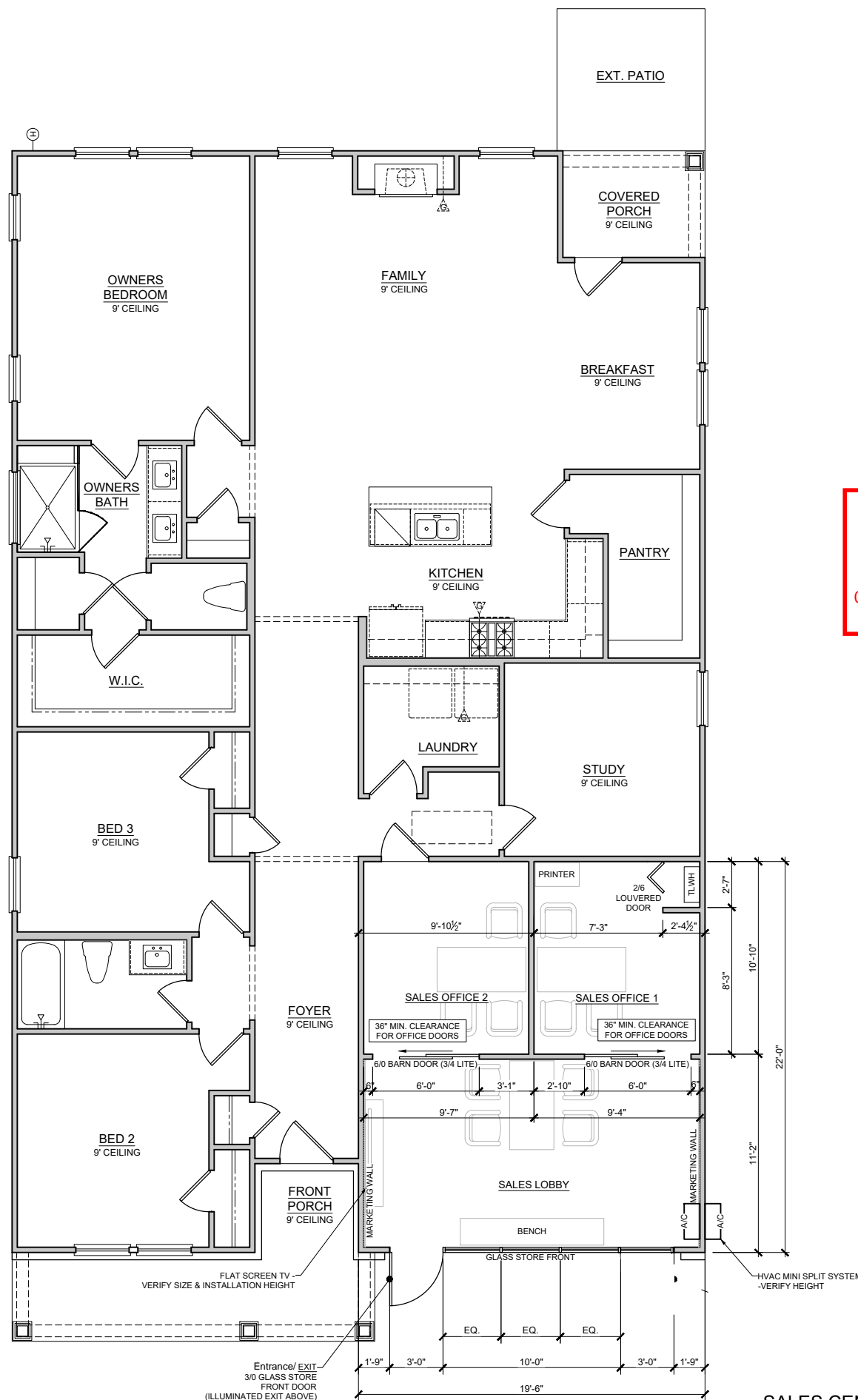


GENERAL FRAMING NOTES

- TYPICAL EXTERIOR HEADER HEIGHT SHALL BE 8'-3" AFF AT FIRST FLOOR AND 6'-11" AFF AT SECOND FLOOR UNLESS OTHERWISE NOTED
- DOOR FRAMES NEAR CORNERS SHALL BE A MINIMUM 4 1/2" FROM CORNER. WHEN TWO DOORS ARE AT SAME CORNER, MINIMUM OF 6" FROM CORNER. DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
- REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ROUGH OPENING SIZES.
- ATTIC ACCESS SHALL BE PROVIDED AT ALL ATTIC AREAS WITH A HEIGHT GREATER THAN 30" MINIMUM. CLEAR ATTIC ACCESS SHALL BE 20"x30". PULL DOWN STAIRS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
- GARAGE WALLS, AT A MINIMUM SHALL BE SEPARATED FROM THE LIVING SPACE BY INSTALLING 1/2" GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL. WITH HABITABLE SPACE ABOVE, THE INSIDE OF ALL GARAGE WALLS REQUIRE 1/2" GWB SUPPORTING 5/8" TYPE X GWB ON CEILING.
- INTERIOR HANDRAILS SHALL NOT BE LESS THAN 34", AND NOT MORE THAN 38", AND COMPLY WITH IRC SECTION R311.7.8
- EXTERIOR GUARD RAILS SHALL BE NOT LESS THAN 36", AND COMPLY WITH IRC SECTION R312.1
- DIMENSIONS ARE ONLY TO BE READ OR CALCULATED, NOT SCALED



Sales center only

SALES CENTER GENERAL NOTES:
 FURR OUT WALL OVER CONCRETE CURBS AS NEEDED (TYP.)
 ADD NAILER TO ANY EXPOSED CONCRETE FOR BASE BOARD (TYP.)
 RUN BASE BOARDS LEVEL (TYP.)

SALES CENTER FLOOR PLAN D
 SCALE: 1/8" = 1'-0"



DAVIDSON HOMES
 3440 PRESTON RIDGE ROAD, SUITE 250
 ALPHARETTA, GEORGIA 30005
 © 2025 ALL RIGHTS RESERVED. CONFIDENTIAL AND PROPRIETARY. DO NOT REPRODUCE OR DISCLOSE. THIS IS AN UNPUBLISHED WORK AND IS CONSIDERED A TRADE SECRET.

PLAN NAME: DAPHNE D
 SUBDIVISION: RETREAT AT NORTH MAIN
 LOT#: 56

REVISION NO. 1
 BY: AUSTIN.FLETCHER
 REVISION DATE: 2026-03-24
 SALES CENTER FLOOR PLAN
 SHEET NO. S-1.0D



DAVIDSON HOMES
3440 PRESTON RIDGE ROAD, SUITE 250
ALPHARETTA, GEORGIA, 30005
© 2025 ALL RIGHTS RESERVED. CONFIDENTIAL
AND PROPRIETARY. DO NOT REPRODUCE OR
DISCLOSE. THIS IS AN UNPUBLISHED WORK AND
IS CONSIDERED A TRADE SECRET.

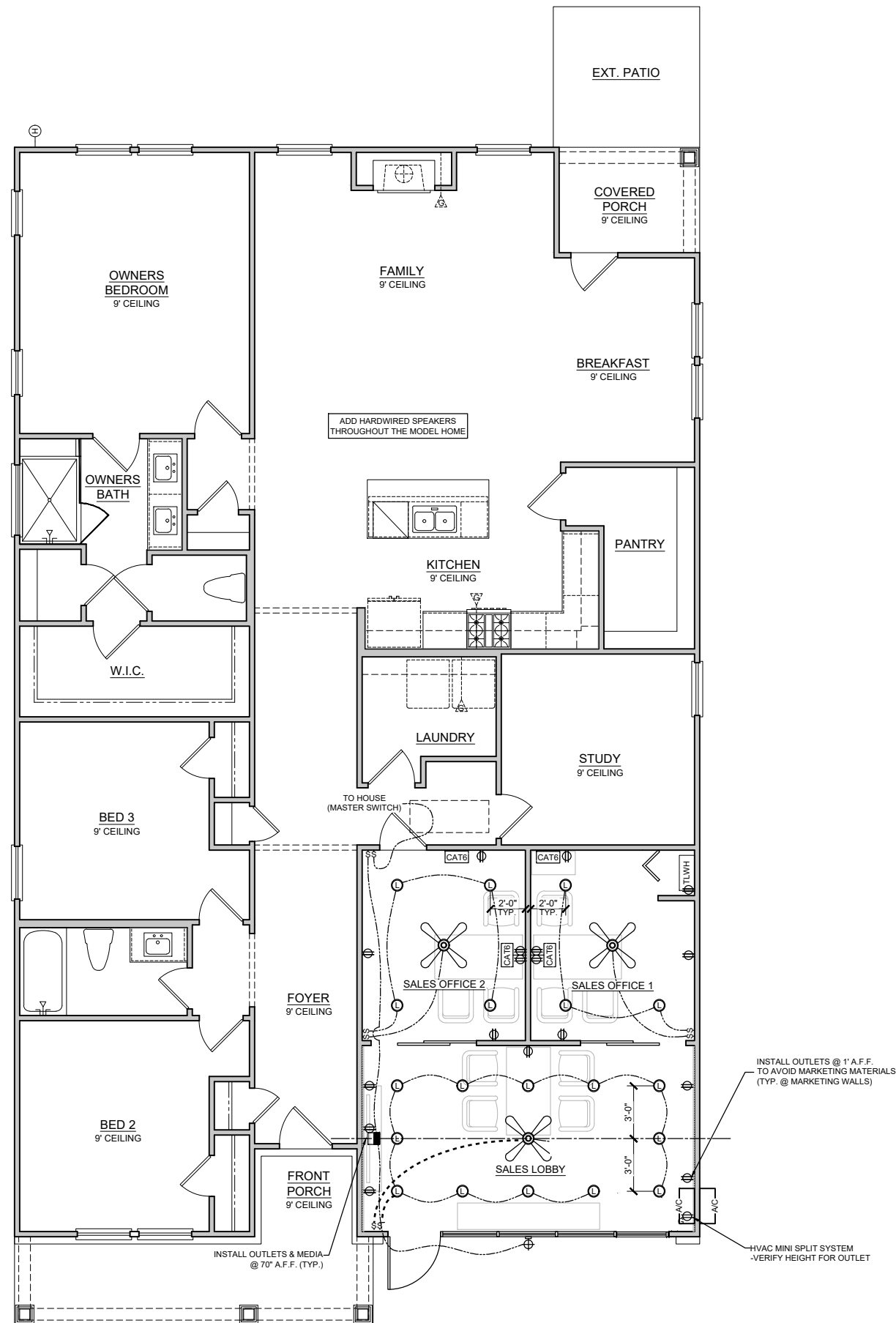
PLAN NAME: DAPHNE D
SUBDIVISION: RETREAT AT NORTH MAIN
LOT#: 56

REVISION NO. 1
BY: AUSTIN.FLETCHER
REVISION DATE: 2026-03-24

SALES CENTER
FRONT ELEVATION

SHEET NO.
S-5.0D

ELECTRICAL SCHEDULE	
SYMBOL	DESCRIPTION
\$	SINGLE POLE SWITCH
\$ ₃	3 WAY SWITCH
\$ ₄	4 WAY SWITCH
\$ ₂	WIFI SMART SWITCH
\$ ₃	3 WAY WIFI SMART SWITCH
⊕	110V OUTLET
⊕ _H	110V HALF HOT OUTLET
⊕ _U	110V OUTLET W/ USB
⊕ ₂₂₀	220V OUTLET
⊕ _{WC}	WALL/ COUNTERTOP OUTLET
⊕ _D	DEDICATED OUTLET
⊕ _M	MEDIA JACK
⊕ _C	CEILING MOUNT FIXTURE
⊕ _W	WALL MOUNT FIXTURE
⊕ _H	HANGING
⊕ _D	LED DISK
⊕ _R	RECESSED CAN
⊕ _T	THERMOSTAT
⊕ _F	EXHAUST FAN
⊕ _{FL}	FLUORESCENT
⊕ _{SP}	SECURITY PANEL
⊕ _{WA}	WIRELESS ACCESS POINT
⊕ _{GD}	GARBAGE DISPOSAL
⊕ _B	BUTTON
⊕ _{GO}	GARAGE DOOR OPENER
⊕ _{DB}	DOOR BELL
⊕ _{DC}	DOOR CHIME
⊕ _{SD}	SMOKE DETECTOR
⊕ _{SCD}	SMOKE & CARBON DIOXIDE DETECTOR
⊕ _{LV}	LOW VOLT PANEL
⊕ _{EM}	ELECTRICAL METER
⊕ _{EP}	ELECTRICAL PANEL
⊕ _{UCL}	UNDER CABINET LIGHT FIXTURE
⊕ _{FL}	FLOOD LIGHT
⊕ _{CF}	CEILING FAN W/ LIGHT
NOTES/ ABBREVIATIONS	
WP	WATER PROOF
GFI	GROUND FAULT INTERCEPTOR



SALES CENTER ELEC. PLAN D
SCALE: 1/8" = 1'-0"

