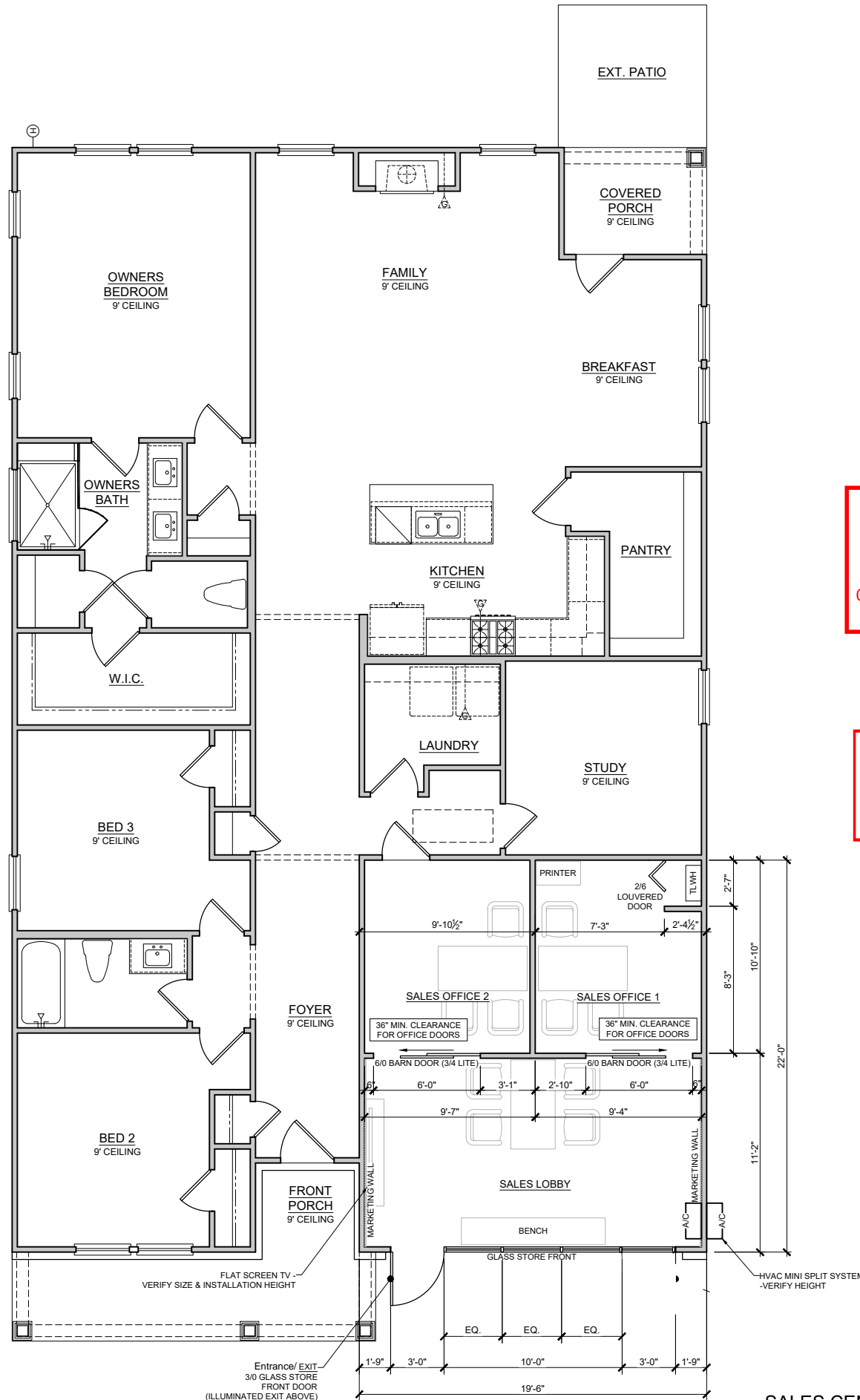


GENERAL FRAMING NOTES

- TYPICAL EXTERIOR HEADER HEIGHT SHALL BE 8'-3" AFF AT FIRST FLOOR AND 6'-11" AFF AT SECOND FLOOR UNLESS OTHERWISE NOTED
- DOOR FRAMES NEAR CORNERS SHALL BE A MINIMUM 4 1/2" FROM CORNER. WHEN TWO DOORS ARE AT SAME CORNER, MINIMUM OF 6" FROM CORNER. DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
- REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ROUGH OPENING SIZES.
- ATTIC ACCESS SHALL BE PROVIDED AT ALL ATTIC AREAS WITH A HEIGHT GREATER THAN 30" MINIMUM. CLEAR ATTIC ACCESS SHALL BE 20"x30". PULL DOWN STAIRS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
- GARAGE WALLS, AT A MINIMUM SHALL BE SEPARATED FROM THE LIVING SPACE BY INSTALLING 1/2" GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL. WITH HABITABLE SPACE ABOVE, THE INSIDE OF ALL GARAGE WALLS REQUIRE 1/2" GWB SUPPORTING 5/8" TYPE X GWB ON CEILING.
- INTERIOR HANDRAILS SHALL NOT BE LESS THAN 34", AND NOT MORE THAN 38", AND COMPLY WITH IRC SECTION R311.7.8
- EXTERIOR GUARD RAILS SHALL BE NOT LESS THAN 36", AND COMPLY WITH IRC SECTION R312.1
- DIMENSIONS ARE ONLY TO BE READ OR CALCULATED, NOT SCALED



NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.


Reviewed for Code Compliance

04/07/2026




Sales center only

Reviewed for Fire Code Compliance



Leslie Jackson

04/13/2026 11:18:14 AM

SALES CENTER GENERAL NOTES:
FURR OUT WALL OVER CONCRETE CURBS AS NEEDED (TYP.)
ADD NAILER TO ANY EXPOSED CONCRETE FOR BASE BOARD (TYP.)
RUN BASE BOARDS LEVEL (TYP.)

SALES CENTER FLOOR PLAN D
SCALE: 1/8" = 1'-0"



DAVIDSON HOMES
3440 PRESTON RIDGE ROAD, SUITE 250
ALPHARETTA, GEORGIA 30005
© 2025 ALL RIGHTS RESERVED. CONFIDENTIAL AND PROPRIETARY. DO NOT REPRODUCE OR DISCLOSE. THIS IS AN UNPUBLISHED WORK AND IS CONSIDERED A TRADE SECRET.

PLAN NAME: DAPHNE D
SUBDIVISION: RETREAT AT NORTH MAIN
LOT#: 56

REVISION NO. 1
BY: AUSTIN.FLETCHER
REVISION DATE: 2026-03-24
SALES CENTER FLOOR PLAN
SHEET NO. S-1.0D



DAVIDSON HOMES
3440 PRESTON RIDGE ROAD, SUITE 250
ALPHARETTA, GEORGIA, 30005
© 2025 ALL RIGHTS RESERVED. CONFIDENTIAL
AND PROPRIETARY. DO NOT REPRODUCE OR
DISCLOSE. THIS IS AN UNPUBLISHED WORK AND
IS CONSIDERED A TRADE SECRET.

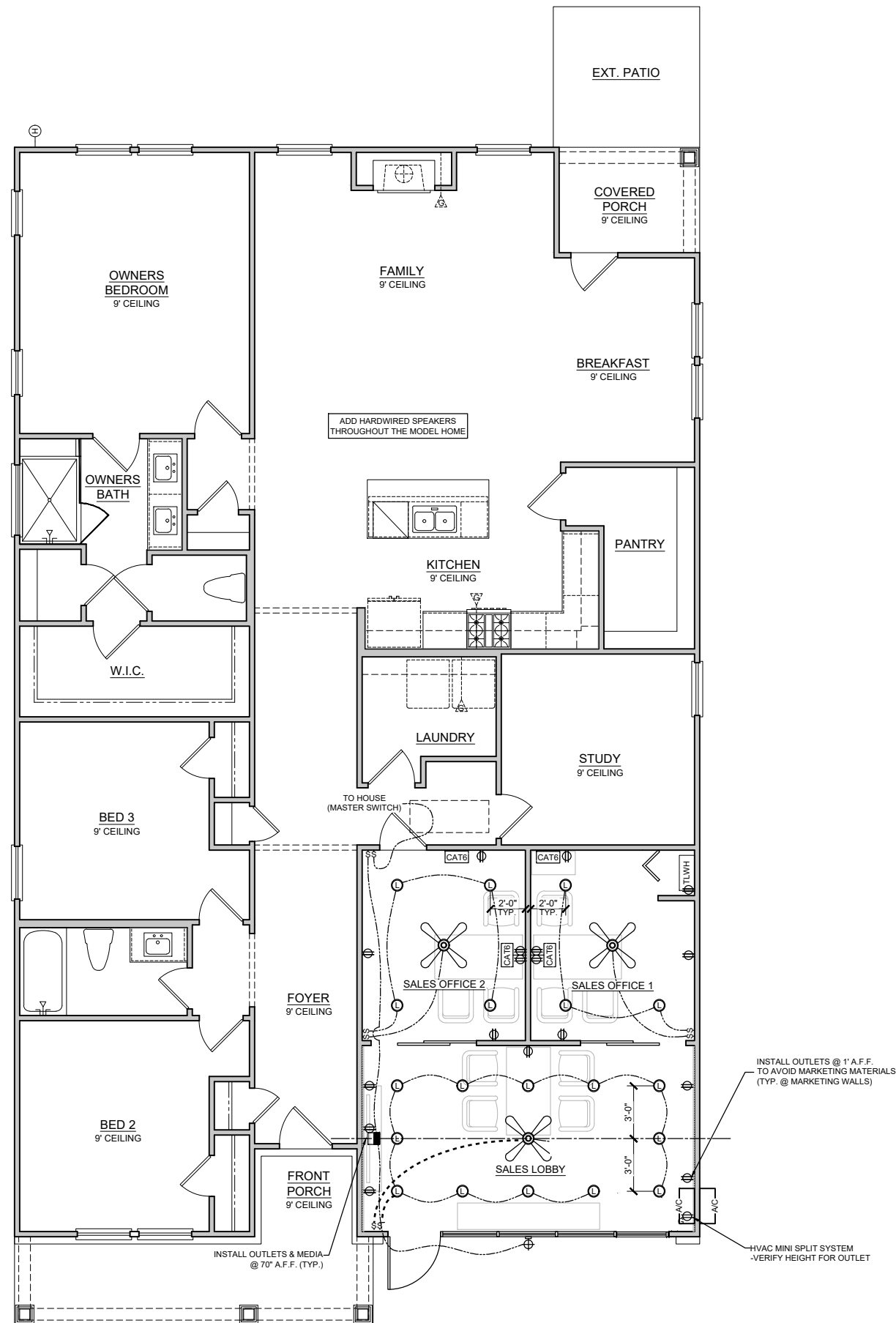
PLAN NAME: DAPHNE D
SUBDIVISION: RETREAT AT NORTH MAIN
LOT#: 56

REVISION NO. 1
BY: AUSTIN.FLETCHER
REVISION DATE: 2026-03-24

SALES CENTER
FRONT ELEVATION

SHEET NO.
S-5.0D

ELECTRICAL SCHEDULE	
SYMBOL	DESCRIPTION
\$	SINGLE POLE SWITCH
\$ ₃	3 WAY SWITCH
\$ ₄	4 WAY SWITCH
\$ ₂	WIFI SMART SWITCH
\$ ₃	3 WAY WIFI SMART SWITCH
⊕	110V OUTLET
⊕ _H	110V HALF HOT OUTLET
⊕ _U	110V OUTLET W/ USB
⊕ ₂₂₀	220V OUTLET
⊕ _{WC}	WALL/ COUNTERTOP OUTLET
⊕ _D	DEDICATED OUTLET
⊕ _M	MEDIA JACK
⊕ _C	CEILING MOUNT FIXTURE
⊕ _W	WALL MOUNT FIXTURE
⊕ _H	HANGING
⊕ _L	LED DISK
⊕ _R	RECESSED CAN
⊕ _T	THERMOSTAT
⊕ _F	EXHAUST FAN
⊕ _{FL}	FLUORESCENT
⊕ _{SP}	SECURITY PANEL
⊕ _{WA}	WIRELESS ACCESS POINT
⊕ _{GD}	GARBAGE DISPOSAL
⊕ _B	BUTTON
⊕ _{GO}	GARAGE DOOR OPENER
⊕ _{DB}	DOOR BELL
⊕ _{DC}	DOOR CHIME
⊕ _{SD}	SMOKE DETECTOR
⊕ _{SCD}	SMOKE & CARBON DIOXIDE DETECTOR
⊕ _{LV}	LOW VOLT PANEL
⊕ _{EM}	ELECTRICAL METER
⊕ _{EP}	ELECTRICAL PANEL
⊕ _{UC}	UNDER CABINET LIGHT FIXTURE
⊕ _{FL}	FLOOD LIGHT
⊕ _{CF}	CEILING FAN W/ LIGHT
NOTES/ ABBREVIATIONS	
WP	WATER PROOF
GFI	GROUND FAULT INTERCEPTOR



SALES CENTER ELEC. PLAN D
SCALE: 1/8" = 1'-0"

