



**North Carolina Onsite Wastewater Contractor Inspector Certification Board
Authorized Onsite Wastewater Evaluator Permit Option for Non-Engineered Systems
Notice of Intent (NOI) to Construct**

New Expansion Repair Relocation Relocation of Repair Area

Owner or Legal Representative Information:
 Name: Dream Finders Homes, LLC
 Mailing address: 3709 Raeford Rd., Suite 200 City: Fayetteville State: NC Zip: 28304
 Phone: 910-476-4665 Email: tamaragreen@dreamfindershomes.com

Authorized Onsite Wastewater Evaluator Information:
 Name: Mike Eaker Certification #: 10013E
 Mailing address: PO Box 9321 City: Fayetteville State: NC Zip: 28311
 Phone: 910-822-4540 Email: Mike@southeasternsoil.com



Site Location Information:
 Site address: 22 Sir David Way, Lillington, NC 27546
 Tax parcel identification number or subdivision lot, block number of property: 0630-61-1030.000
McDougald Downs Subdivision, Lot 138 County: Harnett

System Information:
 Wastewater System Type: Accepted 25% reduction
 Daily Design Flow: 480 gpd
 Saproliite System: Yes No Subsurface Operator Required: Yes No
 Water Supply Type: Private Well Public Water Supply Spring Other: _____

Facility Type:
 Residential 4 # Bedrooms 8 Maximum # of Occupants
 Business Type of Business and Basis for Flow: _____
 Public Assembly Type of Public Assembly and Basis for Flow: _____

Required Attachments:
 Plat or Site Plan
 Evaluation of Soil and Site Features by Licensed Soil Scientist

Attest: On this the 2 day of December, 2025 by signature below I hereby attest that the information required to be included with this NOI to Construct is accurate and complete to the best of my knowledge. Furthermore, I hereby attest that I have adhered to the laws and rules governing onsite wastewater systems in the state of North Carolina.
 This NOI shall expire on 2 day of December, 2030.
 Signature of Authorized Onsite Wastewater Evaluator:
 Signature of Owner or Legal Representative: Tammy Green

Disclosure: The owner may apply for a building permit for the project upon submitting a complete NOI to Construct and the fee required (if any) to the local health department. An onsite wastewater system authorized by an authorized onsite wastewater evaluator shall be transferable to a new owner with the consent of the authorized onsite wastewater evaluator.

Local Health Department Receipt Acknowledgement:
 Signature of Local Health Department Representative: _____ Date: _____

Southeastern Soil & Environmental Associates, Inc.

P.O. Box 9321
Fayetteville, NC 28311
Phone/Fax (910) 822-4540
Email mike@southeasternsoil.com

December 2, 2025

Dream Finders Homes, LLC
3709 Raeford Rd., Suite 200
Fayetteville, NC 28304

Re: Soil/site evaluation for subsurface waste disposal (GS 130A-336.2) AOWE,
McDougald Downs, Lot 138, PIN 0630-61-1030, 22 Sir David Way, Lillington, Harnett
County, North Carolina

To whom it may concern,

A soil/site evaluation has been conducted on the aforementioned property at your request. The purpose of the investigation was to determine if soils were suitable for a subsurface waste disposal system (conventional, accepted and innovative) to serve a proposed single-family residence (4-bedroom home). All ratings and determinations were made in accordance with "Onsite Wastewater Rules, 15A NCAC 18E". **This LSS evaluation is being submitted to meet the requirements of GS 130A-336.2 (AOWE).**

The soil evaluation was completed on December 1, 2025. Hand auger borings were advanced under moist soil conditions. The site essentially lies on a linear slope landscape (3 - 6% slope). Soil borings conducted in most of this area consisted of 6 or more inches of loamy sand underlain by sandy loam, sandy clay loam and/or clay loam to 48 or more inches below the soil surface. Soil wetness and/or parent material (greater than 50%) was not observed shallower than 38 inches below the soil surface (initial system) and 41 inches (repair system). All other soil characteristics were suitable to at least 48 inches.

Based on soil borings and site conditions, the site would be designated suitable for a shallow accepted subsurface waste disposal drainfield (0.40 gal/day/ft² LTAR; initial system). There is enough suitable soil area to allow for a shallow accepted subsurface septic system repair (0.40 gal/day/ft²). A map showing the approximate location of the site and proposed septic layout accompanies this report. **[Note: No grading, rutting or other soil disturbance can occur in or near the proposed septic area. Any grading can alter the findings of this report and render the site unusable. As such, we recommend the builder protect the proposed septic areas with rope, flagging, fencing, etc.]**

Design Summary

- Accepted product (305', see septic layout)
- 480 gal/day flow rate (4BR)
- 20" maximum trench depth
- 0.40 gpd/ft² LTAR (initial and repair)
- 1000-gallon septic tank (**certified watertight**)
- No grading, rutting or filling in septic areas
- No vertical cuts (greater than 2') within 15' of septic lines/areas
- Keep tanks and drainlines 10' from property lines
- Keep supply line 5 or more feet from property lines
- **Install in dry soil conditions**
- Maintain natural contours when clearing the lots
- Direct gutter water away from septic system
- **AOWE must preapprove Licensed installer**
- **Preconstruction conference required 2 weeks prior to installation of septic**
- **Contractor to provide 2 week's notice prior to installation**

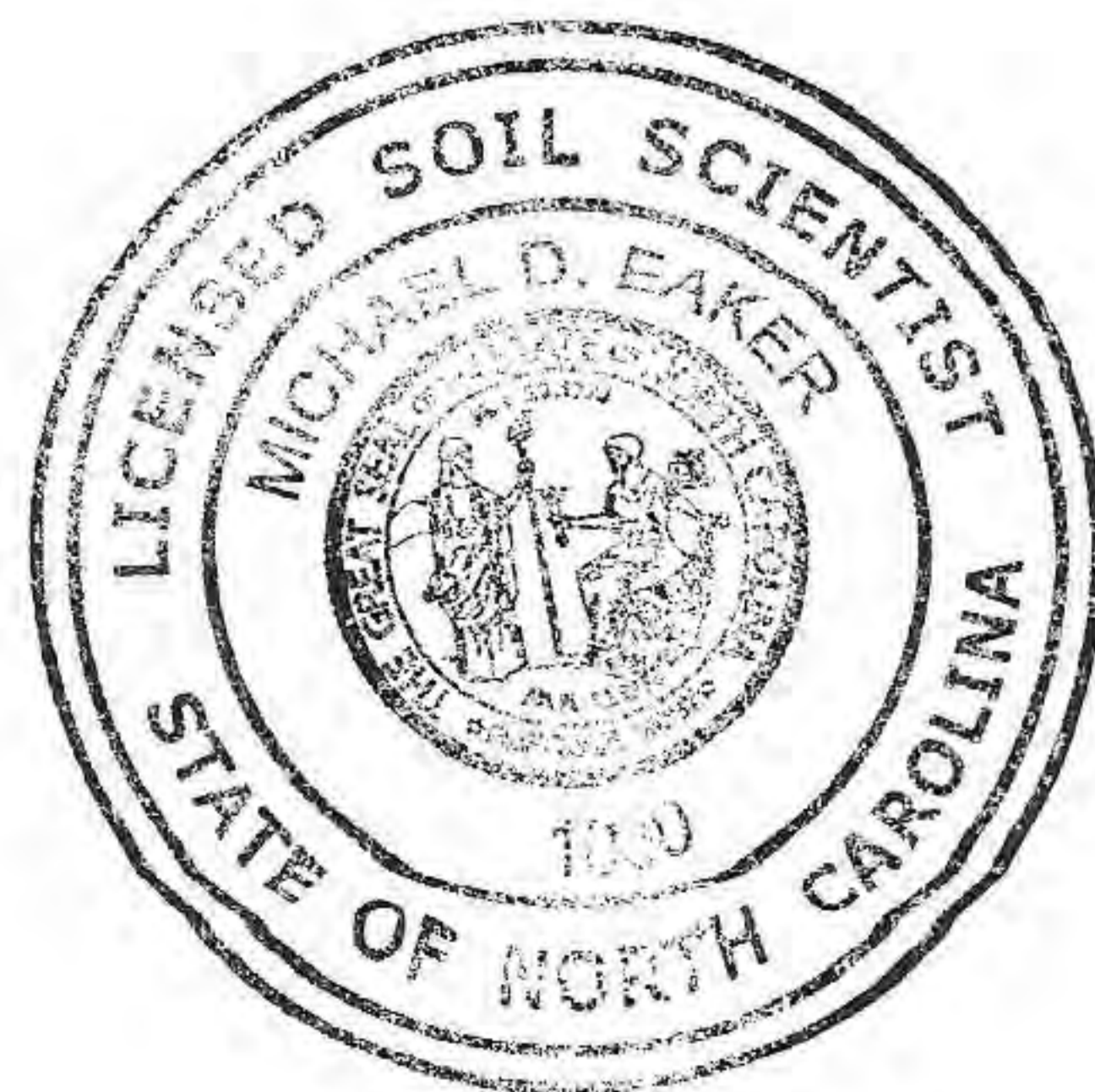
During site construction, it is important not to impact and suitable or provisionally suitable soil areas with activities such as excavation or filling. Only the vegetation should be removed in the areas of the proposed septic drainfields to prevent any disturbance of naturally occurring soil. We recommend all lot clearing activity be delayed until the local health department issues a permit.

To the extent possible, we have identified the soil types that will impact the flow of wastewater on this site and have provided a professional opinion as to the best septic system layout. This report does not guarantee that the proposed septic system will properly function for any specific length of time.

Sincerely,



Mike Eaker
NC Licensed Soil Scientist # 1030
NC Authorized Wastewater Evaluator 10013E



SOUTHEASTERN SOIL & ENVIRONMENTAL ASSOC., INC.

PROPOSED SUBSURFACE WASTE DISPOSAL SYSTEM DETAIL SHEET

SUBDIVISION: McDougald Downs

LOT 138

INITIAL SYSTEM: Accepted 25% Reduction

REPAIR: Accepted 25% Reduction

DISTRIBUTION: Gravity Serial

DISTRIBUTION Gravity Serial

BENCHMARK: 100.0

LOCATION RC 138/137

NO. BEDROOMS: 4

LTAR 0.4 gpd/ft2

SEPTIC TANK SIZE 1000 Gallons

PUMP TANK SIZE N/A

	<u>LINE</u>	<u>FLAG COLOR</u>	<u>ELEVATION</u>	<u>LENGTH</u>	
Initial	1	P	103.3	60'	
	2	YY	103.00	75'	
	3	PY	102.20	95'	
	4A	P	101.60	75'	
					TOTAL 305'
Repair	4B	P	101.60	40'	
	5	Y	100.90	100'	
	6	P	100.70	80'	
	7	B	100.30	90'	
	8	Y	100.00	60'	
	9	B	99.70	40'	
					TOTAL 410' AVAILABLE

BY Mike Eaker

DATE 12/1/2025

TYPICAL PROFILE

THERE SHALL BE NO GRADING, CUTTING, LOGGING OR OTHER SOIL DISTURBANCE IN SEPTIC AREA

Initial

0-12	LS GR	VFR
12-38	SCL SBK	FI
38+	SCL PM	FI

HEALTH DEPARTMENT USE ONLY.
DESIGNS DO NOT GURANTEE FUNCTIONALITY

Repair

0-12	LS GR	VFR
12-41	SCL SBK	FI
41+	SCL PM	



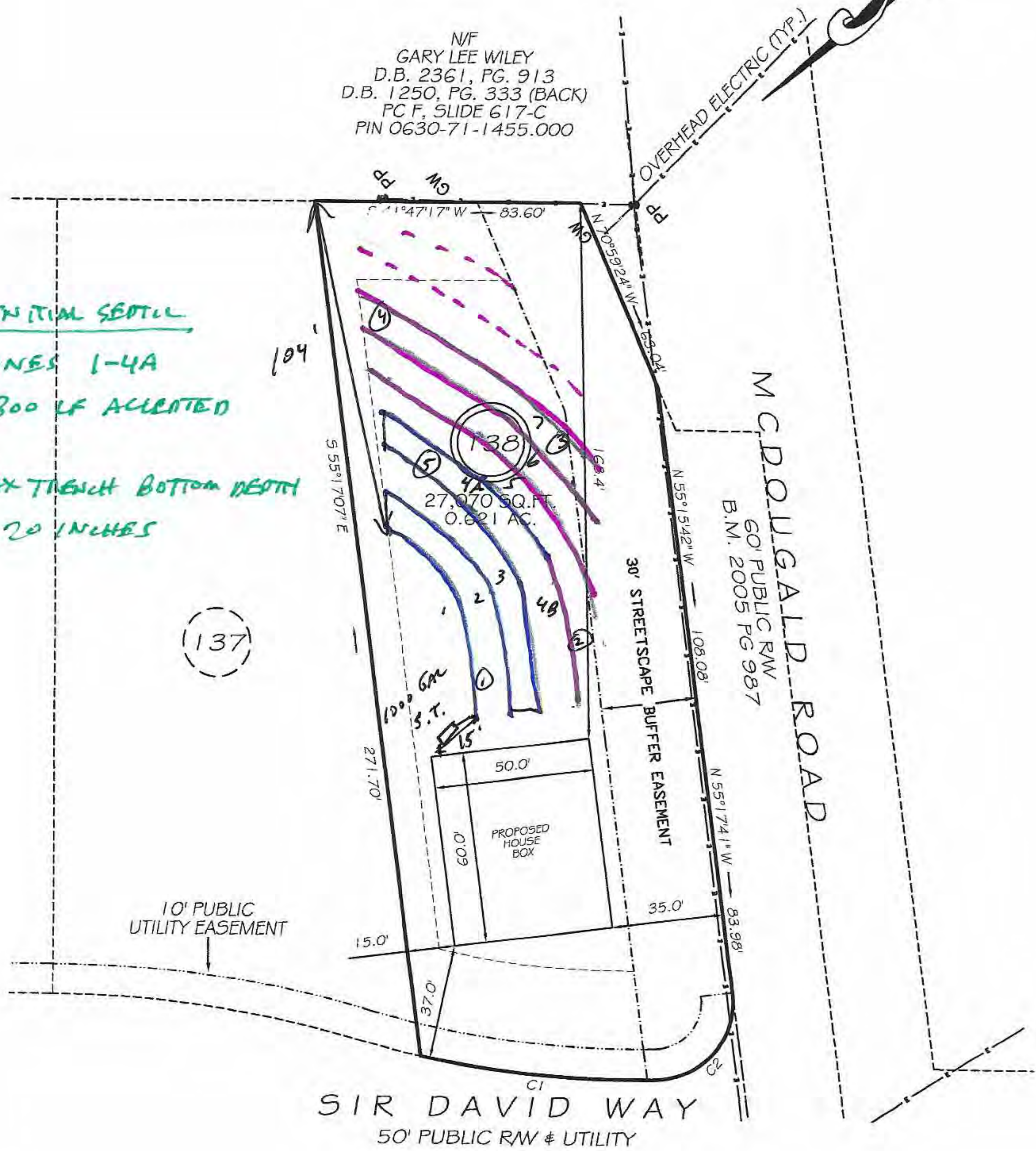
I, MICHAEL P. GRIFFIN, certify that under my direction and supervision this map was drawn from an actual field survey; that the error of closure of the survey as calculated by coordinates is 1: 10,000+; that the area shown hereon was calculated by coordinates. Dashed lines shown hereon were not surveyed.

Witness my hand and seal this day of MONTH 2025.

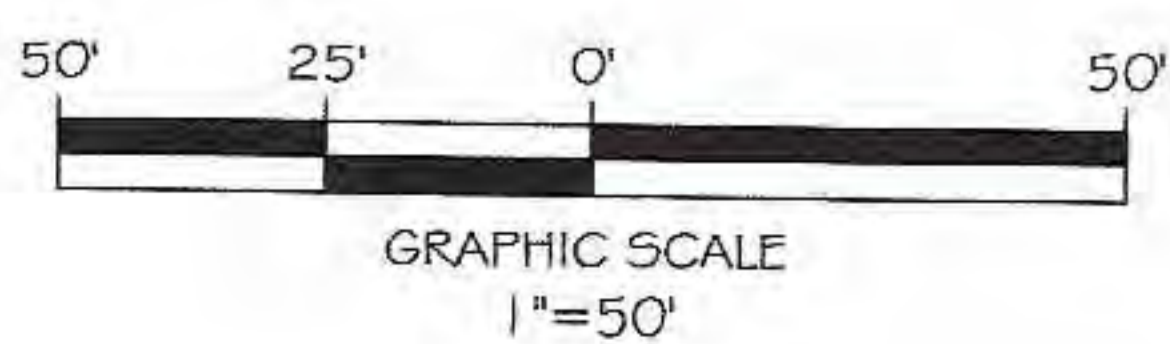
HARRETT CO. REGISTRY
BK 2025 PGS 579-582

N/F
GARY LEE WILEY
D.B. 2361, PG. 913
D.B. 1250, PG. 333 (BACK)
PC F, SLIDE 617-C
PIN 0630-71-1455.000

INITIAL SEPTIC
LINES 1-4A
300 LF ALIGNED
MAX TRENCH BOTTOM DEPTH
20 INCHES



(137)



LEGEND

SETBACKS

FRONT	35'
REAR	25'
SIDE	10'
CORNER SIDE	20'

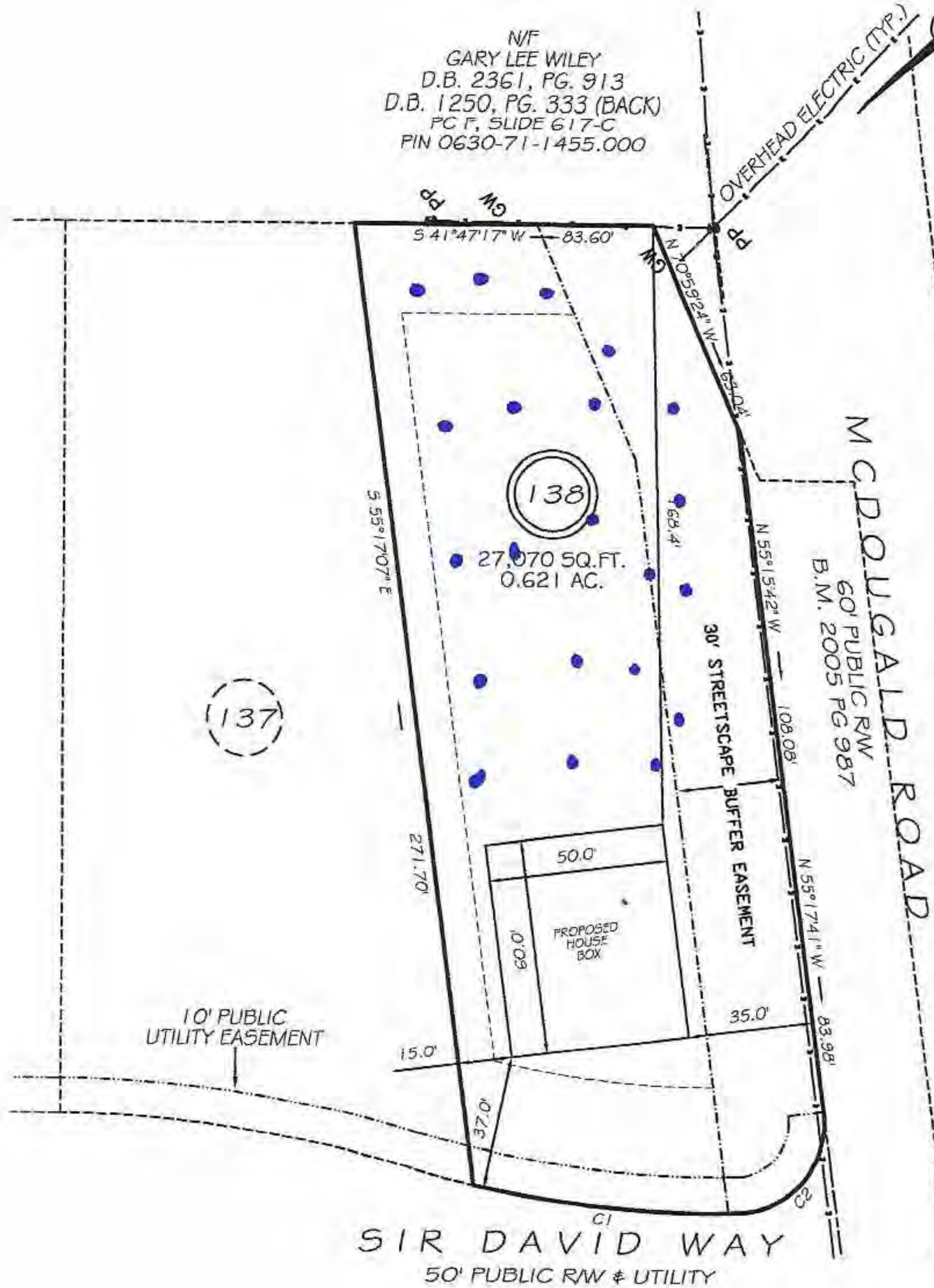
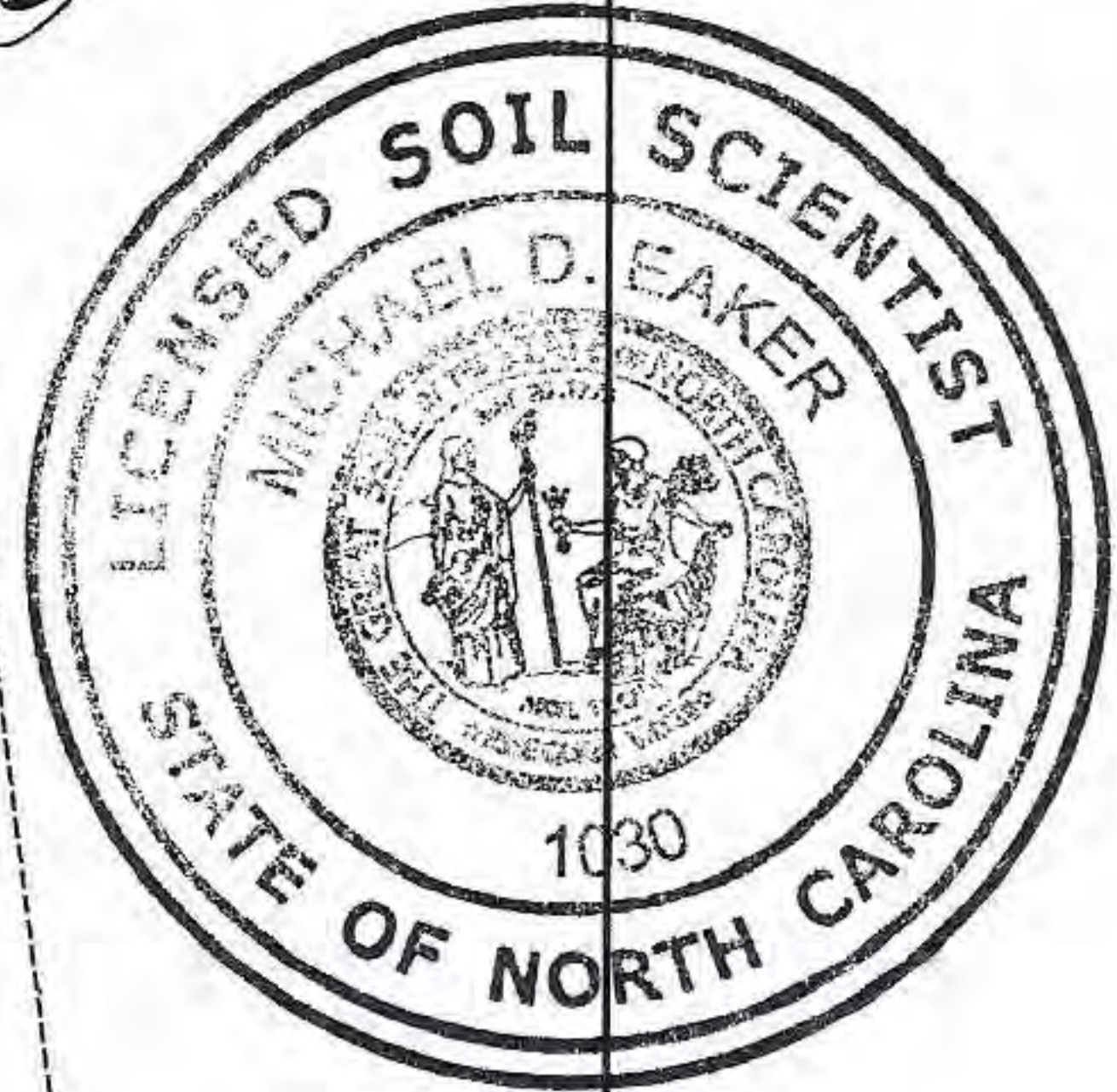
C1 R=300.00' L=74.60' N47°18'58"E 74.41'
C2 R=25.00' L=41.66' N07°33'04"W 37.01'

I, MICHAEL P. GRIFFIN, certify that under my direction and supervision this map was drawn from an actual field survey; that the error of closure of the survey as calculated by coordinates is 1:10,000+; that the area shown hereon was calculated by coordinates. Dashed lines shown hereon were not surveyed.

Witness my hand and seal this day of MONTH 2025.

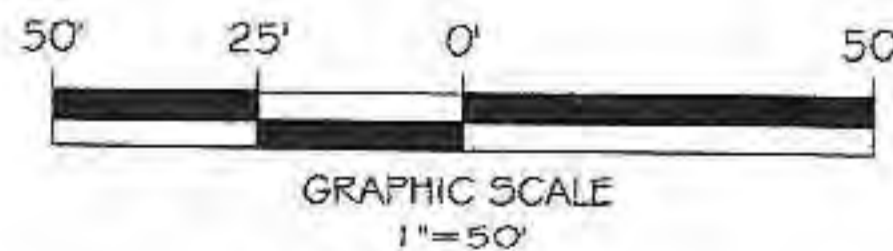
HARNETT CO. RECORDER
BK 2025 PGS 579-582

N/F
GARY LEE WILEY
D.B. 2361, PG. 913
D.B. 1250, PG. 333 (BACK)
PG F, SLIDE 617-C
PIN 0630-71-1455.000



= SUITABLE SOIL

C1 R=300.00° L=74.60° N47°18'58"E 74.41'
C2 R=25.00° L=41.66° N07°33'04"W 37.01'

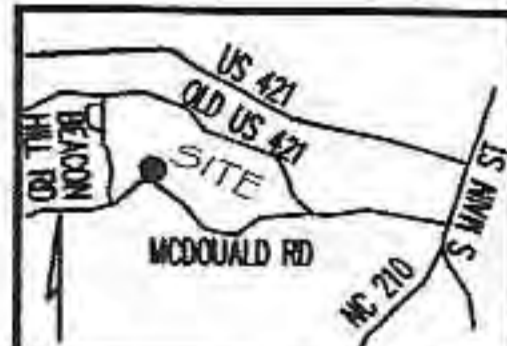


SETBACKS

FRONT	35'
REAR	25'
SIDE	10'
CORNER SIDE	20'

LEGEND

EIF	EXISTING IRON PIPE	FES	FLARED END SECTION
RBS	REBAR SET	WM	WATER METER
RAW	RIGHT OF WAY	CO	CLEAN OUT
N/F	NOW OR FORMERLY	FH	FIRE HYDRANT
EIS	EXISTING IRON STAKE	CB	CATCH BASIN



PRELIMINARY
NOT FOR RECORDATION,
SALES OR CONVEYANCE



GRIFFIN LAND SURVEYING, INC.
P.O. BOX 148
FUQUAY-VARINA, NC 27526
(919) - 567-1963
FIRM LIC.# C-1345

BOX PLOT PLAN
FOR
DREAM FINDERS HOMES LLC
MCDUGALD DOWNS
LOT 138
SIR DAVID WAY
LILLINGTON, N.C.
HARNETT COUNTY UPPER LITTLE RIVER TOWNSHIP

DRAWN BY KDF	DATE 10/27/25
CHECKED BY MPG	SCALE 1" = 50'

SOIL/SITE EVALUATION for ON-SITE WASTEWATER SYSTEM
 (Complete all fields in full)

OWNER: Dream Finders Homes, LLC DATE EVALUATED: 12/1/25
 ADDRESS: 3709 Raeford Rd., Suite 200, Fayetteville, NC 28303
 PROPOSED FACILITY: SFD PROPOSED DESIGN FLOW (.0400): 480 gpd PROPERTY SIZE: 0.621 ac
 LOCATION OF SITE: 22 Sir David Way, Lillington, NC Lot 138 PROPERTY RECORDED: _____
 WATER SUPPLY: Public Single Family Well Shared Well Spring Other _____ WATER SUPPLY SETBACK: N/A: No Sett
 EVALUATION METHOD: Auger Boring Pit Cut TYPE OF WASTEWATER: Domestic High Strength IPWW

P R O F I L E #	.0502 LANDSCAPE POSITION/ SLOPE %	HORIZON DEPTH (IN.)	SOIL MORPHOLOGY		OTHER PROFILE FACTORS				.0509 PROFILE CLASS & LTAR*	.0502(d) SLOPE CORRE CTION
			.0503 STRUCTURE/ TEXTURE	.0503 CONSISTENCE/ MINERALOGY	.0504 SOIL WETNESS/ COLOR	.0505 SOIL DEPTH	.0506 SAPRO CLASS	.0507 RESTR HORIZ		
1	LS 3-6%	0-5	LS/S/GR	VFR/NEXP	>48" 10YR 6/4 10YR 5/8 10YR 5/8 2.5YR 4/8 MOTT	NA	NA	NA	Suitable 0.4	
		5-20	LS/S/GR	VFR/NEXP						
		20-40	SCL/MM SBK	FI/SEXP						
		40-48	SCL/WF SBK	FI/SEXP						
2	LS 3-6%	0-6	LS/S/GR	VFR/NEXP	38" 10YR 6/4 7.5YR 5/8 7.5 YR 5/8 2.5 YR 4/8 MOTT SAME ABOVE W 10YR 7/1 MOTT	38"	NA	NA	Suitable 0.4	
		6-12	LS/S/GR	VFR/NEXP						
		12-34	SCL/MM SBK	FI/SEXP						
		34-38	SCL/WF SBK	FI/SEXP						
		38-48	SCL/MM SBK	FI/MASS						
3	LS 3-6%	0-6	LS/S/GR	VFR/NEXP	41" 10YR 6/4 10YR 5/8 10 YR 5/8 2.5 YR 4/8 MOTT SAME ABOVE W 10YR 7/1 MOTT	41"	NA	NA	Suitable 0.4	
		6-10	LS/S/GR	VFR/NEXP						
		10-27	SL/WF SBK	VFR/SEXP						
		27-41	SCL/MM SBK	FI/SEXP						
		41-48	SCL/MM SBK	FI/MASS						
4	LS 3-6%	0-6	LS/S/GR	VFR/NEXP	>48" 10YR 6/4 10YR 5/8	NA	NA	NA	Suitable 0.6	
		6-28	LS/S/GR	VFR/NEXP						
		28-48	SL/WF SBK	VFR/SEXP						

DESCRIPTION	INITIAL SYSTEM	REPAIR SYSTEM	SITE CLASSIFICATION (.0509): <u>SUITABLE</u> EVALUATED BY: <u>M. Eaker</u> OTHER(S) PRESENT: _____
Available Space (.0508)	YES	YES	
System Type(s)	Accepted	Accepted	
Site LTAR	0.4	0.4	
Maximum Trench Depth	20"	20"	

Comments: _____

SOIL/SITE EVALUATION
(Continuation Sheet-Complete all field in full)

DEPARTMENT OF HEALTH AND HUMAN SERVICES
DIVISION OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH SECTION
ON-SITE WATER PROTECTION BRANCH

PROPERTY ID #: McDougald Downs Lot 138
DATE OF EVALUATION: 12/1/25
COUNTY: Harnett

P R O F I L E #	.0502 LANDSCAPE POSITION/ SLOPE %	HORIZON DEPTH (IN.)	SOIL MORPHOLOGY		OTHER PROFILE FACTORS				.0509 PROFILE CLASS & LTAR*	.0502(d) SLOPE CORRE CTION
			.0503 STRUCTURE/ TEXTURE	.0503 CONSISTENCE/ MINERALOGY	.0504 SOIL WETNESS/ COLOR	.0505 SOIL DEPTH	.0506 SAPRO CLASS	.0507 RESTR HORIZ		
5	LS 3-6%	0-8	LS/GR	VFR/NEXP	>48"	NA	NA	NA	Suitable 0.4	
		6-28	LS/SI/GR	VFR/NEXP	10YR 6/4					
		28-48	SCL/MM SBK	FI/SEXP	10YR 5/8					

COMMENTS: _____



**DESIGN PROFESSIONALS LIABILITY COVERAGE
DECLARATIONS**

POLICY NO. 108040737

Travelers Casualty and Surety Company of America
Hartford, Connecticut
(A Stock Insurance Company, herein called the Company)

Important note: This is a claims-made policy. To be covered, a claim must be first made against an insured during the policy period or any applicable extended reporting period.

This policy is composed of the Declarations, the Professional Liability Coverage, the Professional Liability Terms and Conditions, and any endorsements attached thereto.

ITEM 1	NAMED INSURED: SOUTHEASTERN SOIL AND ENVIRONMENTAL ASSOCIATES DBA: Principal Address: PO BOX 9321 FAYETTEVILLE, NC 28311-9084
ITEM 2	POLICY PERIOD: Inception Date: May 1, 2025 Expiration Date: May 1, 2026 12:01 A.M. standard time both dates at the Principal Address stated in ITEM 1.
ITEM 3	ALL NOTICES PURSUANT TO THE POLICY MUST BE SENT TO THE COMPANY BY EMAIL, FACSIMILE, OR MAIL AS SET FORTH BELOW: Email: BSIclaims@travelers.com Fax: 1-888-460-6622 Mail: Travelers Bond & Specialty Insurance Claim P.O. Box 2989 Hartford, CT 06104-2989 Overnight Mail: Travelers Bond & Specialty Insurance Claim One Tower Square, MN06 Hartford, CT 06183 For questions related to claim reporting or handling, please call 1-800-842-8496.

