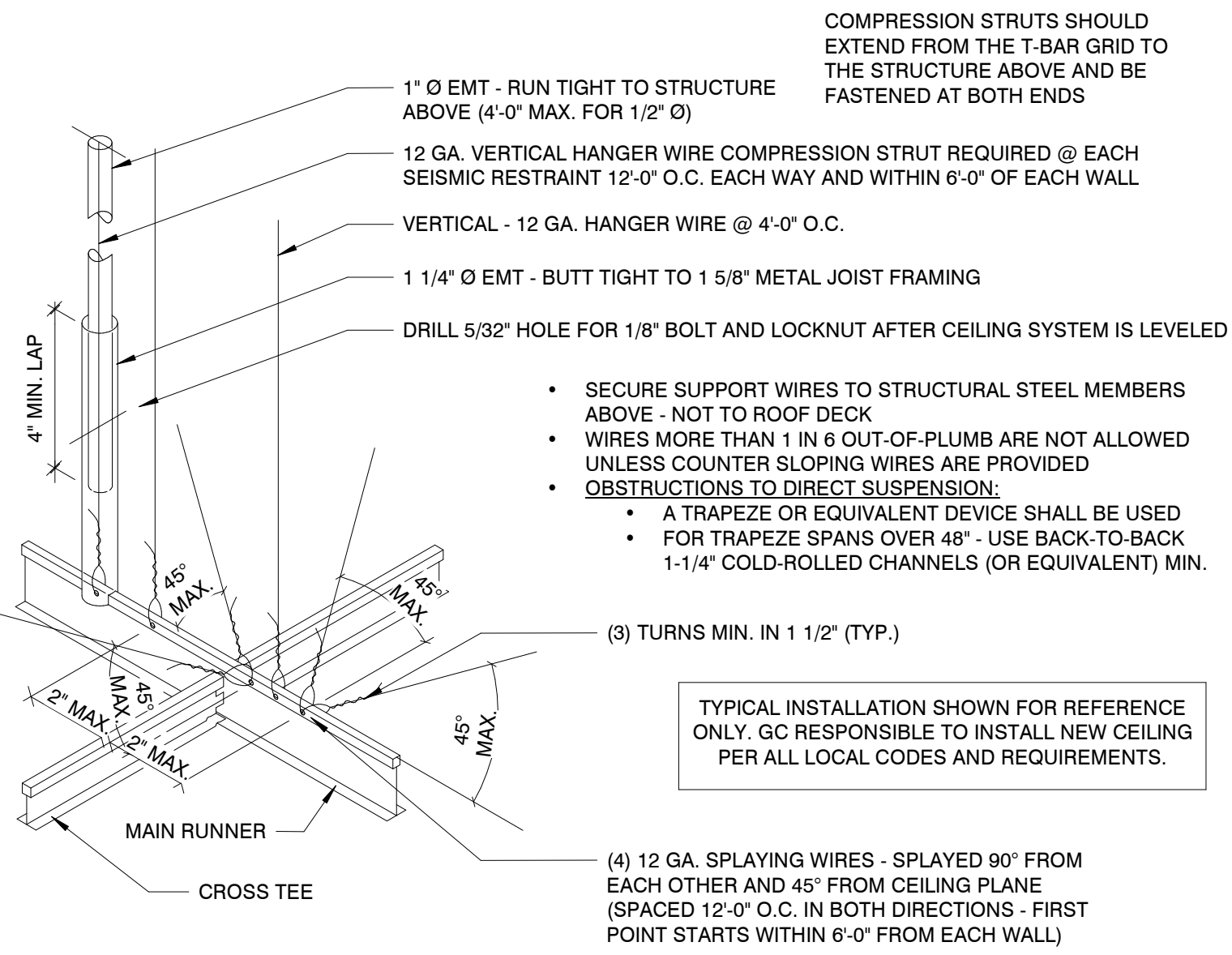
TOP & BOTTOM POST W/ LOCKING INSIDE & OUT  
 FIXED TRAILING EDGE  
 LEADING EDGE W/CYLINDER OPERATED HOOK LOCK & WALL CHANNEL  
 STANDARD CYLINDER  
 THUMBTURN W/ PROTECTIVE CUP

REVISION: \_\_\_\_\_

PROJECT NAME: **THE UPS STORE - 8278**  
 183 MITTIE HADDOCK DR  
 CAMERON, NC 28326

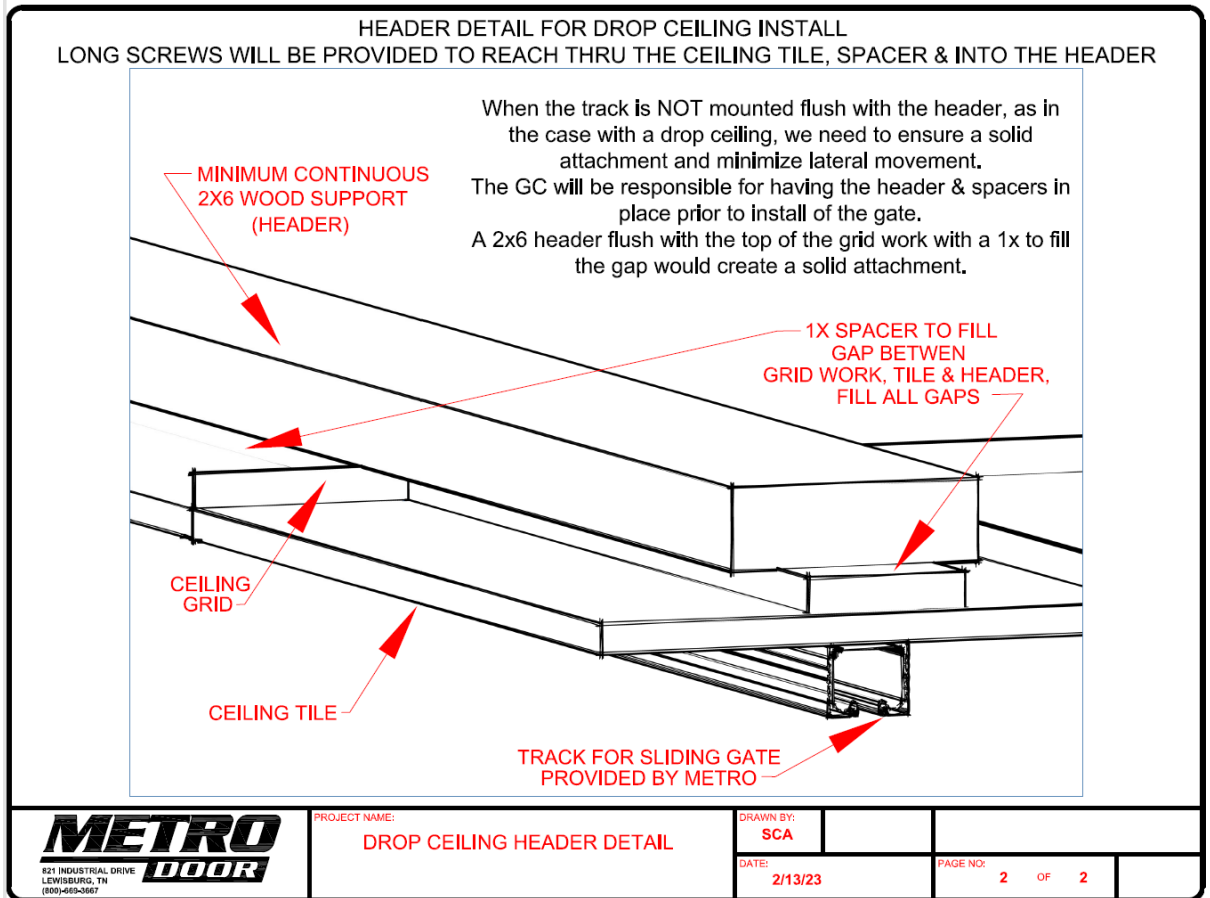
DRAWN BY: **HMW**    CHECKED BY: \_\_\_\_\_  
 DATE: **3/20/2026**    MODEL: **SCREENGUARD**  
 SERIAL NO: **223254-0**

PAGE NO: **1** OF **1**    QUANTITY: **1**



**3 ACOUSTICAL SUSPENSION DIAGRAM**

A10 NTS



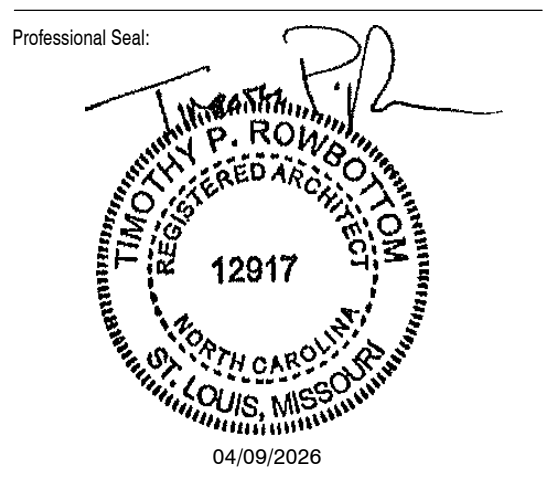
**4 DROP CEILING HEADER DETAIL**

A10 NTS

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 p 314-231-5700  
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