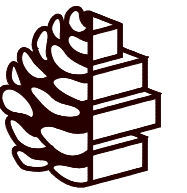
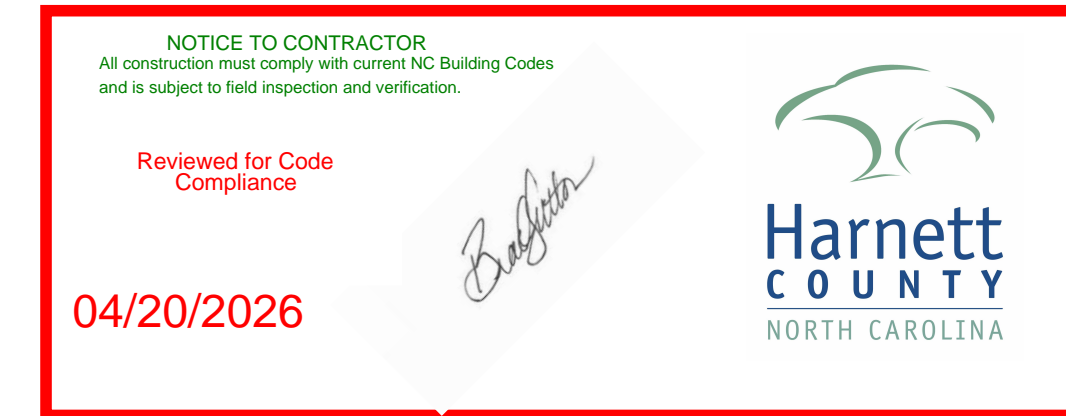
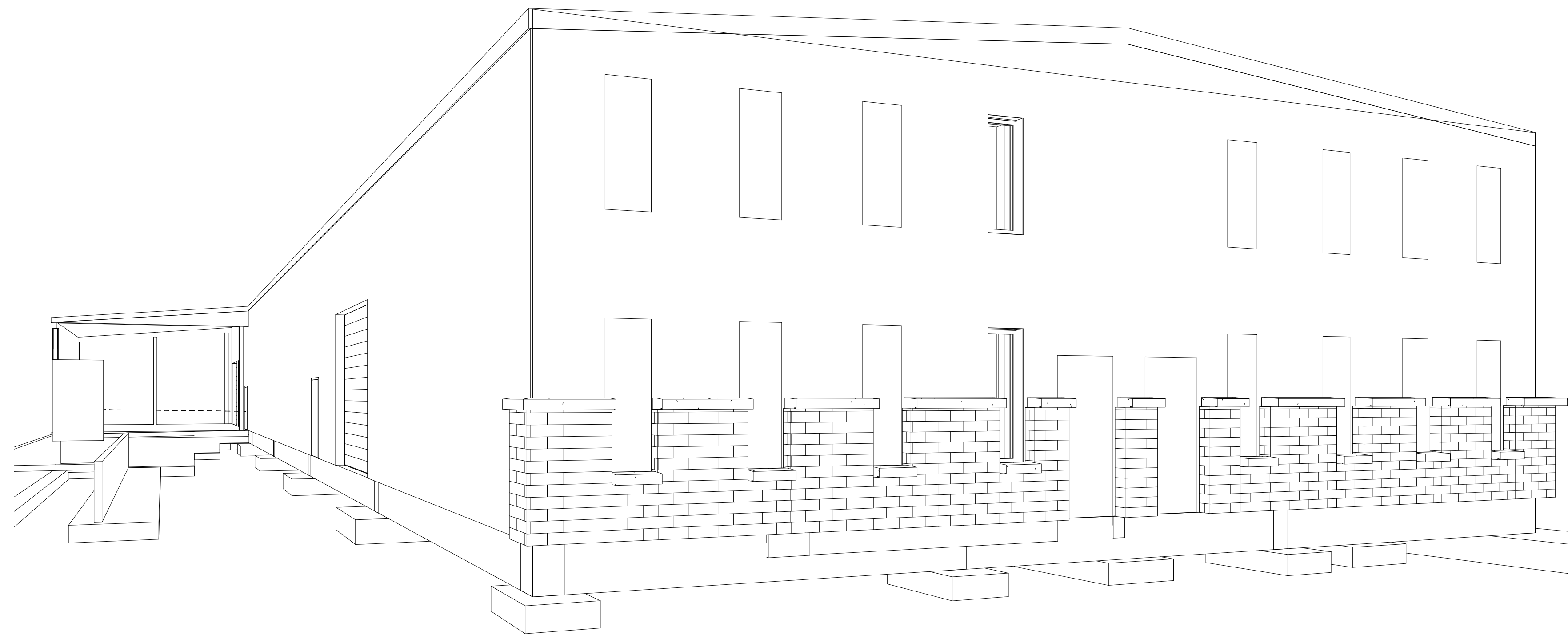


NEW BUILDING

JWR VENTURES
FUQUAY VARINA, NC

PERMIT SET
MARCH 2025



**TURPENTINE
DESIGN**

1007 Procure Street
Fuquay-Varina, NC 27526

919.412.9138
turpentine-design.com

| Sheet Number | Sheet Name |
|--------------|------------|
|--------------|------------|

| 01_GENERAL | |
|------------|--|
| G-000 | COVER |
| G-001 | SHEET INDEX AND ABBREVIATIONS |
| G-101 | CODE SUMMARY |
| G-102 | TYPICAL MOUNTING HEIGHTS AND TOILET ACCESSORY SCHEDULE |
| G-111 | LIFE SAFETY PLAN - FIRST FLOOR |

| 02_CIVIL | |
|----------|---|
| C2.0 | NOTES |
| C2.1 | NGG01 NOTES |
| C3.0 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| C4.0 | EROSION & SEDIMENT CONTROL PLAN |
| C5.0 | SITE LAYOUT, UTILITY & LANDSCAPE PLAN |
| C6.0 | GRADING AND DRAINAGE PLAN |
| C7.0 | ESC DETAILS |
| C7.1 | ESC DETAILS |
| C7.2 | SITE DETAILS |
| C7.3 | SITE DETAILS |

| 03_ARCHITECTURAL | |
|------------------|--|
| A-101 | FIRST FLOOR PLAN |
| A-102 | SECOND FLOOR PLAN |
| A-121 | FIRST FLOOR REFLECTED CEILING PLAN |
| A-122 | SECOND FLOOR REFLECTED CEILING PLAN |
| A-201 | EXTERIOR ELEVATIONS |
| A-211 | INTERIOR ELEVATIONS |
| A-401 | ENLARGED PLANS |
| A-402 | ENLARGED PLANS |
| A-403 | ENLARGED STAIR PLANS, SECTION, AND DETAILS |

| 04_STRUCTURAL | |
|---------------|-------------------------------|
| S0.1 | GENERAL NOTES |
| S0.2 | GENERAL NOTES |
| S2.0 | FOUNDATION PLAN |
| S2.1 | SECOND FLOOR FRAMING PLAN |
| S3.0 | FOUNDATION SECTIONS & DETAILS |
| S3.1 | FOUNDATION SECTIONS |
| S4.0 | FRAMING SECTIONS & DETAILS |
| S4.1 | FRAMING SECTIONS |
| S4.2 | FRAMING SECTIONS |

| 05_PLUMBING | |
|-------------|-------------------------|
| P-101 | FLOOR PLANS - WATER |
| P-102 | FLOOR PLANS - S, W, & V |
| P-201 | PLUMBING RISERS |

| 06_MECHANICAL | |
|---------------|--------------------------------|
| M-001 | MECHANICAL COVER SHEET |
| M-002 | MECHANICAL SCHEDULES |
| M-101 | FIRST FLOOR PLAN - MECHANICAL |
| M-102 | SECOND FLOOR PLAN - MECHANICAL |
| M-201 | MECHANICAL DETAILS |

| 07_ELECTRICAL | |
|---------------|------------------------------|
| E-001 | ELECTRICAL COVER SHEET |
| E-002 | STANDARD ELECTRICAL DETAILS |
| E-101 | FIRST FLOOR PLAN - POWER |
| E-102 | SECOND FLOOR PLAN - POWER |
| E-201 | FIRST FLOOR PLAN - LIGHTING |
| E-202 | SECOND FLOOR PLAN - LIGHTING |
| E-301 | ELECTRICAL DETAILS |
| E-302 | ELECTRICAL DETAILS |

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LANDSCAPE ARCHITECT

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MEP ENGINEER

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AUDIO/VISUAL CONSULTANT

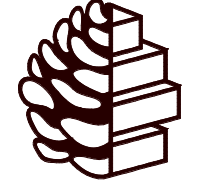
N/A

LIGHTING DESIGNER

N/A

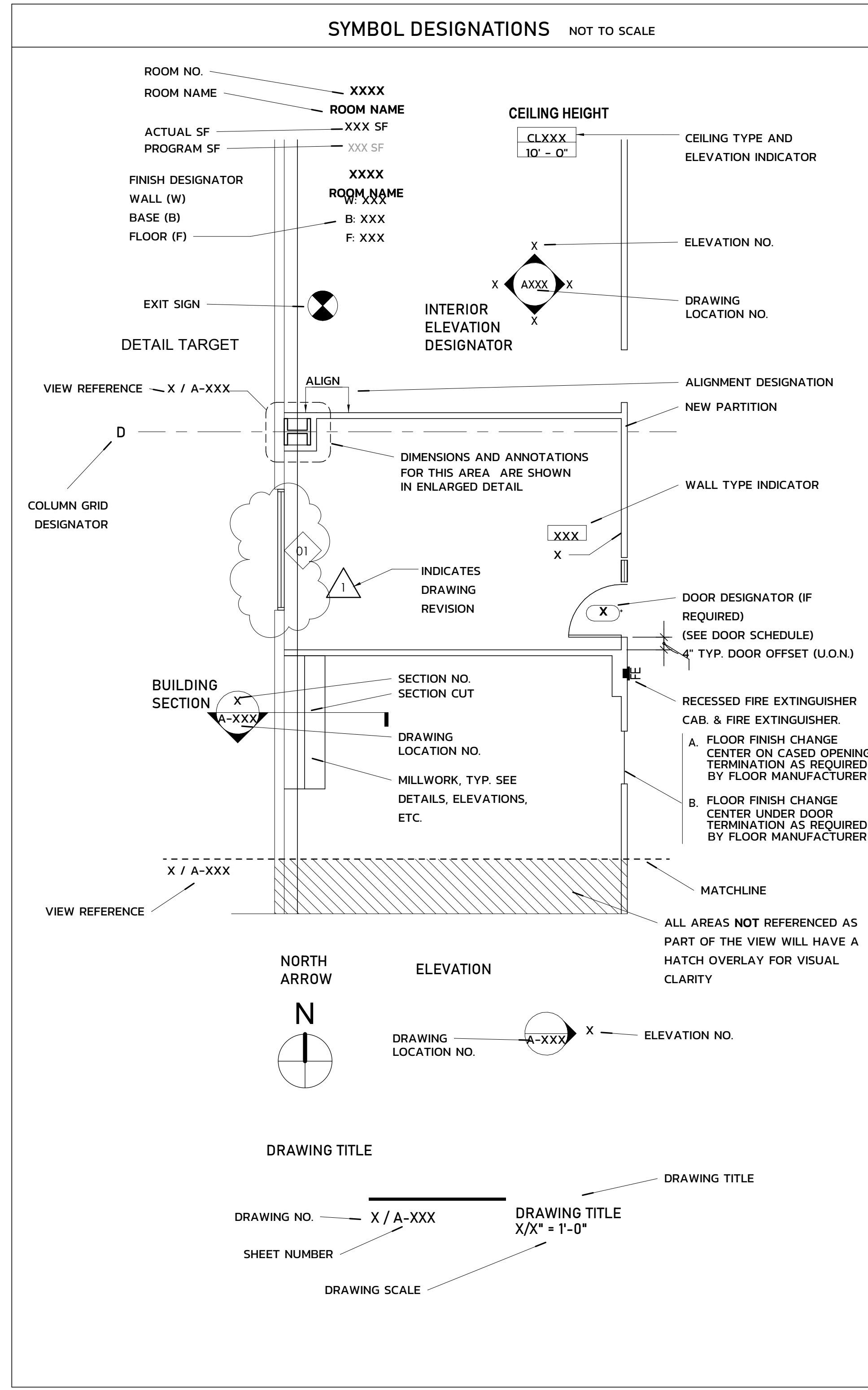
ABBREVIATIONS

| | | | | | | | |
|---------|--------------------------|------|---|----------|----------------------------------|------------|------------------------------|
| ABV | ABOVE | GST | GLAZED STRUCTURAL TILE | N | NORTH | SEC. | SECOND |
| AFF | ABOVE FINISHED FLOOR | G.B. | GRAB BAR | NAT | NATURAL | SERV | SERVICE |
| ACoust | ACOUSTICAL | GD | GRADE, GRADING | NI | NICKEL | SHTHG | SHEATHING |
| ACP | ACOUSTICAL CEILING PANEL | GRAN | GRANITE | NO, OR # | NUMBER | SHT | SHEET |
| ACT | ACOUSTICAL CEILING TILE | GVL | GRAVEL | NR | NOISE REDUCTION | SV | SHEET VINYL |
| AP | ACCESS PANEL | GND | GROUND | NRC | NOISE REDUCTION COEFFICIENT | S&R | SHelf AND ROD |
| ADD | ADDENDUM | GF | GROUND FACE | NOM | NOMINAL | SHL | SHELL |
| ADH | ADHESIVE | GYP | GYPSUM | NMT | NONMETALLIC | SHR | SHOWER |
| ADJ | ADJACENT | GYPB | GYPSUM WALL BOARD | NIC | NOT IN CONTRACT | SIDING | SIDING |
| ADJS | ADJUSTABLE | GYPW | GYPSUM WALL BOARD | NTS | NOT TO SCALE | SIM | SIMILAR |
| AGGR | AGGREGATE | GPPL | GYPSUM PLASTER | N.S. | NEAR SIDE | SD | SOAP DISPENSER |
| A/C | AIR CONDITIONING | GPT | GYPSUM TILE | OBS | OBSOLETE | SC | SOLID CORE |
| ALT | ALTERNATE | HDCP | HANDICAP (PED) | OCC | OCCUPANT | SPEC | SPECIFICATION(S) |
| ALUM | ALUMINUM | HBD | HARDBOARD | OFF | OFFICE | SQ | SQUARE |
| AB(S) | ANCHOR BOLT(S) | HDW | HARDWARE | OP | ON CENTER(S) | SQ FT | SQUARE FEET |
| ANOD | ANODIZED | HWD | HARDWOOD | OPAQ | OPAQUE | SQ IN | SQUARE INCH |
| ANC | ANCHOR, ANCHORAGE | HDR | HEADER | OPN | OPENING | SS | STAINLESS STEEL |
| APPROX. | APPROXIMATE | HJT | HEAD JOINT | OPN | OPENING | STD | STANDARD |
| ARCH | ARCHITECTURAL | HUT | HEATING | OPN | OPENING | STA | STATION |
| AUTO | AUTOMATIC | HTG | HEATING | OPP | OPPOSITE | STL | STEEL |
| AC | ACCESSIBLE | HVAC | HEATING, VENTILATING AND AIR CONDITIONING | OPH | OPPOSITE HAND | STOR | STORAGE |
| AD | AREA DRAIN | HD | HEAVY DUTY | OD | OUTSIDE DIAMETER, OVERFLOW DRAIN | STS | STORM SEWER |
| ASB | ASBESTOS | HGT | HEIGHT | OHMS | OHMS | STRUCT | STRUCTURAL |
| ASPH | ASPHALT | HX | HEXAGONAL | OHWS | OVERHEAD WOOD SCREW | SUSP | SUSPENDED |
| ATT | ATTACHED | HC | HOLLOW CORE | OA | OVERALL | SUSP CLG | SUSPENDED CEILING |
| AWS | ACOUSTICAL WALL SYSTEM | HM | HOLLOW METAL | OH | OVERHEAD | SWD | SOLID WOOD |
| | | HK | HOOK(S) | | | SAFB | SOUND ATTENUATION |
| | | HOR | HORIZONTAL | | | FIRE BATTS | SYMMETRIC(AL) |
| | | HR | HOUR | | | SYM | SYNTHETIC |
| | | HR | HOUR | | | SYS | SYSTEM |
| | | | | | | TEL | TELEPHONE |
| | | | | | | TV | TELEVISION |
| | | | | | | TEMP | TEMPERED |
| | | | | | | TER | TERRAZZO |
| | | | | | | T | TREAD(S) |
| | | | | | | TME | TO MATCH EXISTING |
| | | | | | | T.O.PAR. | TOP OF PARAPET |
| | | | | | | TTL | TOTAL LOAD |
| | | | | | | T.O.E | TOP OF EAWE |
| | | | | | | T.O.F. | TOP OF FRAMING |
| | | | | | | T.O.FTG. | TOP OF FOOTING |
| | | | | | | T.O.C. | TOP OF CURB |
| | | | | | | T.O.M. | TOP OF MASONRY |
| | | | | | | T.O.P. | TOP OF PAVEMENT |
| | | | | | | T.O.S. | TOP OF STEEL OR SLAB |
| | | | | | | T.O.W. | TOP OF WALL |
| | | | | | | T & G | TONGUE AND GROOVE |
| | | | | | | TYP | TYPICAL |
| | | | | | | T & B | TOP AND BOTTOM |
| | | | | | | TPD | TOILET PAPER DISPENSER |
| | | | | | | THRES | THRESHOLD |
| | | | | | | TB | TOWEL BAR |
| | | | | | | THR | THREADS |
| | | | | | | THK | THICKNESS |
| | | | | | | TR | TRANSOM |
| | | | | | | UC | UNDERCUT |
| | | | | | | U.M.F. | UNFINISHED |
| | | | | | | UR | URINAL |
| | | | | | | U.O.N. | UNLESS OTHERWISE NOTED |
| | | | | | | U.O.O. | UNLESS NOTED OTHERWISE |
| | | | | | | VB | VAPOR BARRIER |
| | | | | | | VAR | VARNISH |
| | | | | | | VEN | VENEER |
| | | | | | | VERM | VERMICULATE |
| | | | | | | VERT | VERTICAL |
| | | | | | | VG | VERTICAL GRAIN |
| | | | | | | VIN | VINYL |
| | | | | | | VB | VINYL BASE |
| | | | | | | VCT | VINYL COMPOSITION TILE |
| | | | | | | VT | VINYL TILE |
| | | | | | | VWC | VINYL WALL COVERING |
| | | | | | | V.I.F. | VERIFY IN FIELD |
| | | | | | | VEST. | VESTIBULE |
| | | | | | | W | WEST |
| | | | | | | WSCOT | WAINSCOT |
| | | | | | | WCAB | WALL CABINET |
| | | | | | | WF | WALL FABRIC |
| | | | | | | WH | WALL HUNG |
| | | | | | | WTW | WALL TO WALL |
| | | | | | | W.O.M. | WALK OFF MAT |
| | | | | | | WHR | WATER HEATER |
| | | | | | | WC | WATER CLOSET |
| | | | | | | WP | WATERPROOF(ING) |
| | | | | | | WR | WATER REPELLANT |
| | | | | | | WRGB | WATER RESISTANT GYPSUM BOARD |
| | | | | | | WS | WATERSTOP |
| | | | | | | WT | WEIGHT |
| | | | | | | WHB | WHEEL BUMPER |
| | | | | | | WID | WIDTH |
| | | | | | | WIN | WINDOW |
| | | | | | | WG | WIRE GLASS |
| | | | | | | WM | WIRE MESH |
| | | | | | | W/ | WITH |
| | | | | | | W/O | WITHOUT |
| | | | | | | WD | WOOD |
| | | | | | | WB | WOOD BASE |
| | | | | | | W.P.T. | WORKING POINT |
| | | | | | | W.I. | WROUGHT IRON |



TURPENTINE DESIGN

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REVISIONS

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SEALS

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JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS
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| | |
|--------------|------------|
| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE SHEET INDEX AND ABBREVIATIONS

DRAWING NUMBER G-001

| SHEET NUMBER | SHEET NAME |
|--------------|--|
| 01_GENERAL | |
| G-000 | COVER |
| G-001 | SHEET INDEX AND ABBREVIATIONS |
| G-101 | CODE SUMMARY |
| G-102 | TYPICAL MOUNTING HEIGHTS AND TOILET ACCESSORY SCHEDULE |
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| 02_CIVIL | |
| C2.0 | NOTES |
| C2.1 | NCG01 NOTES |
| C3.0 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| C4.0 | EROSION & SEDIMENT CONTROL PLAN |
| C5.0 | SITE LAYOUT, UTILITY & LANDSCAPE PLAN |
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| C7.0 | ESC DETAILS |

| SHEET NUMBER | SHEET NAME |
|------------------|--|
| C7.1 | ESC DETAILS |
| C7.2 | SITE DETAILS |
| C7.3 | SITE DETAILS |
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| SHEET NUMBER | SHEET NAME |
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| 04_STRUCTURAL | |
| S0.1 | GENERAL NOTES |
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| S2.1 | SECOND FLOOR FRAMING PLAN |
| S3.0 | FOUNDATION SECTIONS & DETAILS |
| S3.1 | FOUNDATION SECTIONS |
| S4.0 | FRAMING SECTIONS & DETAILS |
| S4.1 | FRAMING SECTIONS |
| S4.2 | FRAMING SECTIONS |
| 05_PLUMBING | |
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| P-102 | FLOOR PLANS - S, W, & V |
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| SHEET NUMBER | SHEET NAME |
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| 06_MECHANICAL | |
| M-001 | MECHANICAL COVER SHEET |
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| E-202 | SECOND FLOOR PLAN - LIGHTING |
| E-301 | ELECTRICAL DETAILS |
| E-302 | ELECTRICAL DETAILS |

APPENDIX B
2018 BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: JWR VENTURES - NEW BUILDING
Address: 192 JARCO DRIVE FUQUAY-VARINA NC
Owner / Authorized Agent: LEE RIVAS
E-Mail: MRDEEPEAFISHER@GMAIL.COM

Table with 5 columns: Designer, Firm, Name, License #, Phone #. Lists various design firms and their contact information.

2018 NC BUILDING CODE: New Building, Shell/Core, 1st Time Interior Completions
2018 NC EXISTING BUILDING CODE: Prescriptive, Alteration Level I, Historical Property, Repair, Alteration Level II, Change of Use

CONSTRUCTED: (date) - CURRENT USE(S) (Ch.3) -
RENOVATED: (date) - PROPOSED USE(S) (Ch.3) -
OCCUPANCY CATEGORY: (Table 1604.5): CURRENT: N/A PROPOSED: FACTORY

BASIC BUILDING DATA
Construction Type: I-A, II-A, III-A, IV, V-A, I-B, II-B, III-B, V-B
Sprinklers: No, Partial, NFPA 13, NFPA 13R, NFPA 13D
Standpipes: No, Class I, Class II, Class III, Wet, Dry
Primary Fire District: No, Yes, Flood Hazard Area, No, Yes
Special Inspection required: No, Yes
GROSS BUILDING AREA TABLE: Table with columns for Floor, Existing (sq ft), New (sq ft), Subtotal.

ENERGY SUMMARY
ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided.
Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)
Exempt Building: Provide code or statutory reference:
Climate Zone: 3A, 4A, 5A
Method of Compliance: Energy Code, ASHRAE 90.1, Other: Performance (specify source)

ALLOWABLE AREA
Primary Occupancy Classification(s):
Assembley A-1, A-2, A-3, A-4, A-5
Business
Educational
Factory F-1(Moderate), F-2(Low)
Hazardous H-1 Detonate, H-2 Deflagrate, H-3 Combust, H-4 Health, H-5 HPM
Institutional I-1, I-2, I-3, I-4
I-1 Condition: 1, 2
I-2 Condition: 1, 2
I-3 Condition: 1, 2, 3, 4, 5
Mercantile
Residential: R-1, R-2, R-3, R-4
Storage: S-1 Moderate, S-2 Low, High-Piled
Utility and Miscellaneous
Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):
Mixed Occupancy: No, Yes
Separation: Exception:
Non-separated Use (508.3)
Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B ≤ 1
Allowable Area of Occupancy A Allowable Area of Occupancy B
STORY NO. DESCRIPTION AND USE (A) BLDG AREA PER STORY (ACTUAL) (B) TABLE 506.2 AREA (C) AREA FOR FRONTAGE INCREASE 1.1 (D) ALLOWABLE FLOOR AREA PER STORY OR UNLIMITED 1.2

1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = ft (F)
b. Total Building Perimeter = ft (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = ft (W)
2 Unlimited area applicable under conditions of Sections 507
3 Maximum Building Area = total number of stories in the building x D (506.2)
4 The Maximum area of parking garages must comply with 406.3.5. The maximum area of traffic control towers must comply with 412.1.2.
5 Frontage increase is based on the un sprinklered area calue in Table 506.2

ALLOWABLE HEIGHT
Table with 4 columns: ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE.
Building Height in Feet (Table 504.3) H = 55 ft H = 23 ft TYPE IIB, TABLE 504.3
Building Height in Stories (Table 504.4) S = 2 S = 2 TYPE IIB, TABLE 504.4

FIRE PROTECTION REQUIREMENTS
THIS SECTION REQUIRED FOR ALL PROJECTS
Life Safety Plan Sheet #, if Provided: G-111

Table with 7 columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), REQ'D, RATING PROVIDED (W/ "HR" REDUCTION), DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR RATED PENETRATION, SHEET # FOR RATED JOINTS. Lists various building elements and their fire ratings.

PERCENTAGE OF WALL OPENING CALCULATIONS
Table with 4 columns: Fire Separation Distance (Feet) From Property Lines, Degree of Openings Protection (Table 705.8), Allowable Area (%), Actual Shown on Plans (%).
N - >30' - - -
S - >30' - - -
E - >30' - - -
W - >30' - - -

LIFE SAFETY SYSTEM
THIS SECTION REQUIRED FOR ALL PROJECTS
Emergency Lighting: No, Yes
Exit Signs: No, Yes
Fire Alarm: No, Yes
Smoke Detection Systems: No, Yes
Panic Hardware: No, Yes

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: G-111
Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (If not on site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
Occupant loads for each area
Exit access travel distances (1017)
Common path of travel distances (1006.2.1 & 1006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1030)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

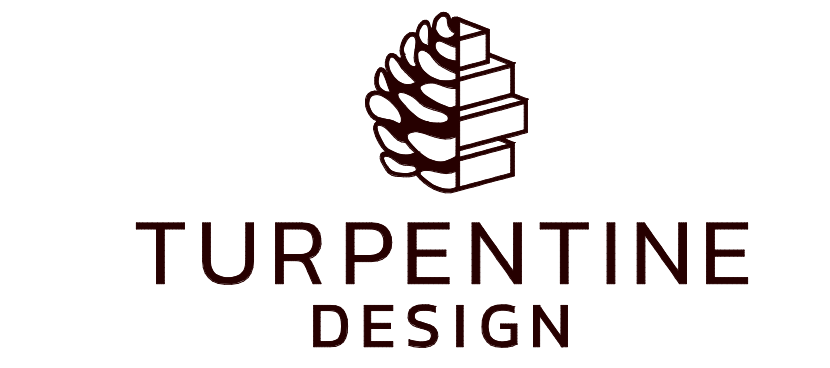
ACCESSIBLE DWELLING UNITS (SECTION 1107)
Table with 7 columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED. Shows N/A for accessible units.

ACCESSIBLE PARKING (SECTION 1106)
Table with 5 columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES, # OF ACCESSIBLE SPACES PROVIDED, TOTAL # ACCESSIBLE PROVIDED. Shows 1 accessible space.

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)
Table with 4 columns: USE, WATER CLOSETS, URINALS, LAVATORIES, SHOWERS/TUBS, DRINKING FOUNTAINS. Shows requirements for various fixtures.

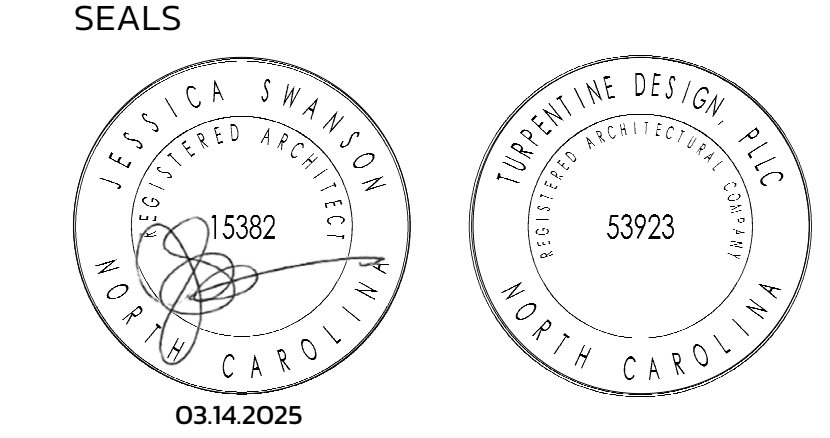
SPECIAL APPROVALS
(Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below.)

THERMAL ENVELOPE: (Prescriptive Method Only)
Table with 3 columns: ROOF/CEILING ASSEMBLIES, WALL ASSEMBLIES, FLOOR ASSEMBLIES. Lists assembly descriptions and U-values.



1007 Procure Street
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REVISIONS
Table with 3 columns: REV, REV, DATE. Shows revision 1 REV 01 on 04.10.2026.



JWR VENTURES
NEW BUILDING

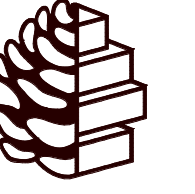
JWR VENTURES
192 JARCO DRIVE
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OWNER
LEE REVIS
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PHASE PERMIT SET
DATE 03.14.2025
TD PROJECT # 24-024

DRAWING TITLE
CODE SUMMARY

DRAWING NUMBER
G-101

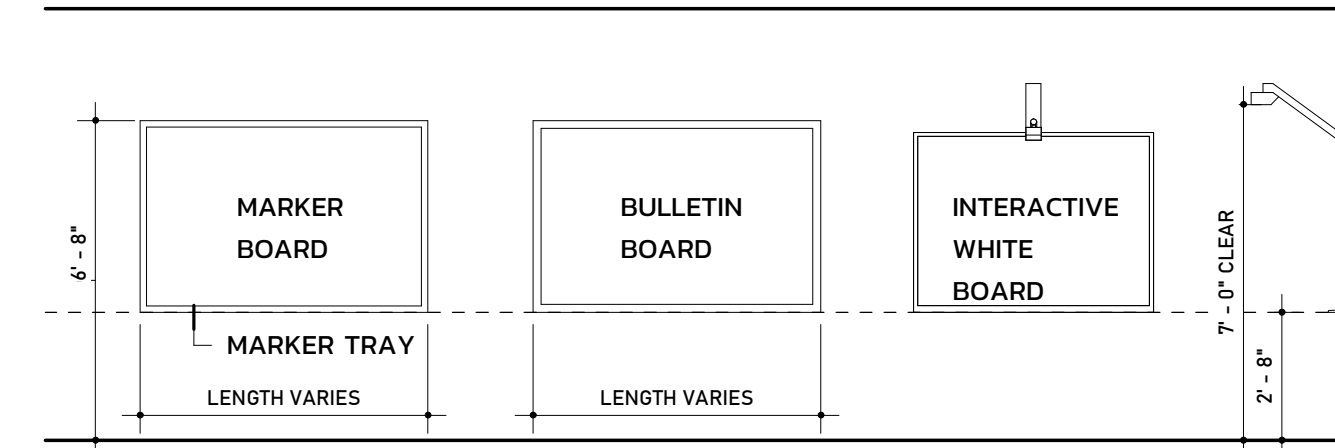
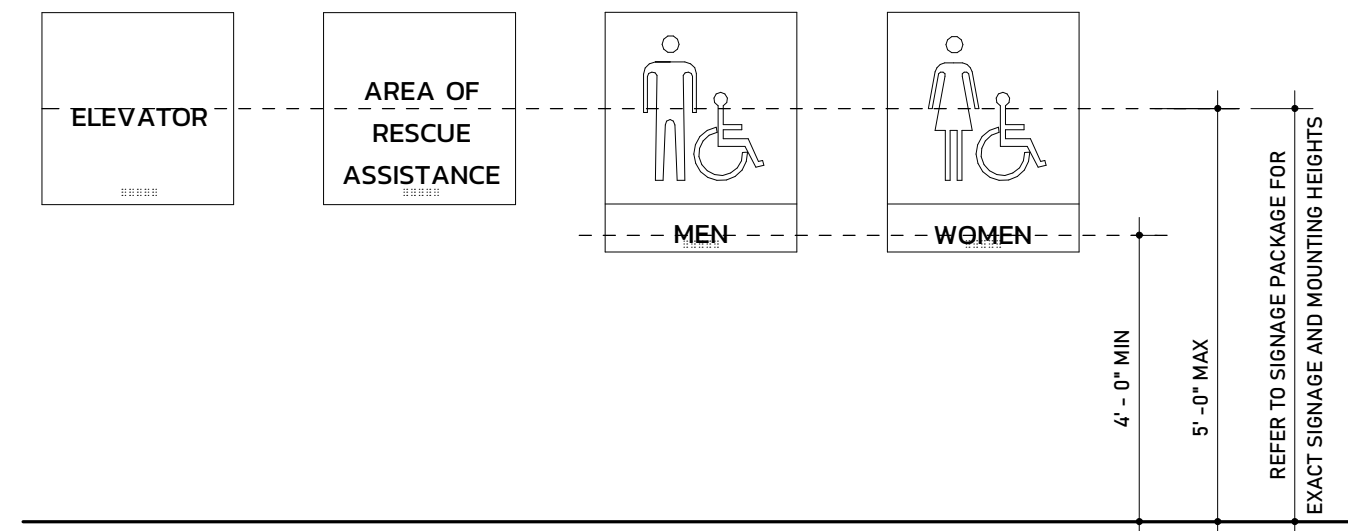
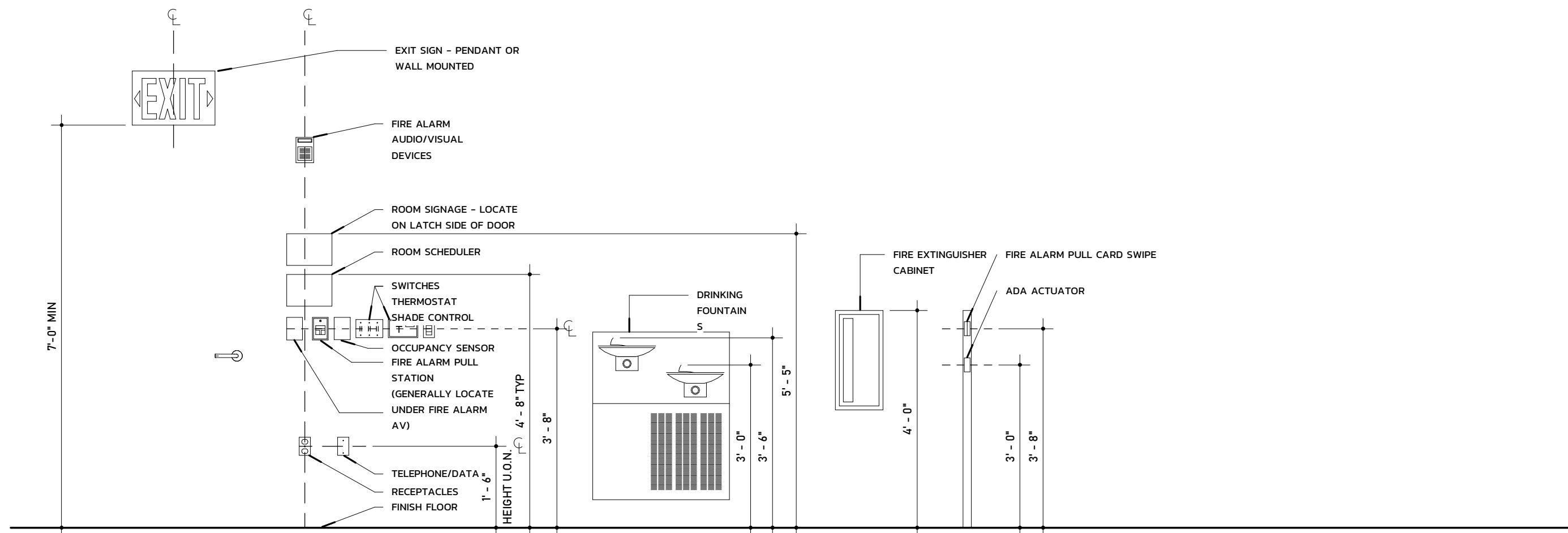


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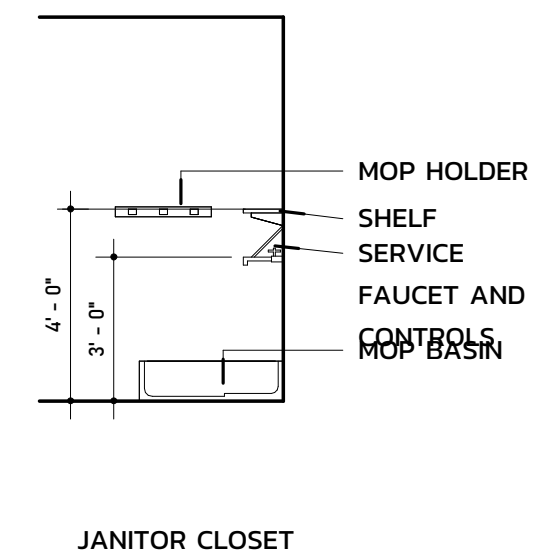
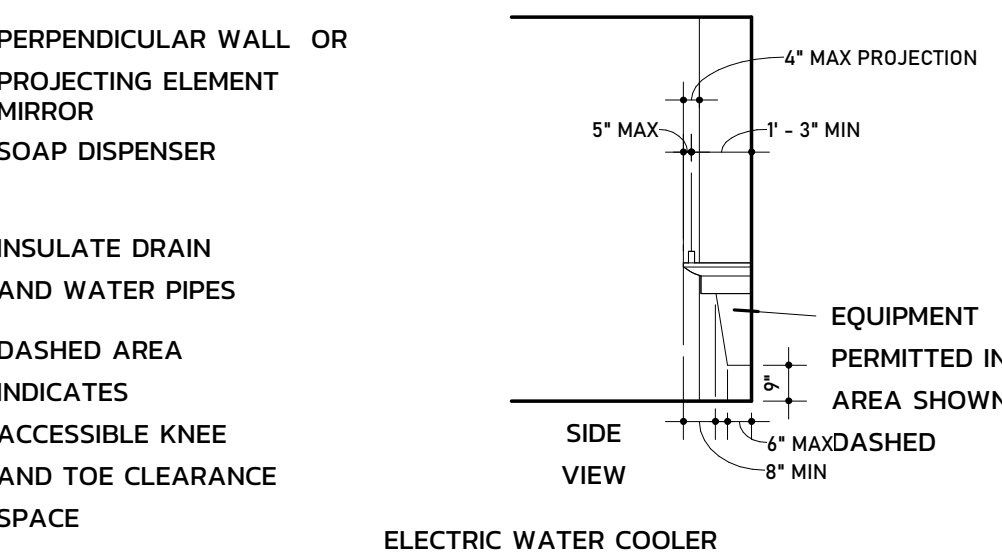
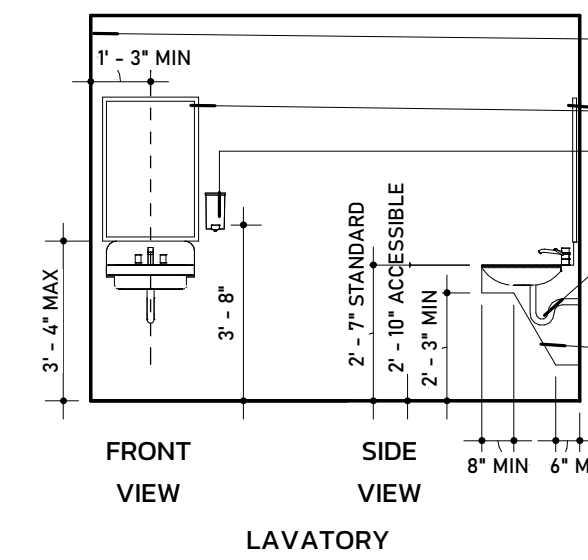
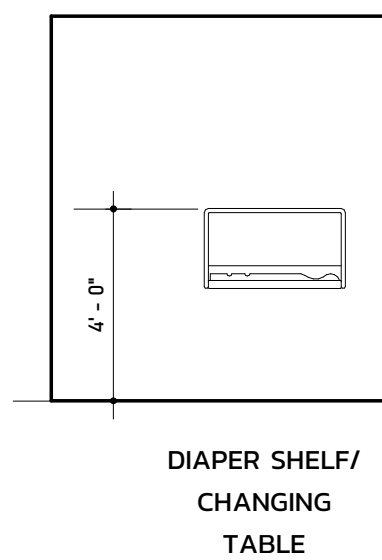
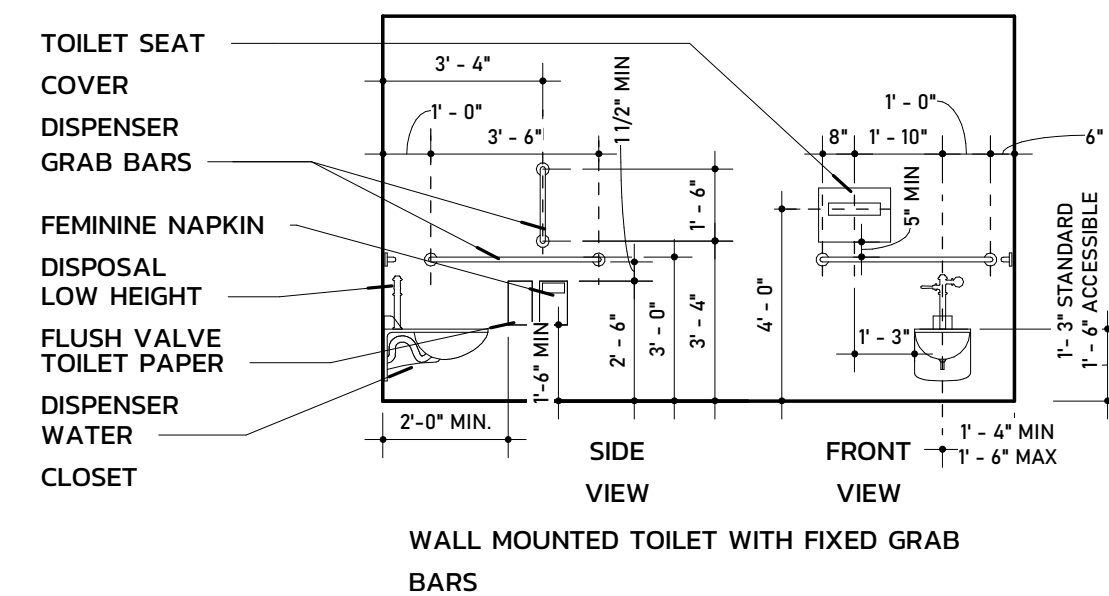
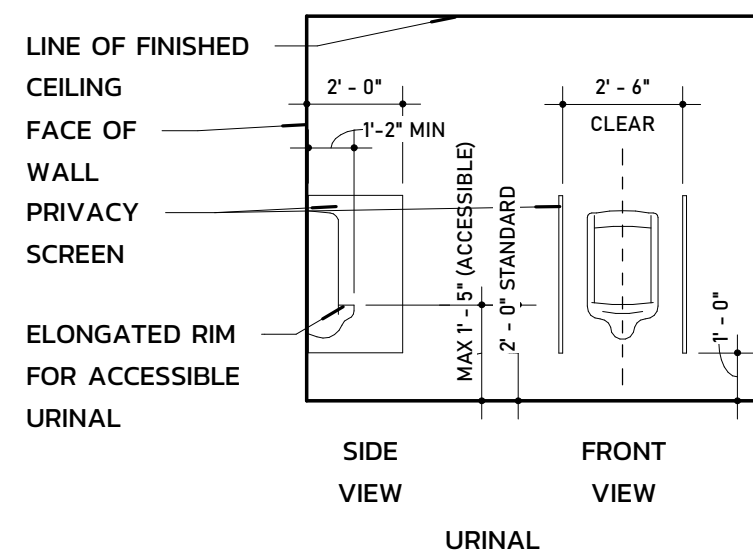
TYPICAL DEVICE MOUNTING HEIGHTS & LOCATIONS



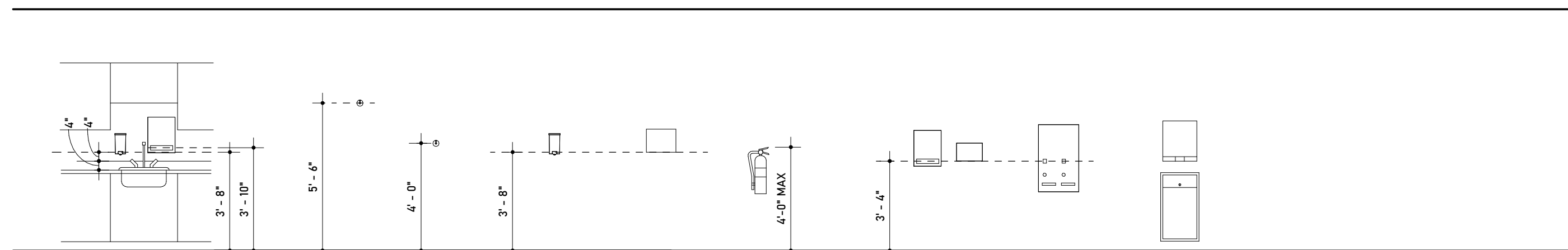
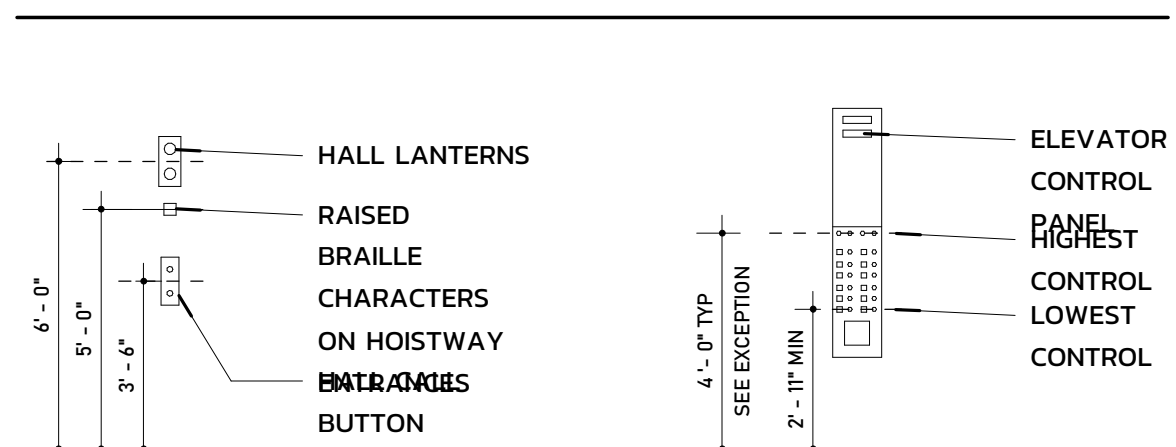
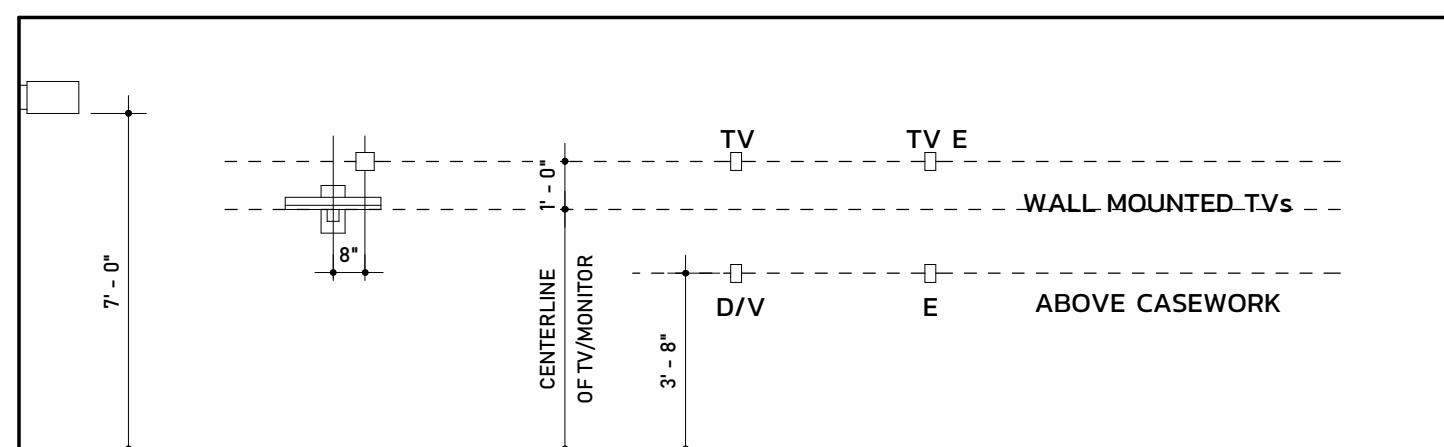
NOTE:

1. MOUNTING HEIGHTS SHOWN ILLUSTRATE DESIGN INTENT AND ARE TO BE FOLLOWED UNLESS CONTRADICTED BY APPLICABLE CODE.
2. WHERE DEVICES OF ANY DISCIPLINE ARE LOCATED IN THE SAME GENERAL AREA AND ARE SHOWN TO BE MOUNTED AT A SIMILAR HEIGHT, ALIGN HORIZONTALLY ALONG THE CENTERLINE AND SPACE NO MORE THAN 2" APART.
3. WHERE DEVICES OF ANY DISCIPLINE ARE LOCATED IN THE SAME GENERAL AREA AND ARE SHOWN TO BE MOUNTED AT DIFFERENT HEIGHTS, ALIGN VERTICALLY ALONG THE CENTERLINE.
4. ANY WALL OTHER THAN PAINTED GYPSUM BOARD, LOCATIONS MUST BE APPROVED BY ARCHITECT IN FIELD PRIOR TO INSTALLATION FINISHES.

WALL MOUNTED SIGNAGE TO BE LOCATED ON LATCH SIDE OF DOOR, CLEAR OF DOOR SWING.



NOTE: ACCESSIBLE AND NON-ACCESSIBLE PLUMBING FIXTURES ARE INDICATED IN THE PLUMBING DRAWINGS.



EXIT SIGN
COMBINATION POWER/SIGNAL/OUTLET FOR WALL MOUNTED TELEVISION OR MONITOR
T.V./DATA/PHONE
POWER RECEPTACLES

EXCEPTION: 4' - 6" MAX HEIGHT PERMITTED IF ELEVATOR IS SERVING MORE THAN 16 OPENINGS

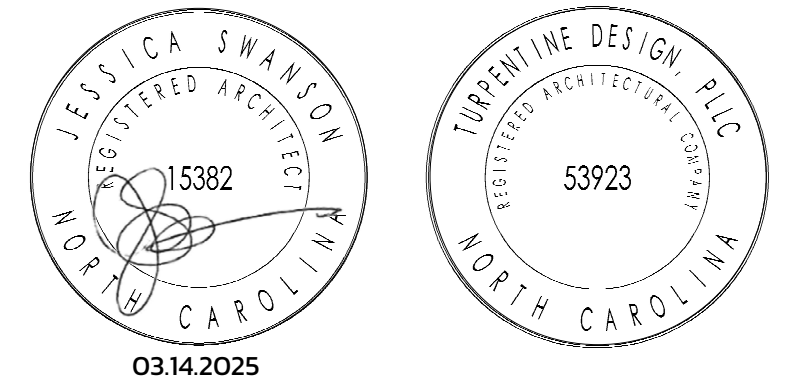
SOAP DISPENSER
PAPER TOWEL DISPENSER
COAT HOOK
ACCESSIBLE COAT HOOK
SOAP DISPENSER
ELECTRIC HAND DRYERS
BRACKET MOUNTED FIRE EXTINGUISHER
PAPER TOWEL DISPENSERS
FEMININE NAPKIN DISPENSER
TOWEL DISPENSER AND WASTE RECEPTACLE

NOTE: ALL DIMENSIONS INCLUDE ALL OPERABLE LEVERS, INCLUDING COIN SLOTS

REVISIONS

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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

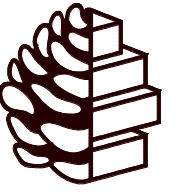
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TD PROJECT #

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03.14.2025
24-024

DRAWING TITLE
TYPICAL MOUNTING HEIGHTS AND TOILET ACCESSORY SCHEDULE

DRAWING NUMBER G-102



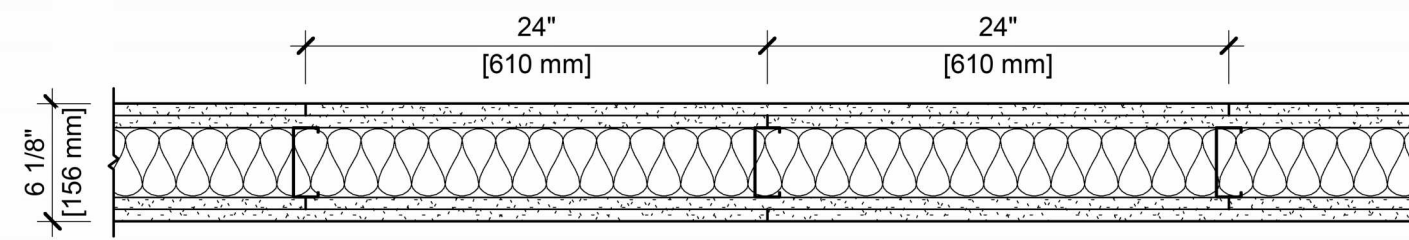
TURPENTINE DESIGN

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DESIGN NO. UL U419

FIRE RATING: 2 HOURS
 STC RATING: 52
 SOUND TEST: USG-160730
 SYSTEM THICKNESS: 6-1/8" [156 MM]
 LOCATION: INTERIOR
 FRAMING TYPE: STEEL STUD (NONLOAD-BEARING)



ASSEMBLY REQUIREMENTS:

GYPSUM PANELS: TWO LAYERS 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)
 STEEL STUDS: 3-5/8" [92 MM] STEEL STUDS, EQ20 (0.018"), 24" [610 MM] O.C.
 INSULATION: 3-1/2" [89 MM] FIBERGLASS INSULATION
 GYPSUM PANELS: TWO LAYERS 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)

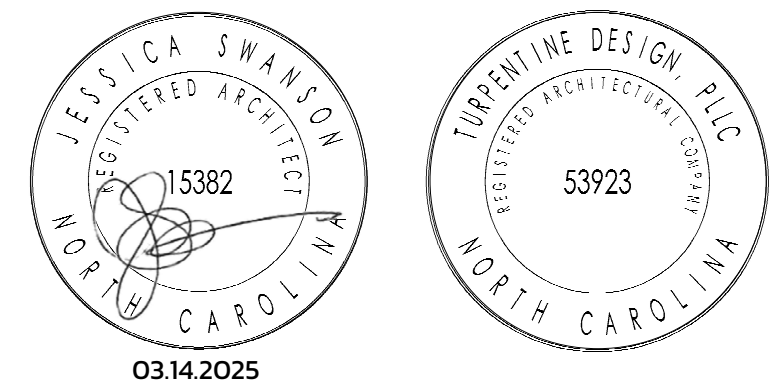
GENERAL WALL NOTES:

- REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
- FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
- WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
- STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
- FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
- FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
- WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
- SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.

REVISIONS

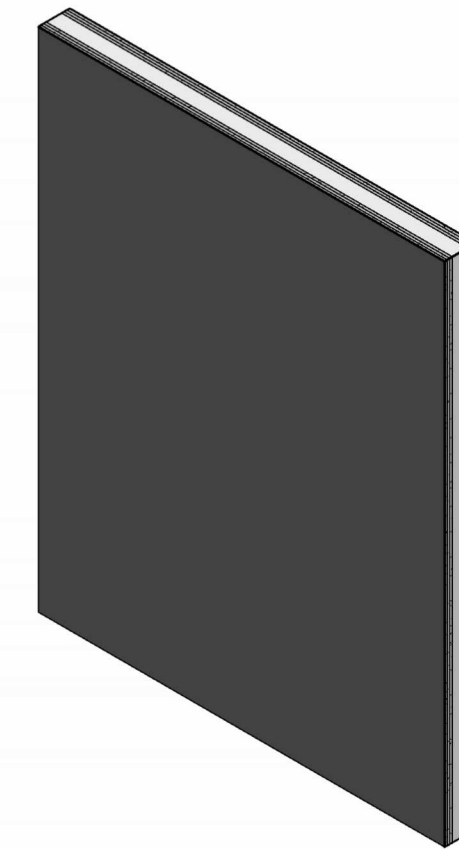
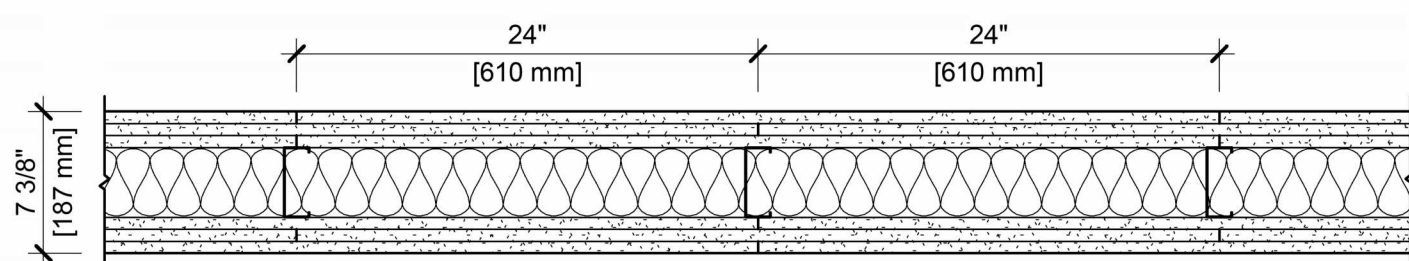
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SEALS



DESIGN NO. UL U419

FIRE RATING: 3 HOURS
 STC RATING: 56
 SOUND TEST: USG-160724
 SYSTEM THICKNESS: 7-3/8" [187 MM]
 LOCATION: INTERIOR
 FRAMING TYPE: STEEL STUD (NONLOAD-BEARING)



ASSEMBLY REQUIREMENTS:

GYPSUM PANELS: THREE LAYERS 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)
 STEEL STUDS: 3-5/8" [92 MM] STEEL STUDS, EQ25 (0.015"), 24" [610 MM] O.C.
 INSULATION: 3-1/2" [89 MM] FIBERGLASS INSULATION
 GYPSUM PANELS: THREE LAYERS 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)

GENERAL WALL NOTES:

- REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
- FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
- WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
- STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
- FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
- FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
- WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
- SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.

JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

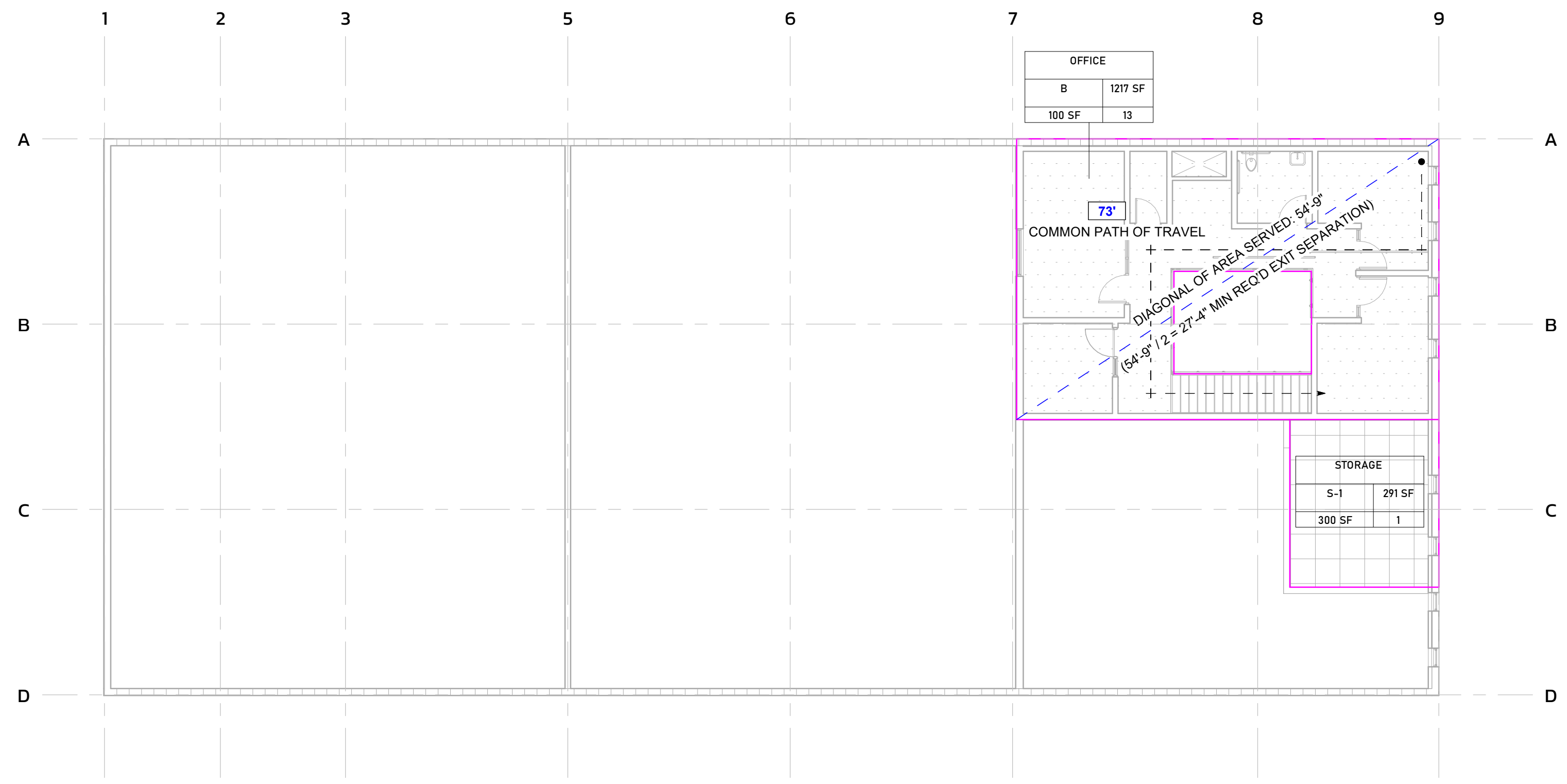
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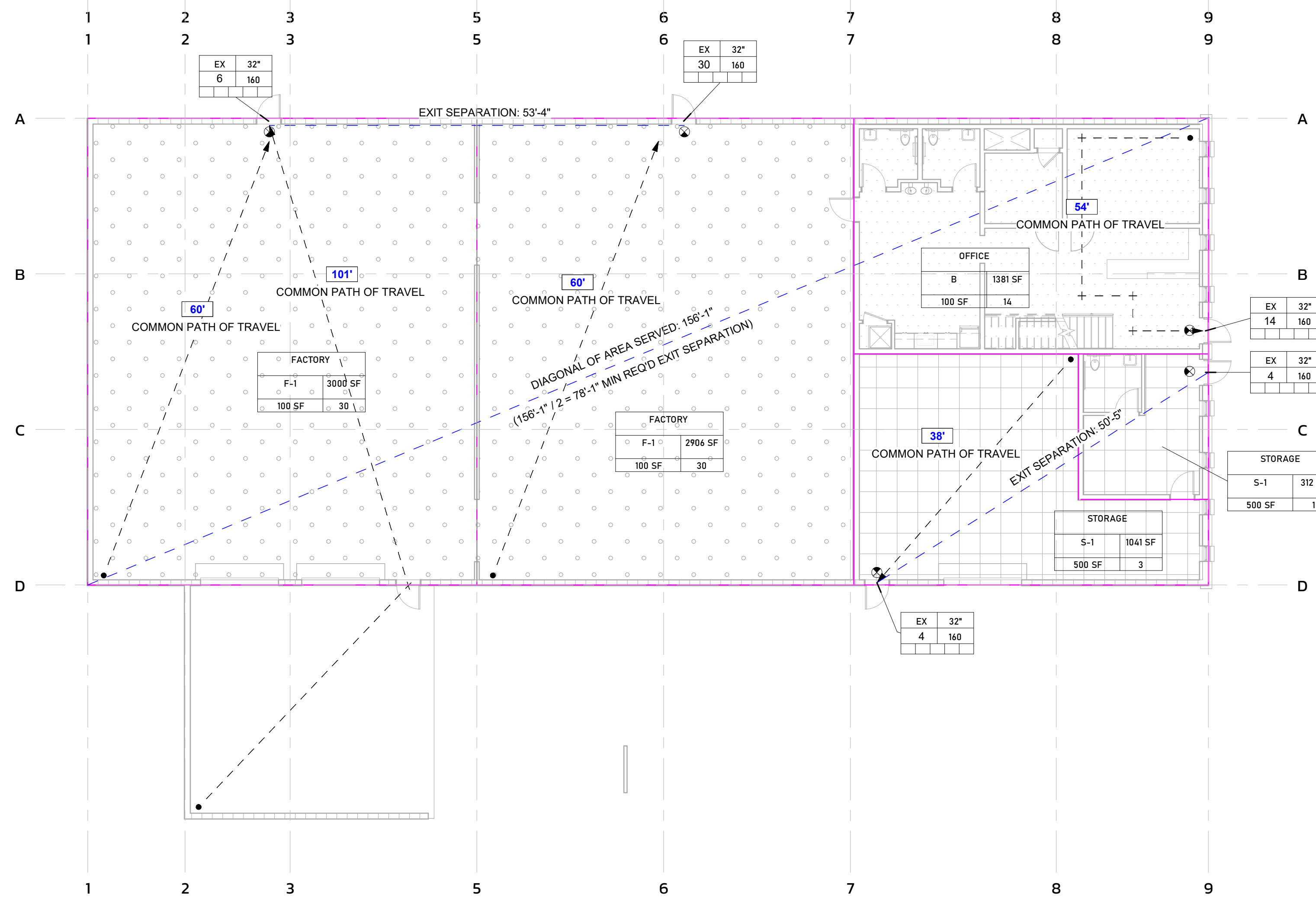
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| TD PROJECT # | 24-024 |

DRAWING TITLE

UL #U419



2 / G-111 G-FP02-LIFE SAFETY PLAN - SECOND FLOOR
3/32" = 1'-0"



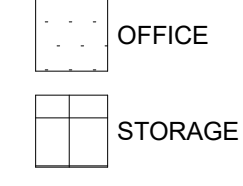
1 / G-111 G-FP01-LIFE SAFETY PLAN - FIRST FLOOR
3/32" = 1'-0"

GENERAL LIFE SAFETY NOTES

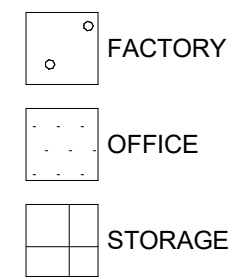
- THIS LIFE SAFETY STUDY IS BASED ON THE 2018 NCBC
- GC SHALL MAINTAIN CLEAR PATHS OF EGRESS TO EXITS DURING ALL PHASES OF CONSTRUCTION
- ALL EXISTING LIFE SAFETY SYSTEMS (SPRINKLER, FIRE ALARM, EGRESS LIGHTING AND EXIT SIGNS) SHALL BE MAINTAINED DURING CONSTRUCTION
- GC SHALL PROVIDE SIGNAGE COMPLYING WITH NCBS 110, EXXX AND A171.2009
- GC SHALL PROVIDE (IF NOT ALREADY EXISTING) TACTILE EXIT SIGNS AT ALL EXIT DISCHARGES PER NCBC 101.3
- GC SHALL BE RESPONSIBLE WITH SAFEGUARDS DURING CONSTRUCTION COMPLYING WITH NCBC CHAPTER 33
- ALL INTERIOR FINISHES SHALL COMPLY WITH NCBC T803.1
- GC TO MAINTAIN EXISTING ACCESSIBLE PARKING AS WELL AS ACCESSIBLE ROUTE FROM ADA PARKING TO THE BUILDING ENTRYWAY FREE AND CLEAR AT ALL TIMES DURING AND AFTER CONSTRUCTION IN ADDITION, ADA ROUTE TO ACCESSIBLE RESTROOMS AND WATER FOUNTAINS SHALL ALSO BE MAINTAINED AT ALL TIMES
- *CFL SYMBOL INDICATES SECURE DOORS(E) EQUIPPED WITH CARD READER AND ELECTRIFIED HARDWARE OR MAGNETIC LOCK. SEE DOOR SCHEDULE FOR MORE INFORMATION

OCCUPANCY LEGEND

SECOND FLOOR OCCUPANCY

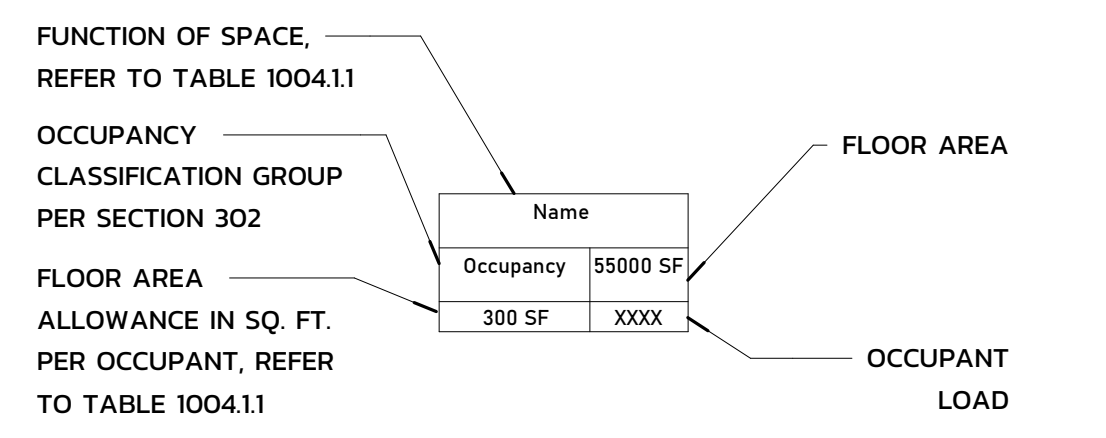


FIRST FLOOR OCCUPANCY

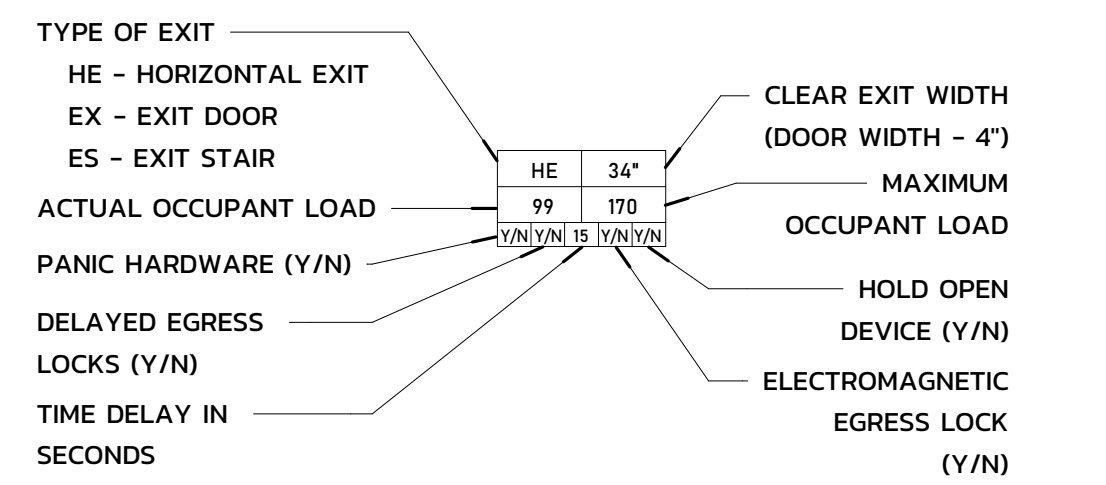


LIFE SAFETY LEGEND

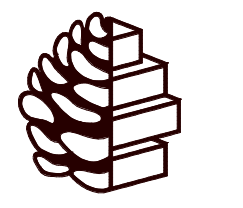
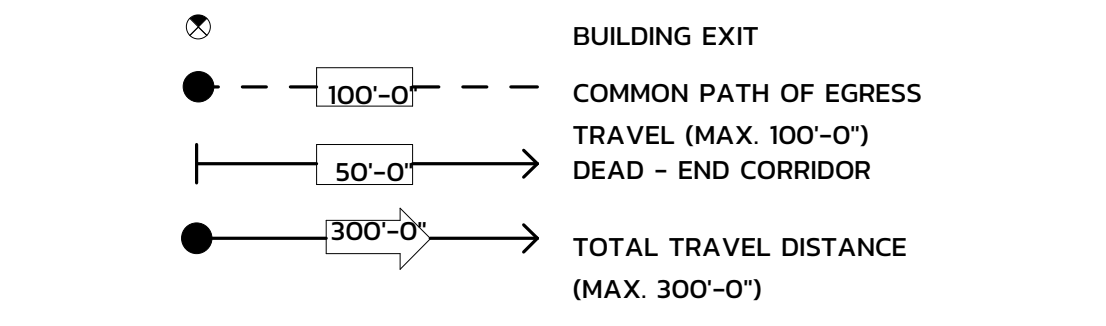
EGRESS INFORMATION SYMBOL:



EXIT SYMBOL WITH LIFE SAFETY DOOR HARDWARE:



EGRESS SYMBOLS:



TURPENTINE DESIGN

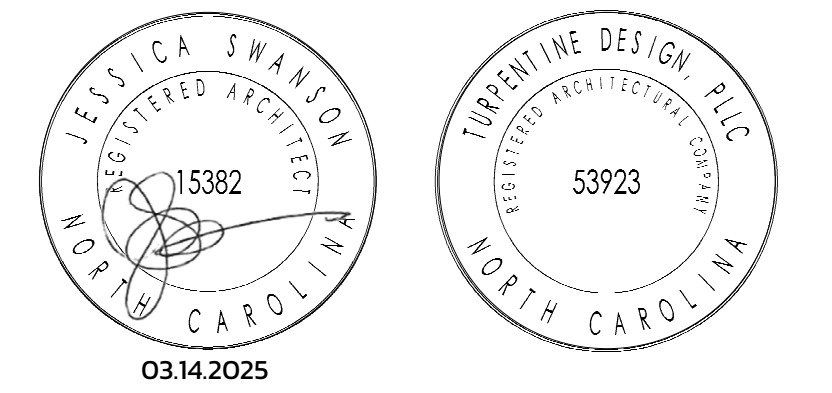
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SEALS



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NEW BUILDING

JWR VENTURES
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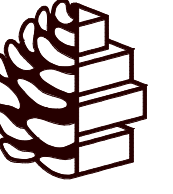
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03.14.2025
24-024

DRAWING TITLE
LIFE SAFETY PLAN - FIRST FLOOR

DRAWING NUMBER

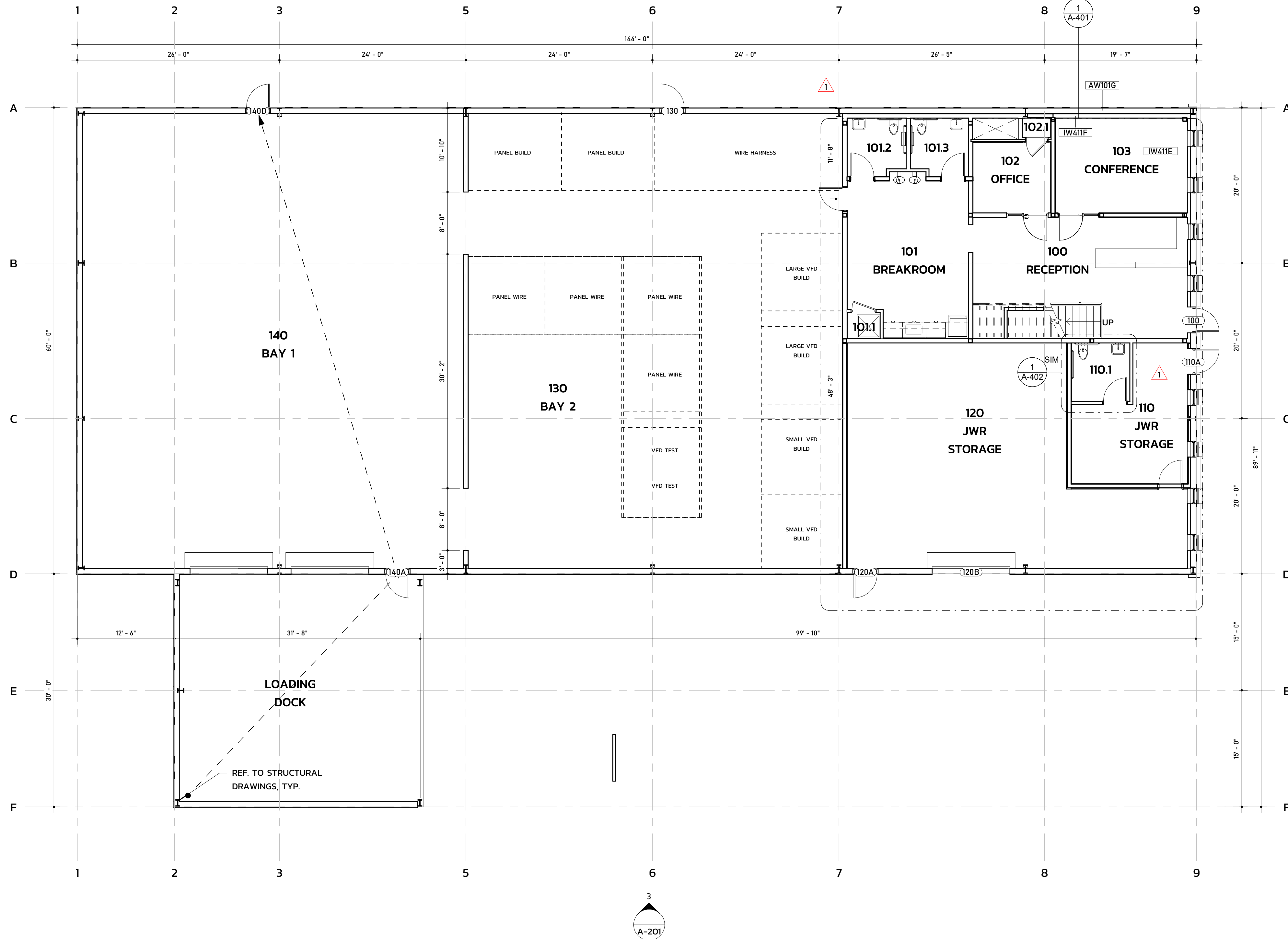
G-111



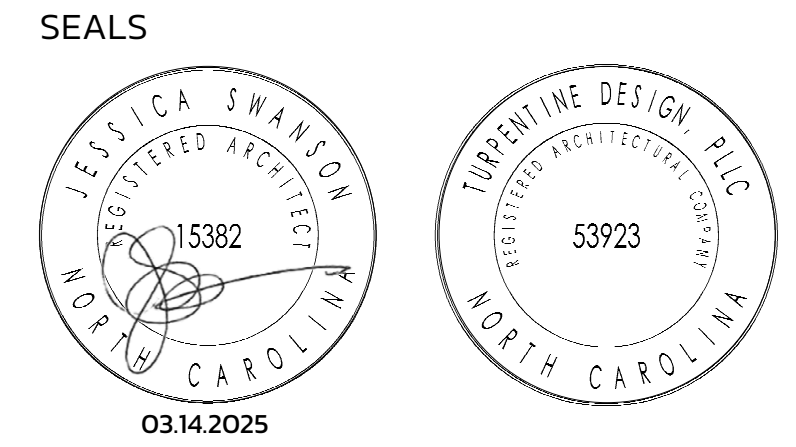
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| 1 | REV 01 | 04.10.2026 |
| 2 | REV 02 | 04.17.2026 |
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DRAWING TITLE FIRST FLOOR PLAN

DRAWING NUMBER A-101

1 / A-101 A-FP01-FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

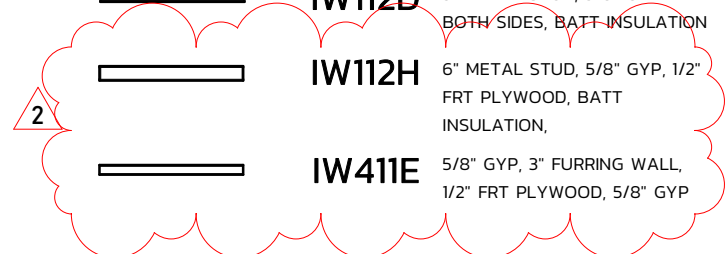
- UNO. ALL WALLS WITH SOLID HATCHING ARE NEW. EXISTING WALLS HAVE NO HATCH. 90 DEGREE SWING DOORS ARE NEW OR RELOCATED EXISTING DOORS. 45 DEGREE SWINGS INDICATE EXISTING DOORS.
- GC SHALL COMPLETELY CLEAN ENTIRE LEASED PREMISES IMMEDIATELY PRIOR TO OCCUPANCY.
- GC SHALL FAMILIARIZE THEMSELVES WITH THE PREMISES AND THE CONTRACT DRAWINGS AND SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- GC SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY ARCH. OF ANY CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS. GC AND SUBS SHALL NOT SCALE DRAWINGS.
- GC SHALL COORDINATE WITH THE BUILDING OWNER OR MGMT. ON ALL MATERIAL DELIVERY AND UNLOADING, DOOR ACCESS, AND ANY DISRUPTIONS IN THE NORMAL UTILITIES.
- GC SHALL NOTIFY ARCH. OF ANY REQUIRED MATERIALS THAT ARE NOT READILY AVAILABLE AND THAT MAY DELAY COMPLETION. THIS NOTIFICATION SHALL HAPPEN WITHIN 48 HRS. OF RELEASE.
- PAINTING SUBCONTRACTOR SHALL PROVIDE LOW-VOC PRIMERS AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH THE SUBSTRATES INDICATED.
- GC SHALL INSTALL AND MAINTAIN REQ'D. PROTECTIVE COVERINGS, TEMPORARY DOORS AND WALLS, DUST BARRIERS, FLOOR PROTECTION, ETC. GC SHALL KEEP ALL COMMON AREAS FREE OF DUST AND DEBRIS.
- GC SHALL MAINTAIN ALL LIFE SAFETY SYSTEMS IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING EXIT LIGHTING, SPRINKLER SYSTEMS, SMOKE DETECTION, AND EMERGENCY LIGHTING.
- GC SHALL PERFORM ALL WORK THAT CAUSES DISTURBANCES TO THE TENANT AFTER NORMAL BUSINESS HOURS - OR SHALL COORDINATE W/ OWNER WITHIN 48 HRS OF SUCH WORK.
- UNO. ON DRAWINGS, THERE SHALL BE NO SUBSTITUTIONS OF MATERIALS MADE WITHOUT WRITTEN PERMISSION FROM OWNER AND ARCHITECT.
- UNO. ALL SURFACES TO BE PATCHED OR HOLES TO BE FILLED SHALL MATCH THE ADJACENT CONSTRUCTION AND FINISHES.
- PROVIDE FIRE-RETARDANT WOOD BLOCKING AT ALL LOCATIONS OF NEW MILLWORK, TOILET ACCESSORIES, TV MOUNTING, ETC.

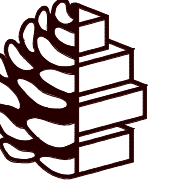
RATED WALL LEGEND

- UL419.2 2 HOUR FIRE BARRIER
- UL419.3 3 HOUR FIRE BARRIER

WALL LEGEND

- IW111D 3" METAL STUD, 5/8" GYP BOTH SIDES
- IW112F 6" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION
- IW112D 3" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION
- IW112H 6" METAL STUD, 5/8" GYP 1/2" FRP PLYWOOD, BATT INSULATION
- IW411E 5/8" GYP, 3" FURRING WALL 1/2" FRP PLYWOOD, 5/8" GYP
- IW411F 5/8" GYP ONE SIDE, 6" FURRING WALL
- AW101G 8" GRT WITH 1" METAL PANEL
- AW101Z 3 5/8" MASONRY WALL, 1" AIRSPACE

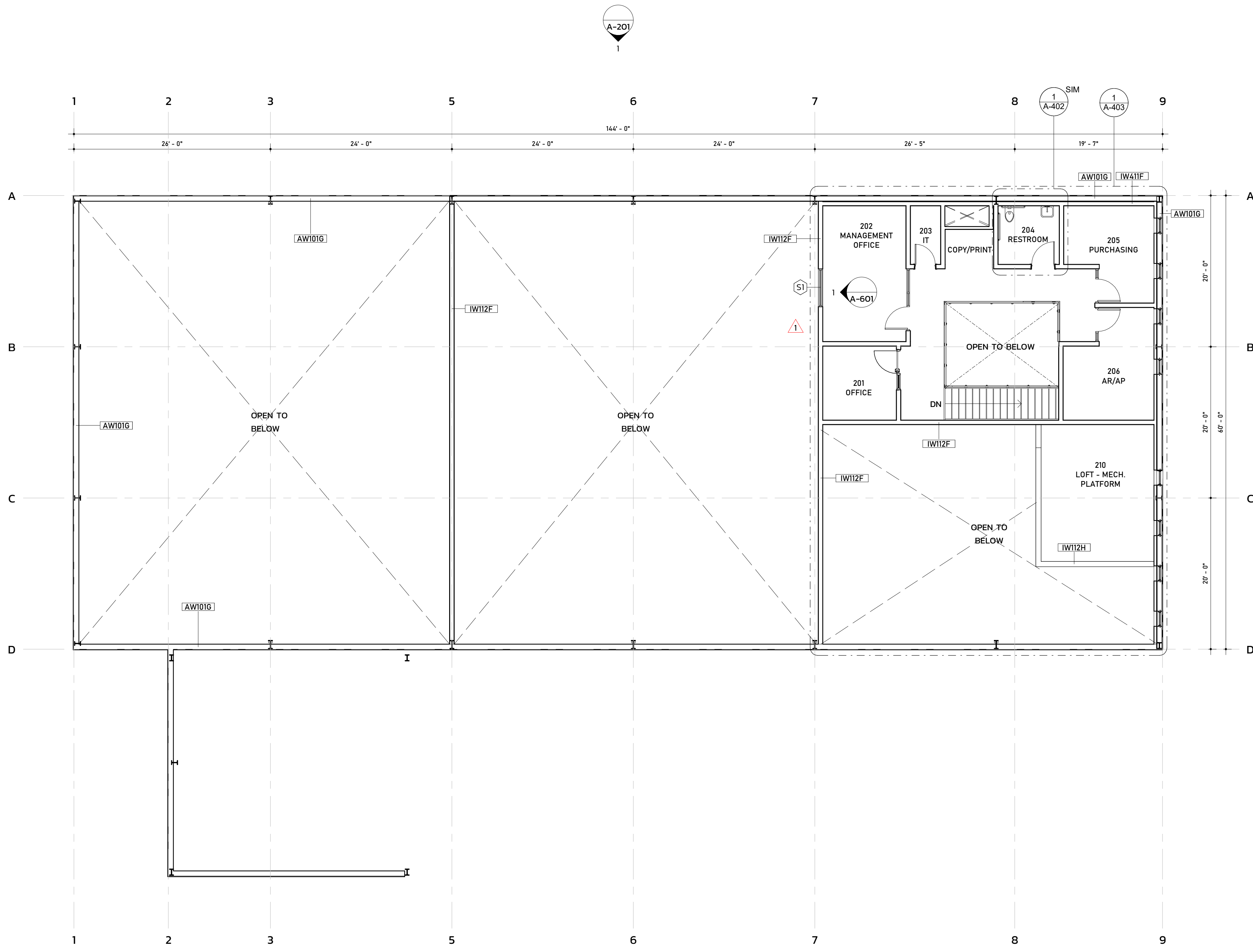




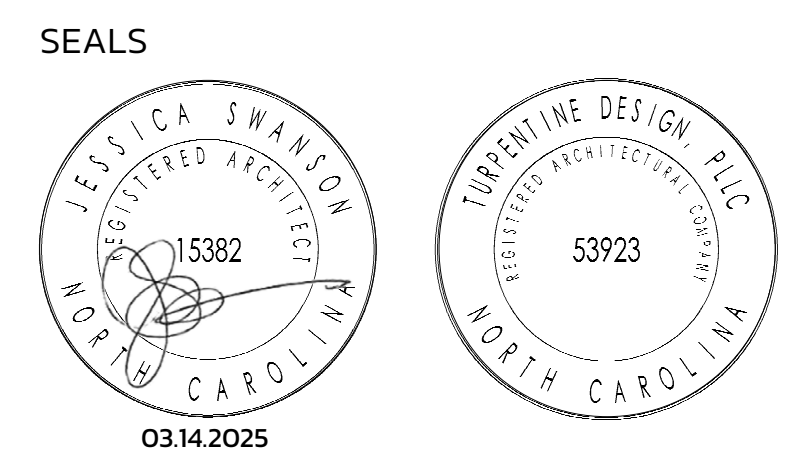
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| 1 | REV 01 | 04.10.2026 |
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JWR VENTURES

NEW BUILDING

JWR VENTURES
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OWNER LEE REVIS

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| TD PROJECT # | 24-024 |

DRAWING TITLE SECOND FLOOR PLAN

1 / A-102 A-FP02-SECOND FLOOR PLAN
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- UNO. ALL WALLS WITH SOLID HATCHING ARE NEW. EXISTING WALLS HAVE NO HATCH. 90 DEGREE SWING DOORS ARE NEW OR RELOCATED EXISTING DOORS. 45 DEGREE SWINGS INDICATE EXISTING DOORS.
- GC SHALL COMPLETELY CLEAN ENTIRE LEASED PREMISES IMMEDIATELY PRIOR TO OCCUPANCY.
- GC SHALL FAMILIARIZE THEMSELVES WITH THE PREMISES AND THE CONTRACT DRAWINGS AND SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- GC SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY ARCH. OF ANY CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS. GC AND SUBS SHALL NOT SCALE DRAWINGS.
- GC SHALL COORDINATE WITH THE BUILDING OWNER OR MGMT. ON ALL MATERIAL DELIVERY AND UNLOADING, DOOR ACCESS, AND ANY DISRUPTIONS IN THE NORMAL UTILITIES.
- GC SHALL NOTIFY ARCH. OF ANY REQUIRED MATERIALS THAT ARE NOT READILY AVAILABLE AND THAT MAY DELAY COMPLETION. THIS NOTIFICATION SHALL HAPPEN WITHIN 48 HRS. OF RELEASE.
- PAINTING SUBCONTRACTOR SHALL PROVIDE LOW-VOC PRIMERS AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH THE SUBSTRATES INDICATED.
- GC SHALL INSTALL AND MAINTAIN REQ'D. PROTECTIVE COVERINGS, TEMPORARY DOORS AND WALLS, DUST BARRIERS, FLOOR PROTECTION, ETC. GC SHALL KEEP ALL COMMON AREAS FREE OF DUST AND DEBRIS.
- GC SHALL MAINTAIN ALL LIFE SAFETY SYSTEMS IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING EXIT LIGHTING, SPRINKLER SYSTEMS, SMOKE DETECTION, AND EMERGENCY LIGHTING.
- GC SHALL PERFORM ALL WORK THAT CAUSES DISTURBANCES TO THE TENANT AFTER NORMAL BUSINESS HOURS - OR SHALL COORDINATE W/ OWNER WITHIN 48 HRS OF SUCH WORK.

RATED WALL LEGEND

- UNO. ON DRAWINGS, THERE SHALL BE NO SUBSTITUTIONS OF MATERIALS MADE WITHOUT WRITTEN PERMISSION FROM OWNER AND ARCHITECT.
- UNO. ALL SURFACES TO BE PATCHED OR HOLES TO BE FILLED SHALL MATCH THE ADJACENT CONSTRUCTION AND FINISHES.
- PROVIDE FIRE-RETARDANT WOOD BLOCKING AT ALL LOCATIONS OF NEW MILLWORK, TOILET ACCESSORIES, TV MOUNTING, ETC.

WALL LEGEND

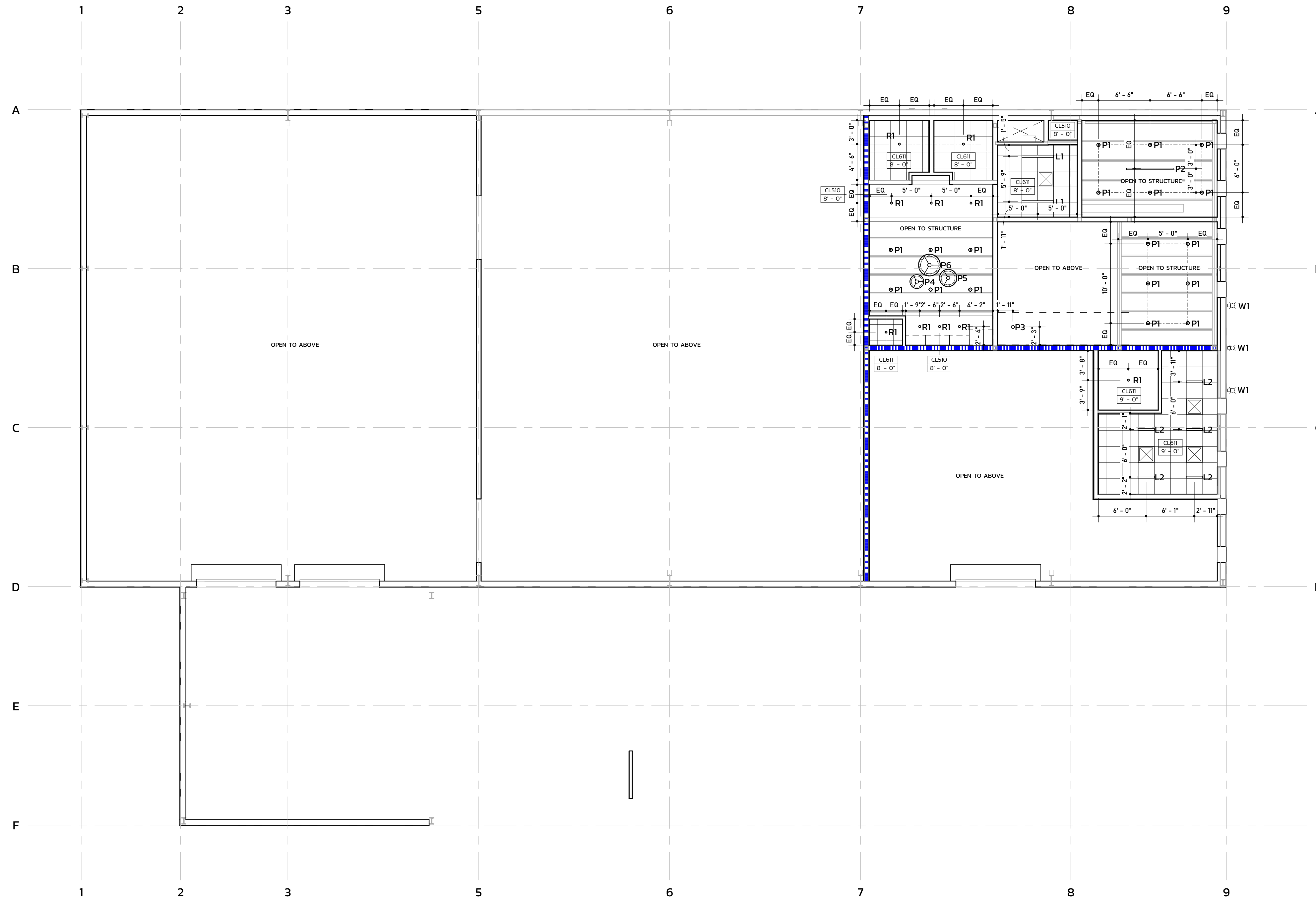
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|--|--------|--|--|--------|------------------------------------|
| | IW111D | 3" METAL STUD, 5/8" GYP BOTH SIDES | | IW411F | 5/8" GYP ONE SIDE, 6" FURRING WALL |
| | IW112F | 6" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION | | AW101G | 8" GRT WITH 1" METAL PANEL |
| | IW112D | 3" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION | | AW101Z | 3 5/8" MASONRY WALL, 1" AIRSPACE |
| | IW112H | 6" METAL STUD, 5/8" GYP, 1/2" FRT PLYWOOD, BATT INSULATION | | | |
| | IW411E | 5/8" GYP, 3" FURRING WALL, 1/2" FRT PLYWOOD, 5/8" GYP | | | |



TURPENTINE DESIGN

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1 / A-121 A-RCPO1-First Floor RCP
1/8" = 1'-0"

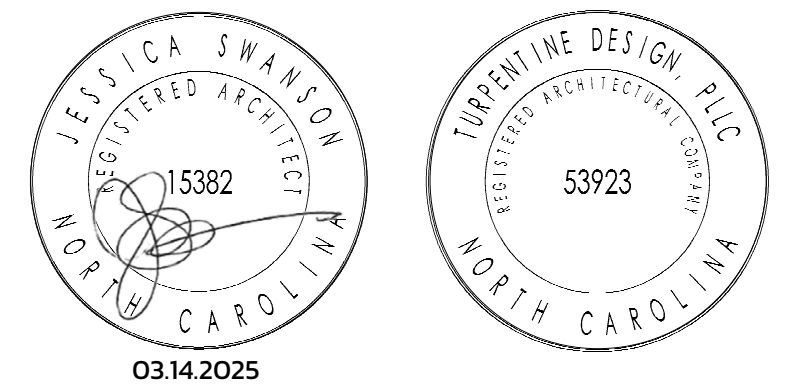
GENERAL RCP NOTES

1. THE ARCHITECTURAL CEILING PLANS SHALL GOVERN ALL LOCATIONS OF LIGHT FIXTURES, MECHANICAL DIFFUSERS AND CLG. GRID LAYOUTS.
2. UNO, ALL CEILING FIXTURES INCLUDING FIRE ALARM HORNS, STROBES, ENUNCIATORS, SPRINKLER HEADS ETC SHALL BE WHITE IN COLOR AND CEILING MOUNTED AS CODE ALLOWS. IF BUILDING STANDARD EXISTS WHICH CONFLICTS WITH THIS CONDITION, COORDINATE FINISH WITH ARCHITECT.
3. SEE ELEC. DWGS. FOR EXACT LIGHTING SPECS. ARCHITECT TO APPROVE FIXTURE SPECS PRIOR TO GC ORDER. DESCRIPTIONS OF FIXTURES ON THIS DRAWING ARE FOR REFERENCE ONLY.
4. UNO, ON DRAWINGS, REMOVE ALL UNUSED CABLE, CONDUIT, DUCTWORK, HANGER WIRES, CLAMPS, PIPING, ETC.
5. SEE ELECTRICAL DRAWINGS FOR INFORMATION REGARDING LOCATIONS OF EMERGENCY LIGHTING, FIRE ALARM DEVICES, OCCUPANCY SENSORS, AND OTHER CEILING DEVICES NOT SHOWN.
6. UNO, CENTER ALL FIXTURES AND DEVICES IN CEILING TILES, SOFFITS, OR PORTALS. NOTIFY ARCHITECT OF CONFLICTS. COORDINATE FINISH OF DIFFUSERS LOCATED IN SPECIALTY CEILINGS WITH ARCHITECT.
7. UNO, ALL GYPSUM WALL BOARD CEILINGS SHALL BE X-X" AFF. GC TO VERIFY HEIGHT IS ACHIEVABLE IN FIELD AND NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
8. UNO, ALL SUSPENDED ACOUSTICAL CEILINGS SHALL BE X-X" AFF TO THE FINISHED SURFACE OF THE TILE GC TO VERIFY HEIGHT IS ACHIEVABLE IN FIELD AND NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
9. UNO, EXISTING EXTERIOR SHADE DEVICES ARE EXISTING TO REMAIN. PROVIDE PROTECTION AS REQUIRED DURING CONSTRUCTION. GC TO NOTIFY ARCHITECT OF ANY DAMAGED DEVICES.
10. UNO, FACE OF ALL GWB SOFFITS ADJACENT TO EXPOSED CEILING AREAS OR CORRIDORS SHALL HAVE GWB EXTENDING TO FLOOR STRUCTURE ABOVE. SEE CONSTRUCTION PLAN FOR WALL TYPES, AND COORD. WITH RCP AS REQUIRED.

REVISIONS

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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

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| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE

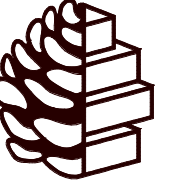
FIRST FLOOR

REFLECTED CEILING

PLAN

DRAWING NUMBER

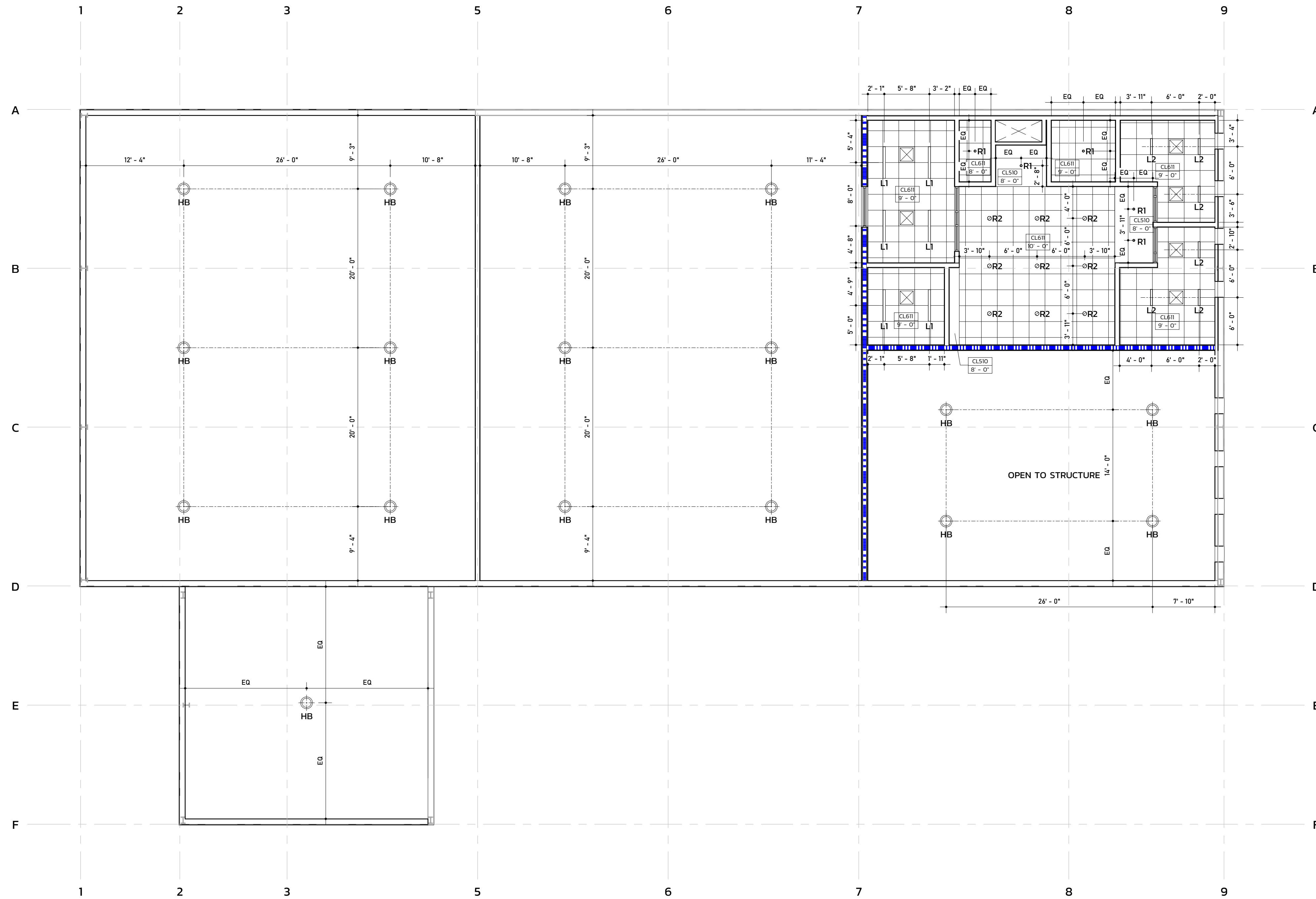
A-121



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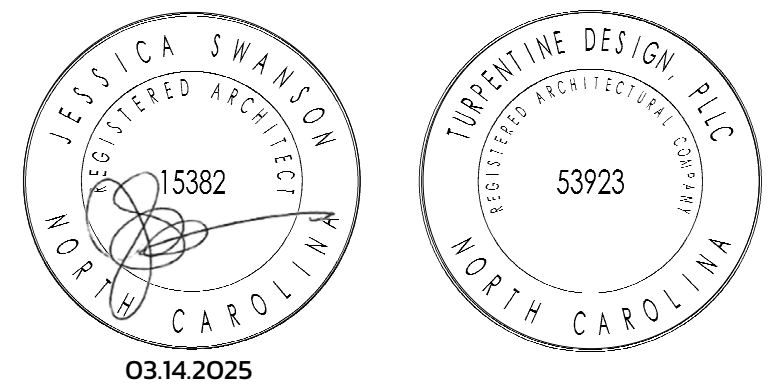


1 / A-122 **A-RCPO2-Second Floor RCP**
1/8" = 1'-0"

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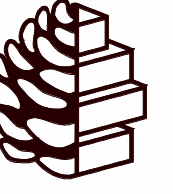
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| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE
**SECOND FLOOR
REFLECTED CEILING
PLAN**

DRAWING NUMBER
A-122

GENERAL RCP NOTES

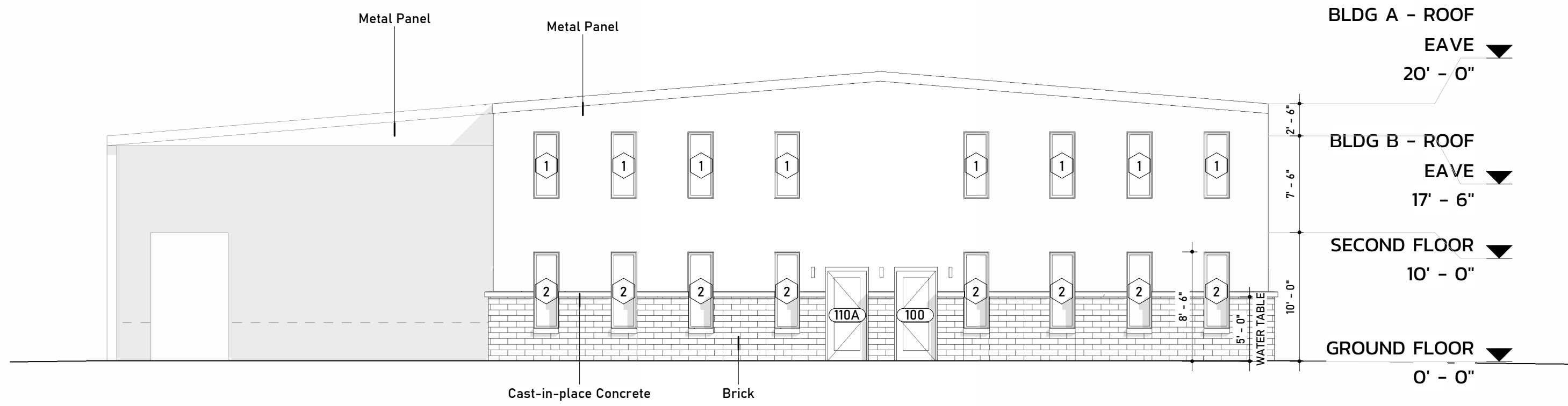
- THE ARCHITECTURAL CEILING PLANS SHALL GOVERN ALL LOCATIONS OF LIGHT FIXTURES, MECHANICAL DIFFUSERS AND CLG. GRID LAYOUTS.
- UNO, ALL CEILING FIXTURES INCLUDING FIRE ALARM HORNS, STROBES, ENUNCIATORS, SPRINKLER HEADS ETC SHALL BE WHITE IN COLOR AND CEILING MOUNTED AS CODE ALLOWS. IF BUILDING STANDARD EXISTS WHICH CONFLICTS WITH THIS CONDITION, COORDINATE FINISH WITH ARCHITECT.
- SEE ELEC. DWGS FOR EXACT LIGHTING SPECS. ARCHITECT TO APPROVE FIXTURE SPECS PRIOR TO GC ORDER. DESCRIPTIONS OF FIXTURES ON THIS DRAWING ARE FOR REFERENCE ONLY.
- UNO, ON DRAWINGS, REMOVE ALL UNUSED CABLE, CONDUIT, DUCTWORK, HANGER WIRES, CLAMPS, PIPING, ETC.
- SEE ELECTRICAL DRAWINGS FOR INFORMATION REGARDING LOCATIONS OF EMERGENCY LIGHTING, FIRE ALARM DEVICES, OCCUPANCY SENSORS, AND OTHER CEILING DEVICES NOT SHOWN.
- UNO, CENTER ALL FIXTURES AND DEVICES IN CEILING TILES, SOFFITS, OR PORTALS. NOTIFY ARCHITECT OF CONFLICTS. COORDINATE FINISH OF DIFFUSERS LOCATED IN SPECIALTY CEILINGS WITH ARCHITECT.
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- UNO, EXISTING EXTERIOR SHADE DEVICES ARE EXISTING TO REMAIN. PROVIDE PROTECTION AS REQUIRED DURING CONSTRUCTION. GC TO NOTIFY ARCHITECT OF ANY DAMAGED DEVICES.
- UNO, FACE OF ALL GWB SOFFITS ADJACENT TO EXPOSED CEILING AREAS OR CORRIDORS SHALL HAVE GWB EXTENDING TO FLOOR STRUCTURE ABOVE. SEE CONSTRUCTION PLAN FOR WALL TYPES, AND COORD. WITH RCP AS REQUIRED.



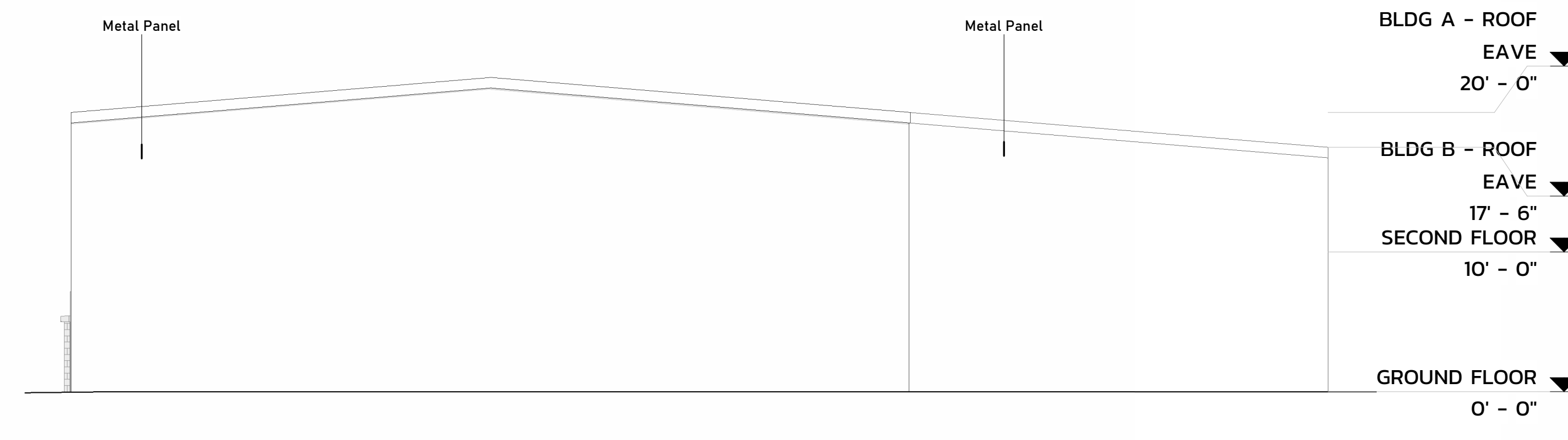
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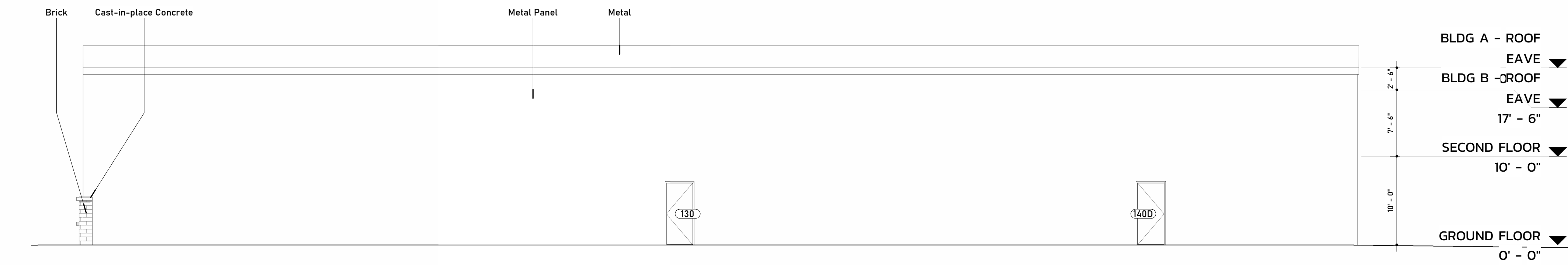
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2 / A-201 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



4 / A-201 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



1 / A-201 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

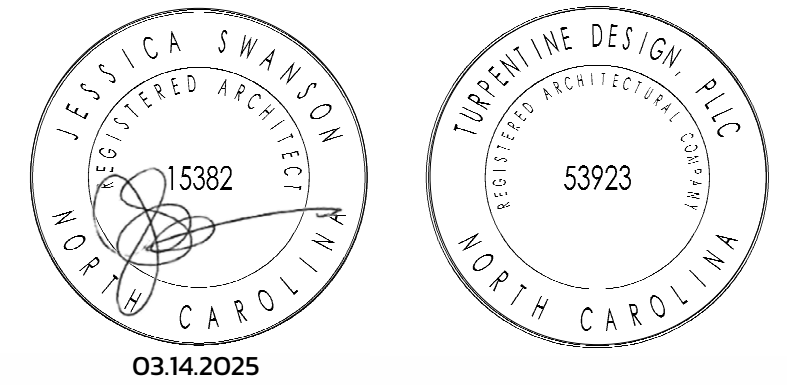


3 / A-201 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

REVISIONS

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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
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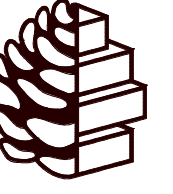
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| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE
EXTERIOR ELEVATIONS

GENERAL ELEVATION NOTES

- EJ - INDICATES LOCATION OF MASONRY EXPANSION JOINTS. COORDINATE WITH STRUCTURAL DRAWINGS. COLOR OF EXPANSION JOINT TO MATCH ADJACENT FINISH (INT/EXT).
- DS - INDICATES LOCATION OF DOWNSPOUT. COORDINATE WITH CIVIL DRAWINGS TO DETERMINE WHETHER OR NOT THE DOWNSPOUTS DUMP OUT ONTO GRADE OR TIE INTO THE STORM SEWER SYSTEM.
- ALL PARAPET CORING SHALL BE KYNAR 500 FINISH ON 24 GA GALVANIZED STEEL. COLOR SHALL BE PER THE FINISH SCHEDULE. CORING DETAIL EQUAL TO PAC-CLAD "PAC-CONTINUOUS CLEAT CORING" W/ INTEGRAL SPLICE PLATES.
- ALL DOWNSPOUTS SHALL BE BOX CONSTRUCTION WITH KYNAR 500 FINISH ON 24GA GALVANIZED STEEL. COLOR SHALL BE PER THE FINISH SCHEDULE. PROVIDE PVC ROUND-TO-SQUARE TRANSITION AT GRADE TO STORM SYSTEM SET 4" ABOVE GRADE.
- GENERAL CONTRACTOR TO ENSURE THAT OPENINGS WITHIN EXTERIOR WALLS ARE PROPERLY TAPED/FLASHED TO PREVENT WATER INFILTRATION INTO THE BUILDING.
- UND. ALL EXTERIOR GLAZING SHALL BE CONSIDERED TEMPERED.
- UND. ALL EXTERIOR STOREFRONT/CURTAIN WALL SYSTEMS SHALL HAVE A CLEAR ANODIZED FINISH. CALK JOINTS ALONG THESE LOCATIONS SHALL BE A MEDIUM GREY COLOR TO MATCH THE STOREFRONT/CURTAIN WALL SYSTEM. PROVIDE SAMPLES.
- GC SHALL ENSURE THAT THE ENTIRE STRUCTURE IS "DREED-IN" PRIOR TO INSTALLATION OF INSULATION AND DRYWALL.
- ALL EXTERIOR EXPOSED PAINTED STEEL SHALL RECEIVE INDUSTRIAL GRADE URETHANE ALKYL ENAMEL (SEM-GLOSS). COLOR SHALL BE PER EXT FINISH SCHEDULE.
- GC SHALL ENSURE POSITIVE SLOPE AWAY FROM BUILDING PERIMETER FOR PROPER DRAINAGE. GC SHALL TAKE MEASURES TO PROTECT NEW EXTERIOR MATERIALS FROM DIRT MIGRATION DURING RAIN @ PERIMETER (STRAW, DRAINAGE MATTING, ETC).

DRAWING NUMBER
A-201



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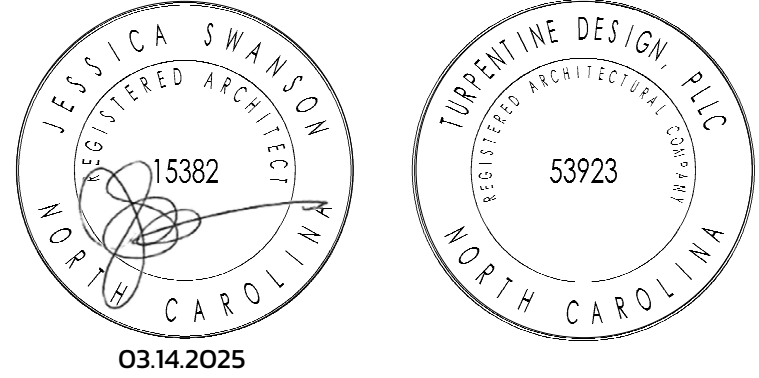
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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

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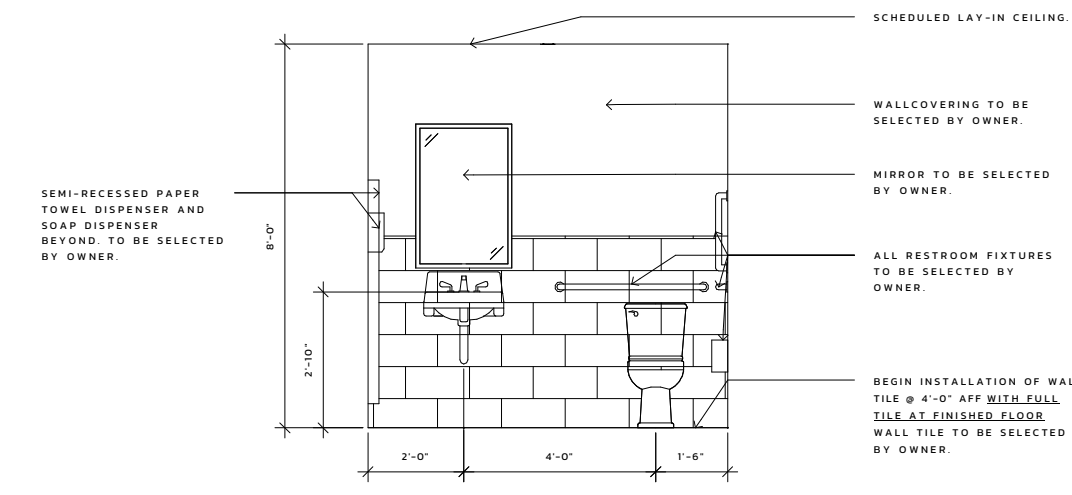
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| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

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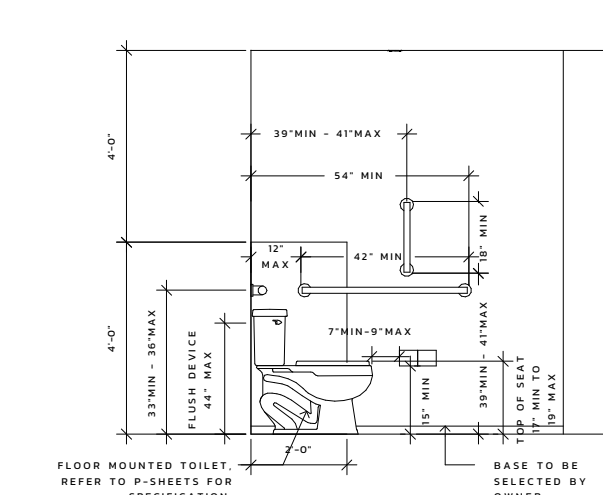
INTERIOR ELEVATIONS

DRAWING NUMBER

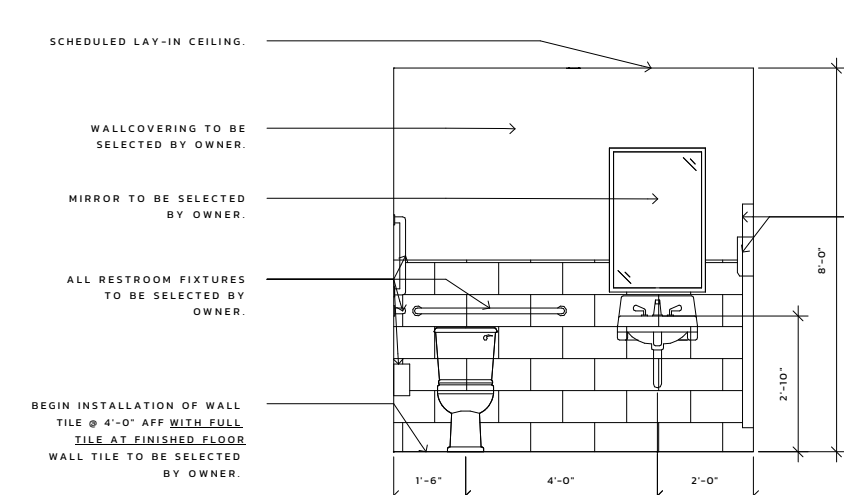
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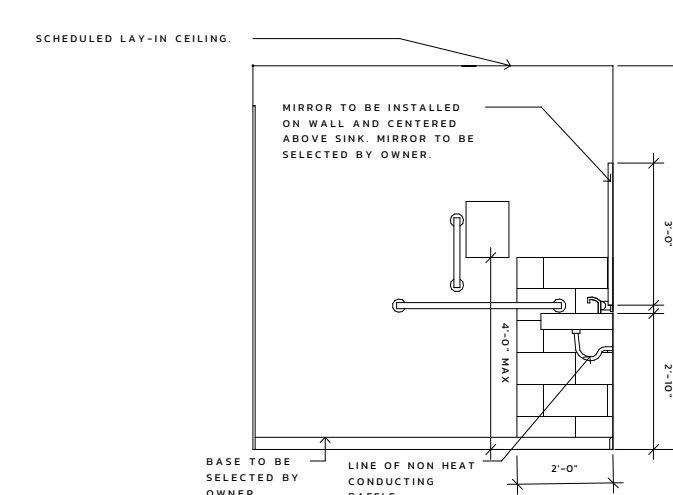
1 101.2 ELEVATION - NORTH BATHROOM
1/4" = 1'-0"



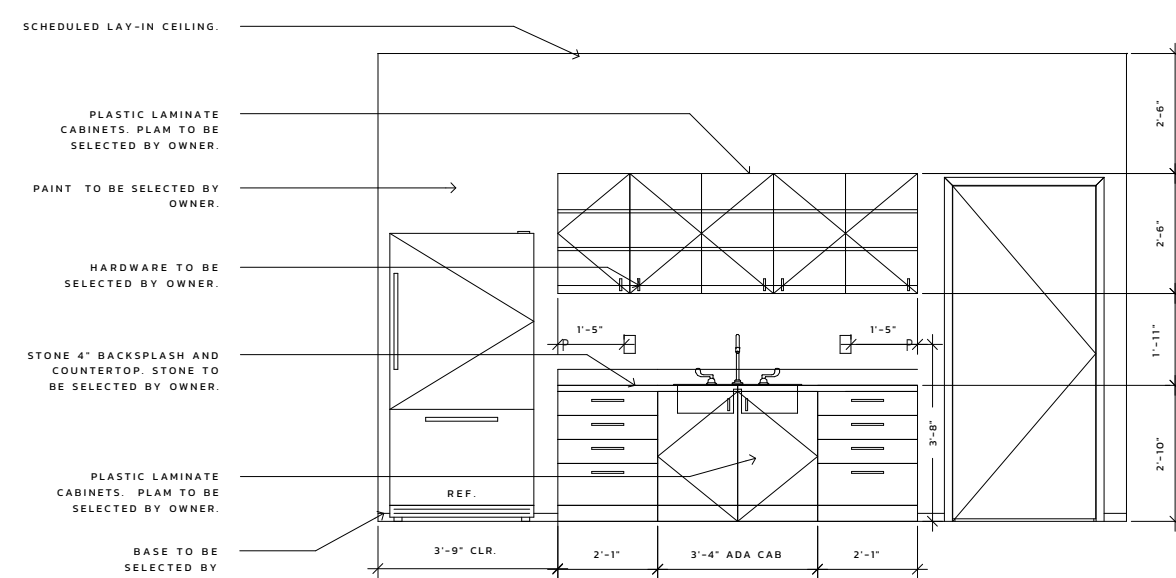
2 101.2 ELEVATION - EAST BATHROOM Copy 1
1/4" = 1'-0"



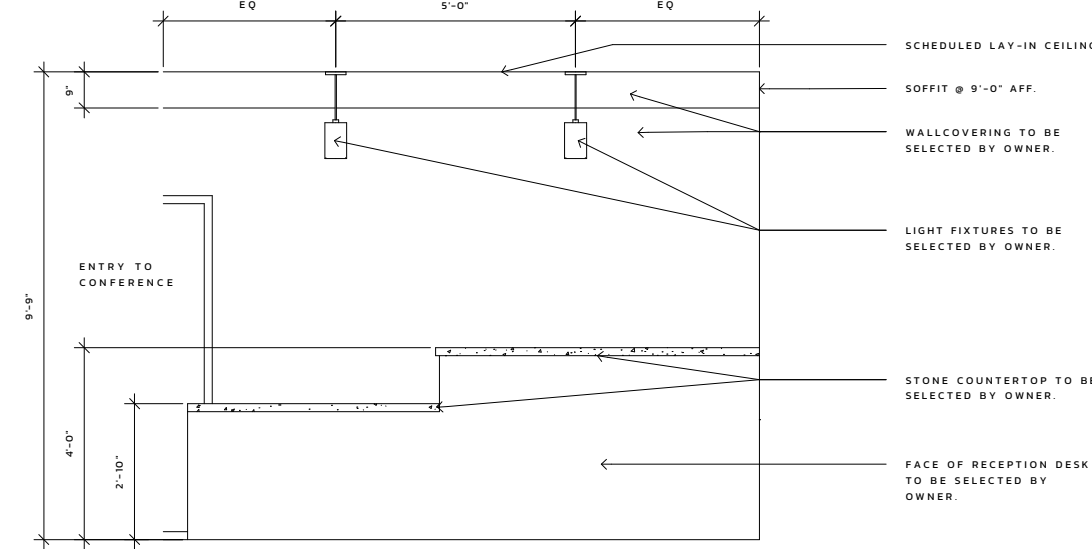
3 101.3 ELEVATION - NORTH BATHROOM
1/4" = 1'-0"



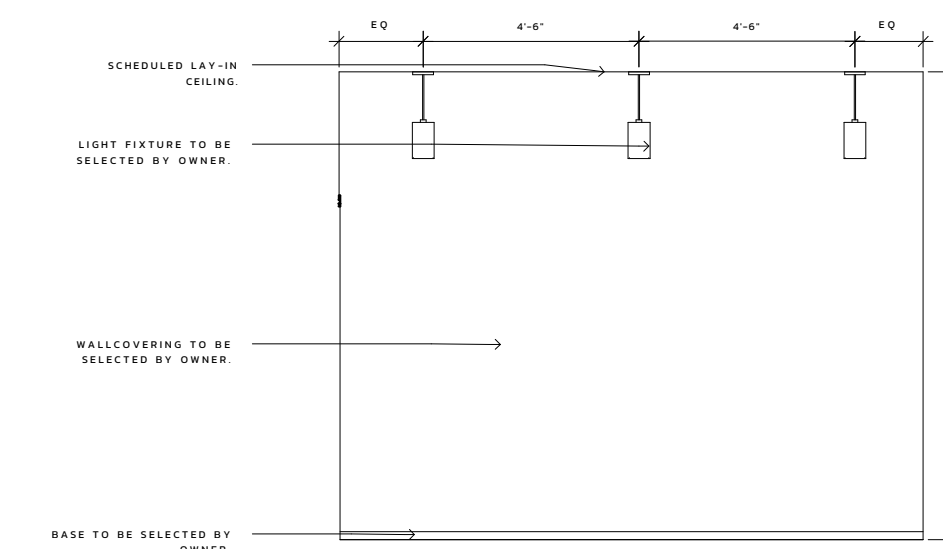
4 101.3 ELEVATION - EAST BATHROOM
1/4" = 1'-0"



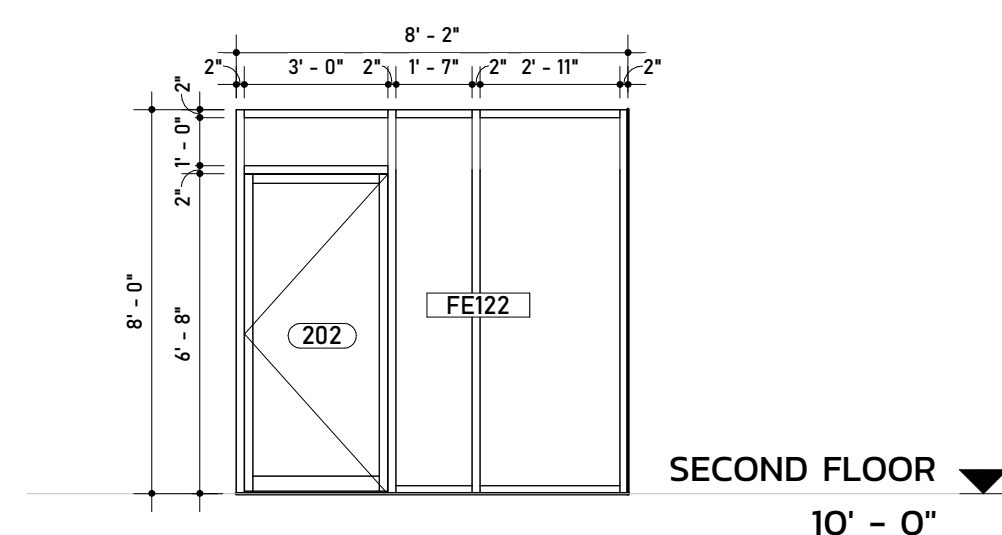
5 101 ELEVATION - SOUTH
1/4" = 1'-0"



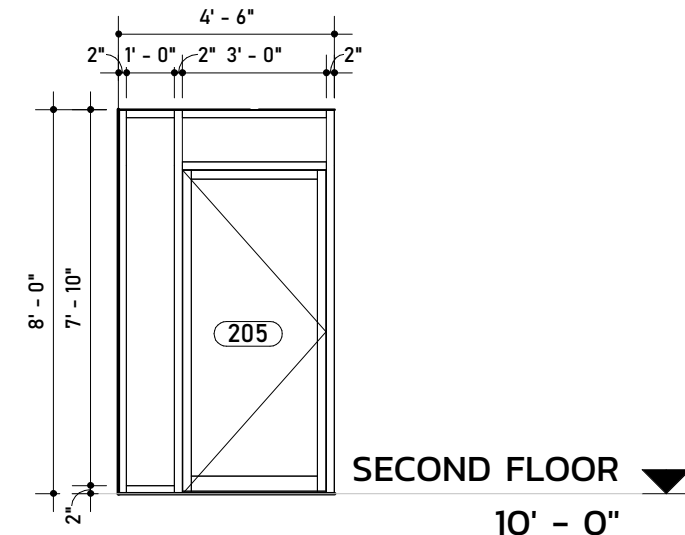
7 101 ELEVATION - RECEPTION DESK ELEVATION
1/4" = 1'-0"



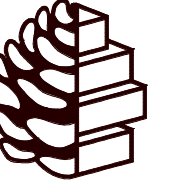
6 101 ELEVATION - WEST
1/4" = 1'-0"



8 / A-211 STOREFRONT ELEVATION 01
1/4" = 1'-0"



15 / A-211 STOREFRONT ELEV 02
1/4" = 1'-0"



TURPENTINE DESIGN

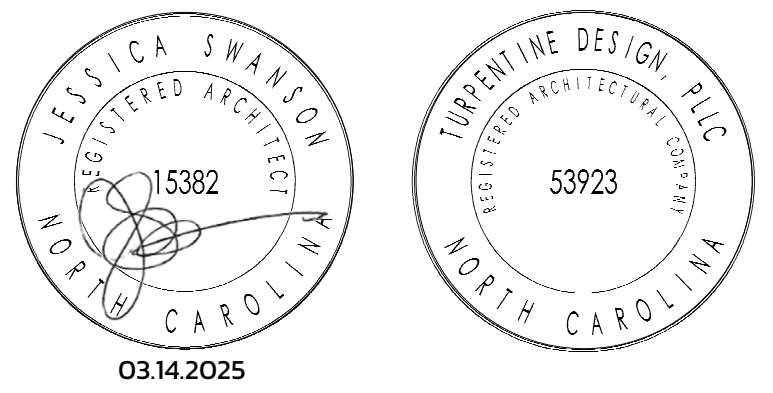
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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

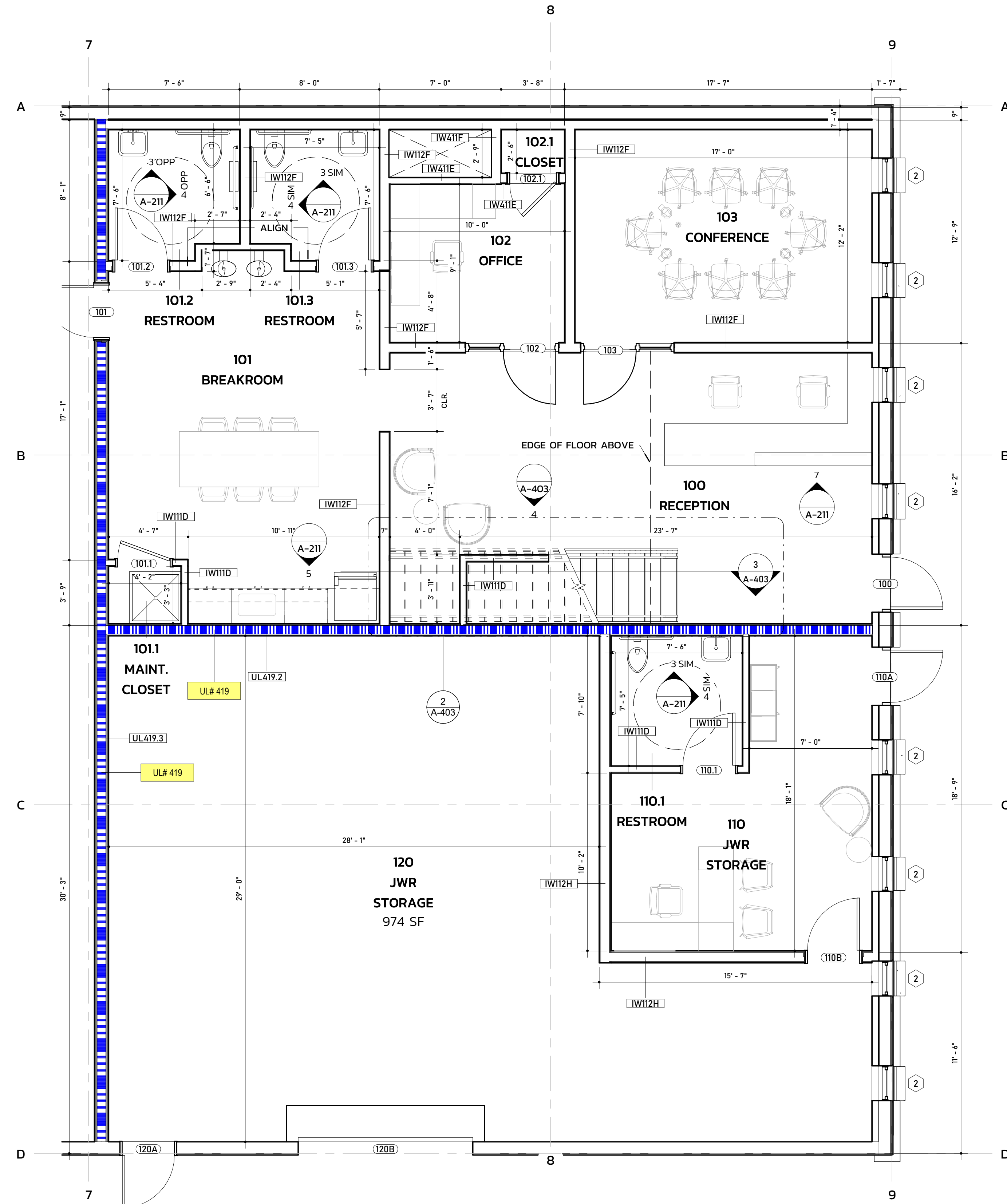
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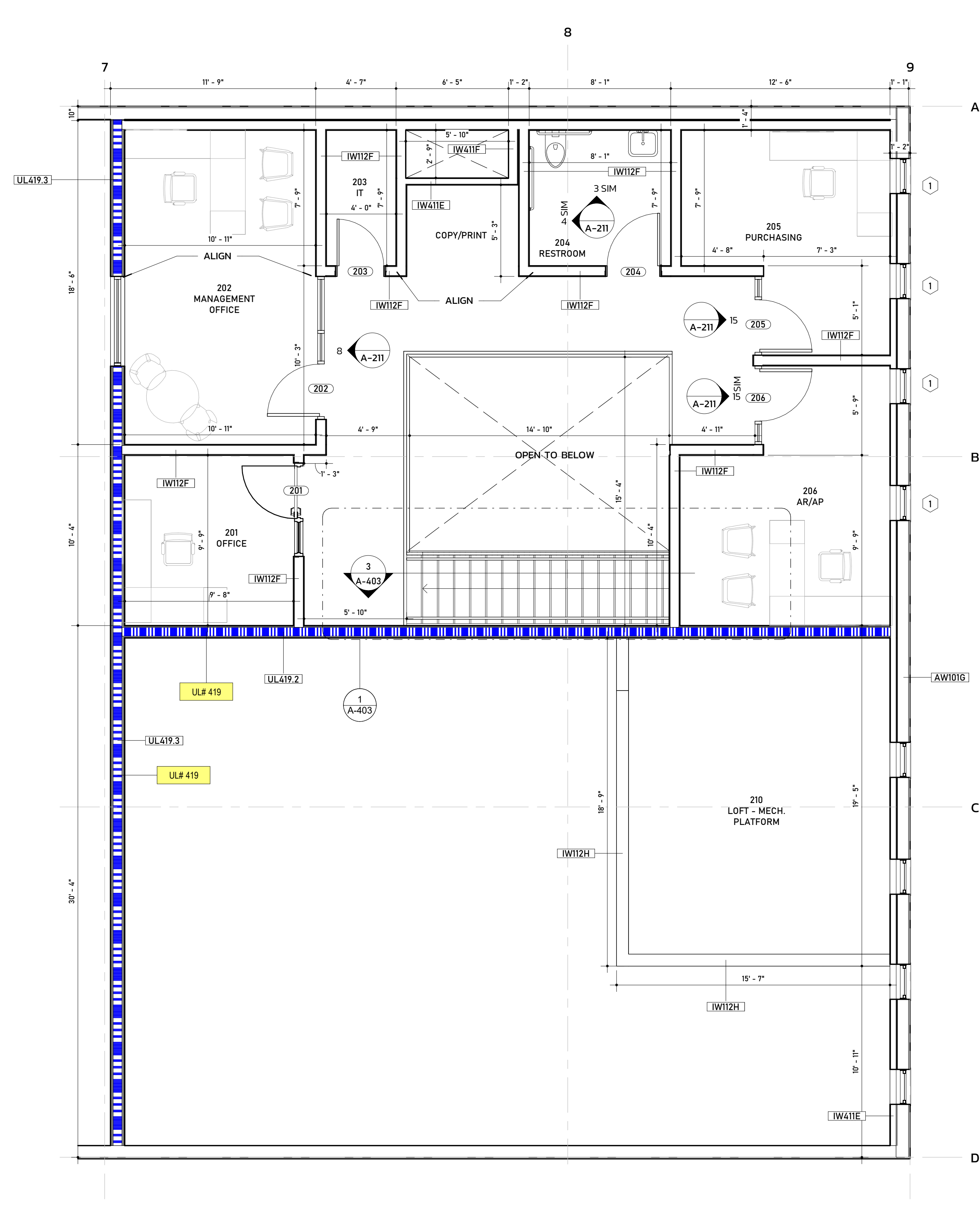
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| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE ENLARGED PLANS

DRAWING NUMBER A-401



1 / A-401 FIRST FLOOR OFFICE - ENLARGED PLAN
1/4" = 1'-0"



2 / A-401 SECOND FLOOR OFFICE - ENLARGED PLAN
1/4" = 1'-0"

GENERAL NOTES

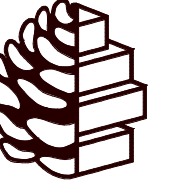
- UNO. ALL WALLS WITH SOLID HATCHING ARE NEW. EXISTING WALLS HAVE NO HATCH. 90 DEGREE SWING DOORS ARE NEW OR RELOCATED EXISTING DOORS. 45 DEGREE SWINGS INDICATE EXISTING DOORS.
- GC SHALL COMPLETELY CLEAN ENTIRE LEASED PREMISES IMMEDIATELY PRIOR TO OCCUPANCY.
- GC SHALL FAMILIARIZE THEMSELVES WITH THE PREMISES AND THE CONTRACT DRAWINGS AND SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- GC SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY ARCH. OF ANY CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS. GC AND SUBS SHALL NOT SCALE DRAWINGS.
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- GC SHALL NOTIFY ARCH. OF ANY REQUIRED MATERIALS THAT ARE NOT READILY AVAILABLE AND THAT MAY DELAY COMPLETION. THIS NOTIFICATION SHALL HAPPEN WITHIN 48 HRS. OF RELEASE.
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- UNO. ALL SURFACES TO BE PATCHED OR HOLES TO BE FILLED SHALL MATCH THE ADJACENT CONSTRUCTION AND FINISHES.
- PROVIDE FIRE-RETARDANT WOOD BLOCKING AT ALL LOCATIONS OF NEW MILLWORK, TOILET ACCESSORIES, TV MOUNTING, ETC.

RATED WALL LEGEND

- UL419.2 2 HOUR FIRE BARRIER
- UL419.3 3 HOUR FIRE BARRIER

WALL LEGEND

- IW111D 3" METAL STUD, 5/8" GYP BOTH SIDES
- IW112F 6" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION
- IW112D 3" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION
- IW112H 6" METAL STUD, 5/8" GYP, 1/2" PLYWOOD, BATT INSULATION
- IW411E 5/8" GYP, 3" FURRING WALL, 1/2" PLYWOOD, 5/8" GYP
- IW411F 5/8" GYP ONE SIDE, 6" FURRING WALL
- AW101G 8" GRT WITH 1" METAL PANEL
- AW101Z 3 5/8" MASONRY WALL, 1" AIRSPACE



TURPENTINE DESIGN

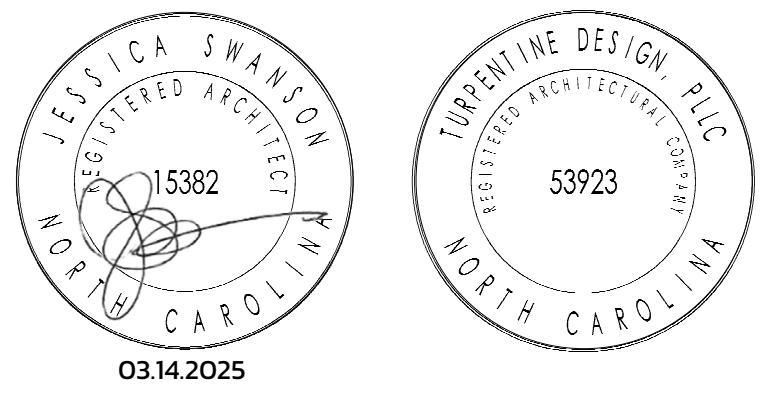
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SEALS



JWR VENTURES

NEW BUILDING

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192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

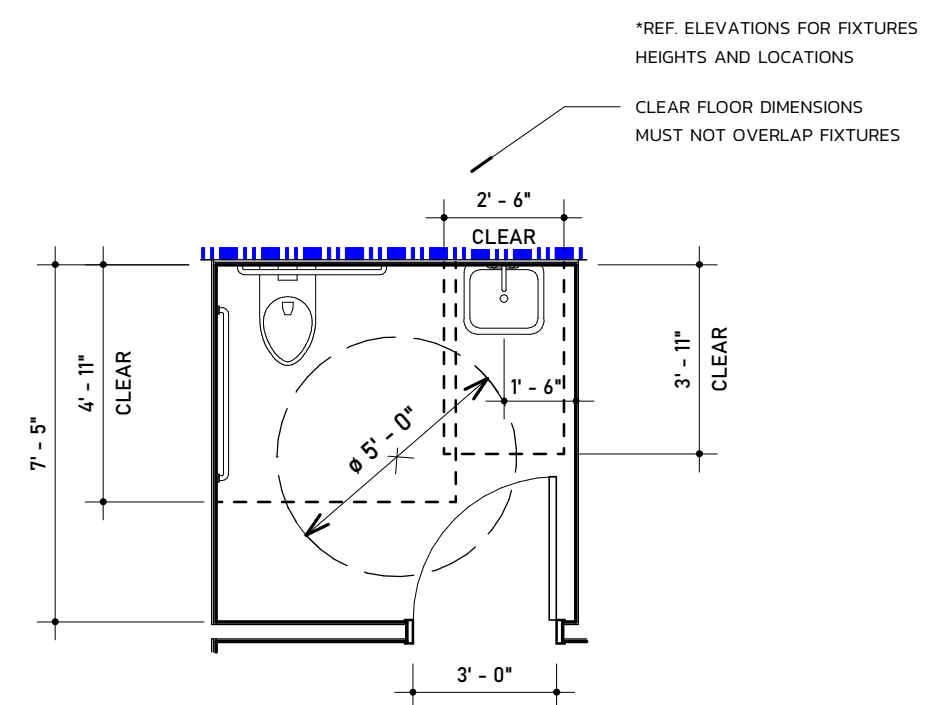
OWNER
LEE REVIS

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|--------------|------------|
| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE
ENLARGED PLANS

DRAWING NUMBER
A-402



TYPICAL RESTROOM PLAN CLEARANCES
1 / A-402 TYPICAL RESTROOM - ENLARGED PLAN
1/4" = 1'-0"

GENERAL NOTES

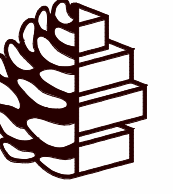
- UNO. ALL WALLS WITH SOLID HATCHING ARE NEW. EXISTING WALLS HAVE NO HATCH. 90 DEGREE SWING DOORS ARE NEW OR RELOCATED EXISTING DOORS. 45 DEGREE SWINGS INDICATE EXISTING DOORS.
- GC SHALL COMPLETELY CLEAN ENTIRE LEASED PREMISES IMMEDIATELY PRIOR TO OCCUPANCY.
- GC SHALL FAMILIARIZE THEMSELV WITH THE PREMISES AND THE CONTRACT DRAWINGS AND SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- GC SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY ARCH. OF ANY CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS. GC AND SUBS SHALL NOT SCALE DRAWINGS.
- GC SHALL COORDINATE WITH THE BUILDING OWNER OR MGMT. ON ALL MATERIAL DELIVERY AND UNLOADING, DOOR ACCESS, AND ANY DISRUPTIONS IN THE NORMAL UTILITIES.
- GC SHALL NOTIFY ARCH. OF ANY REQUIRED MATERIALS THAT ARE NOT READILY AVAILABLE AND THAT MAY DELAY COMPLETION. THIS NOTIFICATION SHALL HAPPEN WITHIN 48 HRS. OF RELEASE.
- PAINING SUBCONTRACTOR SHALL PROVIDE LOW-VOC PRIMERS AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH THE SUBSTRATES INDICATED.
- GC SHALL INSTALL AND MAINTAIN REQ'D. PROTECTIVE COVERINGS, TEMPORARY DOORS AND WALLS, DUST BARRIERS, FLOOR PROTECTION, ETC. GC SHALL KEEP ALL COMMON AREAS FREE OF DUST AND DEBRIS.
- GC SHALL MAINTAIN ALL LIFE SAFETY SYSTEMS IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING EXIT LIGHTING, SPRINKLER SYSTEMS, SMOKE DETECTION, AND EMERGENCY LIGHTING.
- GC SHALL PERFORM ALL WORK THAT CAUSES DISTURBANCES TO THE TENANT AFTER NORMAL BUSINESS HOURS - OR SHALL COORDINATE W/ OWNER WITHIN 48 HRS OF SUCH WORK.
- UNO. ON DRAWINGS, THERE SHALL BE NO SUBSTITUTIONS OF MATERIALS MADE WITHOUT WRITTEN PERMISSION FROM OWNER AND ARCHITECT.
- UNO. ALL SURFACES TO BE PATCHED OR HOLES TO BE FILLED SHALL MATCH THE ADJACENT CONSTRUCTION AND FINISHES.
- PROVIDE FIRE-RETARDANT WOOD BLOCKING AT ALL LOCATIONS OF NEW MILLWORK, TOILET ACCESSORIES, TV MOUNTING, ETC.

RATED WALL LEGEND

- UL419.2** 2 HOUR FIRE BARRIER
- UL419.3** 3 HOUR FIRE BARRIER

WALL LEGEND

- IW111D** 3" METAL STUD, 5/8" GYP BOTH SIDES
- IW112F** 6" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION
- IW112D** 3" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION
- IW112H** 6" METAL STUD, 5/8" GYP, 1/2" PLYWOOD, BATT INSULATION.
- IW411E** 5/8" GYP, 3" FURRING WALL, 1/2" PLYWOOD, 5/8" GYP
- IW411F** 5/8" GYP ONE SIDE, 6" FURRING WALL
- AW101G** 8" GRT WITH 1" METAL PANEL
- AW101Z** 3 5/8" MASONRY WALL, 1" AIRSPACE



TURPENTINE DESIGN

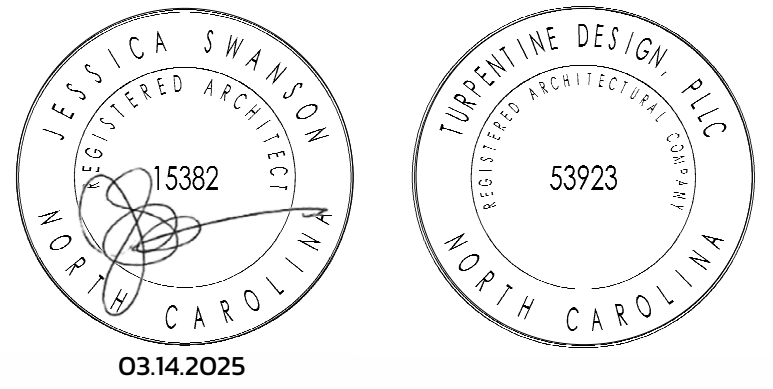
1007 Procure Street
Fuquay-Varina, NC 27526

919.412.9138
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REVISIONS

| NO. | DESCRIPTION |
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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

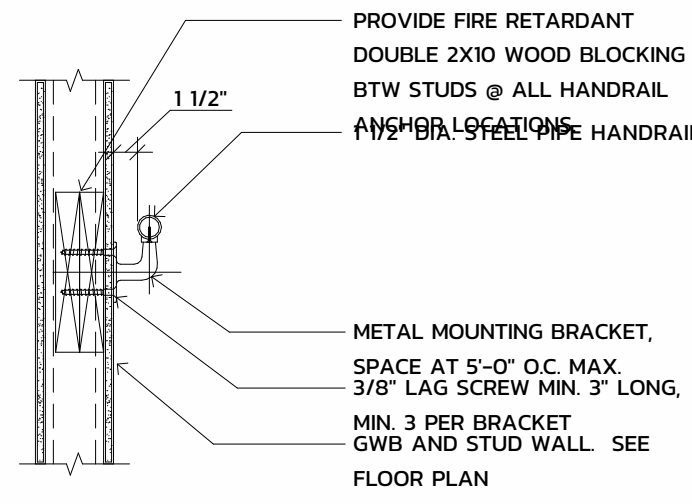
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| | |
|--------------|------------|
| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE

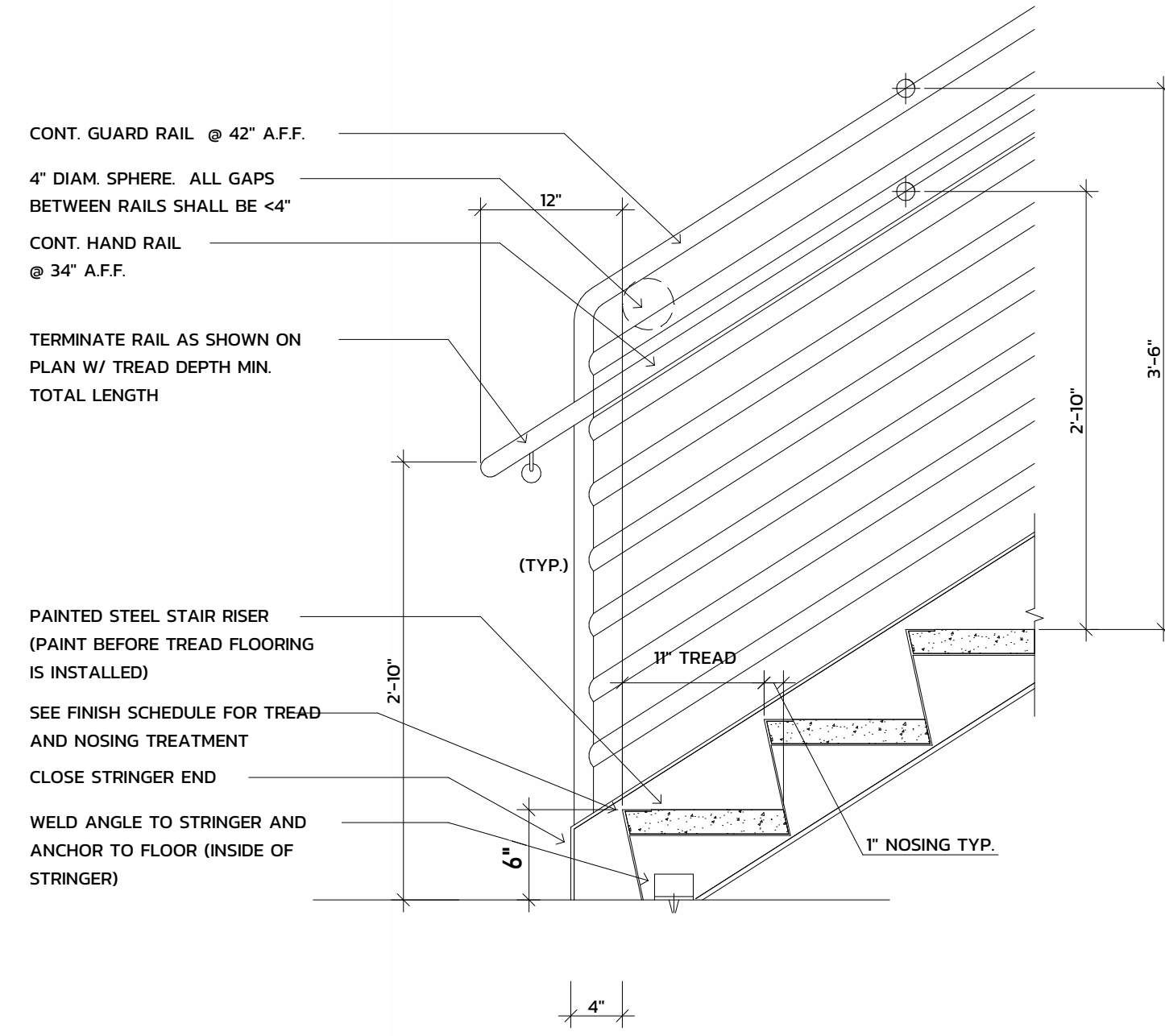
ENLARGED STAIR PLANS, SECTION, AND DETAILS

DRAWING NUMBER
A-403

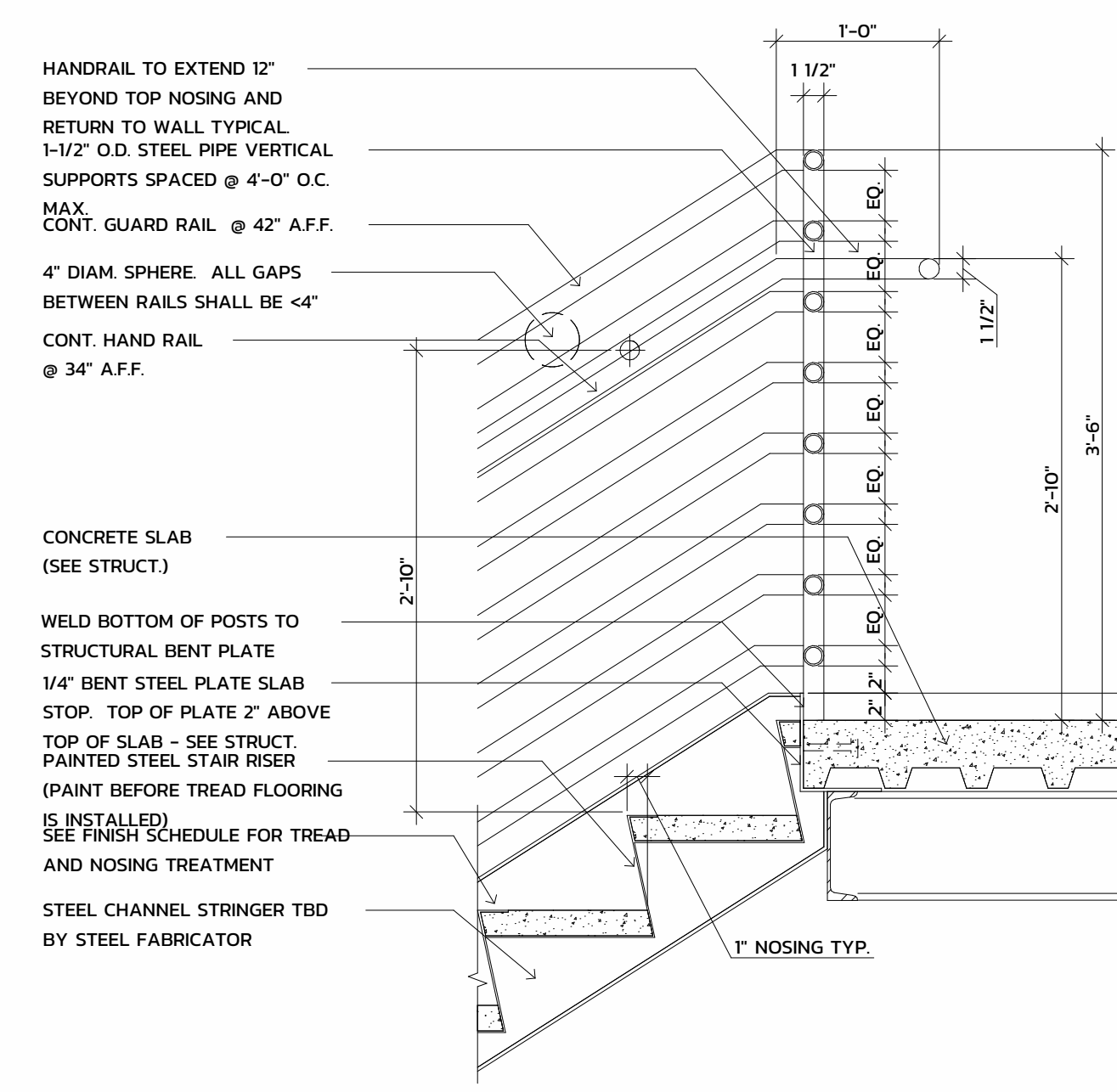


NOTE:
HAND RAILINGS SHALL NOT ROTATE IN ITS FITTINGS, WALL SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. 1/8" MIN. RAD. ON EDGES. THE RAIL SHALL BE ABLE TO RESIST A 50 P.L.F. LOAD APPLIED AT RIGHT ANGLES TO THE TOP OF THE RAIL AND A 200# POINT LOAD IN ANY DIRECTION AT ANY POINT ON THE RAIL. IF ATTACHED TO A GUARDRAIL, THE GUARDRAIL SHALL ALSO BE ABLE TO RESIST THESE LOADS (1607.7).

8 DETAIL @ HANDRAIL ATTACHMENT
1" = 1'-0"

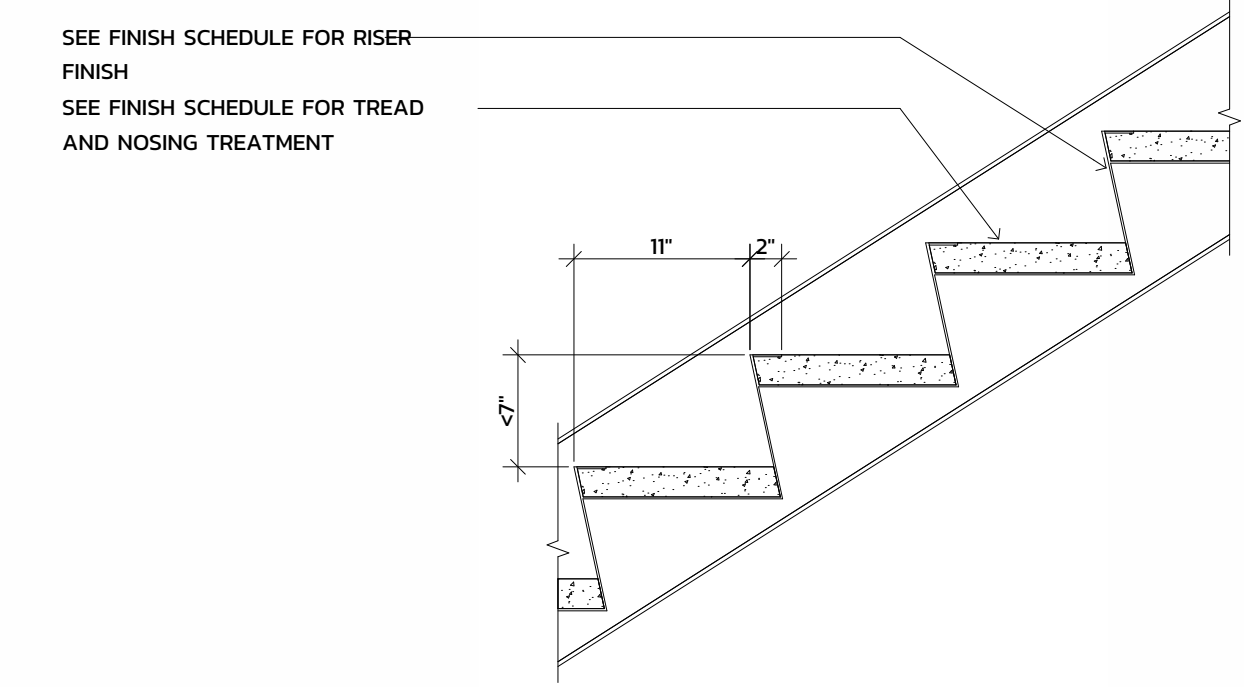


7 DETAIL @ BOTTOM LANDING
1" = 1'-0"

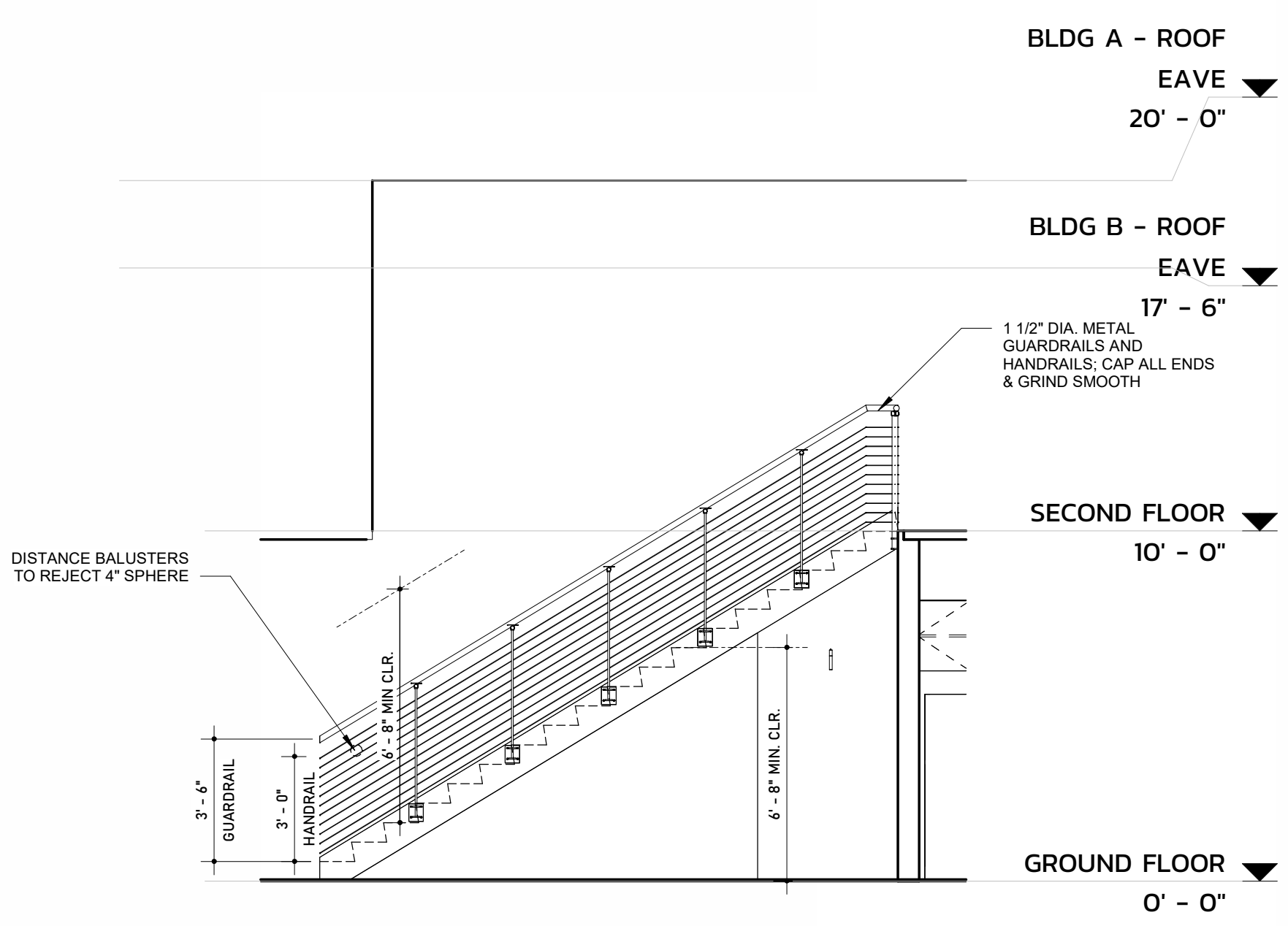


6 DETAIL @ TOP LANDING
1" = 1'-0"

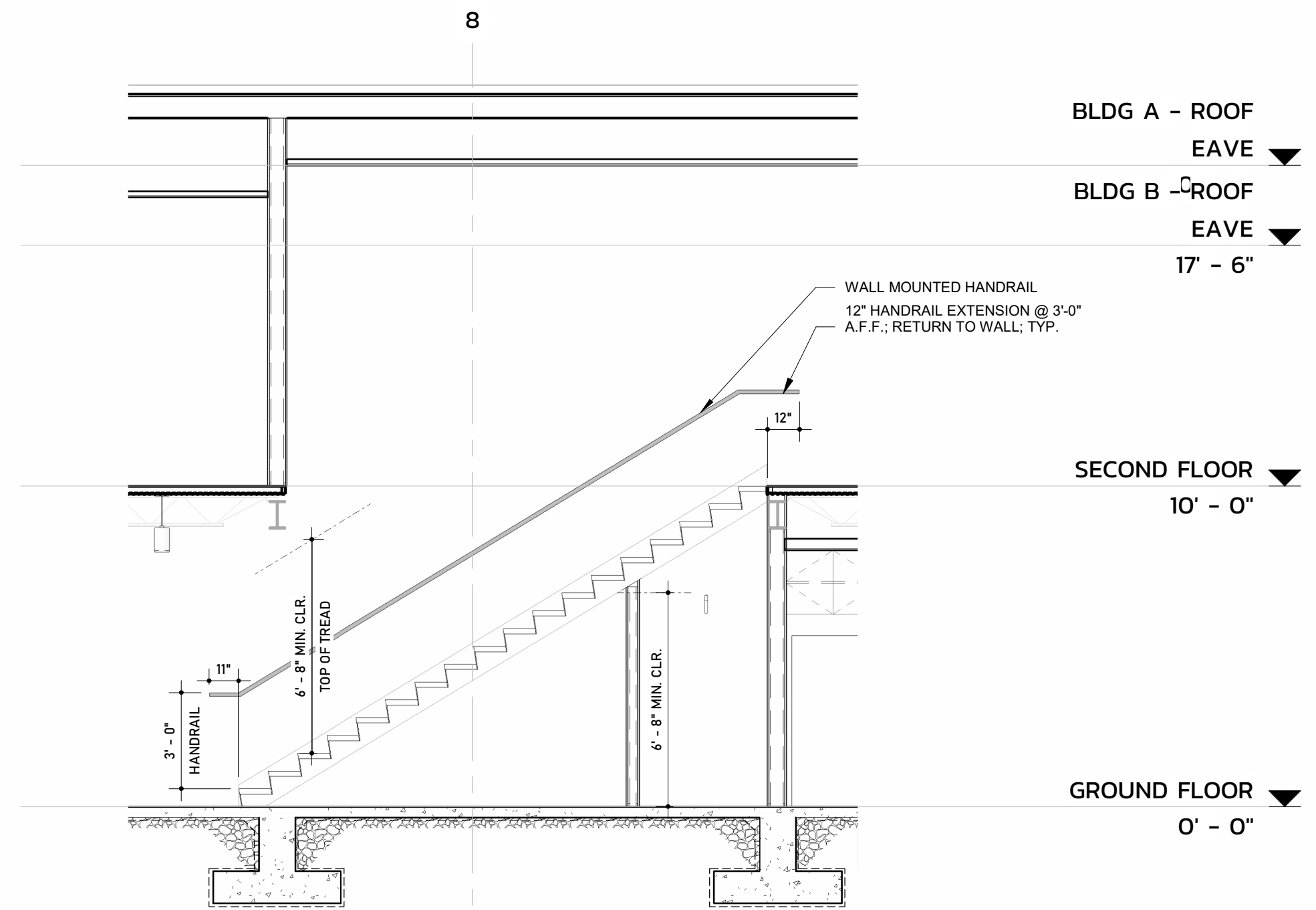
1. SEE FINISH SCHEDULE FOR COLORS AND MATERIALS USED FOR TREAD SURFACES.
2. VISUAL CONTRASTING TREADS TO BE USED ON ALL TREADS TYPICAL SEE FINISH SCHEDULE FOR MATERIAL.



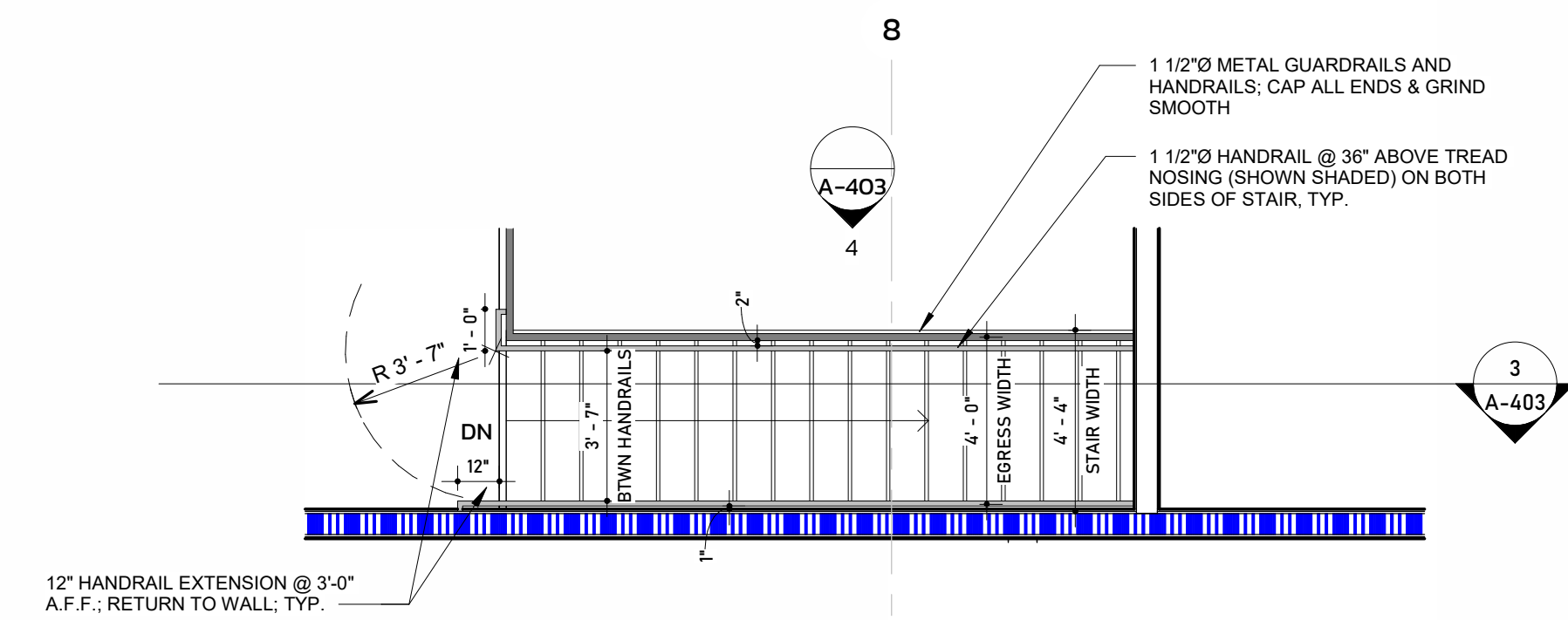
5 DETAIL @ STAIR NOSINGS & TREADS
1" = 1'-0"



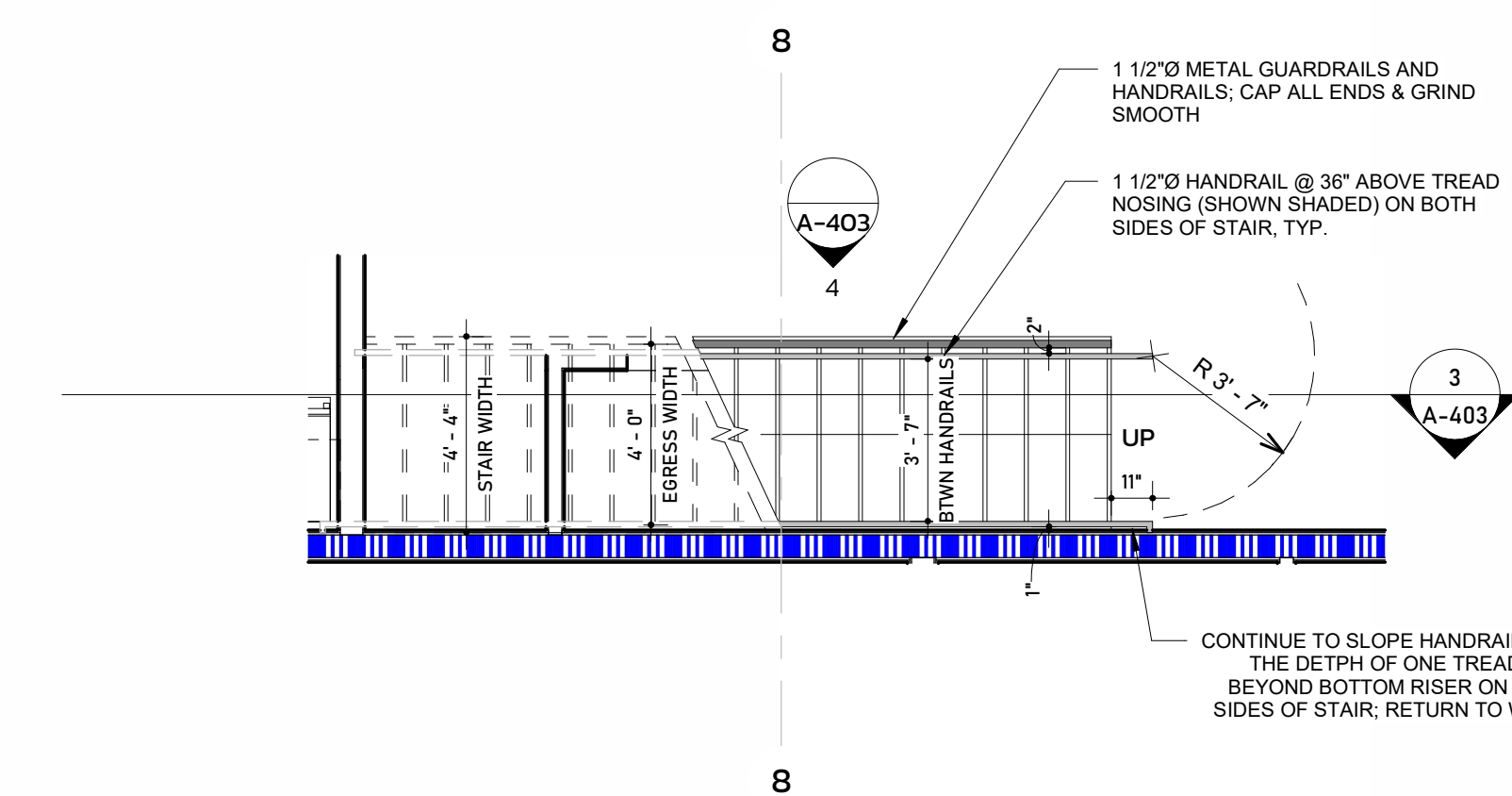
4 / A-403 STAIR 01 - ELEVATION
1/4" = 1'-0"



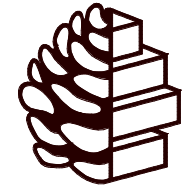
3 / A-403 STAIR SECTION
1/4" = 1'-0"



1 / A-403 ENLARGED STAIR PLAN - SECOND FLOOR
1/4" = 1'-0"



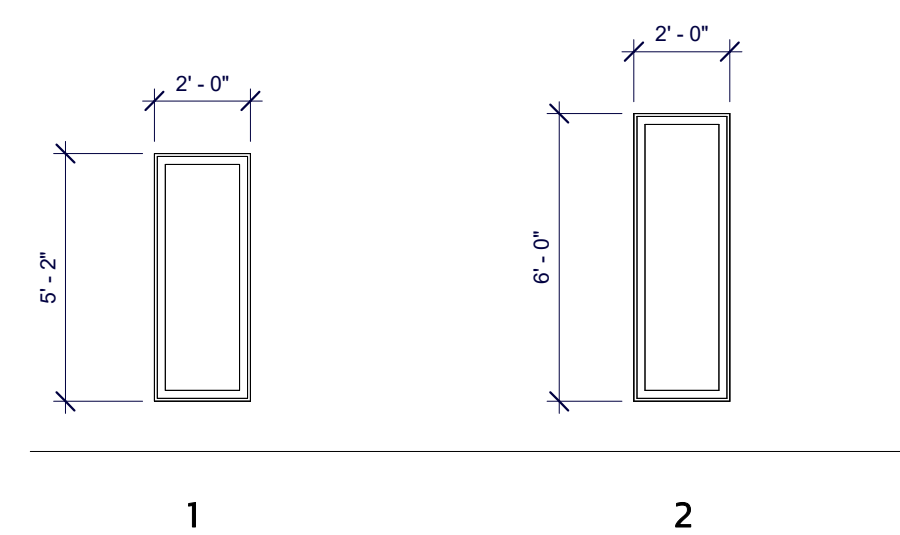
2 / A-403 ENLARGED STAIR PLAN - FIRST FLOOR
1/4" = 1'-0"



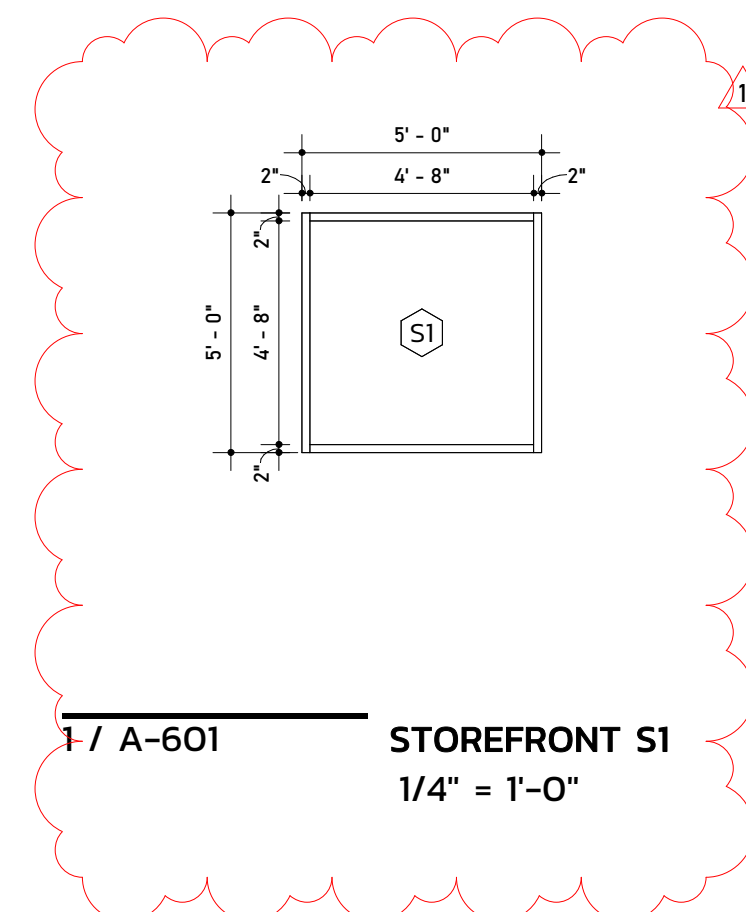
TURPENTINE DESIGN

1007 Procure Street
Fuquay-Varina, NC 27526

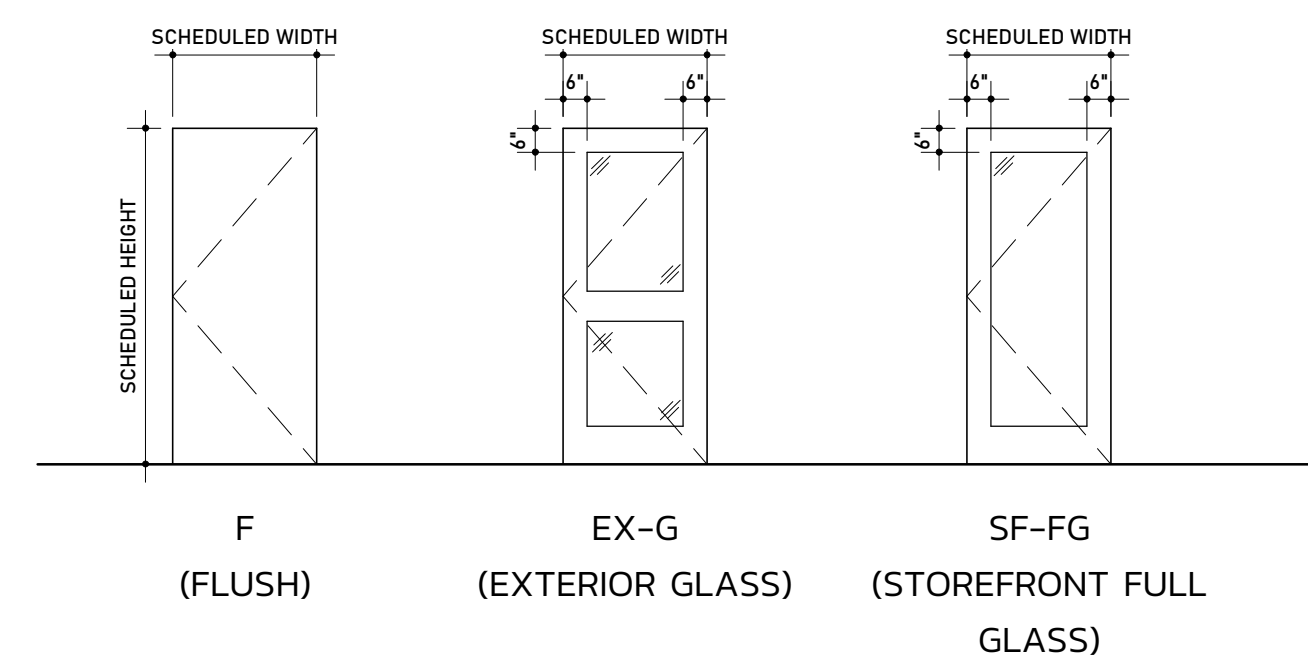
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WINDOW LEGEND
1/4" = 1'-0"

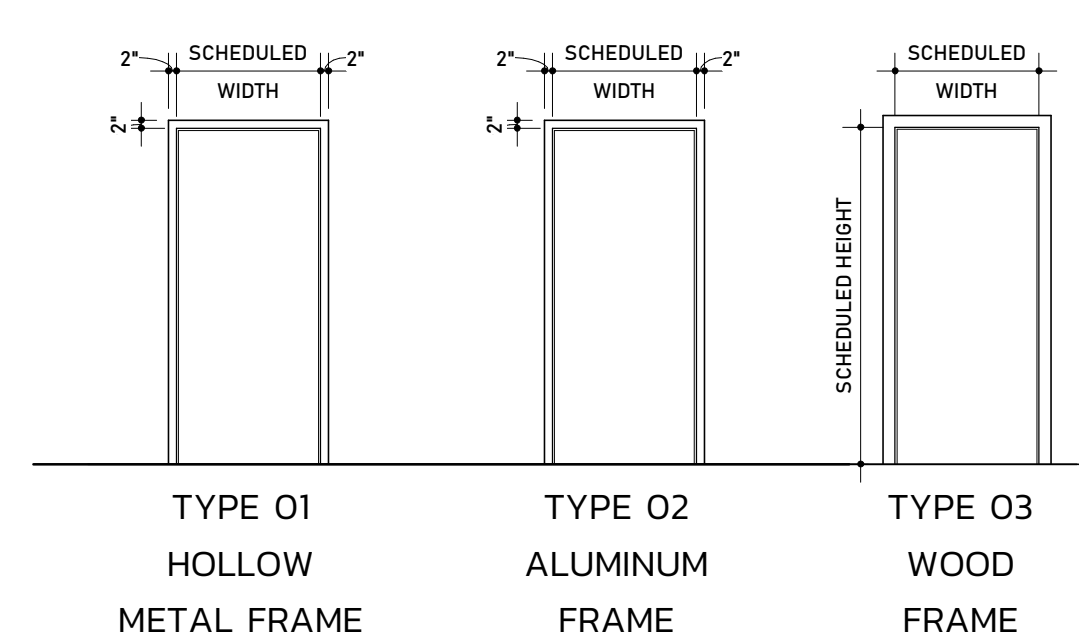


1 / A-601 STOREFRONT S1
1/4" = 1'-0"



COMMERCIAL DOOR TYPE ELEVATIONS

DOOR AND FRAME TYPES
1/4" = 1'-0"



FRAME TYPE ELEVATIONS

| DOOR SCHEDULE | | | | | | | | | |
|----------------------|-------|----------|----------|-------------|-----------|---------------|------------|---------------|---------------|
| Room Name | Mark | Size | | | Door Type | Door Material | Frame Type | Fire Rating | Type Comments |
| | | Mark | Width | Height | | | | | |
| RECEPTION | 100 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| BAY 2 | 101 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| BREAKROOM | 101.1 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| RESTROOM | 101.2 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| RESTROOM | 101.3 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| OFFICE | 102 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F-SL | HM | 01 | 24" SIDELITE | |
| CLOSET | 102.1 | 2' - 8" | 7' - 0" | 0' - 1 3/4" | F | WD | 03 | | |
| CONFERENCE | 103 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F-SL | HM | 01 | 24" SIDELITE | |
| JWR STORAGE | 110.1 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| JWR STORAGE | 110A | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| JWR STORAGE | 110B | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| JWR STORAGE | 120A | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| JWR STORAGE | 120B | 10' - 0" | 12' - 0" | 0' - 3" | - | HM | - | OVERHEAD DOOR | |
| BAY 2 | 130 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| BAY 1 | 140A | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| BAY 1 | 140B | 10' - 0" | 12' - 0" | 0' - 3" | - | HM | - | OVERHEAD DOOR | |
| BAY 1 | 140C | 10' - 0" | 12' - 0" | 0' - 3" | - | HM | - | OVERHEAD DOOR | |
| BAY 1 | 140D | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | |
| OFFICE | 201 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | 24" SIDELITE | |
| SECOND FLOOR LANDING | 202 | 3' - 0" | 6' - 8" | 0' - 2" | SF-FG | AL | 02 | STOREFRONT | |
| SECOND FLOOR LANDING | 203 | 2' - 8" | 6' - 8" | 0' - 1 3/8" | F | WD | 01 | | |
| SECOND FLOOR LANDING | 204 | 3' - 0" | 6' - 8" | 0' - 1 3/8" | F | HM | 01 | | |
| PURCHASING | 205 | 3' - 0" | 6' - 9" | 0' - 2" | SF-FG | AL | 02 | STOREFRONT | |
| SECOND FLOOR LANDING | 206 | 3' - 0" | 6' - 9" | 0' - 2" | SF-FG | AL | 02 | STOREFRONT | |

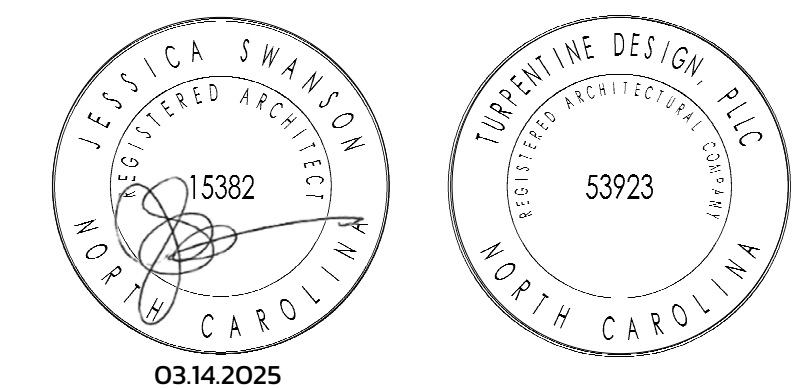
GENERAL DOOR NOTES

- ALL DOORS AND ASSOCIATED HARDWARE WITHIN SCOPE OF WORK AREA ARE TO COMPLY WITH CHAPTER 4 OF ICC ANSII 1171.
- UNO, ALL NEW DOORS INSIDE TENANT SUITE SHALL RECEIVE NEW (MANUF. IF KNOWN) CYLINDRICAL OR MORTISE LOCKSETS TO MATCH BUILDING STANDARD HARDWARE. GC TO SURVEY EXISTING HARDWARE IN FIELD AND COORDINATE WITH BUILDING OWNER. LEVER/ROSE STYLE TO MATCH BUILDING STANDARD HARDWARE (GC TO VERIFY W/ OWNER). ALL HARDWARE TO HAVE 626 (US26D) SATIN CHROME FINISH.
- GC SHALL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ALL BUILDING SYSTEM KEYPAD LOCKS PER BUILDING OWNER KEYING SYSTEM. COORDINATE EXACT REQUIREMENTS WITH BUILDING OWNER/OCCUPANT.
- PROVIDE DOOR SILENCERS TYP. AT ALL DOORS. PRE-DRILL FRAMES FOR (3) JAMB SILENCERS AND (2) HEAD SILENCERS FOR DOORS UNDER 8' TALL. PROVIDE (4) JAMB SILENCERS FOR ANY DOOR OVER 8' TALL.
- COMPLETE MANUFACTURER DOOR AND HARDWARE SCHEDULE SHALL BE PROVIDED BY GC FOR ARCHITECT REVIEW AND APPROVAL. NOTE ANY SUBSTITUTIONS OR CHANGES FROM ORIGINAL INTENT.
- ALL DOORS AND FRAMES SHALL BE PRE-MACHINED FOR FINISH HARDWARE, INCLUDING ELECTRIFIED HARDWARE.
- UNO, PROVIDE FLOOR STOPS AT ALL DOOR LOCATIONS (626 FINISH) W/ GRAY RUBBER BUMPERS. PROVIDE OVERHEAD STOPS AS SPECIFIED IN DOOR SCHEDULE.
- UNO, WHERE NEEDED, CONCEALED OVERHEAD CLOSER SHALL BE EQUAL TO DORMA RTS 88 SERIES. UNO, WHERE NEEDED, SURFACE MOUNTED CLOSERS SHALL BE EQUAL TO LCN400/410.
- ALL LOCKSETS TO BE KEYPAD MUST GO THROUGH LANDLORD'S VENDOR. GC SHALL COORDINATE WITH LANDLORD, AS REQUIRED.
- ALL EXISTING DOORS THAT WILL BE REUSED AND PAINTED MUST BE SANDED TO REMOVE THE SEAL COAT AND PRIMED BEFORE PAINTING.
- ALL SLIDING DOORS SHALL COMPLY WITH SECTION 404 OF ANSII 1171. DOOR OPENING SHALL BE MINIMUM 32" CLEAR WHEN DOOR IS IN THE OPEN POSITION, AND MAXIMUM FORCE FOR PUSHING/PULLING THE DOOR SHALL BE 5.0 POUNDS (22.2 N).

REVISIONS

| REV | DESCRIPTION | DATE |
|-----|-------------|------------|
| 1 | REV 01 | 04.10.2026 |
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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

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PHASE PERMIT SET
DATE 03.14.2025
TD PROJECT # 24-024

DRAWING TITLE
SCHEDULES

DRAWING NUMBER
A-601

GENERAL STRUCTURAL NOTES AND SPECIFICATIONS

DESIGN CRITERIA:

- DESIGNED UNDER THE PROVISIONS OF THE NORTH CAROLINA BUILDING CODE (NCBC) 2018.
- SEE PRE-ENGINEERED METAL BUILDING (PEMB) DESIGN AND CONSTRUCTION DOCUMENTS FOR DESIGN LOADS.
- DESIGN LOADS:

PEMB LIVE LOADS:

| | |
|-------------------------|----------|
| MIN. ROOF LIVE LOAD | = 20 PSF |
| COLLATERAL HANGING LOAD | = 3 PSF |

LIVE LOADS:

| | |
|-----------------------------|-------------------------------|
| OFFICE FLOOR LIVE LOAD | = 50 PSF + (15 PSF PARTITION) |
| CORRIDORS ABOVE FIRST FLOOR | = 80 PSF |
| FIRST FLOOR SLAB ON GRADE | = 100 PSF |
| STAIR LIVE LOAD | = 100 PSF |

SNOW LOADS:

| | |
|---|---|
| DESIGN GROUND SNOW LOAD, P _g | = 15 PSF |
| SNOW EXPOSURE FACTOR, C _e | = 1.0 |
| SNOW IMPORTANCE FACTOR, I _s | = 1.0 |
| THERMAL FACTOR, C _t | = 1.0 (1.2 USED FOR PARTIALLY ENCLOSED NEAR LOADING DOCK) |
| FLAT ROOF SNOW LOAD, P _f | = 10.5 PSF (12.6 PSF USED FOR PARTIALLY ENCLOSED NEAR LOADING DOCK) |
| UNIFORM DESIGN SNOW LOAD | = 15 PSF |

WIND LOAD (ULTIMATE):

| | |
|--------------------------------------|---|
| DESIGN WIND VELOCITY-V _{3S} | = 116 MPH |
| RISK CATEGORY: | = II |
| EXPOSURE: | = B |
| INTERNAL PRESSURE COEF. | = ±0.18 (±0.55 USED FOR PARTIALLY ENCLOSED NEAR LOADING DOCK) |

SEISMIC LOAD (ULTIMATE):

| | |
|------------------------------|----------------------|
| SEISMIC SITE CLASSIFICATION: | D |
| SEISMIC DESIGN CATEGORY: | B |
| RISK CATEGORY: | II |
| SEISMIC IMPORTANCE FACTOR, | I _e = 1.0 |

DESIGN EARTHQUAKE:

| | |
|-----------------|------------|
| S _s | = 17.3 % g |
| S ₁ | = 8.3 % g |
| S _d | = 18.4 % g |
| S _{d1} | = 13.3 % g |

FOR SELF-SUPPORTING 2ND FLOOR ONLY:
SEISMIC ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE WITH DYNAMIC CHARACTERISTICS
LATERAL FORCE RESISTING SYSTEM: STRUCTURAL STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE
RESPONSE MODIFICATION COEFFICIENT, R = 3
DEFLECTION AMPLIFICATION FACTOR, C_d = 3
SEISMIC RESPONSE COEFFICIENT, C_s = 0.062
SEISMIC BASE SHEAR = 5.4 KIPS ULTIMATE

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER TRADES DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL COMPARE AND VERIFY STRUCTURAL DRAWINGS AND SPECIFICATIONS w/ ARCHITECTURAL AND ALL OTHER TRADES DWGS, SPECIFICATIONS, AND REQUIREMENTS AND REPORT ANY DISCREPANCY TO THE STRUCTURAL ENGINEER AND DESIGN TEAM PRIOR TO DEMOLITION, FABRICATION, AND/OR INSTALLATION OF ANY STRUCTURAL MEMBERS.
- NO LOADS IN EXCESS OF DESIGN LOADS LISTED SHALL BE PLACED ON ANY AREA DURING CONSTRUCTION UNLESS ADEQUATE SHORING OR OTHER METHOD IS APPROVED TO SUPPORT THE EXCESSIVE LOADS. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE UNTIL PERMANENT BRACING IS COMPLETED.
- ALL NOTES ON STRUCTURAL DRAWINGS SHALL BE ASSUMED TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS OR SPECIFICATIONS.
- SECTIONS AND DETAILS ARE TO BE USED IN ALL SIMILAR LOCATIONS UNLESS OTHERWISE SHOWN BY OTHER DETAILS AND/OR SECTIONS.
- SEE ARCHITECTURAL DRAWINGS FOR WEATHERPROOFING DETAILS.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION OF CONSTRUCTION OF THE PROJECT AND THEN, ONLY TO SUPPORT THE DESIGN LOADS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION AND FOR THE ADEQUACY OF THE STRUCTURE TO SUPPORT LOADS OCCURRING DURING CONSTRUCTION. FURNISH ALL TEMPORARY BRACING, SHORING, AND/OR SUPPORT AS REQUIRED.
- CHECK ALL DIMENSIONS AGAINST THE REQUIREMENTS OF OTHER CONTRACT DOCUMENTS. RESOLVE APPARENT INCONSISTENCIES IN THE CONTRACT DOCUMENTS WITH THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH WORK.
- PROMPTLY NOTIFY THE ENGINEER OF ANY STRUCTURAL MEMBER CALLED OUT ON THE ARCHITECTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS THAT IS NOT IDENTIFIED ON THE STRUCTURAL DRAWINGS. DESIGN OF THESE MEMBERS WILL BE PROVIDED AS NECESSARY BY THE STRUCTURAL ENGINEER UPON NOTIFICATION.
- WHERE CONFLICT EXISTS AMONG THE VARIOUS PARTS OF THE ENTIRETY OF THE STRUCTURAL SUBMITTAL (CONTRACT DOCUMENTS, STRUCTURAL DRAWINGS, GENERAL NOTES, SPECIFICATIONS, SECTIONS, ETC.) THE STRICTEST REQUIREMENTS, AS INDICATED BY THE STRUCTURAL ENGINEER, SHALL GOVERN, U.N.O.

PRE-ENGINEERED METAL BUILDING SYSTEM NOTES:

- PRE-ENGINEERED METAL BUILDING SYSTEM TO BE DESIGNED AND FABRICATED TO MEET THE INDICATED LOAD REQUIREMENTS IN ADDITION TO DEAD LOAD OF STRUCTURE AND BUILDING COMPONENTS. COORDINATE WITH MECHANICAL CONTRACTOR FOR LOCATIONS, SIZES, AND WEIGHTS OF ANY MECHANICAL EQUIPMENT TO BE SUPPORTED BY PEMB FRAMING. ENSURE THAT DEFLECTIONS OF METAL BUILDING STRUCTURAL ELEMENTS DO NOT INHIBIT THE PERFORMANCE OF SUPPORTED ROOF AND EQUIPMENT.
- METAL BUILDING FABRICATOR SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN NORTH CAROLINA TO THE A/E OF RECORD FOR APPROVAL BEFORE FABRICATION BEGINS. SUBMITTAL SHALL INCLUDE CLEARLY TABULATED COLUMN BASE REACTIONS.
- CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS ON PLAN AND ALL COORDINATION WITH ARCHITECTURAL/CIVIL/PRE-ENGINEERED METAL BUILDING REQUIREMENTS.
- ANCHOR BOLTS SHALL BE IN CONFORMANCE WITH ASTM F1554, GRADE 36 STANDARD.
- PRIOR TO CONCRETE PLACEMENT, CONTRACTOR SHALL CONFIRM THAT FOUNDATION REACTIONS FROM METAL BUILDING SUPPLIED DO NOT EXCEED DESIGN VALUES OF FOUNDATIONS SHOWN ON PROJECT DRAWINGS. SOME ADJUSTMENT OF FOUNDATIONS MAY BE NECESSARY IF METAL BUILDING REACTIONS EXCEED DESIGN VALUES.
- FOUNDATION DESIGN ASSUMES PINNED BASE COLUMNS, UNLESS NOTED OTHERWISE. CONFIRM THIS CONDITION MATCHES METAL BUILDING FRAME REACTIONS.

SPECIAL INSPECTIONS:

- SPECIAL INSPECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 17 OF THE 2018 NORTH CAROLINA BUILDING CODE. AN APPROVED SPECIAL INSPECTION AGENCY SHALL BE PROVIDED BY THE OWNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL INSPECTION PROCEDURES WITH THE OWNER AND THE OWNER'S AGENT. A FINAL REPORT OF INSPECTIONS DOCUMENTING COMPLETION OF ALL WORK SHALL BE SUBMITTED TO THE CODE OFFICIAL.
- SPECIAL INSPECTIONS FOR STRUCTURAL STEEL FRAMING SHALL MEET REQUIREMENTS OF SECTIONS 1705.2 AND TABLE 1705.2.3.
- SPECIAL INSPECTIONS FOR CONCRETE CONSTRUCTION SHALL MEET REQUIREMENTS OF SECTION 1705.3 AND TABLE 1705.3.
- SPECIAL INSPECTIONS FOR SOILS SHALL MEET REQUIREMENTS OF SECTION 1705.6 AND TABLE 1705.6.
- SPECIAL INSPECTIONS FOR STRUCTURAL FABRICATED ITEMS SHALL MEET REQUIREMENTS OF SECTION 1705.10.

SUBMITTALS FOR APPROVAL:

COLD - FORMED STEEL FRAMING:

- PRODUCT DATA:** FOR EACH TYPE OF PRODUCT.
- SHOP DRAWINGS:**
 - INCLUDE LAYOUT, SPACINGS, SIZES, THICKNESS, AND TYPES OF COLD-FORMED STEEL FRAMING; FABRICATION; AND FASTENING AND ANCHORAGE DETAILS, INCLUDING MECHANICAL FASTENERS.
 - INDICATE REINFORCING CHANNELS, OPENING FRAMING, SUPPLEMENTAL FRAMING, STRAPPING, BRACING, BRIDGING, SPLICES, ACCESSORIES, CONNECTION DETAILS, AND ATTACHMENT TO ADJOINING WORK.
 - CALCULATIONS SHALL BE PREPARED, SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

CONCRETE:

- PRODUCT DATA:** FOR EACH TYPE OF PRODUCT.
- DESIGN MIXTURES:** FOR EACH CONCRETE MIXTURE.
- STEEL REINFORCEMENT SHOP DRAWINGS:** PLACING DRAWINGS THAT DETAIL FABRICATION, BENDING, AND PLACEMENT.

STRUCTURAL STEEL:

- PRODUCT DATA:** FOR EACH TYPE OF PRODUCT.
- SHOP DRAWINGS:** SHOW FABRICATION OF STRUCTURAL STEEL COMPONENTS.

STEEL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS DETAILING FABRICATION OF STRUCTURAL STEEL COMPONENTS FOR APPROVAL WITH PLACEMENT DRAWINGS, AND CONNECTION DETAILS. CONNECTION CALCULATIONS SHALL BE PREPARED FOR MOMENT CONNECTIONS, AND NON-STANDARD ATYPICAL CONNECTIONS NOT DETAILED IN DRAWINGS. CALCULATIONS TO BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF VIRGINIA.

STEEL STAIR:

- PRODUCT DATA:** FOR METAL GRATING STAIRS.
- SHOP DRAWINGS:** INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS FOR ALL STAIR COMPONENTS (INCLUDING BUT NOT LIMITED TO: STAIR STRINGERS, GRATING, TREADS AND OTHER MANUFACTURED ITEMS) AND RAILING / POST COMPONENTS.
- DELEGATED-DESIGN SUBMITTAL:** FOR STAIRS, INCLUDING ANALYSIS DATA SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

STEEL RAILINGS:

- PRODUCT DATA:** FOR THE FOLLOWING:
 - MANUFACTURER'S PRODUCT LINES OF MECHANICALLY CONNECTED RAILINGS.
 - RAILING BRACKETS.
 - GROUT, ANCHORING CEMENT, AND PAINT PRODUCTS.
- SHOP DRAWINGS:** INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK.
- DELEGATED-DESIGN SUBMITTAL:** FOR RAILINGS, INCLUDING ANALYSIS DATA SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

STEEL JOIST FRAMING:

- PRODUCT DATA:** FOR EACH TYPE OF JOIST, ACCESSORY, AND PRODUCT.
- SHOP DRAWINGS:**
 - INCLUDE LAYOUT, DESIGNATION, NUMBER, TYPE, LOCATION, AND SPACING OF JOISTS.
 - INCLUDE JOINING AND ANCHORAGE DETAILS; BRACING, BRIDGING, AND JOIST ACCESSORIES; SPLICE AND CONNECTION LOCATIONS AND DETAILS; AND ATTACHMENTS TO OTHER CONSTRUCTION.

STEEL DECKING:

- PRODUCT DATA:** FOR EACH TYPE OF DECK, ACCESSORY, AND PRODUCT INDICATED.
- SHOP DRAWINGS:**
 - INCLUDE LAYOUT AND TYPES OF DECK PANELS, ANCHORAGE DETAILS, REINFORCING CHANNELS, PANS, CUT DECK OPENINGS, SPECIAL JOINING, ACCESSORIES, AND ATTACHMENTS TO OTHER CONSTRUCTION.

PRE-ENGINEERED METAL BUILDING:

- PRODUCT DATA:** FOR EACH TYPE OF METAL BUILDING SYSTEM COMPONENT.
- SHOP DRAWINGS:** INDICATE COMPONENTS BY OTHERS. INCLUDE FULL BUILDING PLAN, ELEVATIONS, SECTIONS, DETAILS AND ATTACHMENTS TO OTHER WORK.
- SAMPLES:** FOR UNITS WITH FACTORY-APPLIED FINISHES.
- DELEGATED-DESIGN SUBMITTAL:** FOR METAL BUILDING SYSTEMS.
 - INCLUDE ANALYSIS DATA INDICATING COMPLIANCE WITH PERFORMANCE REQUIREMENTS AND DESIGN DATA SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

DIVISION 3:

CONCRETE NOTES:

- ALL DETAILING, FABRICATION, AND PLACEMENT OF REINFORCING STEEL, FORM WORK, MIXING, HANDLING, PLACING, FINISHING, AND CURING OF CONCRETE SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI-315) AND ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI-318).
- CONCRETE SHALL CONFORM TO ASTM C94. MINIMUM STRENGTH AT 28 DAYS SHALL BE 3000 PSI FOR FOOTING CONCRETE AND 4000 PSI FOR ALL OTHER CONCRETE. FOR CONCRETE OTHER THAN SLABS ON GRADE, MAXIMUM WATER-TO-CEMENT RATIO SHALL BE 0.60 WITH MAXIMUM SLUMP OF 4 INCHES. MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE 3/4 INCH, AND ALL AGGREGATES SHALL CONFORM TO ASTM C533.
- ELEVATED CONCRETE SLABS SHALL HAVE FF = 25, MINIMUM. CONCRETE SLABS ON GRADE SHALL BE FINISHED TO THE FOLLOWING TOLERANCES:

| | | |
|--------------------|-------|-------|
| | FF=25 | FL=20 |
| MINIMUM LOCALIZED: | FF=15 | FL=10 |
- EXTERIOR CONCRETE SHALL BE AIR ENTRAINED, AIR CONTENT TO BE BETWEEN 5 AND 7 PERCENT BY VOLUME.
- ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615 (S1), NEW BILLET STEEL DEFORMED BARS, GRADE 60. UNLESS NOTED OTHERWISE, ALL REINFORCING BAR SPLICES SHALL BE ACI CLASS B TENSION LAP SPLICES, U.N.O. WELDED WIRE FABRIC (W.W.F.) SHALL MEET ASTM A1064. MINIMUM W.W.F. LAP AT SPLICES SHALL BE 8 INCHES.
- THE FOLLOWING CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT NEAREST THE DESCRIBED SURFACE, UNLESS NOTED OTHERWISE:

| | |
|--|---|
| CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: | 3 INCHES |
| CONCRETE EXPOSED TO EARTH OR WEATHER: | #6 OR LARGER BARS: 2 IN. #5 OR SMALLER BARS: 1-1/2 IN. |
| CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: | |
| SLABS: | #11 BAR AND SMALLER: 3/4 IN. |
- SEE S3.0 FOR CONSTRUCTION JOINTS DETAILS IN SLABS ON GRADE. W.W.F. DOES NOT EXTEND THROUGH CONSTRUCTION JOINTS IN SLABS ON GRADE.
- UNLESS NOTED OTHERWISE, SLABS ON GRADE SHALL HAVE EITHER CONSTRUCTION JOINTS OR SAW CUT JOINTS SPACED SO THE JOINTS FORM PANELS IN THE SLAB WITH NO SLAB PANEL GREATER THAN 144 SQUARE FEET NOR MORE THAN 12 FEET IN ANY ONE DIRECTION. INSTALL SAW CUT CONSTRUCTION JOINTS AS SOON AS THE SLAB IS CAPABLE OF BEING SAWN WITHOUT RAVELING, BUT IN NO CASE LATER THAN 8 HOURS AFTER FINAL FINISHING BEGINS. CONTRACTOR TO SUBMIT ONE PLAN SHOWING CONSTRUCTION AND CONTROL JOINT LAYOUT FOR ALL SLABS ON GRADE.
- INTERIOR SLAB CONCRETE SHALL RECEIVE A STEEL TROWEL FINISH. IMMEDIATELY FOLLOWING FINISHING, THE CONCRETE SHALL BE PROTECTED FROM PREMATURE OR EXCESSIVE DRYING, TEMPERATURE EXTREMES AND INJURY.
- CAST SIX CYLINDERS OF EACH CONCRETE POUR. TEST TWO CYLINDERS SEVEN DAYS AFTER CASTING AND TWO 28 DAYS AFTER CASTING. HOLD TWO CYLINDERS FOR POSSIBLE TEST UNTIL 60 DAYS AFTER CASTING. DISPOSE OF CYLINDERS IF TEST IS NOT REQUESTED. SEND REPORTS TO ARCHITECT, CONTRACTOR AND STRUCTURAL ENGINEER.

TRC ENGINEERS, INC. REVIEW

THESE PLANS HAVE BEEN SUBJECTED TO TECHNICAL AND QUALITY REVIEWS BY:

| | | |
|--------------------------------|-----------|----------|
| CHRISTOPHER G. HERNDON, PE CWI | | 03/14/25 |
| NAME: PRINTED | SIGNATURE | DATE |
| PROJECT ENGINEER | | |
| CHRISTOPHER G. HERNDON, PE CWI | | 03/14/25 |
| NAME: PRINTED | SIGNATURE | DATE |
| PROJECT MANAGER | | |
| JASON A. JUDY, PE | | 03/14/25 |
| NAME: PRINTED | SIGNATURE | DATE |
| QUALITY REVIEWER | | |

DIVISION 5:

STEEL FRAMING NOTES:

- STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL BE FABRICATED FROM ASTM A992 STEEL. HOLLOW STRUCTURAL SECTIONS (HSS) SHALL BE FABRICATED FROM ASTM A500, GRADE C STEEL. STRUCTURAL STEEL CHANNELS SHALL BE FABRICATED FROM A992 STEEL. STRUCTURAL STEEL ANGLES AND PLATES SHALL BE FABRICATED FROM ASTM A572, GRADE 50 STEEL.
- HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM F3125, GRADE A325. NUTS FOR HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A563 DH. WASHERS FOR HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM F436. ANCHOR BOLTS SHALL BE ASTM F1554. WELDS SHALL BE MADE WITH E70XX, LOW HYDROGEN ELECTRODES BY WELDERS CERTIFIED FOR THE WELDS SPECIFIED. ALL WELDS SHALL MEET AWS D1.1 STANDARDS. SLAG SHALL BE REMOVED FROM ALL STRUCTURAL WELDS.
- STRUCTURAL CONNECTIONS OF STEEL MEMBERS SHALL BE FABRICATED TO RESIST SHEAR, MOMENT, AND/OR AXIAL FORCE VALUES INDICATED ON THE PLANS OR SECTIONS UNLESS SPECIFIC CONNECTIONS ARE SCHEDULED OR DETAILED. WHERE CONNECTION VALUES ARE NOT INDICATED, CONNECTIONS SHALL BE FABRICATED TO RESIST 1/2 THE TOTAL ALLOWABLE UNIFORM LOAD CAPACITY OF THE BEAM AT THE INDICATED SPAN IN SHEAR ONLY, IN ACCORDANCE WITH THE CURRENT EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION OR SHALL BE FABRICATED TO RESIST 1/2 THE TOTAL ULTIMATE UNIFORM LOAD CAPACITY OF THE BEAM AT THE INDICATED SPAN IN SHEAR ONLY, IN ACCORDANCE WITH THE CURRENT EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION LOAD AND RESISTANCE FACTOR DESIGN (LRFD).
- ALL STEEL BEAMS SHALL BE INSTALLED WITH MILL CAMBER UP.
- HIGH STRENGTH BOLTS SHALL BE SNUG TIGHT UNLESS NOTED OTHERWISE AS SLIP-CRITICAL (S.C.) OR FULLY TIGHTENED (F.T.) ON DRAWINGS.
- ALL COLUMN CAP AND BASE PLATES SHALL BE WELDED TO COLUMNS. ALL COLUMN BASE PLATES SHALL BE SHIMMED LEVEL AND GROUTED WITH NON-SHRINK GROUT.
- STRUCTURAL STEEL STAIRS, LINTELS, AND SHELF ANGLES TO HAVE 1 SHOP COAT OF PAINT, MINIMUM 1.5 MILS DRY FILM THICKNESS.
- STAIR STRINGERS, GRATING, TREADS AND OTHER MANUFACTURED ITEMS SHALL BE DESIGNED BY FABRICATOR AND SUBMITTED TO THE A/E FOR APPROVAL.
- ALL STAIR STRINGERS, GRATINGS, TREADS AND ALUMINUM CONNECTIONS AND SUPPORTS SHALL BE DESIGNED FOR A LIVE LOAD OF 100 PSF UNIFORM LOAD OR A CONCENTRATED LIVE LOAD OF 1000 LB, WHICHEVER PRODUCES THE GREATER STRESS AND REACTIONS. THE 1000 LB LOAD SHALL BE PLACED AT ANY REASONABLE LOCATION ON THE STRUCTURE THAT PRODUCES THE GREATEST STRESS. DEFLECTION DUE TO LIVE LOAD SHALL NOT EXCEED L/480 OR 1/4".
- PROTECT STRUCTURAL STEEL ITEMS BELOW GRADE WITH MINIMUM 3 COATS OF ASPHALTIC PAINT OR 3" CLEAR COVER OF CONCRETE ENCASEMENT.
- ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED.

METAL DECK NOTES:

- ALL METAL DECK AND INSTALLATION SHALL COMPLY WITH AISI "SPECIFICATION FOR THE DESIGN OF COLD FORMED STRUCTURAL MEMBERS" AND SDI "SPECIFICATIONS AND COMMENTARY FOR STEEL ROOF DECK". ALL DECK SHALL BE MINIMUM 2-SPAN CONDITION.
- METAL FLOOR DECK MATERIALS SHALL CONFORM TO ASTM A853 GRADES 50 MIN. METAL FLOOR DECK SHALL BE VULCRAFT 9/16" THICK, 24 GAGE, OR EQUAL. DECK SHALL BE GALVANIZED (G60 U.N.O.). FASTENING: FASTEN DECK TO SUPPORTS WITH 30-4 PATTERN WELDS w/ WELDED WASHERS & AT SIDELAPS WITH (2) - #10 TEK SCREWS EQUALLY SPACED.

STEEL JOIST NOTES:

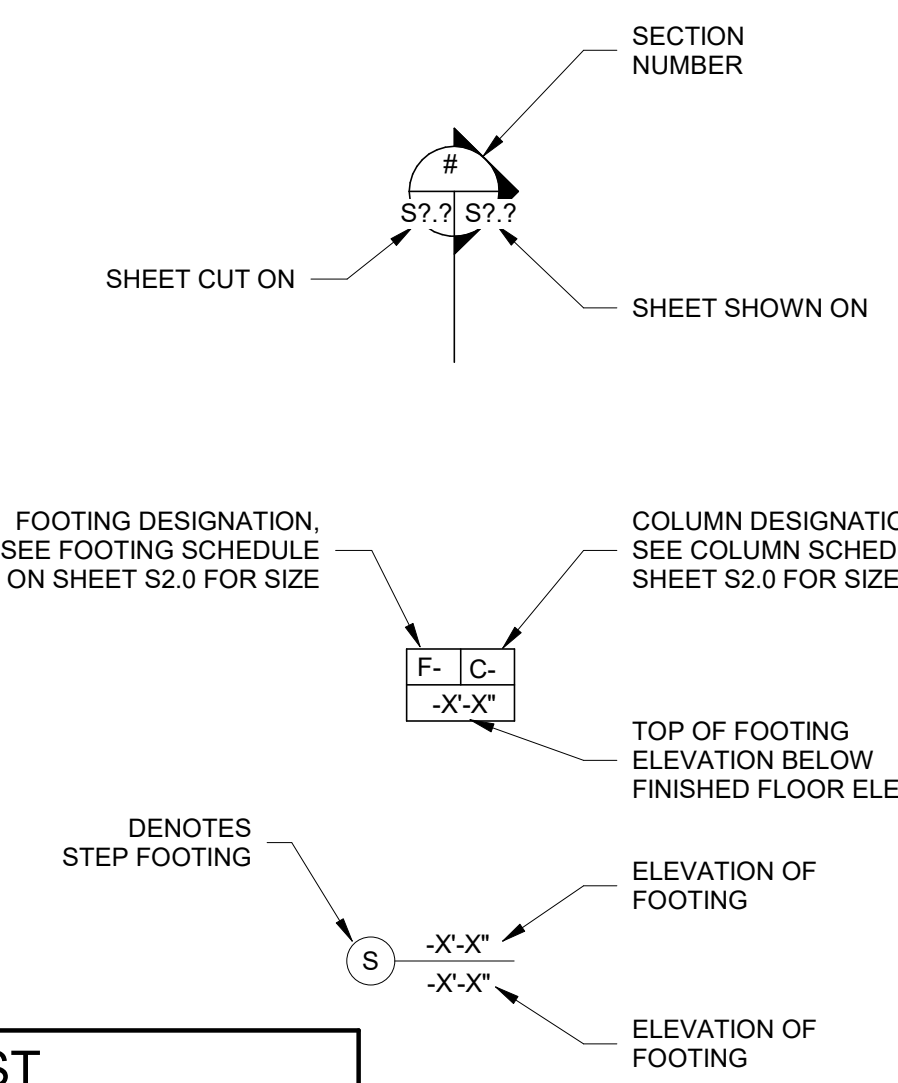
- STEEL JOISTS AND INSTALLATION SHALL COMPLY WITH THE SPECIFICATIONS AND LOAD TABLES OF THE STEEL JOIST INSTITUTE (SJI).
- JOISTS SHALL BE PAINTED, ONE STANDARD SHOP COAT.
- ADDITIONAL BRACING SHALL BE AS NOTED ON THE DRAWINGS. COORDINATE ANY SPECIAL REQUIREMENTS FOR MECHANICAL EQUIPMENT LOADS FROM ROOF TOP UNITS WITH JOIST MANUFACTURER, AND REINFORCE JOISTS AS REQUIRED FOR THE LOADS.
- JOISTS SHALL BE DESIGNED FOR A POINT LOAD OF 300 POUNDS APPLIED AT ANY POINT ALONG THE JOIST, IN ADDITION TO THE SJI TABULAR LOAD.
- JOIST BRIDGING IS NOT SHOWN BUT IS REQUIRED. PROVIDE AND INSTALL BRIDGING IN ACCORDANCE WITH SJI STANDARDS. U.N.O.
- WHERE JOIST BRIDGING IS INTERRUPTED DUE TO INTERFERENCE WITH DUCTS, ETC. INSTALL CROSS BRIDGING ADJACENT UNINTERRUPTED SPACE.
- ALL BRACING, KICKERS, AND JOIST BOTTOM CHORD EXTENSIONS SHALL BE WELDED IN PLACE AFTER ALL DEAD LOADS HAVE BEEN PLACED AT THE CONNECTED LEVEL. JOIST GIRDER BOTTOM CHORD EXTENSIONS SHALL NOT BE WELDED.

LEGEND:

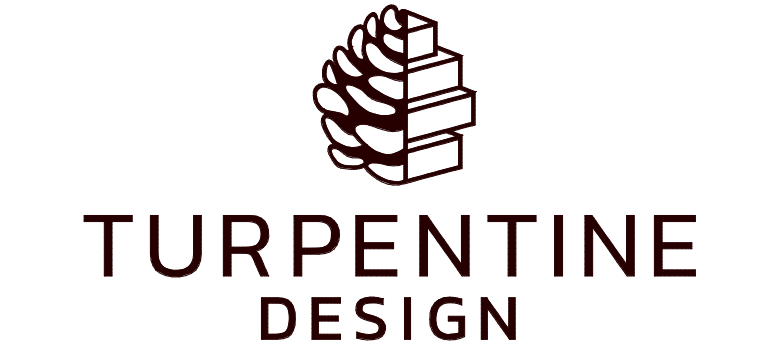
| | |
|-------------------------------|--|
| WELDED WIRE FABRIC - | |
| STEEL - | |
| CONCRETE - | |
| EARTH - | |
| POROUS FILL / GRANULAR FILL - | |
| CONCRETE MASONRY - | |
| BRICK - | |
| PLAN KEYNOTE - | |

ABBREVIATIONS:

| | |
|----------------|------------------------------------|
| ADDL - | ADDITIONAL |
| ARCH - | ARCHITECT, ARCHITECTURAL |
| B. BOT - | BOTTOM |
| BRG - | BEARING |
| CANT. - | CANTILEVER |
| CIP - | CAST IN PLACE |
| CJ - | CONSTRUCTION OR CONTROL JOINT |
| CL - | CENTERLINE |
| CLR - | CLEAR |
| CMU - | CONCRETE MASONRY UNIT(S) |
| CNTR'D - | CENTERED |
| CONC. - | CONCRETE |
| CONN. - | CONNECTION |
| CONT. - | CONTINUOUS |
| DWG - | DRAWING(S) |
| (E) / EXIST - | EXISTING |
| EA - | EACH |
| EL. ELEV. - | ELEVATION |
| EOS - | EDGE OF SLAB |
| EOP - | EDGE OF PURLIN |
| EQ - | EQUAL |
| EQUIP. - | EQUIPMENT |
| E.W. - | EACH WAY |
| EXT - | EXTERIOR |
| FDN - | FOUNDATION |
| FOC - | FACE OF CONCRETE |
| FOM - | FACE OF MASONRY |
| FTG - | FOOTING |
| GA - | GAGE / GAUGE |
| G.C. - | GENERAL CONTRACTOR |
| HORIZ - | HORIZONTAL |
| INT. - | INTERIOR |
| JBE - | JOIST BEARING ELEVATION |
| LLH - | LONG LEG HORIZONTAL |
| LSH - | LONG SIDE HORIZONTAL |
| LLV - | LONG LEG VERTICAL |
| LSV - | LONG SIDE VERTICAL |
| LW - | LONG WAY |
| MANUF. - | MANUFACTURER (S) |
| MAX - | MAXIMUM |
| MECH. - | MECHANICAL |
| MEP - | MECHANICAL, ELECTRICAL, & PLUMBING |
| MIN - | MINIMUM |
| MSC - | MISCELLANEOUS |
| N.T.S. - | NOT TO SCALE |
| OC - | ON CENTER |
| PAF - | POWDER ACTUATED FASTENER |
| PEJ - | PREFORMED EXPANSION JOINT |
| PEMB - | PRE-ENGINEERED METAL BUILDING |
| PL - | PLATE |
| REQ'D - | REQUIRED |
| REINF - | REINFORCEMENT, REINFORCING |
| SH, SHT - | SHEET |
| SJ - | SAWCUT JOINT |
| SOG - | SLAB-ON-GRADE |
| STD - | STANDARD |
| STL - | STEEL |
| STR / STRUCT - | STRUCTURAL |
| SW - | SHORT WAY |
| T - | TOP |
| THR'D - | THREADED |
| TOP - | TOP OF FOOTING |
| TOS - | TOP OF SLAB |
| T/S - | TOP OF STEEL |
| TYP - | TYPICAL |
| U.N.O. - | UNLESS NOTED OTHERWISE |
| VERT - | VERTICAL |
| W.W.F. - | WELDED WIRE FABRIC |



| DRAWING LIST | |
|--------------|-------------------------------|
| SHEET NUMBER | SHEET NAME |
| S0.1 | GENERAL NOTES |
| S0.2 | GENERAL NOTES |
| S2.0 | FOUNDATION PLAN |
| S2.1 | SECOND FLOOR FRAMING PLAN |
| S3.0 | FOUNDATION SECTIONS & DETAILS |
| S3.1 | FOUNDATION SECTIONS |
| S4.0 | FRAMING SECTIONS & DETAILS |
| S4.1 | FRAMING SECTIONS |
| S4.2 | FRAMING SECTIONS |



1007 Procure Street
Fuquay-Varina, NC 27526

919.412.9138
turpentine-design.com

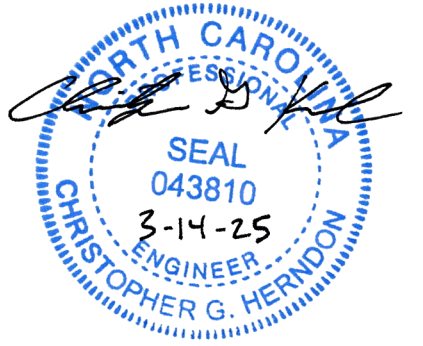


TRC ENGINEERS, INC
114 Edinburg South Drive, Suite 200
Cary, NC 27511 919-827-0864
NC Firm License # F-0591

REVISIONS

| NO. | DESCRIPTION | DATE |
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| | | |

SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER LEE REVIS

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| PHASE | PERMIT SET |
|--------------|------------|
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE

GENERAL NOTES

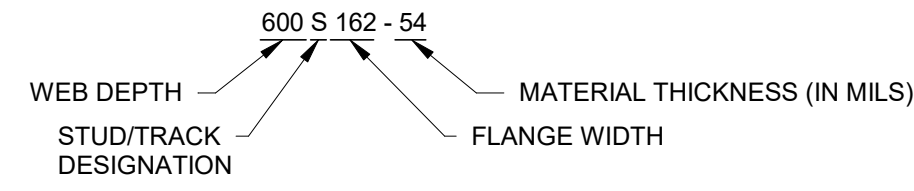
DRAWING NUMBER

S0.1

DIVISION 5 (CONT'D):

STRUCTURAL COLD FORMED METAL FRAMING NOTES:

- STUD SIZE DESIGNATION IS BASED ON THE STEEL STUD MANUFACTURERS ASSOCIATION STANDARD NOMENCLATURE. NOTATION IS AS FOLLOWS:



1 MIL = 1/1000th OF AN INCH. 43 MILS = 18 GAUGE, 54 MILS = 16 GAUGE, 68 MILS = 14 GAUGE, 97 MILS = 12 GAUGE.

- COLD FORMED STEEL STUDS, TRACK, AND BRIDGING SHALL BE FORMED FROM STEEL CONFORMING TO ASTM A653 (653M) AND SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE AISI "NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS".
- COLD FORMED STEEL STUDS AND ACCESSORIES 16 GA AND HEAVIER SHALL BE FORMED FROM STEEL HAVING A MINIMUM YIELD STRESS OF 50 KSI. ALL COLD-FORMED STEEL STUDS, TRACK, AND BRIDGING 18 GA AND LIGHTER SHALL BE FORMED FROM STEEL HAVING A MINIMUM YIELD STRESS OF 33 KSI.
- WELDS SHALL CONFORM TO THE REQUIREMENTS OF AWS D1.3 AND AISI MANUAL.
- FOR ALL NON-LOAD BEARING WALLS, UNLESS NOTED OTHERWISE, OPENINGS SHALL BE FRAMED WITH BUILT UP HEADERS USING MULTIPLE WALL STUDS AS HEADER STUDS, PROVIDING A HEADER EQUAL TO THE WIDTH OF THE WALL. ALL HEADERS CONSTRUCTED OF BUILT-UP COLD FORMED STEEL STUDS SHALL BE FABRICATED FROM UNPUNCHED MATERIAL. BEAR EACH HEADER ON A JACK STUD AT EACH END. FRAME EACH JAMB WITH A JACK STUD AND FULL HEIGHT JAMB STUDS EQUAL TO ONE-HALF OF THE NUMBER OF STUDS INTERRUPTED BY THE OPENING, PLUS ONE. ENSURE THAT JACK STUDS ARE SECURELY FASTENED TO THE SUPPORTED HEADERS, AND THAT ALL STUDS ARE SEATED AND SECURED TO BOTH TRACKS.
- AXIALLY LOADED STUDS SHALL BE SQUARELY SEATED IN BOTH TOP AND BOTTOM TRACKS. SPlicing OF AXIALLY LOADED MEMBERS IS NOT PERMITTED.
- ALL JOISTS, STUDS, AND ACCESSORIES SHALL BE OF THE TYPE, SIZE, STEEL THICKNESS, AND SPACING SHOWN ON THE CONTRACT DOCUMENTS. EXTERIOR WALL STUD ASSEMBLIES AND INTERIOR LOAD BEARING STUD WALLS SHALL HAVE CONTINUOUS BRIDGING CONNECTED TO EACH STUD AT 4'-0" O.C. (MAX). COLD-FORMED JOISTS SHALL HAVE CONTINUOUS BRIDGING CONNECTED TO EACH JOIST AT 1/3 POINTS OF THE SPAN.
- ENSURE ALL PUNCHOUTS IN STUDS ARE MINIMUM 12" FROM END OF STUD AND 12" FROM CONNECTION LOCATIONS.
- ALL SCREWED CONNECTIONS TO BE THROUGH THINNER MATERIAL INTO THICKER MATERIAL. UNLESS NOTED OTHERWISE, SPECIFIC CONNECTION REQUIREMENTS FOR COLD FORMING FRAMING ARE AS FOLLOWS:

CONDITION:

| CONDITION: | CONNECTION: |
|--|--|
| STUD TO TRACK | (2) #10-16 SCREWS, OR TWO INCHES OF 1/8" FILLET WELD w/ STUD SECURELY SEATED IN TRACK |
| STUD TO STUD IN TRUSS OR RAFTER ASSEMBLIES | (4) #10-16 SCREWS |
| STUD TRACK TO STEEL | (2) HILTI 0.157"ø X-U PINS @ EACH STUD |
| PLYWOOD OR OSB SHEATHING TO STUD OR RAFTER | #10 WAFER HEAD SCREW @ 12" O.C. MAX. |
| GYPSUM BOARD SHEATHING TO STUD OR RAFTER | TYPE S BUGLE HEAD SCREWS @ 12" O.C. MAX. |
| EXTERIOR STUD TRACK TO CONCRETE SLAB OR FOUNDATION | (2) HILTI 0.157"ø X-U PINS THROUGH TRACK @ EACH STUD MIN. SPACING: 4" MIN. EDGE DISTANCE: 3" |

MINIMUM SPACING AND EDGE DISTANCE OF ALL SCREW FASTENERS: 1/2"
MINIMUM SPACING AND EDGE DISTANCE OF ALL POWDER ACTUATED FASTENERS IN STEEL: 1"

DIVISION 31:

FOUNDATION EARTHWORK NOTES:

- FOOTING SIZES AND ELEVATIONS ARE BASED ON AN ASSUMED ALLOWABLE SAFE SOIL BEARING CAPACITY OF 2,000 PSF. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURALLY COMPACTED FILL OF AT LEAST THIS WORKING SAFE CAPACITY. IF SOIL OF THIS QUALITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS MAY NEED TO BE LOWERED OR ENLARGED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER.
- WHERE FOOTING ELEVATION IS NOT NOTED OR DETAILED, TOP OF FOOTING SHALL BE 2'-0" BELOW FINISHED GRADE OR AS REQUIRED TO ACCOMMODATE UNDER-SLAB UTILITIES, AS REQUIRED BY SOIL BEARING CONDITIONS OR AS REQUIRED TO MATCH EXISTING BEARING CONDITIONS.
- FOOTINGS SHOWN ON PLAN ARE DIAGRAMMATIC ONLY. SEE FOOTING SCHEDULE FOR SIZE AND REINFORCEMENT OF EACH FOOTING.
- FOUNDATION PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS MADE BY PROJECT GEOTECHNICAL ENGINEER.
- ALL STRUCTURALLY COMPACTED FILL SHALL BE OF MATERIAL CLASSIFIED CL, ML, SC, SM, SP, SW, GC, GM, OR GW ACCORDING TO ASTM D-2487, FREE FROM CLAY BALLS, TRASH, DEBRIS, OR OTHER DELETERIOUS MATTER.
- AFTER STRIPPING MATERIAL FROM AREA TO BE GRADED, REMOVE ALL UNSUITABLE MATERIAL FROM EXPOSED SUB-GRADE, SUCH AS DEBRIS, TRASH, ORGANIC MATTER, OR SOFT SOIL. SOIL SURFACES RECEIVING COMPACTED STRUCTURAL FILL SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER. AREAS EXHIBITING EXCESSIVE PUMPING, WEAVING, OR RUTTING SHALL BE EXCAVATED AND REPLACED WITH COMPACTED STRUCTURAL FILL OR SCARIFIED, DRIED, AND RECOMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL.
- ALL FILL SHALL BE PLACED IN 6"-8" UNCOMPACTED LIFTS (MAXIMUM) AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D-698 (STANDARD PROCTOR). THE MOISTURE CONTENT OF FILL AT TIME OF PLACEMENT SHALL BE WITHIN +/- 2% OF THE OPTIMUM MOISTURE CONTENT DETERMINED IN THE LABORATORY. COMPACTED FILL SUB-GRADES WITH A SLOPE GREATER THAN 4H:1V SHALL BE BENCHED TO ALLOW PLACEMENT OF HORIZONTAL LIFTS.
- ALL FOUNDATION EXCAVATIONS SHALL BE OBSERVED BY THE PROJECT GEOTECHNICAL ENGINEER, AND APPROVED FOR FOOTINGS, PRIOR TO PLACING CONCRETE. ALL FOUNDATIONS SHALL BE CONCRETED PROMPTLY FOLLOWING INSPECTION.
- THE HORIZONTAL DISTANCE BETWEEN STEPS IN WALL FOOTINGS SHALL BE AT LEAST TWO TIMES THE CHANGE IN ELEVATION.
- CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING CONSTRUCTION TO DIRECT WATER AWAY FROM FOUNDATION CONSTRUCTION AREAS. ANY SUB-GRADE SOILS WEAKENED BY THROUGH SATURATION OR DISTURBANCE SHALL BE REMOVED AND REPLACED WITH COMPACTED STRUCTURAL FILL.
- CONTRACTOR SHALL COORDINATE EXTERIOR SITE WORK, INCLUDING STEPS, WALKS, WALLS, AND FINISHED GRADES, WITH FOUNDATION WORK.
- CENTERLINE OF FOOTING = CENTERLINE OF COLUMN BASE PLATE = CENTERLINE OF ANCHOR BOLT PATTERN, UNLESS NOTED OTHERWISE.
- BACKFILL AGAINST WALLS SPANNING VERTICALLY SHALL NOT BE PLACED, WHERE POSSIBLE, UNTIL ALL FLOORS AGAINST THOSE WALLS ARE IN PLACE AND AT FULL DESIGN STRENGTH. IF FLOORS CANNOT BE PLACED BEFORE FILL, WALLS SHALL BE ADEQUATELY BRACED TO PREVENT OVERSTRESSING OR MOVEMENT.
- ALL MASONRY AND CONCRETE WALLS BELOW GRADE SHALL BE BACKFILLED ON BOTH SIDES OF WALL SIMULTANEOUSLY.

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

| | | |
|----------------------------|---------------------|------------------|
| Importance Factors: | Snow (Is) | 1.0 |
| | Seismic (Ie) | 1.0 |
| Live Loads: | Roof | 20 psf |
| | Mezzanine | 80 psf |
| | Floor | 100 psf |
| Ground Snow Load: | | 15 psf |
| Wind Load: | Ultimate Wind Speed | 116 mph (ASCE-7) |
| | Exposure Category | B |

SEISMIC DESIGN CATEGORY: A B C D

Provide the following Seismic Design Parameters:

Risk Category (Table 1604.5) I II III IV
Spectral Response Acceleration S_s 17.3 %g S₁ 8.3 %g

Site Classification (ASCE 7) A B C D E F

Data Source: Field Test Presumptive Historical Data

Basic structural system
 Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum

Analysis Procedure: Simplified Equivalent Lateral Force Dynamic

Architectural, Mechanical, Components anchored? Yes No

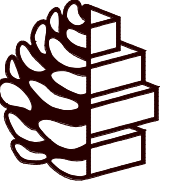
LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:

Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity 2,000 psf
Pile size, type, and capacity _____

2018 NC Administrative Code and Policies

Revised 6/15/2020



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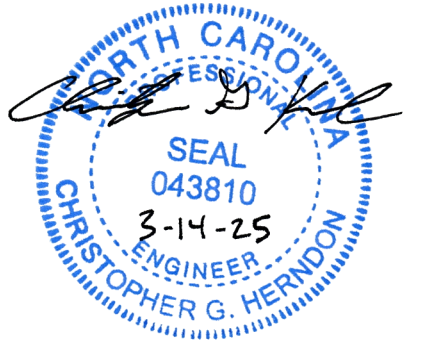
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REVISIONS

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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER

LEE REVIS

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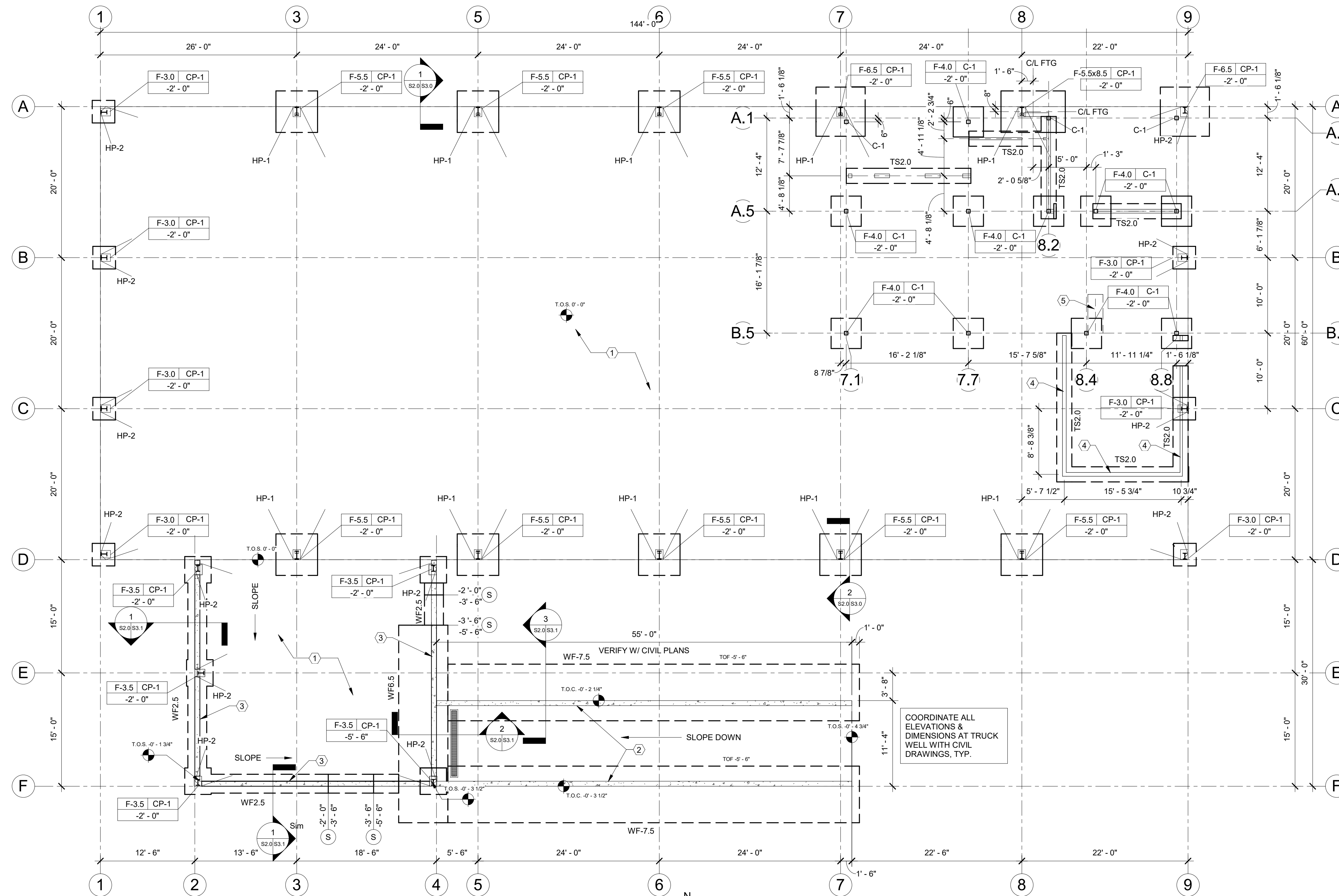
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| PHASE | PERMIT SET |
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| TD PROJECT # | 24-024 |

DRAWING TITLE

GENERAL NOTES

DRAWING NUMBER

S0.2



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

| MTL BLD. COLUMN CONC. FOOTING SCHEDULE | | | | | | | | | | | | | |
|--|--------------------|-------|-------|------------------------|----------------------------|--|----------|------------|-----------|----------|--------|-------------------------|-----------------------|
| FOOTING MARK | FOOTING DIMENSIONS | | | FOOTING REINFORCING | REMARKS | FOOTING REACTIONS (KIPS) (SERVICE LEVEL) | | | | | | ANCHOR BOLT REINF. CAGE | |
| | LENGTH | WIDTH | DEPTH | | | DOWNWARD | UPLIFT | HORIZONTAL | | OTHER | | | |
| F-3.0 | 3'-0" | 3'-0" | 1'-0" | (3) #5 E.W. BOT. | PINNED BASE (NO MOMENT) | 8.1 | INT. 2.7 | EXT. 1.9 | OTHER 2.4 | INT. 1.6 | EXT. - | OTHER - | SEE CONC. COL. SCHED. |
| F-3.5 | 3'-6" | 3'-6" | 1'-0" | (4) #5 E.W. BOT. | PINNED BASE (NO MOMENT) | 5.2 | INT. 4.2 | EXT. 5.0 | OTHER 2.1 | INT. 2.6 | EXT. - | OTHER - | SEE CONC. COL. SCHED. |
| F-5.5 | 5'-6" | 5'-6" | 1'-6" | (6) #6 E.W. BOT. | PINNED BASE (NO MOMENT) | 16.7 | INT. - | EXT. 7.6 | OTHER - | INT. 7.8 | EXT. - | OTHER - | SEE CONC. COL. SCHED. |
| F-6.5 | 6'-6" | 6'-6" | 1'-6" | (5) #6 E.W. TOP & BOT. | COMBINED FTG W/ MEZZ. COL. | 16.7 | INT. - | EXT. 7.6 | OTHER - | INT. 7.8 | EXT. - | OTHER - | SEE CONC. COL. SCHED. |
| F-5.5x8.5 | 5'-6" | 8'-6" | 1'-6" | (6) #6 E.W. TOP & BOT. | COMBINED FTG W/ MEZZ. COL. | 16.7 | INT. - | EXT. 7.6 | OTHER - | INT. 7.8 | EXT. - | OTHER - | SEE CONC. COL. SCHED. |

CONCRETE FOOTING SCHEDULE NOTES:

- CONTRACTOR TO VERIFY PEMB COLUMN BASE REACTIONS W/ COLUMN FOOTING SCHEDULE PRIOR TO CONCRETE PLACEMENT (TYP.)
- LOADS SHOWN IN TABLE ABOVE ARE FOR THE PEMB COLUMN BASE REACTIONS ONLY. WHERE FOOTINGS ARE COMBINED TO SUPPORT MEZZANINE COLUMNS, THE MEZZANINE COLUMN LOADS ARE NOT LISTED
- ANCHOR BOLT DIAMETER, NUMBER AND LOCATION TO BE DETERMINED BY PRE-ENGINEERED METAL BUILDING MANUFACTURER. G.C. COORDINATE ANCHOR BOLT LOCATION SUBMITTAL WITH APPROVED PRE-ENGINEERED METAL BUILDING MANUFACTURER SHOP DRAWINGS.
- VERIFY ANCHOR BOLT PLACEMENT & BASE PLATE DIMENSIONS WITH ANCHOR BOLT CAGE REINFORCEMENT. CONTRACTOR SHALL COORDINATE ANCHOR BOLT CAGE DIMENSIONS WITH APPROVED PEMB SHOP DRAWINGS. ANCHOR BOLTS TO BE ENCASED INSIDE OF REBAR CAGE.
- SEE DETAIL ON S3.0 FOR ANCHOR BOLT CAGE CONFIGURATION AND FOR REQUIRED TIES AND SPACINGS.

DISCLAIMER:
CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS ON PLAN AND ALL COORDINATION WITH ARCHITECTURAL/CIVIL/PRE-ENGINEERED METAL BUILDING REQUIREMENTS.

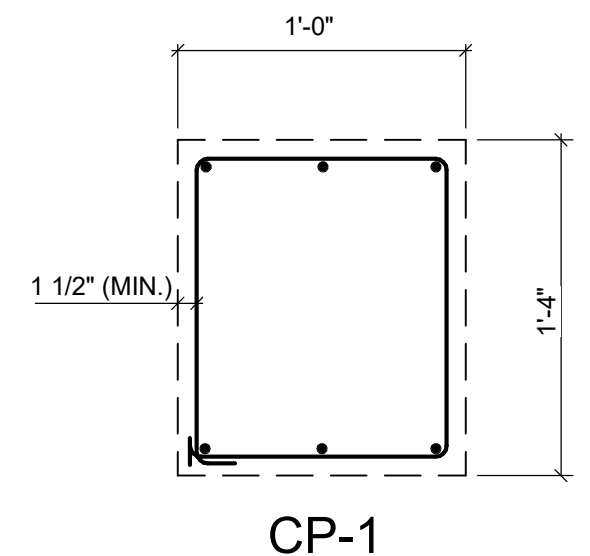
NOTE:
METAL BUILDING FABRICATOR SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENG. LICENSED IN NORTH CAROLINA TO THE A/E OF RECORD FOR APPROVAL BEFORE FABRICATION BEGINS.

* - HORIZONTAL REACTION IS PERPENDICULAR TO THE PERIMETER OF THE BUILDING.

| INTEGRAL CONC. PIER REINF. SCHEDULE | | | |
|-------------------------------------|-----------------|-------|--|
| PIER MARK | PIER DIMENSIONS | | REMARKS |
| | LENGTH | WIDTH | |
| CP-1 | 1'-0" | 1'-4" | (6) #4 BARS W/ #3 TIES SEE NOTE AND SECTION |

CONCRETE PIER SCHEDULE NOTE:

- VERIFY ANCHOR BOLT PLACEMENT & BASE PLATE DIMENSIONS WITH PIER REINFORCEMENT. ANCHOR BOLTS TO BE ENCASED INSIDE OF REBAR CAGE.
- PIER DIMENSIONS SHOWN ARE MINIMUM REQUIREMENTS, AND ARE PROVIDED TO ALLOW FOR COORDINATION OF REINFORCING STEEL DIMENSIONS. PIERS ARE INTEGRAL WITH CONCRETE PERIMETER FOUNDATION
- TOP OF PIER ELEV = FIN. FLOOR ELEV. U.N.O.



| STEEL COLUMN SCHEDULE | | |
|-----------------------|-------------|------------|
| MARK | SIZE | BASE PLATE |
| C-1 | HSS6X6X5/16 | BP-1 |

| STEEL BASE PLATE SCHEDULE | | | | | | |
|---------------------------|------------------|-------|-------|--------------|-------------|-------------------|
| PLATE MARK | PLATE DIMENSIONS | | | ANCHOR BOLTS | | NOTES |
| | LENGTH | WIDTH | THICK | QUANTITY | SIZE (DIA.) | |
| BP-1 | 1'-0" | 1'-0" | 3/4" | 4 | 3/4" | MOMENT BASE PLATE |

| CONCRETE FOOTING SCHEDULE | | | | | |
|---------------------------|------------|-------|-------|------------------------|-------------|
| MARK | DIMENSIONS | | | FOOTING REINFORCING | NOTES |
| | LENGTH | WIDTH | DEPTH | | |
| F-4.0 | 4'-0" | 4'-0" | 1'-0" | (4) #5 E.W. TOP & BOT. | MOMENT FTG. |

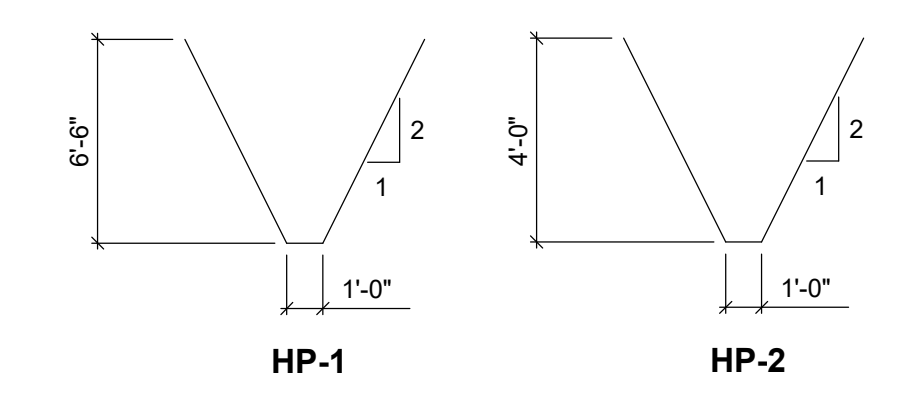
| WALL FOOTING SCHEDULE | | | | | | | |
|-----------------------|------------|-------|-----------------------|-------------------|-----------------|-------|----------------------------------|
| MARK | DIMENSIONS | | | REINFORCING | | NOTES | |
| | WIDTH | DEPTH | LONGITUDINAL QUANTITY | LONGITUDINAL SIZE | TRANSVERSE SIZE | | TRANSVERSE SPACING |
| TS2.0 | 2'-0" | 1'-0" | 2 | 5 | N/A | N/A | THICKENED SLAB |
| WF2.5 | 2'-6" | 1'-0" | 4 | 4 | N/A | N/A | |
| WF6.5 | 6'-6" | 1'-6" | 5 | 5 | 7 | 1'-4" | LONG. & TRANS. REINF. TOP & BOT. |
| WF7.5 | 7'-6" | 1'-6" | 6 | 5 | 4 | 4'-0" | LONG. & TRANS. REINF. TOP & BOT. |

FOUNDATION PLAN GENERAL NOTES:

- SEE SHEET S0.1 & S0.2 FOR GENERAL STRUCTURAL NOTES.
- SEE SHEET S3.0 FOR TYPICAL DETAILS & SECTIONS.
- CONTRACTOR TO COORDINATE ALL DIMENSIONS, ELEVATIONS, SLOPES, EXISTING CONDITIONS, UTILITIES, AND OPENINGS WITH ALL OTHER TRADES, INCLUDING ARCHITECTURAL AND PEMB DRAWINGS PRIOR TO CONSTRUCTION, TYPICALLY.
- TOP OF FOOTING (T.O.F.) ELEVATIONS REFERENCE FINISH FLOOR (0'-0").
- STEP FOOTINGS AT UTILITY LOCATIONS TO ALLOW FOR SLEEVE ABOVE FOOTING. COORDINATE PENETRATION LOCATIONS W/ CIVIL, ARCHITECTURAL, AND PLUMBING DRAWINGS.
- UNDER SLAB PLUMBING NOT SHOWN, LOWER FOOTINGS AS NEEDED TO ALLOW PLUMBING TO PASS OVER. COORDINATE UNDER SLAB UTILITIES W/ FOOTING LOCATIONS AND DEPTH.
- (S) -X-X' -X-X' DENOTES FOOTING STEP, SEE TYPICAL DETAIL ON SHEET S3.0.
- TYPICAL PERIMETER CONSTRUCTION (U.N.O.) IS TURNDOWN CONCRETE SLAB EDGE W/ (2) #5 CONTINUOUS BARS IN BASE. ADDITIONAL REQUIREMENTS PER S0.1 & TYPICAL DETAIL ON S3.0.
- TYPICAL LAP SPLICE FOR REBAR: 48 BAR DIAMETERS.
- FOR SLAB JOINT SPECIFICS SEE TYPICAL JOINT DETAILS ON SHEET S3.0 AND JOINT SPECIFICATIONS ON SHEET S0.1.
- CONTRACTOR TO VERIFY PEMB COLUMN BASE REACTIONS W/ COLUMN CONCRETE FOOTING SCHEDULE ON THIS SHEET PRIOR TO CONCRETE PLACEMENT (TYP.)
- SLOPE SLAB-ON-GRADE TO DRAINS WHERE REQUIRED. COORDINATE DRAIN LOCATIONS WITH PLUMBING AND ARCHITECTURAL DRAWINGS.
- ANCHOR BOLT LOCATION TO BE DETERMINED BY PRE-ENGINEERED METAL BUILDING MANUFACTURER. G.C. COORDINATE ANCHOR BOLT LOCATION SUBMITTAL WITH APPROVED PRE-ENGINEERED METAL BUILDING MANUFACTURER SHOP DRAWINGS.

FOUNDATION PLAN KEYNOTES:

- 5" CONC. SLAB ON GRADE w/ 6x6 - W1.4 xW1.4 W.W.F. @ MID-DEPTH OVER 10-MIL VAPOR BARRIER OVER 4" CRUSHED STONE.
- 8" POURED CONCRETE RETAINING WALL. W/ #5 VERT. @ 1'-4" O.C. (MAX.) & #4 HORIZ. @ 1'-0" O.C. (MAX.)
- 8" POURED CONCRETE FOUNDATION WALL W/ #5 VERT. @ 1'-4" O.C. (MAX.) & #4 HORIZ. @ 1'-0" O.C. (MAX.)
- SECURE BASE TRACK TO THICKENED SLAB W/ 1/2" x 6" LONG SIMPSON TITEN HD SCREW ANCHORS W/ 3X3 PL WASHERS @ 4'-0" O.C. (MAX.)
- THICKENED SLAB AT BASE OF STAIR. G.C. COORDINATE EXTENTS AND LOCATION W/ APPROVED STAIR DRAWINGS



HAIRPIN REINFORCING NOTE:
- HAIRPINS ARE #5 BARS WITH THE DIMENSIONS NOTED ABOVE AND PLACED AT THE MID-DEPTH OF THE SLAB. SEE PLAN FOR LOCATIONS.

HAIRPIN REINFORCING

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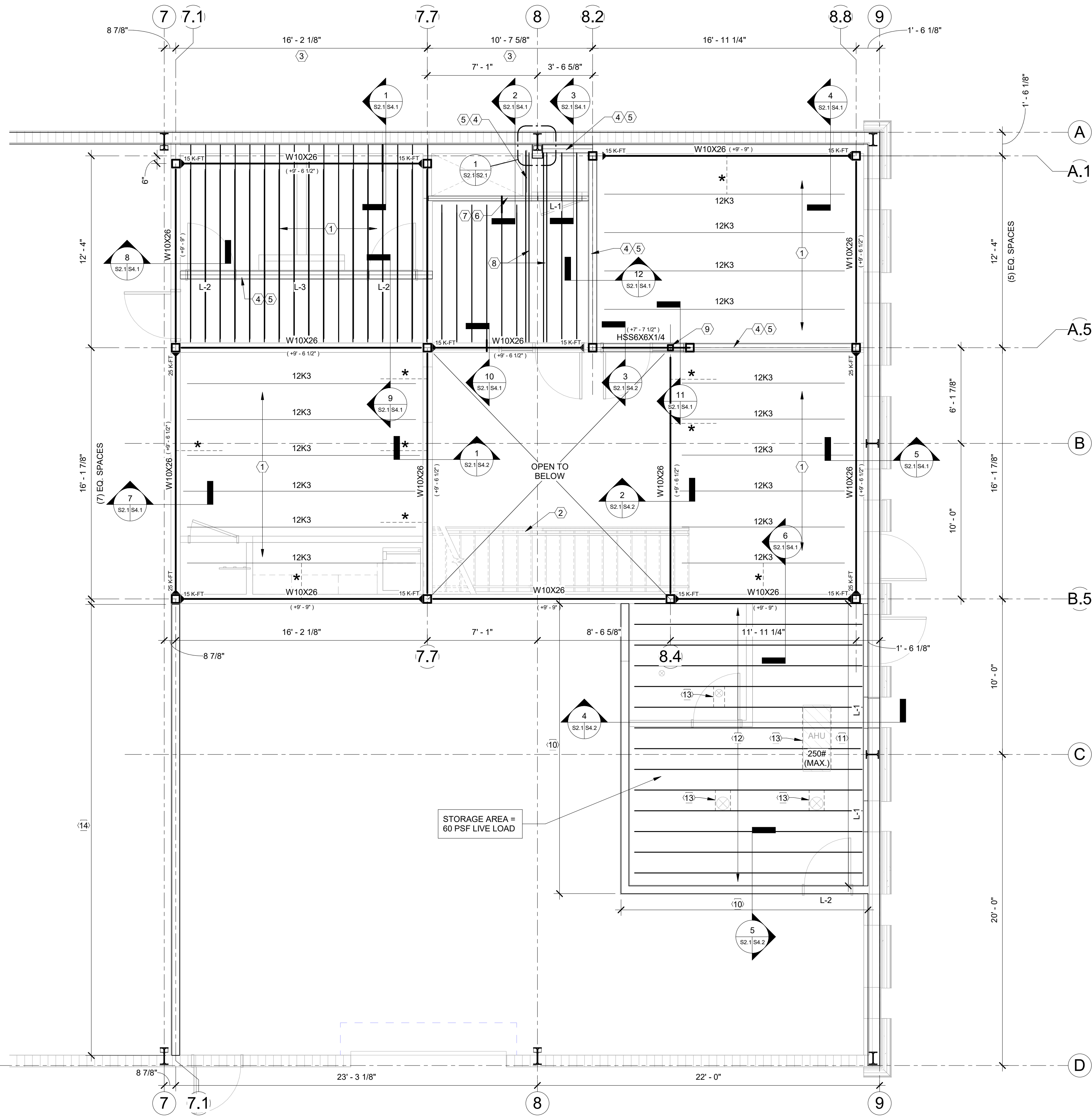
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TD PROJECT #

PERMIT SET
03.14.2025
24-024

DRAWING TITLE
FOUNDATION PLAN

DRAWING NUMBER
S2.0



SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 PLAN

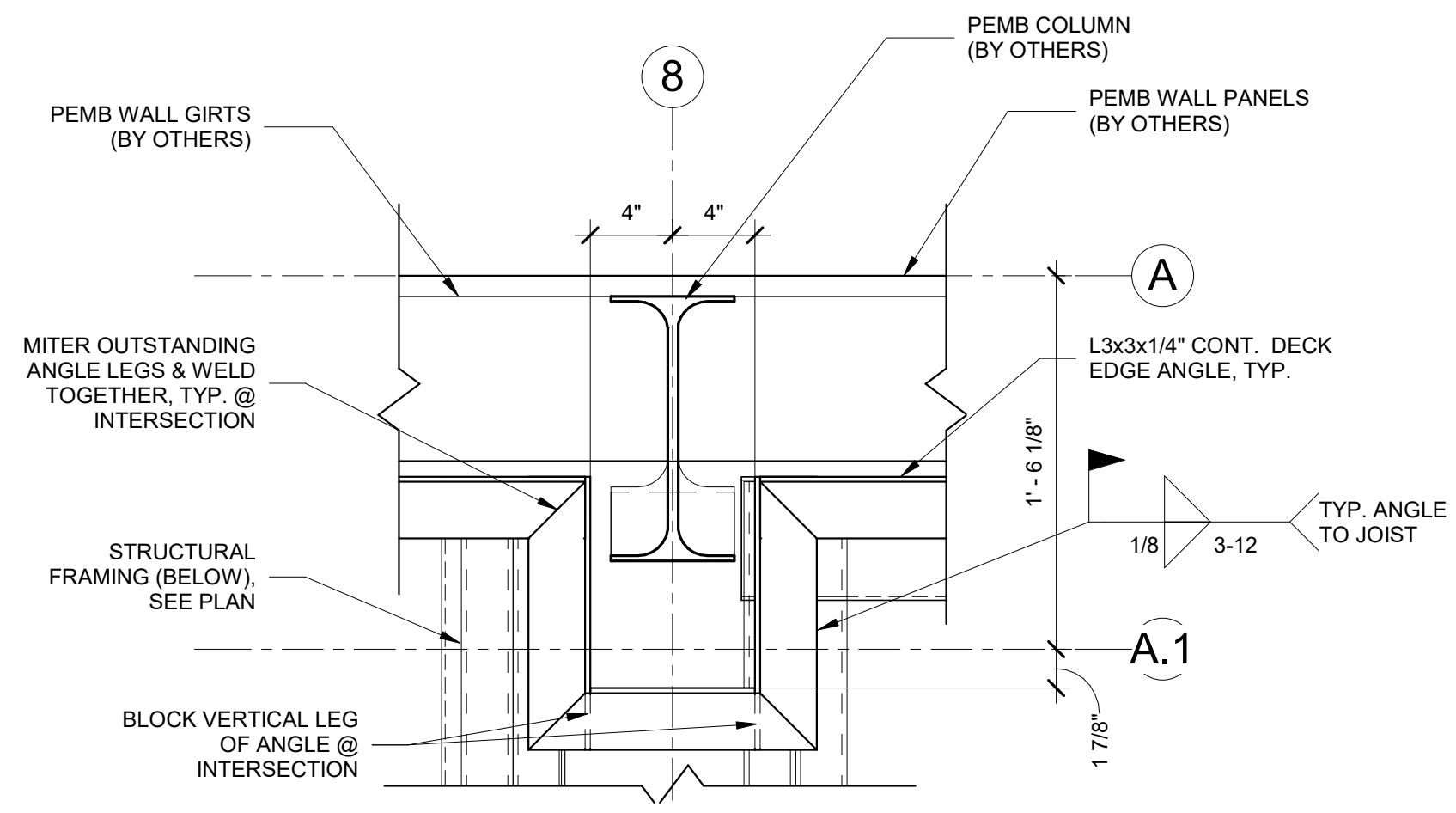
SECOND FLOOR FRAMING PLAN GENERAL NOTES:

- CONTRACTOR TO COORDINATE ALL DIMENSIONS, ELEVATIONS AND OPENINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION, TYPICAL.
- SEE SHEET S0.1 & S0.2 FOR GENERAL STRUCTURAL NOTES AND SPECIFICATIONS.
- SEE SHEET S4.0 FOR TYPICAL SECTIONS AND DETAILS.
- SECOND FLOOR FIN. FLR ELEVATION (+10'-0") U.N.O.
- ▲ DENOTES BEAM MOMENT CONNECTION IN XX FT-KIPS. MOMENTS SHOWN ARE ULTIMATE LOADS WITH A LOAD FACTOR OF 1.4. SEE SHEETS S0.1 AND S4.0 FOR ADDITIONAL INFORMATION.
- * DENOTES KICKER L3x3x1/4" FROM BEAM BOTTOM FLANGE TO JOIST TOP CHORD PANEL POINT. SEE DETAIL ON S4.0 FOR ADDITIONAL INFORMATION.

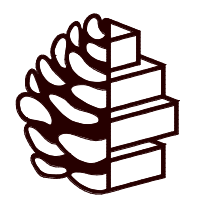
SECOND FLOOR FRAMING PLAN KEYNOTES:

- 1 - INDICATES SPAN DIRECTION 3" NORMAL WEIGHT CONCRETE WITH WELDED WIRE FABRIC 6X6 - W1.4xW1.4 ON 0.6C26 (26 GAUGE) CONFORM FLOOR DECK. SEE SHEET S0.1, DIVISION 5, "METAL DECK NOTES".
- 2 - STEEL STAIRS BY OTHERS
- 3 - 2.5K3 JOIST SUBSTITUTES @ 1'-0" O.C. (MAX.)
- 4 - CONT. HSS6x2x3/16 (LSH) ON TOP OF LOAD-BEARING, COLD FORMED WALL. TOP OF STEEL ELEVATION TO BE (+9' - 6 1/2"), U.N.O.
- 5 - INTERIOR LOAD BEARING COLD FORMED METAL FRAMED WALL. WALL TO BE FRAMED WITH 600S162-43 (6", 18 ga) STUDS @ 1'-4" O.C. (MAX.) W/ CONT. 600T125-43 (6", 18 ga) TRACKS TOP & BOT. SECURE TOP TRACK TO HSS W/ (2) ROWS OF 0.157" P.A.F.s @ 1'-0" O.C. (MAX.)
- 6 - CONT. HSS3-1/2x2-1/2x3/16 (LSH) ON TOP OF LOAD-BEARING, COLD FORMED WALL. TOP OF STEEL ELEVATION TO BE (+9' - 6 1/2"), U.N.O.
- 7 - INTERIOR LOAD BEARING COLD FORMED METAL FRAMED WALL. WALL TO BE FRAMED WITH 362S162-43 (3-5/8", 18 ga) STUDS @ 1'-4" O.C. (MAX.) W/ CONT. 362T125-43 (3-5/8", 18 ga) TRACKS TOP & BOT. SECURE TOP TRACK TO HSS W/ (2) ROWS OF 0.157" P.A.F.s @ 1'-0" O.C. (MAX.)
- 8 - DOUBLE 2.5K3 JOIST SUBSTITUTES
- 9 - HSS4x4x1/4 POST-UP ON HSS BEAM BELOW
- 10 - INTERIOR LOAD BEARING COLD FORMED METAL FRAMED WALL. WALL ALSO FUNCTIONS AS INTERIOR SHEAR WALL. WALL TO BE FRAMED WITH 600S162-54 (6", 16 ga) STUDS @ 1'-4" O.C. (MAX.) W/ CONT. 600T125-54 (6", 16 ga) TRACKS TOP & BOT. SECURE 1/2" THICK (MIN.) PLYWOOD SHEATHING TO ONE SIDE OF WALL W/ #10 SCREWS @ 6" O.C. (EDGES) & 12" O.C. (FIELD).
- 11 - INTERIOR LOAD BEARING COLD FORMED METAL FRAMED WALL. WALL ALSO FUNCTIONS AS INTERIOR SHEAR WALL. WALL TO BE FRAMED WITH 362S162-54 (3-5/8", 16 ga) STUDS @ 1'-4" O.C. (MAX.) W/ CONT. 600T125-54 (6", 16 ga) TRACKS TOP & BOT. SECURE 1/2" THICK (MIN.) PLYWOOD SHEATHING TO ONE SIDE OF WALL W/ #10 SCREWS @ 6" O.C. (EDGES) & 12" O.C. (FIELD).
- 12 - 800S162-68 (8", 14 ga) JOISTS @ 1'-4" O.C. (MAX.). PROVIDE BRIDGING BETWEEN JOISTS AT THIRD POINTS. TYP. PROVIDE 3/4" THICK FLOOR SHEATHING SECURED TO FRAMING WITH #10 SCREWS @ 6" O.C. (EDGES) & 12" O.C. (FIELD)
- 13 - PROVIDE FULL HEIGHT SOLID BLOCKING BETWEEN JOISTS @ PERIMETER OF AHU UNIT & VERTICAL DUCT PENETRATIONS THRU SHEATHING 6" OR GREATER IN DIAMETER, TYP. G.C. COORDINATE FINAL LOCATIONS & SIZES W/ MECHANICAL DRAWINGS.
- 14 - WALL TO BE FRAMED WITH 600S162-43 (6", 18 GA) STUDS @ 1'-4" O.C. (MAX.) W/ CONT. 600T125-43 (6", 18 GA) TRACKS TOP & BOT. ENSURE HORIZONTAL BRIDGING INSTALLED BETWEEN STUDS AT 48" O.C. (MAX.)

| LINTEL SCHEDULE | | | |
|-----------------|------------------|------------------|-------------------------------|
| MARK | BOX HEADER STUDS | TOP & BOT TRACKS | JAMB STUDS |
| L-1 | (2) 600S162-54 | 362T125-43 | (1) 362S162-43 |
| L-2 | (2) 600S162-68 | 600T125-43 | (1) 600S162-43 |
| L-3 | (2) 800S162-68 | 600T125-43 | (2) 600S162-43 (BACK-TO-BACK) |



DETAIL @ PEMB COLUMN
 SCALE: 1 1/2" = 1'-0"



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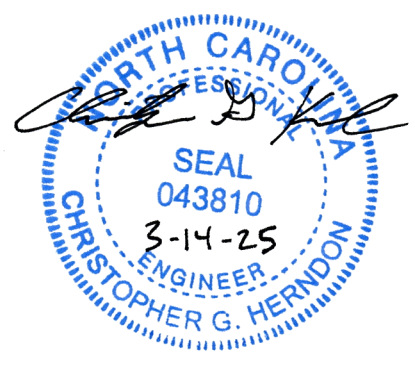


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SEALS



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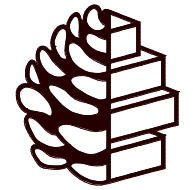
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DRAWING TITLE
SECOND FLOOR FRAMING PLAN

DRAWING NUMBER

S2.1



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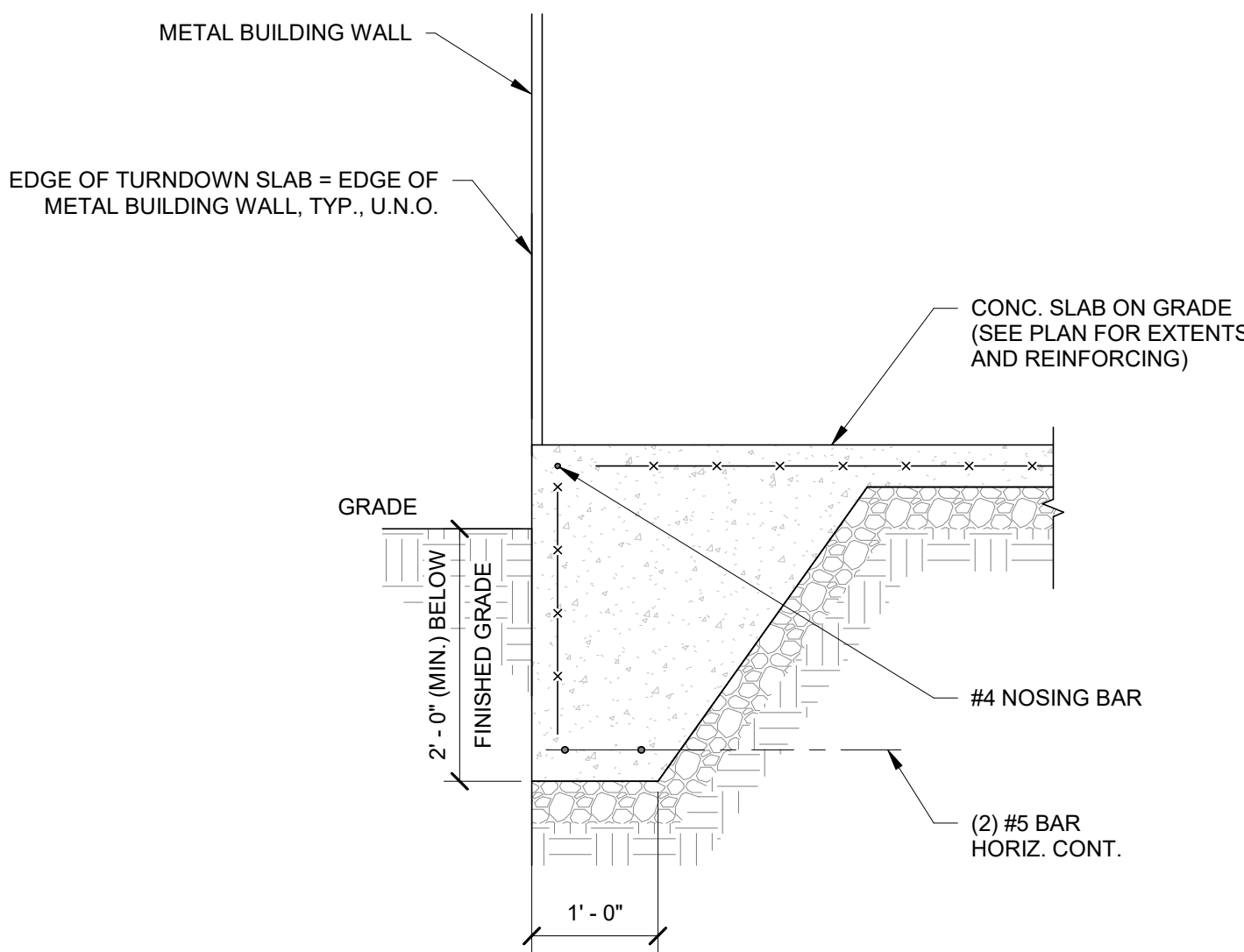
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DRAWING TITLE FOUNDATION SECTIONS & DETAILS

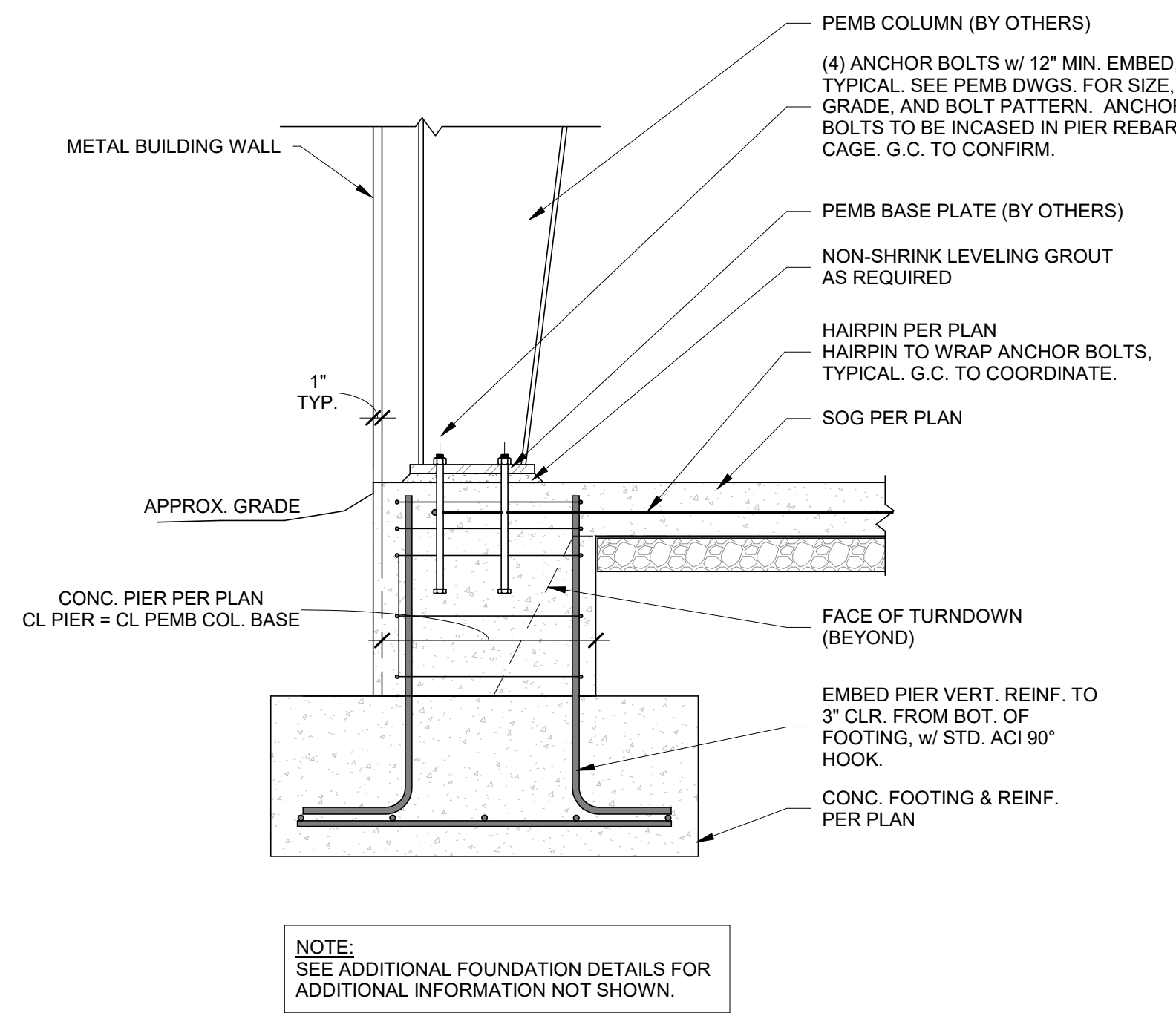
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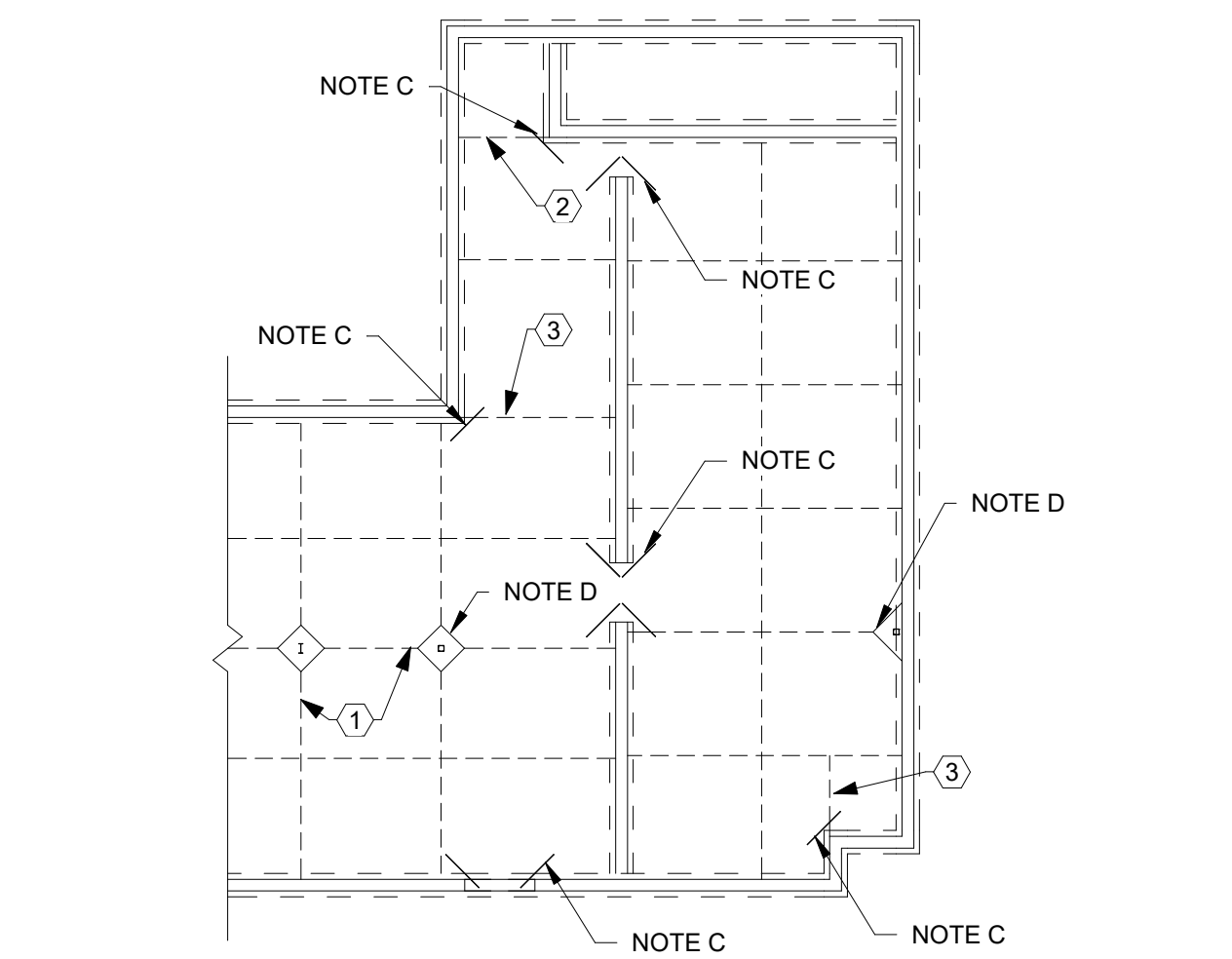
1 TYPICAL TURN-DOWN DETAIL

SCALE: 3/4" = 1'-0"



2 SECT. @ PEMB COL. FOUNDATION

SCALE: 3/4" = 1'-0"



JOINT LOCATION GUIDELINES & NOTES:

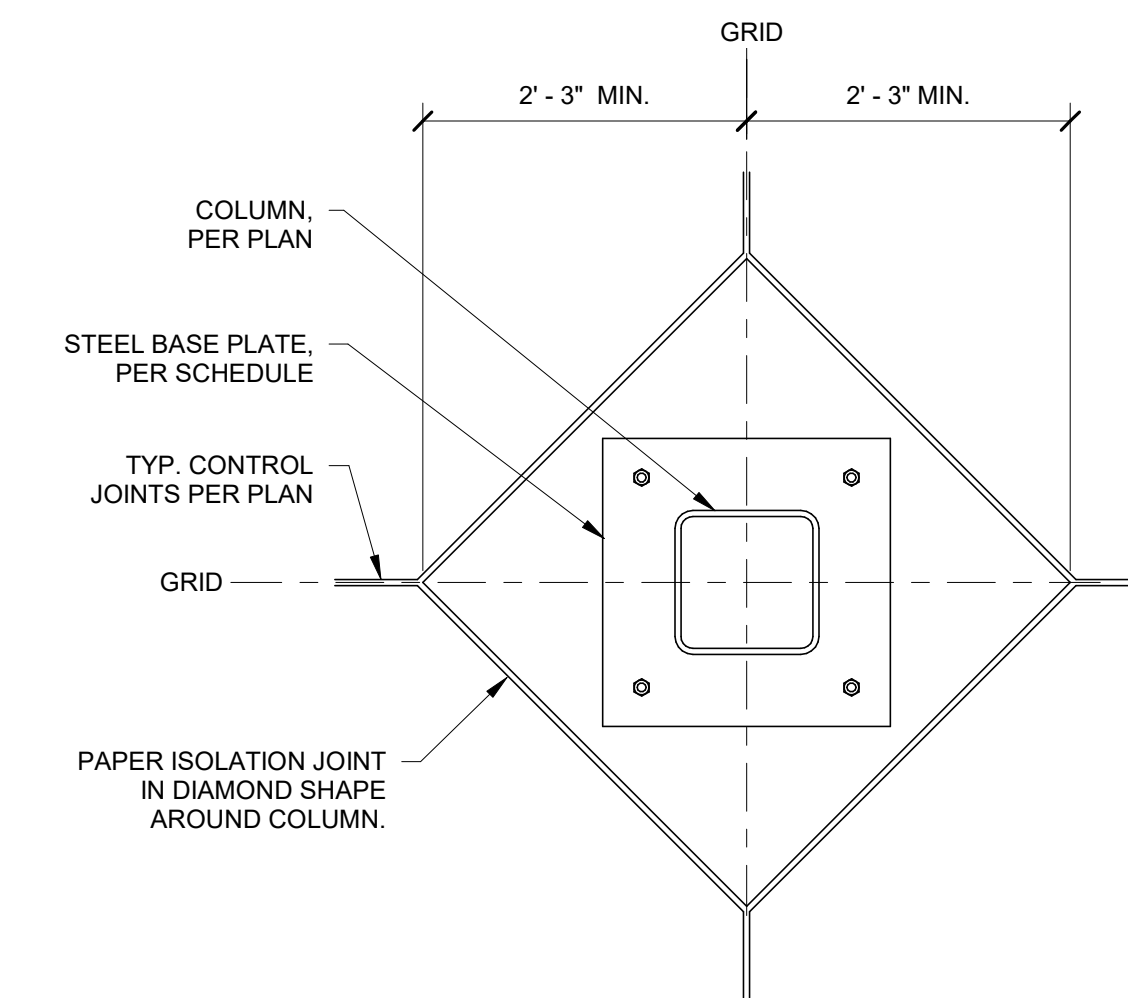
- SEE S0.1 FOR MAX SPACING DIMENSIONS AND CONCRETE NOTES.
- SEE SAWCUT JOINT AND CONTROL JOINT DETAILS ON S3.0.
- PROVIDE (1) #4 BAR AT RE-ENTRANT CORNERS OF SLAB PER TYPICAL DETAIL THIS SHEET.
- PROVIDE DIAMOND ISOLATION JOINT, PER DETAIL ON S3.0, AT COLUMNS.

LOCATE CONTROL JOINTS AT THE FOLLOWING AREAS:

- AT COLUMN CENTERLINES.
- AT CORNERS OF MASONRY WALLS WITH FOOTINGS.
- AT RE-ENTRANT CORNERS.

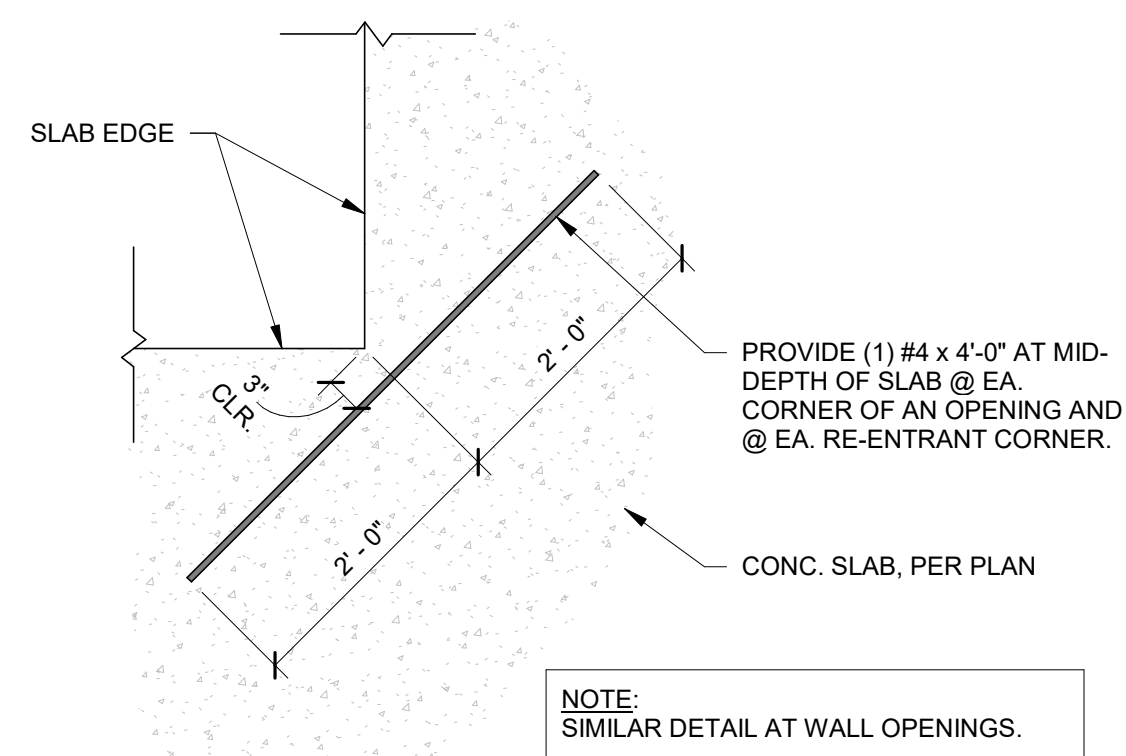
EXAMPLE SLAB ON GRADE JOINT LAYOUT

SCALE: 1/16" = 1'-0"



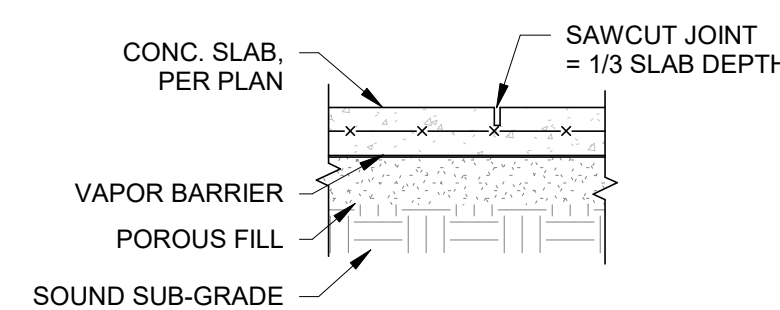
TYP. DIAMOND ISOLATION JOINT

SCALE: 3/4" = 1'-0"



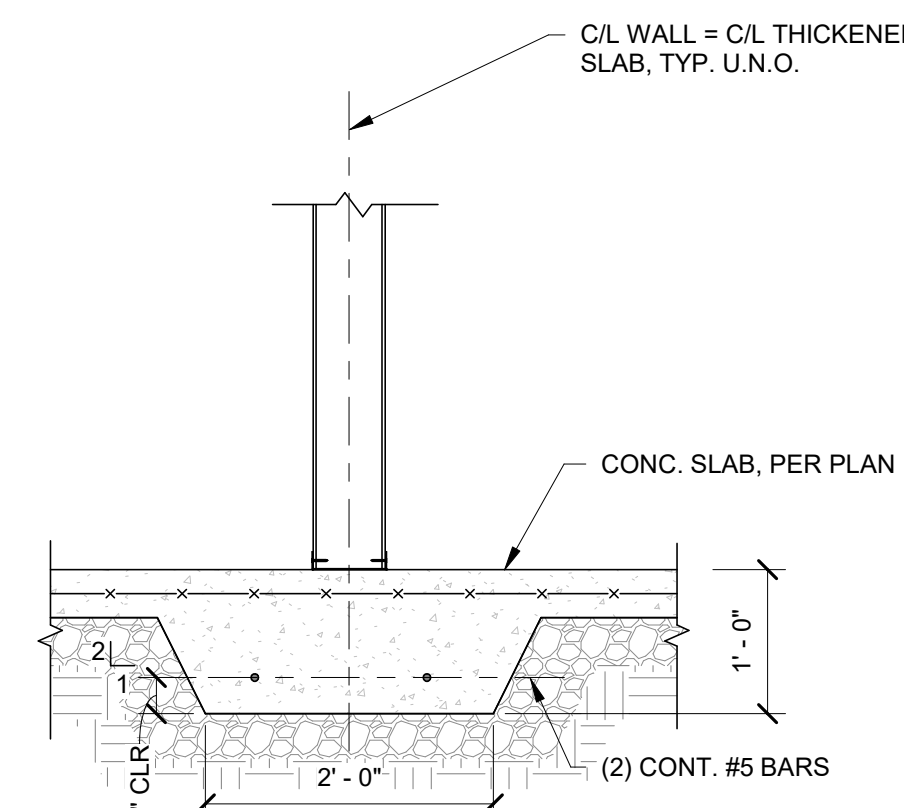
TYP. SLAB RE-ENTRANT CORNER PLAN DETAIL

SCALE: 3/4" = 1'-0"



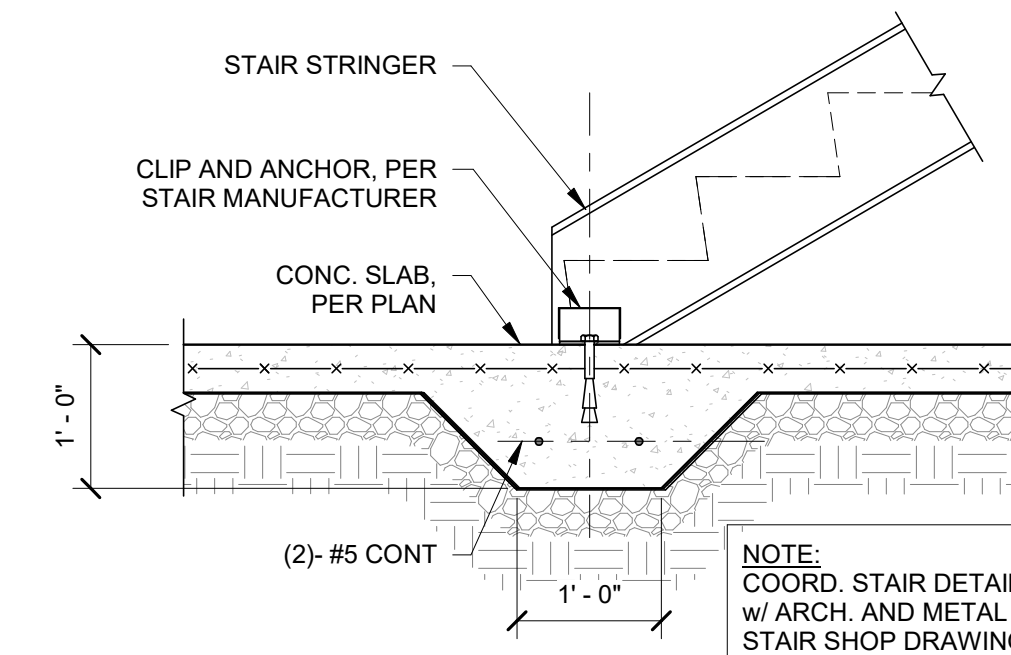
TYP. SAWCUT JOINT DETAIL

SCALE: 3/4" = 1'-0"



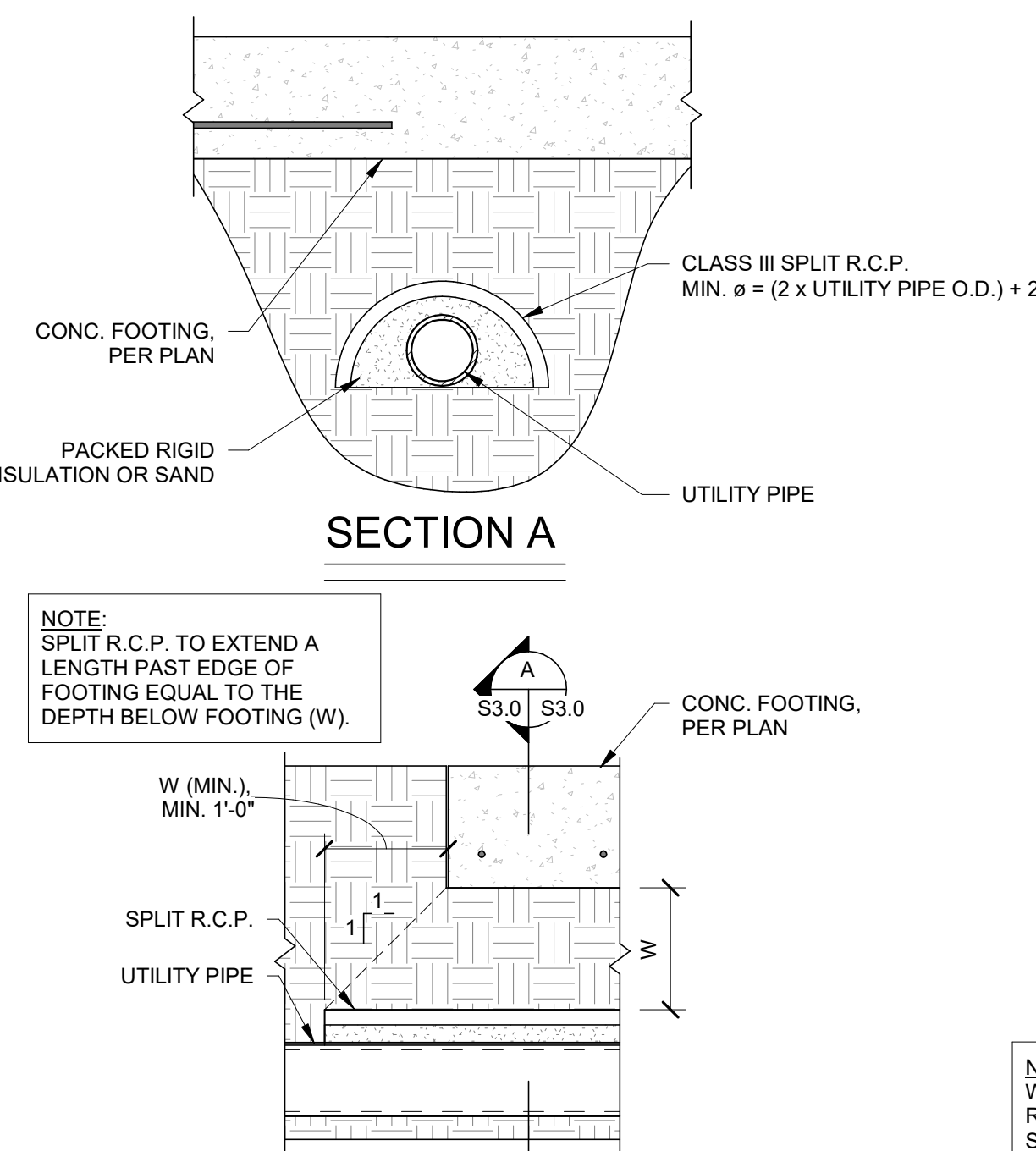
TYP. THICKENED SLAB DETAIL

SCALE: 3/4" = 1'-0"



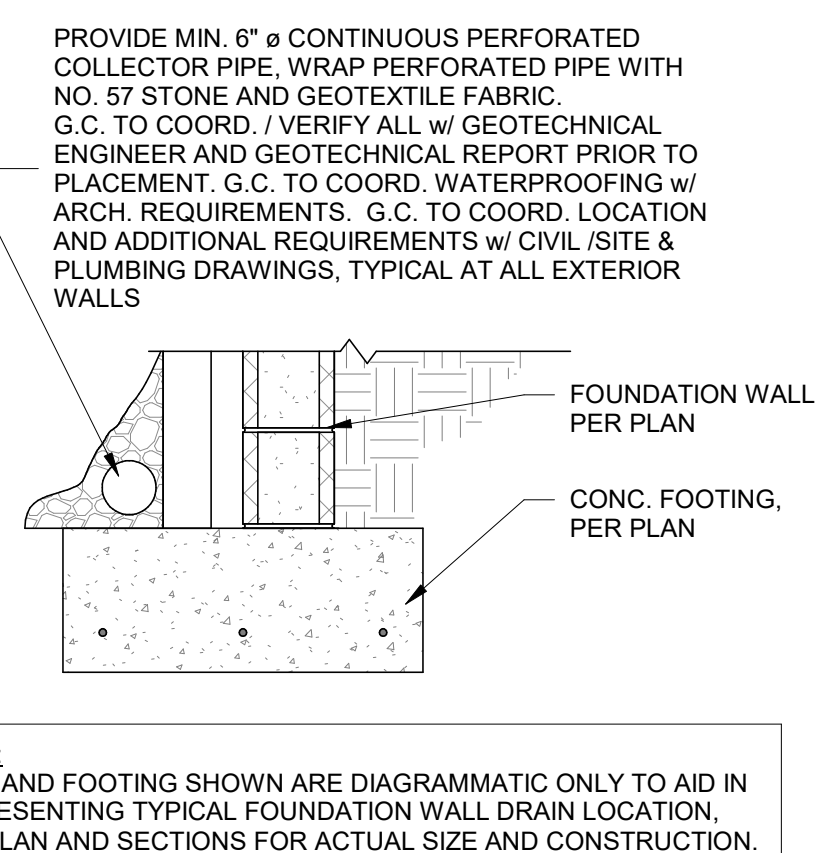
TYP. THICKENED SLAB @ STAIR DETAIL

SCALE: 3/4" = 1'-0"



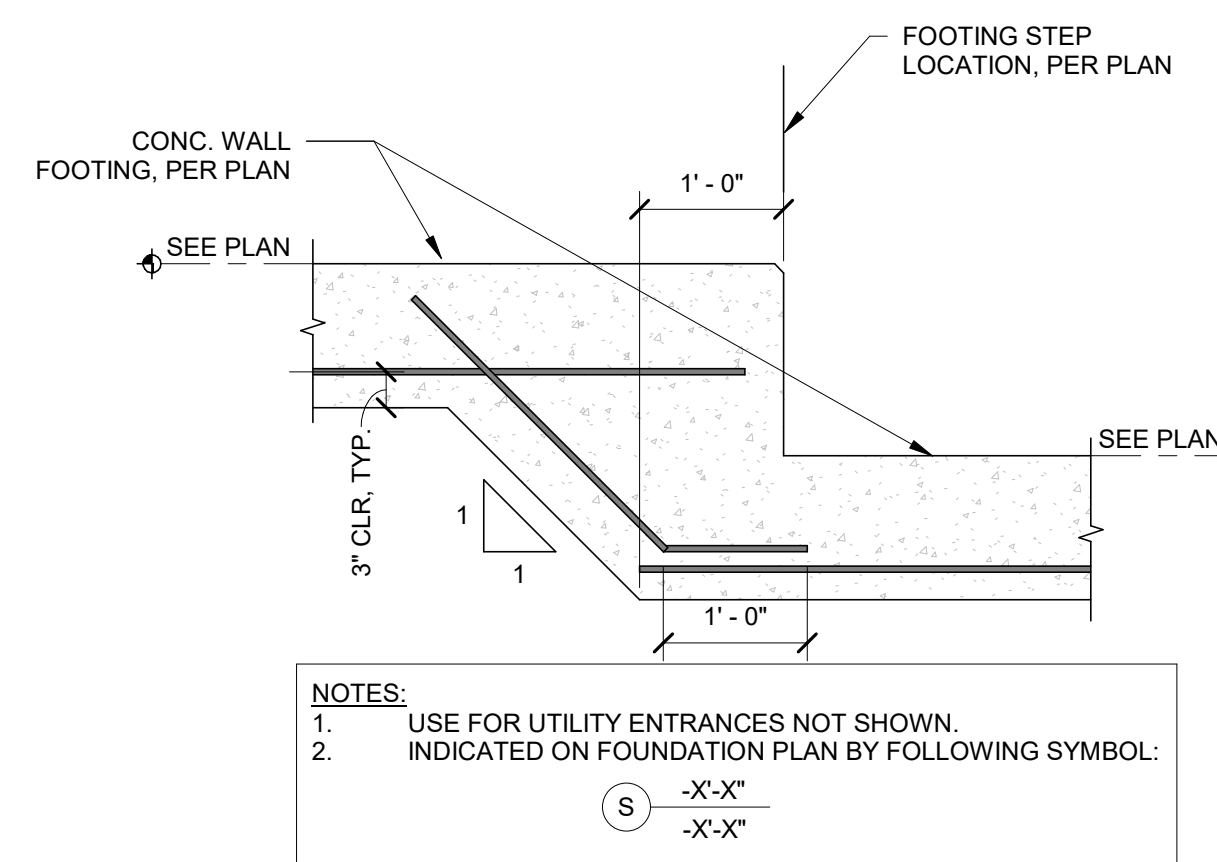
TYP. UTILITY COVER

SCALE: 3/4" = 1'-0"



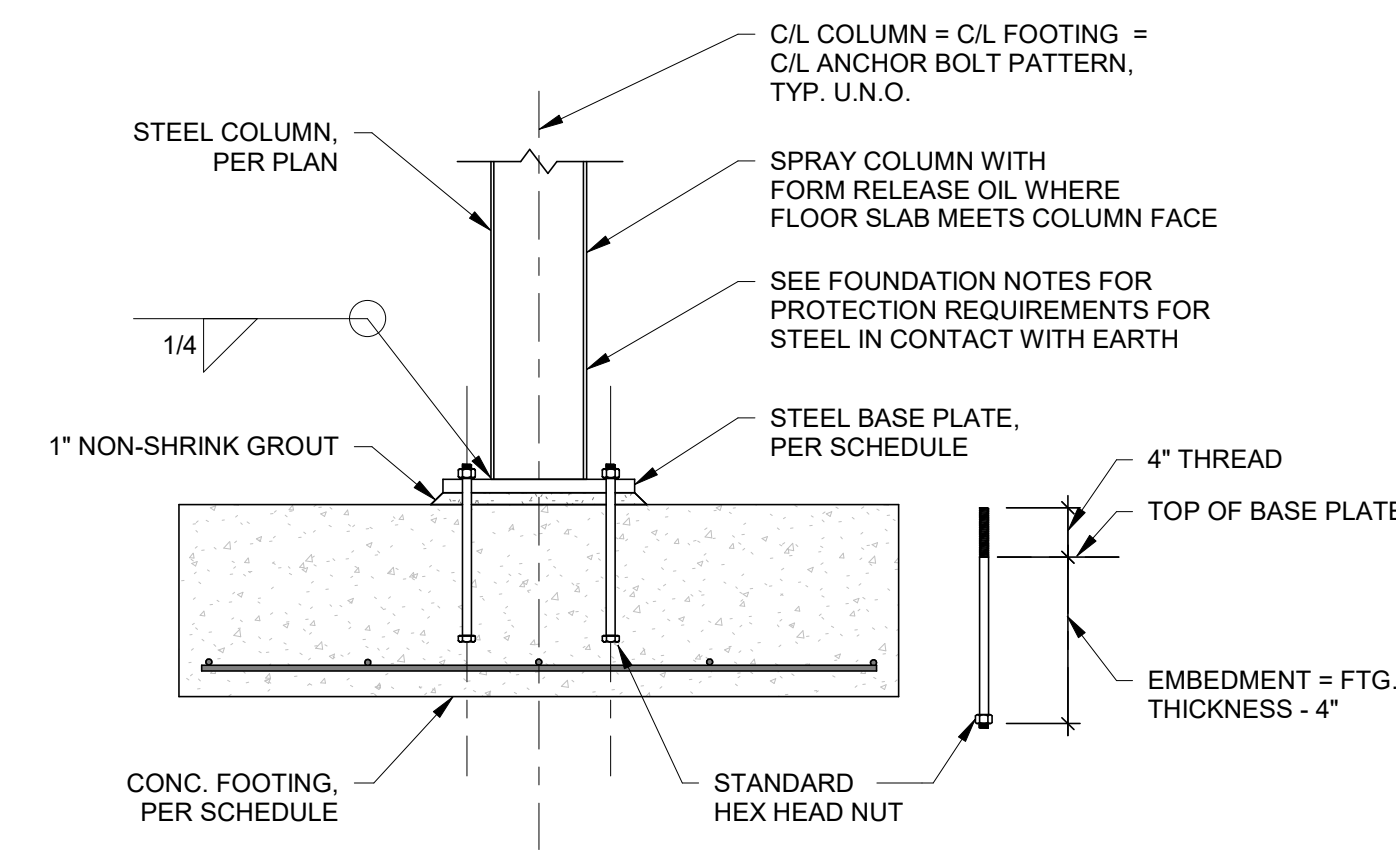
TYP. FOUNDATION WALL DRAINAGE

SCALE: 3/4" = 1'-0"



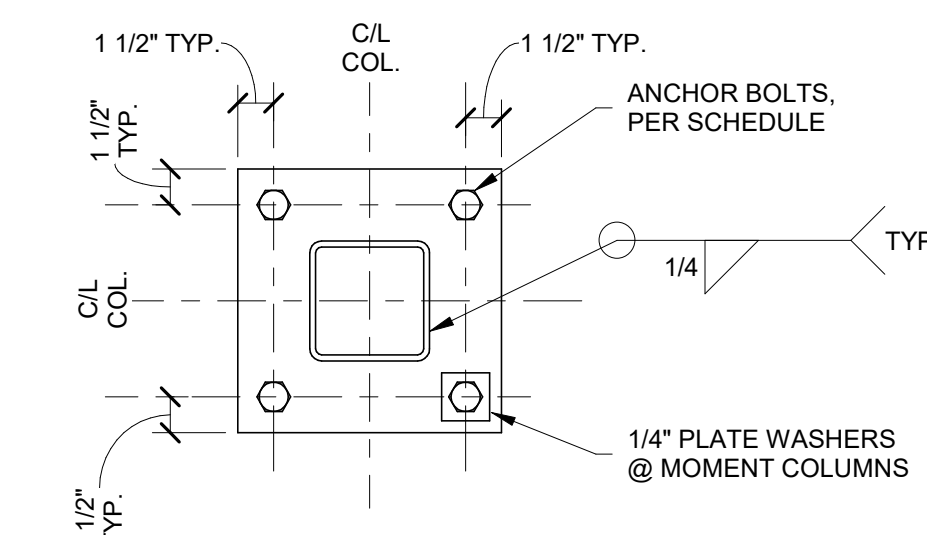
TYP. FOOTING STEP

SCALE: 3/4" = 1'-0"



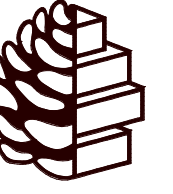
TYP. COLUMN BASE AND FOOTING DETAIL

SCALE: 3/4" = 1'-0"



TYP. HSS BASE PLATE

SCALE: 3/4" = 1'-0"



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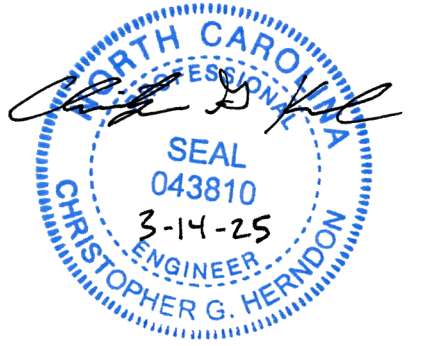


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SEALS



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NEW BUILDING

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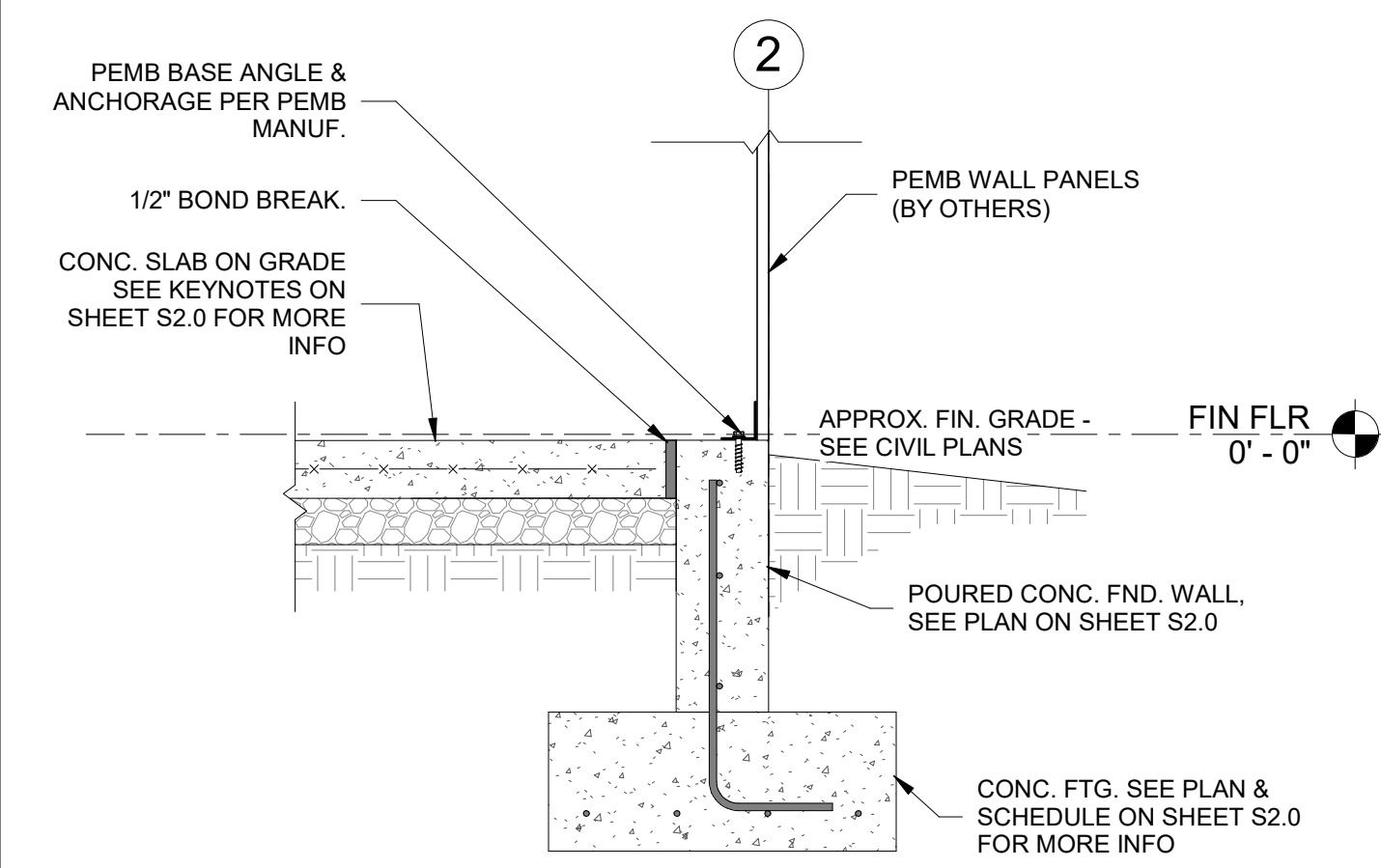
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DRAWING TITLE
FOUNDATION SECTIONS

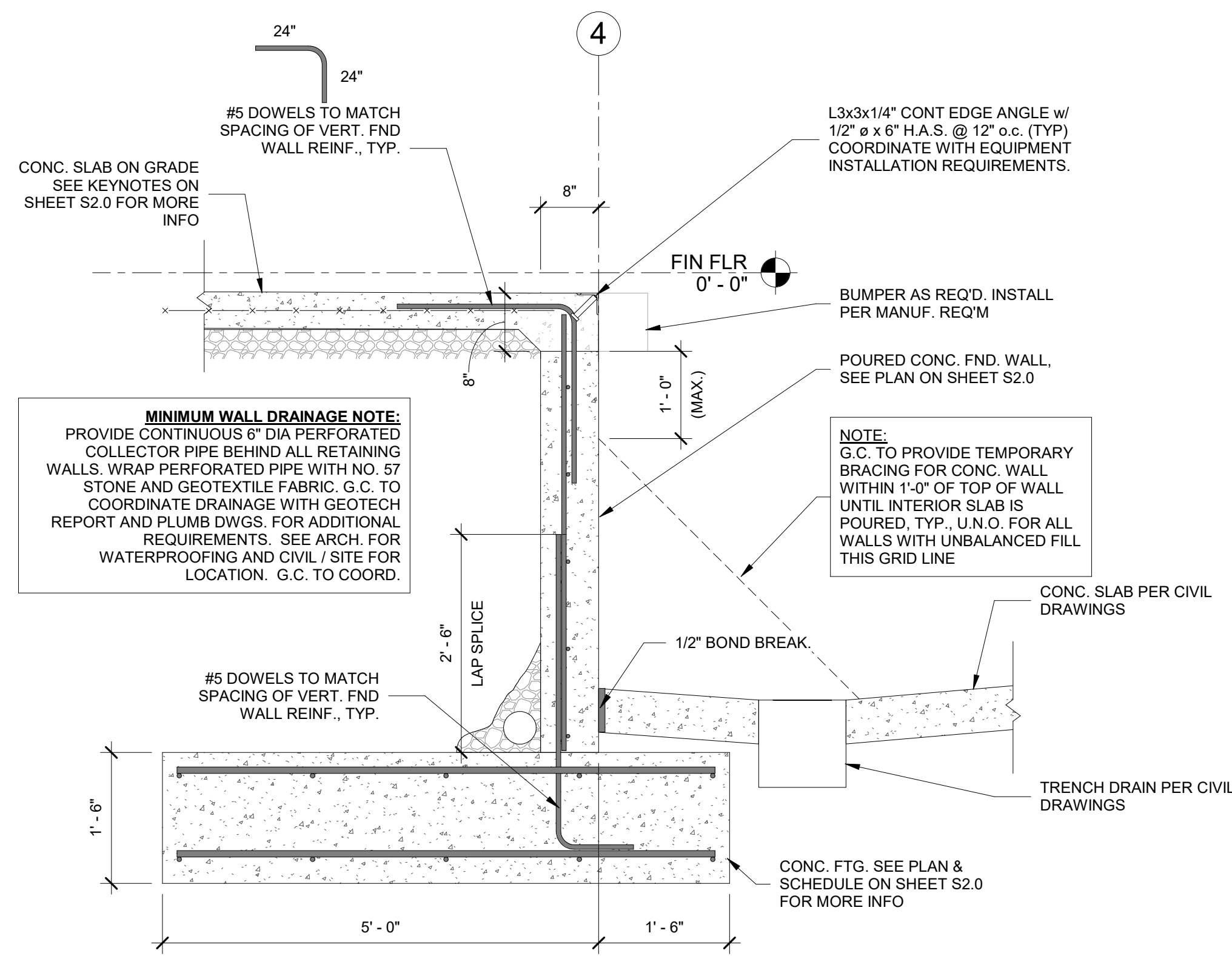
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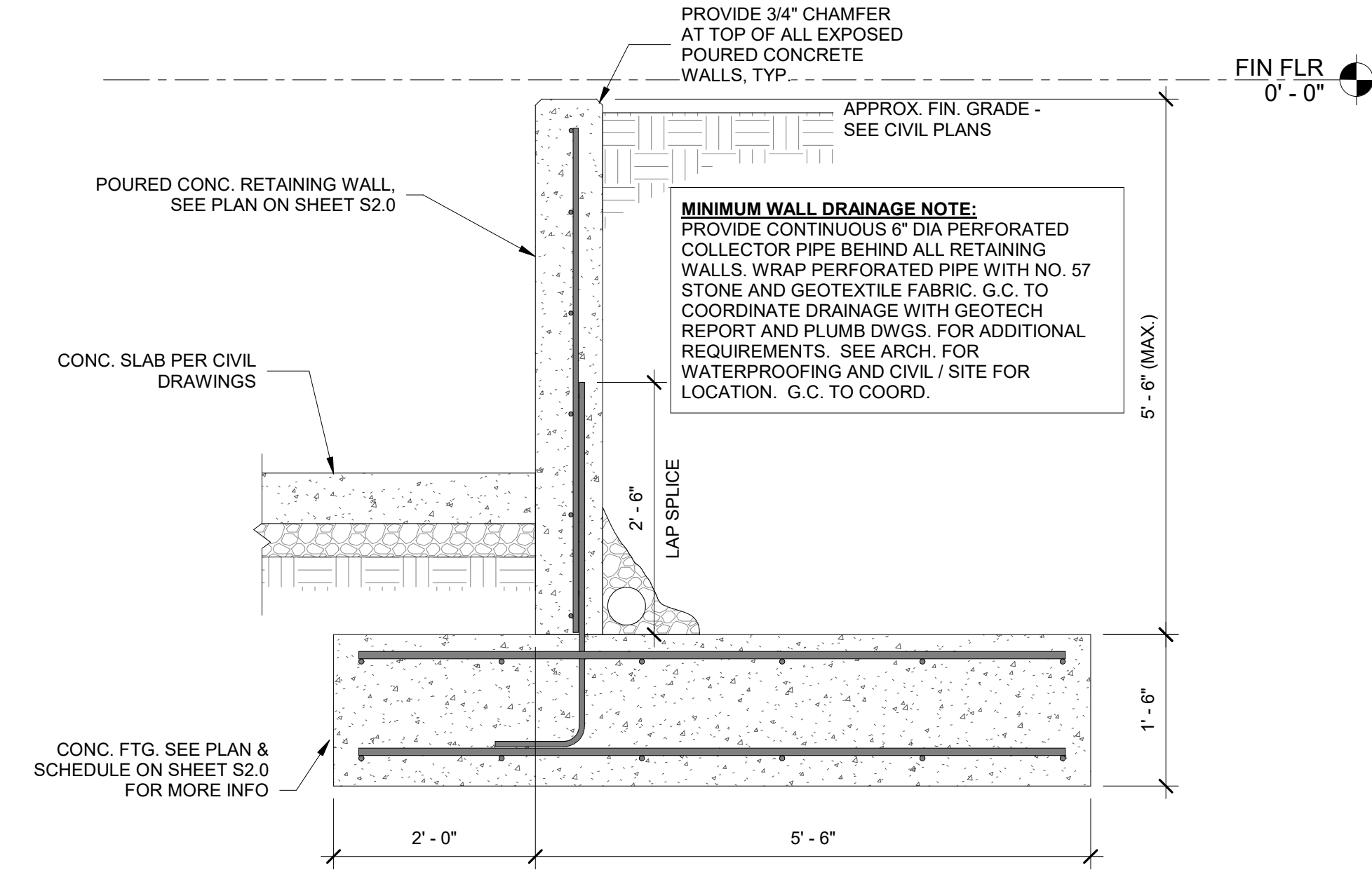
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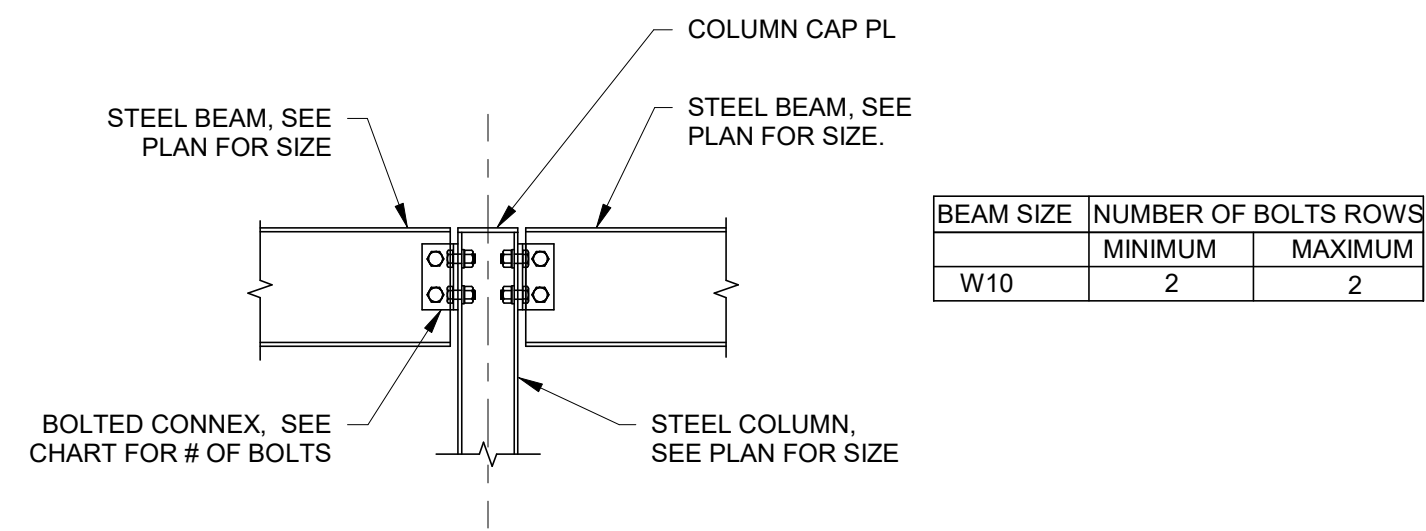
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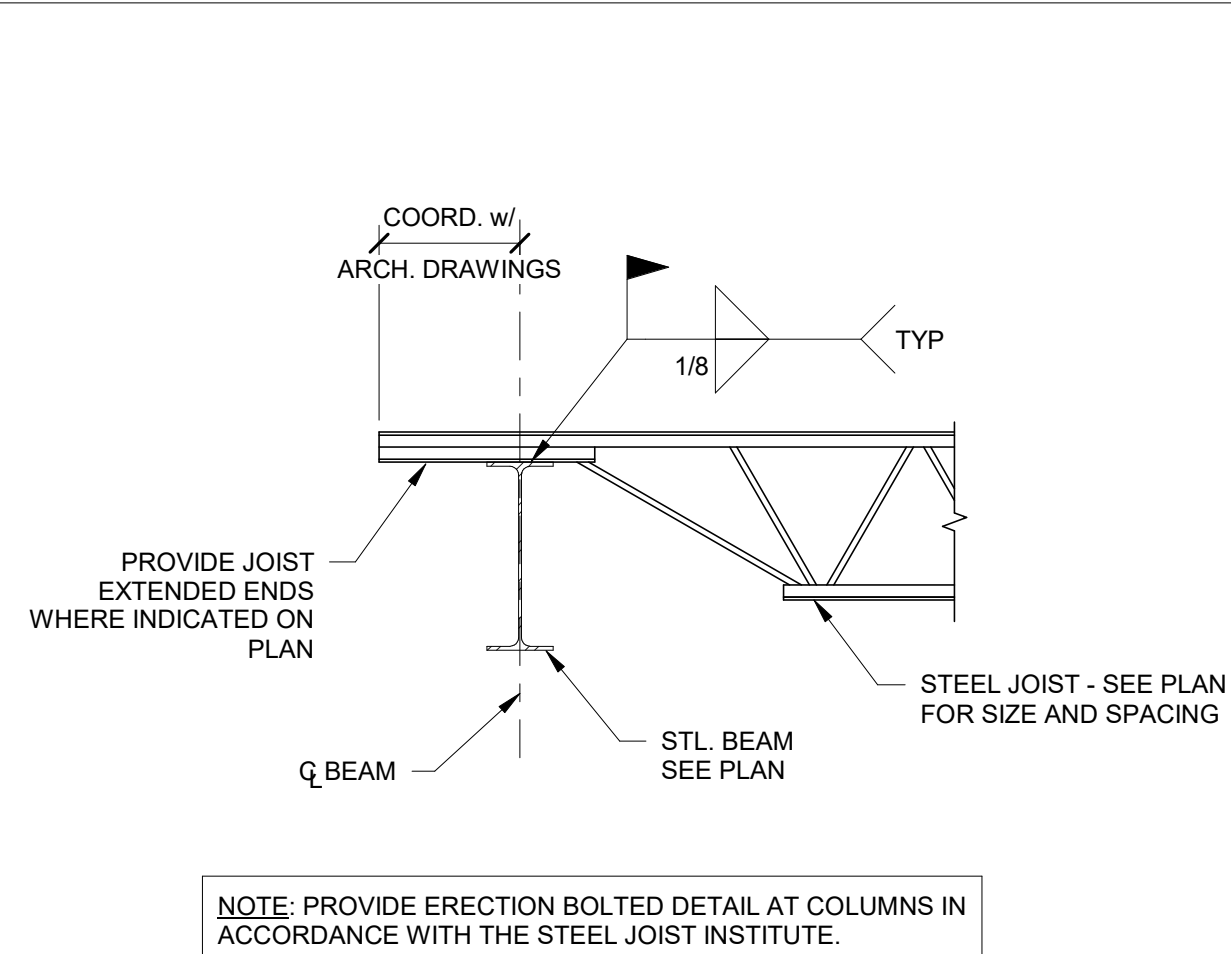
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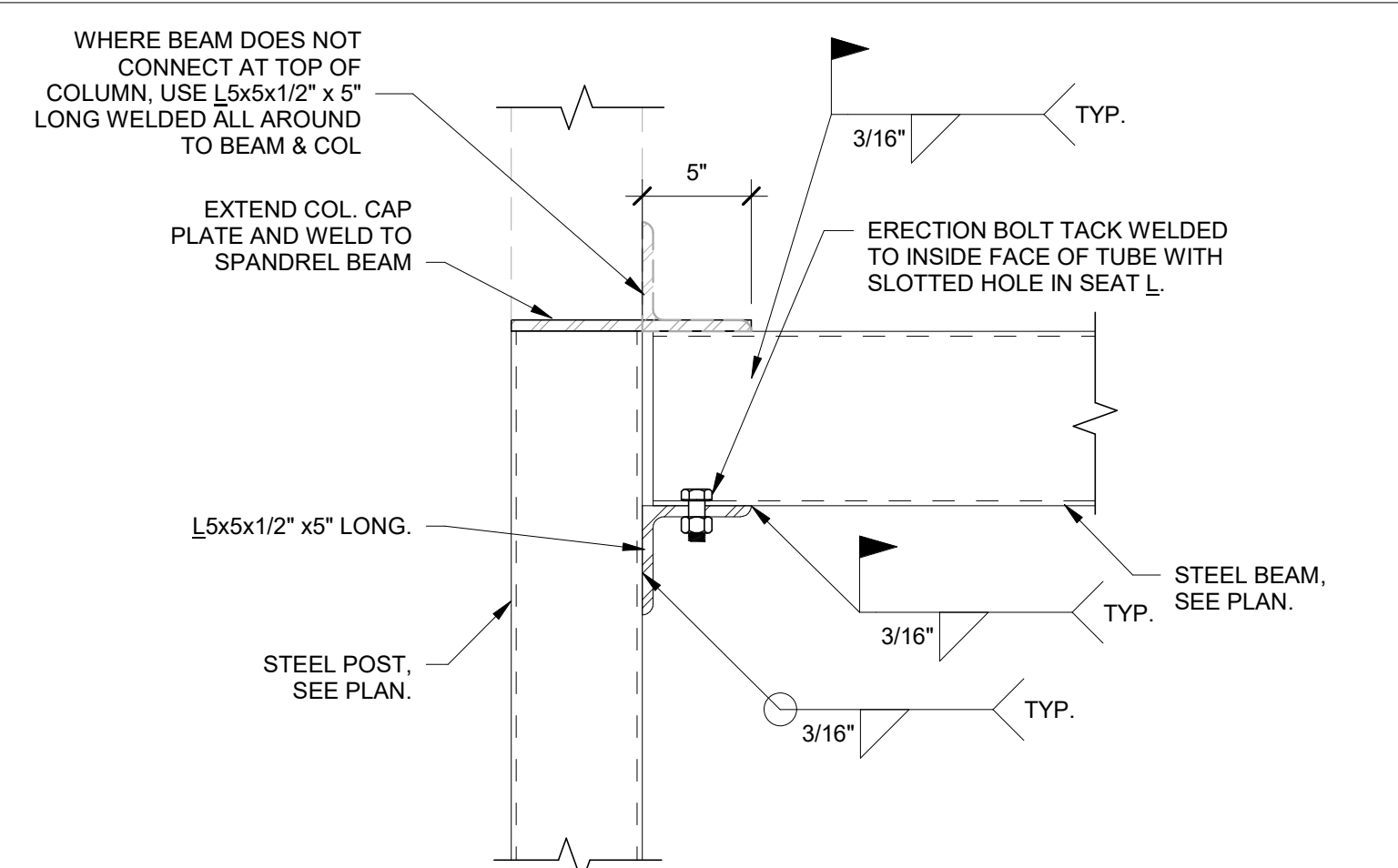
TYPICAL BEAM CONNECTION DETAILS

SCALE: 3/4" = 1'-0"



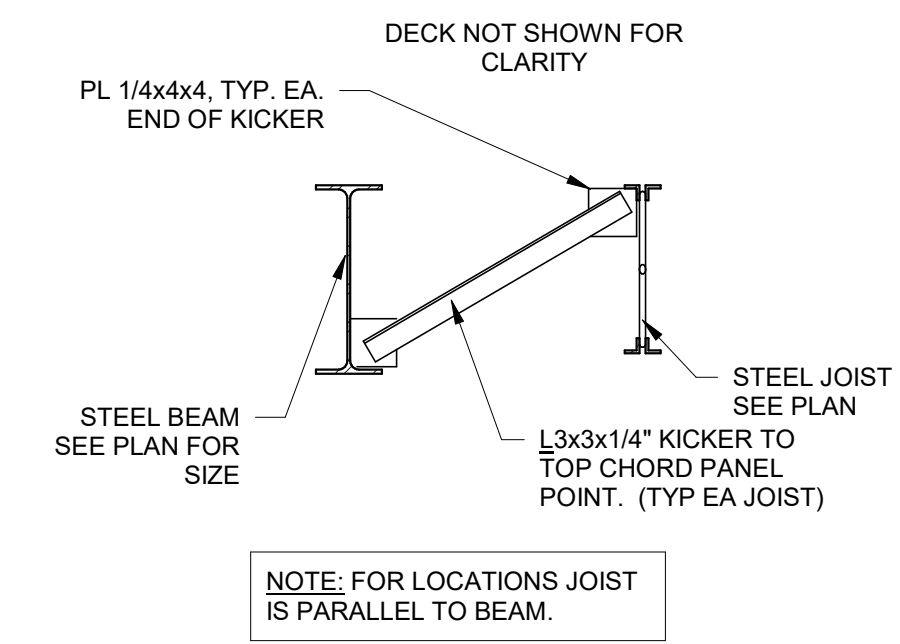
TYPICAL EXTERIOR JOIST BEARING DETAIL

SCALE: 3/4" = 1'-0"



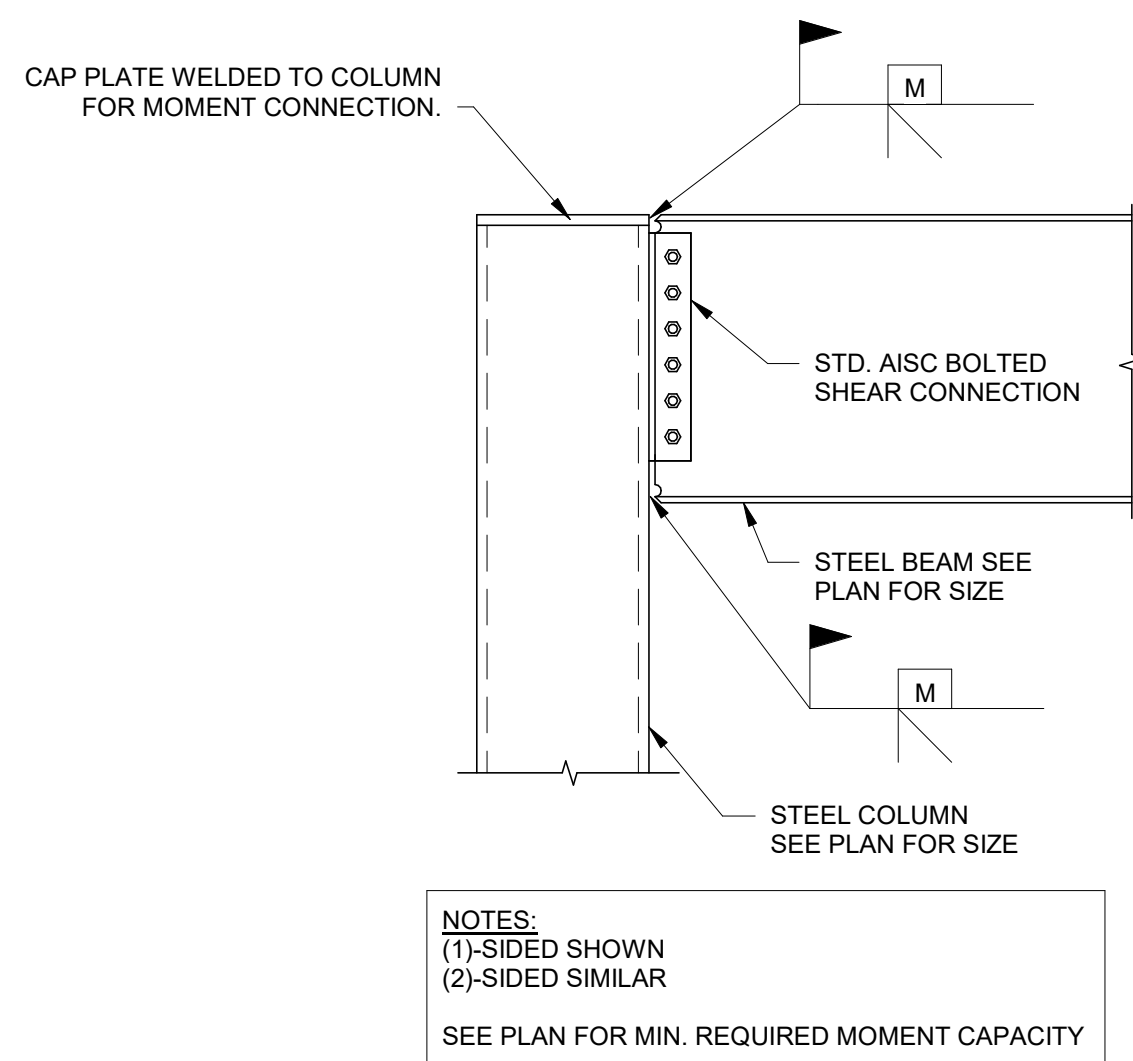
TYPICAL BEAM TO POST CONNECTION DETAIL

SCALE: 1 1/2" = 1'-0"



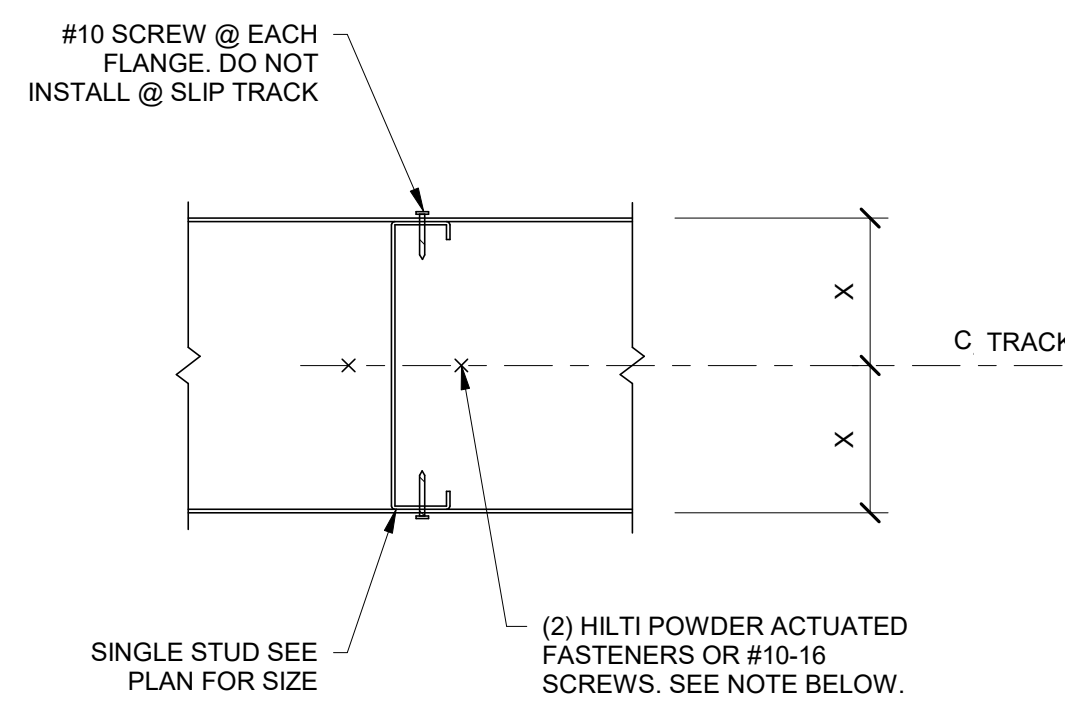
TYPICAL KICKER DETAIL

SCALE: 3/4" = 1'-0"



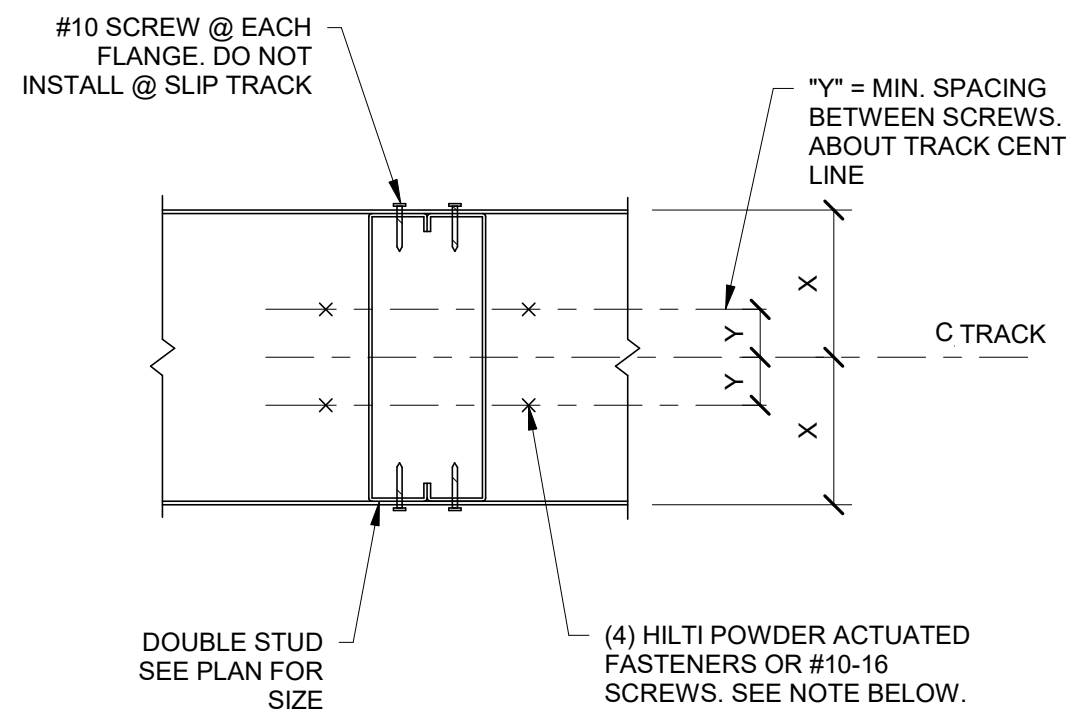
SCHEMATIC MOMENT CONNECTION DETAIL

SCALE: 3/4" = 1'-0"



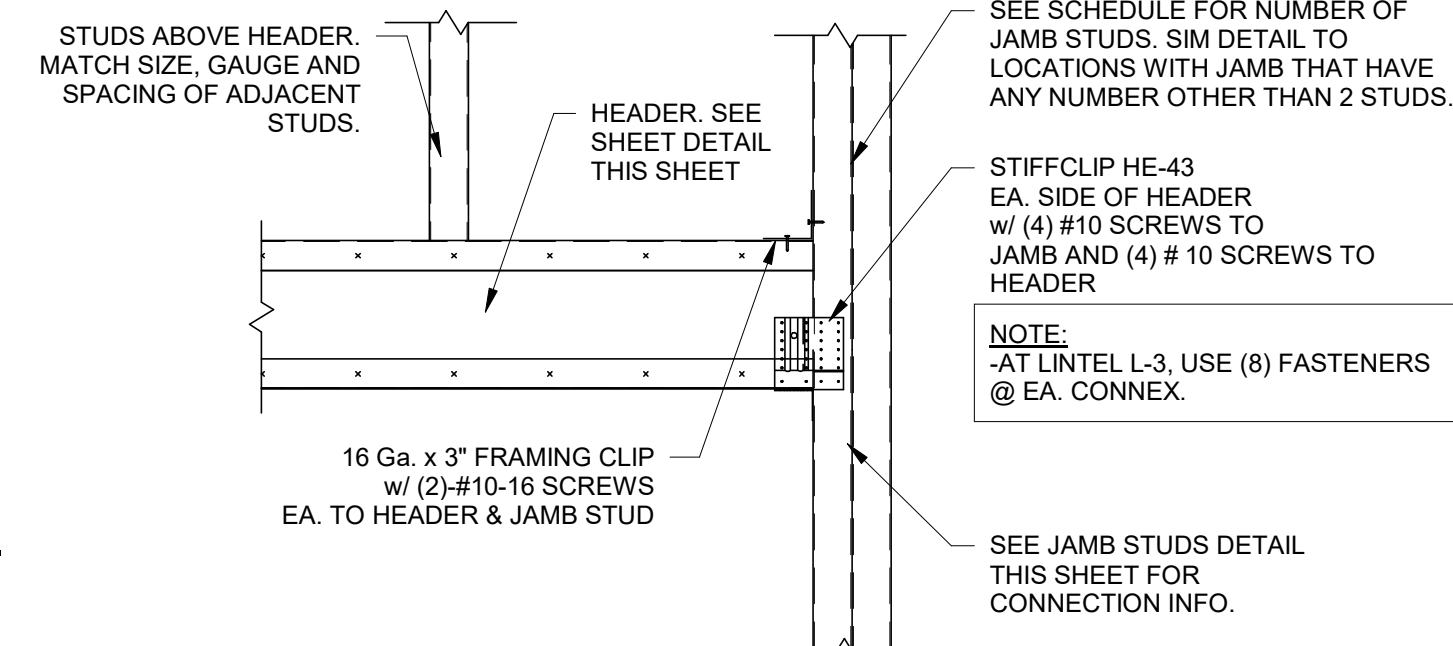
SINGLE STUD

NOTE:
USE HILTI X-U ($\beta = 0.157$) AT CONNECTION TO STEEL BASE MATERIAL, U.N.O.
USE HILTI X-U ($\beta = 0.157$) MIN 1 1/4" EMBED AT CONNECTION TO MASONRY OR CONCRETE BASE MATERIAL, U.N.O.
USE #10-16 SELF DRILLING SCREWS AT CONNECTION TO LIGHT GAGE BASE MATERIAL, U.N.O.



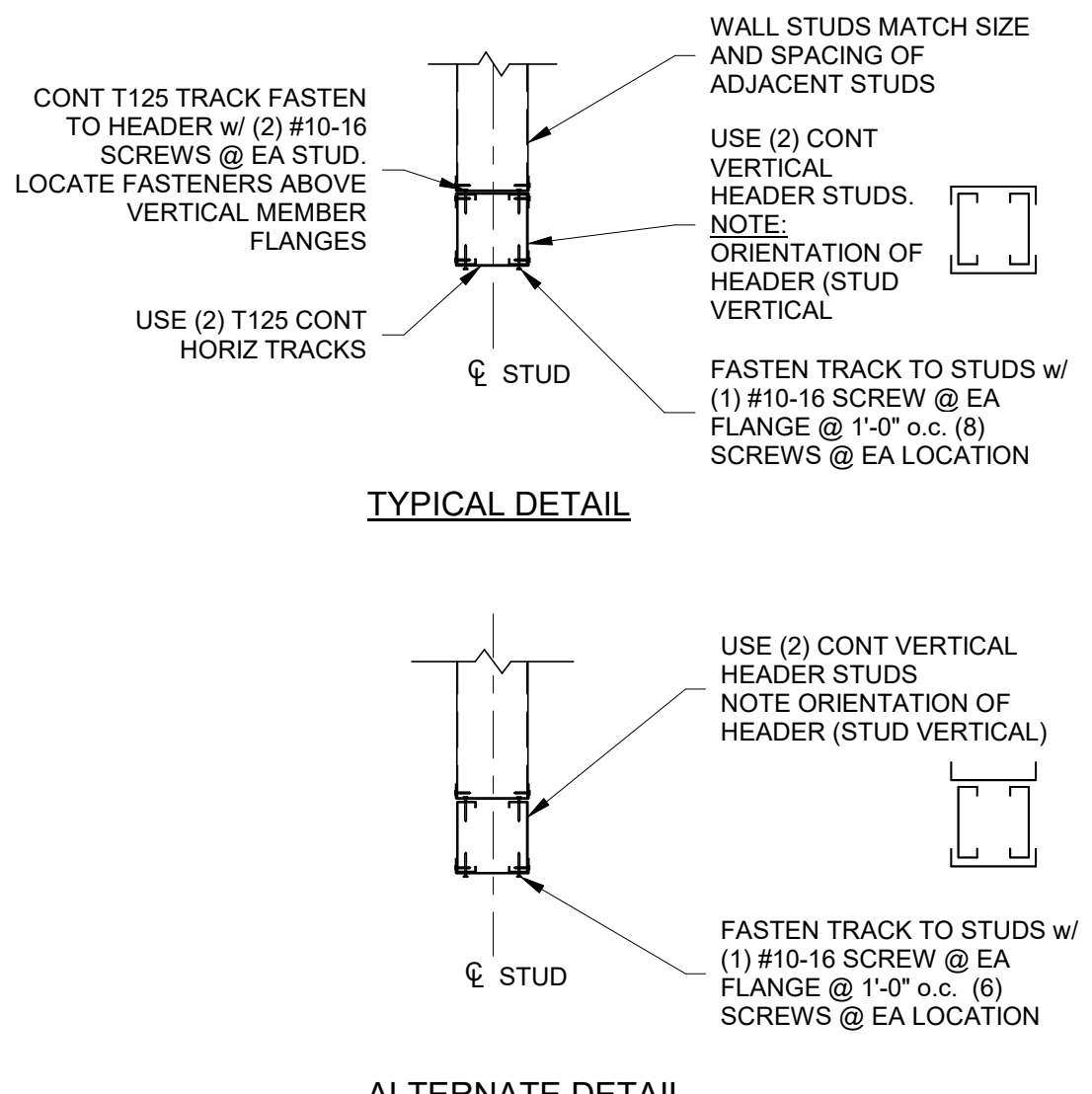
DOUBLE STUD CONNECTION DETAIL

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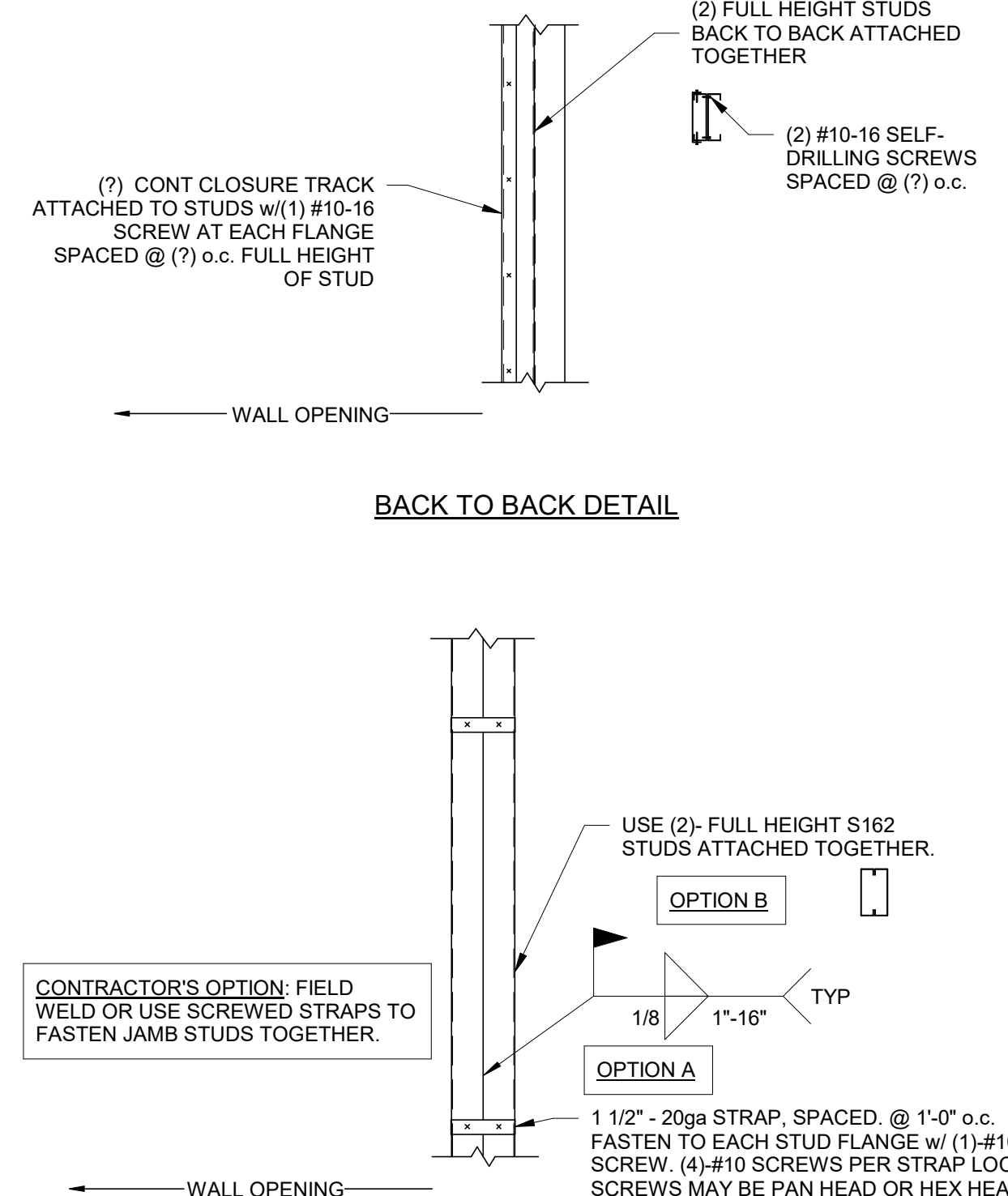
TYP HEADER END CONNEX.

SCALE: 3/4" = 1'-0"



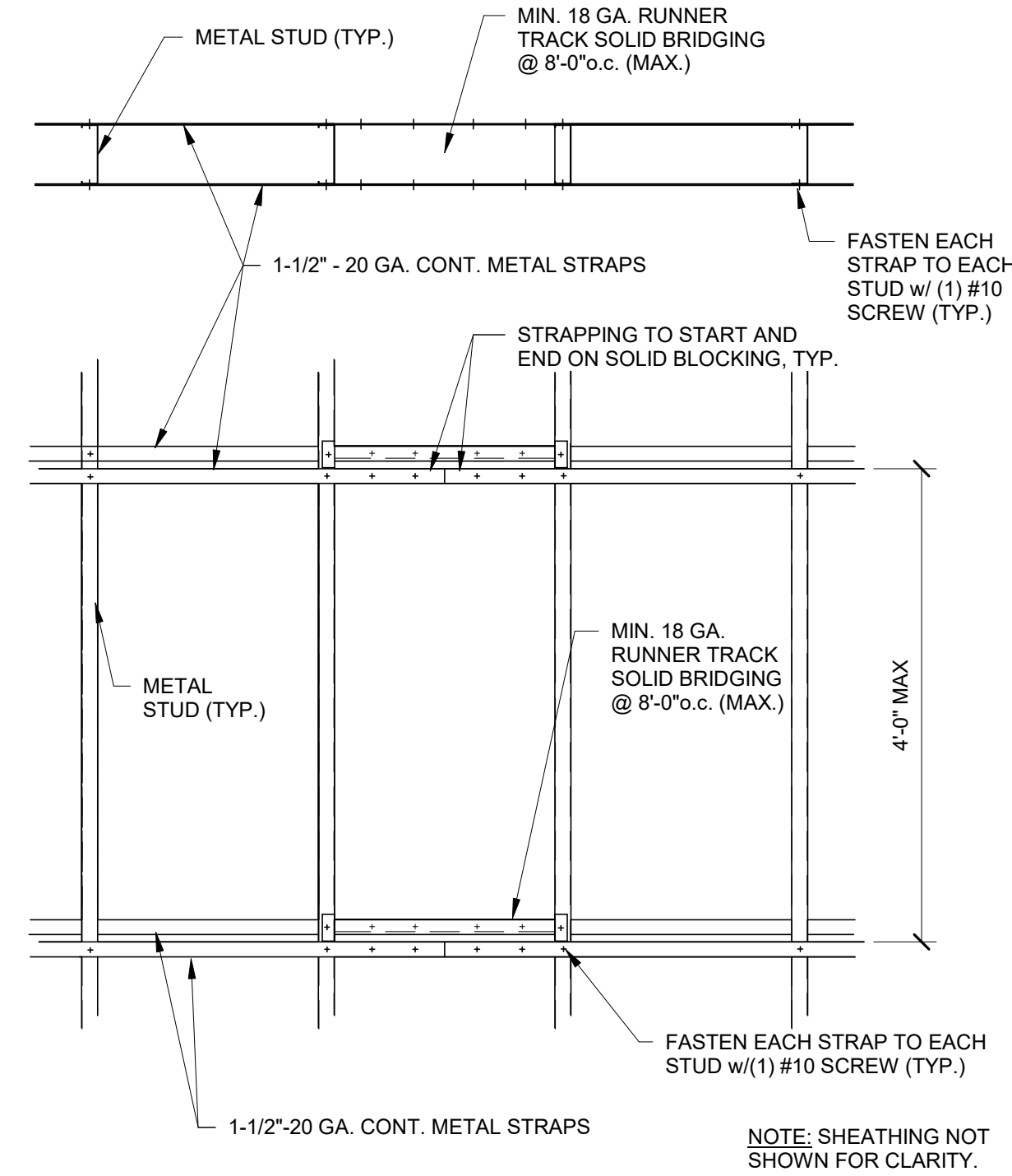
BOX HEADER DETAILS

SCALE: 3/4" = 1'-0"



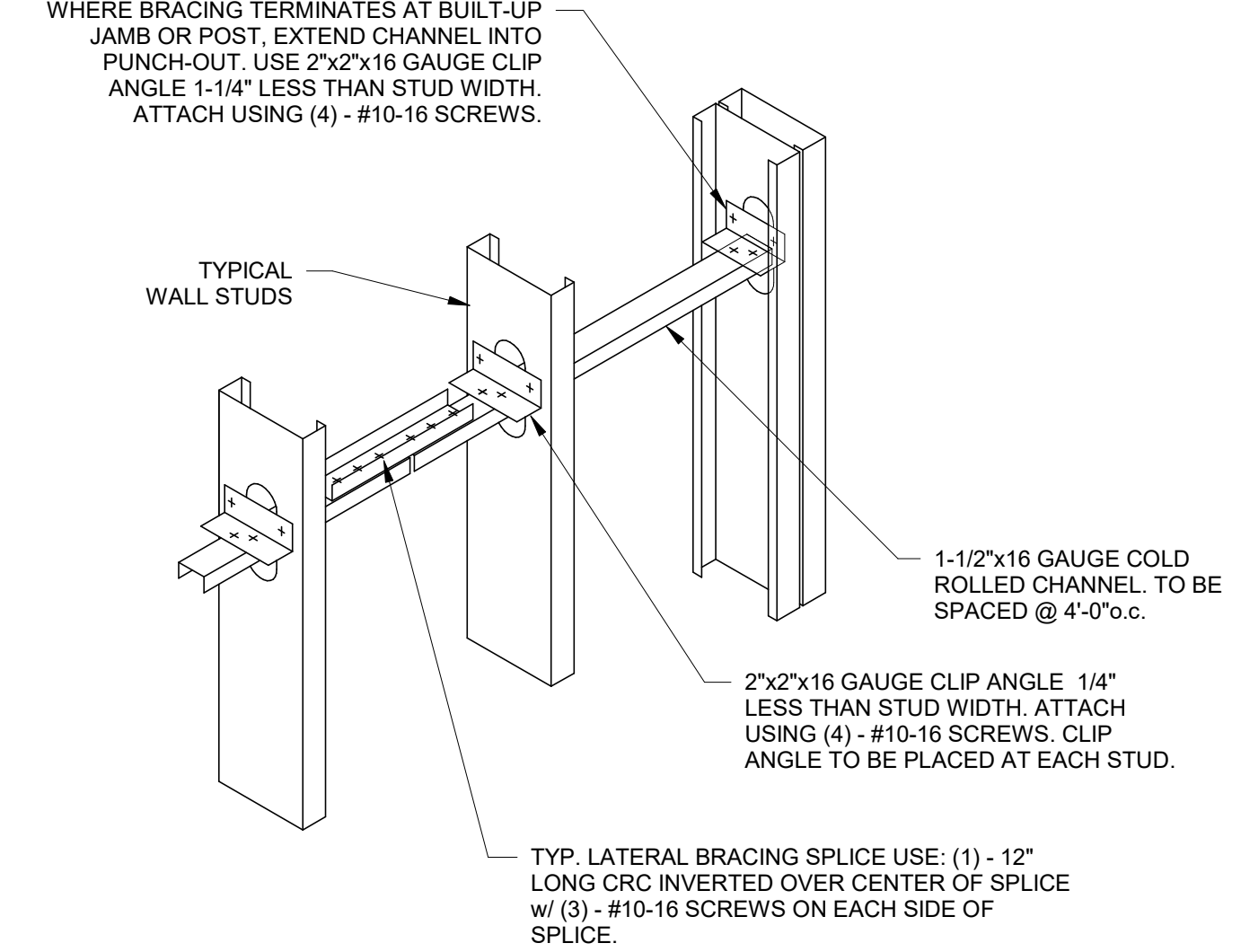
JAMB STUD DETAILS

SCALE: 3/4" = 1'-0"



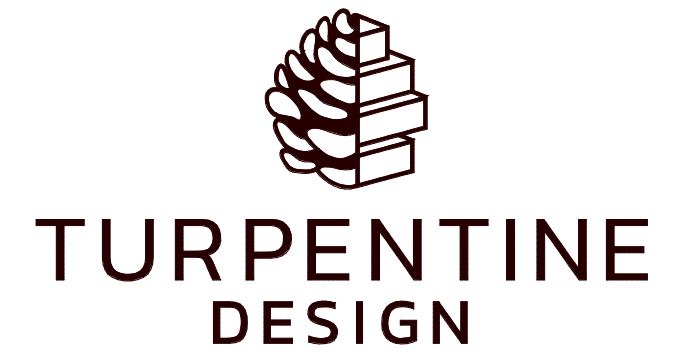
TYPICAL STUD BRIDGING

SCALE: 3/4" = 1'-0"



OPTIONAL CRC STUD BRIDGING DETAIL

SCALE: 3/4" = 1'-0"

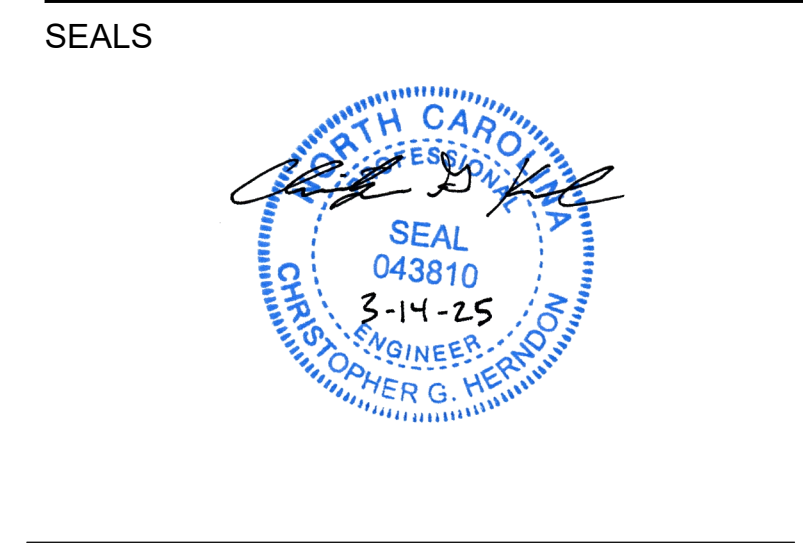


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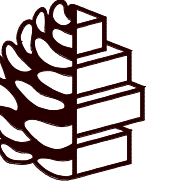
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DRAWING TITLE
FRAMING SECTIONS & DETAILS

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S4.0



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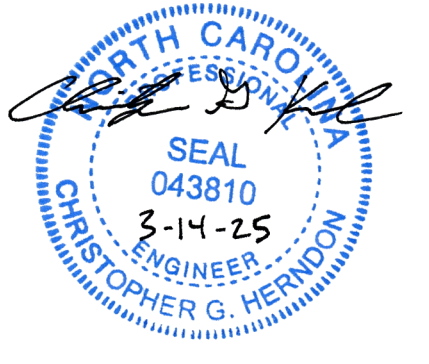


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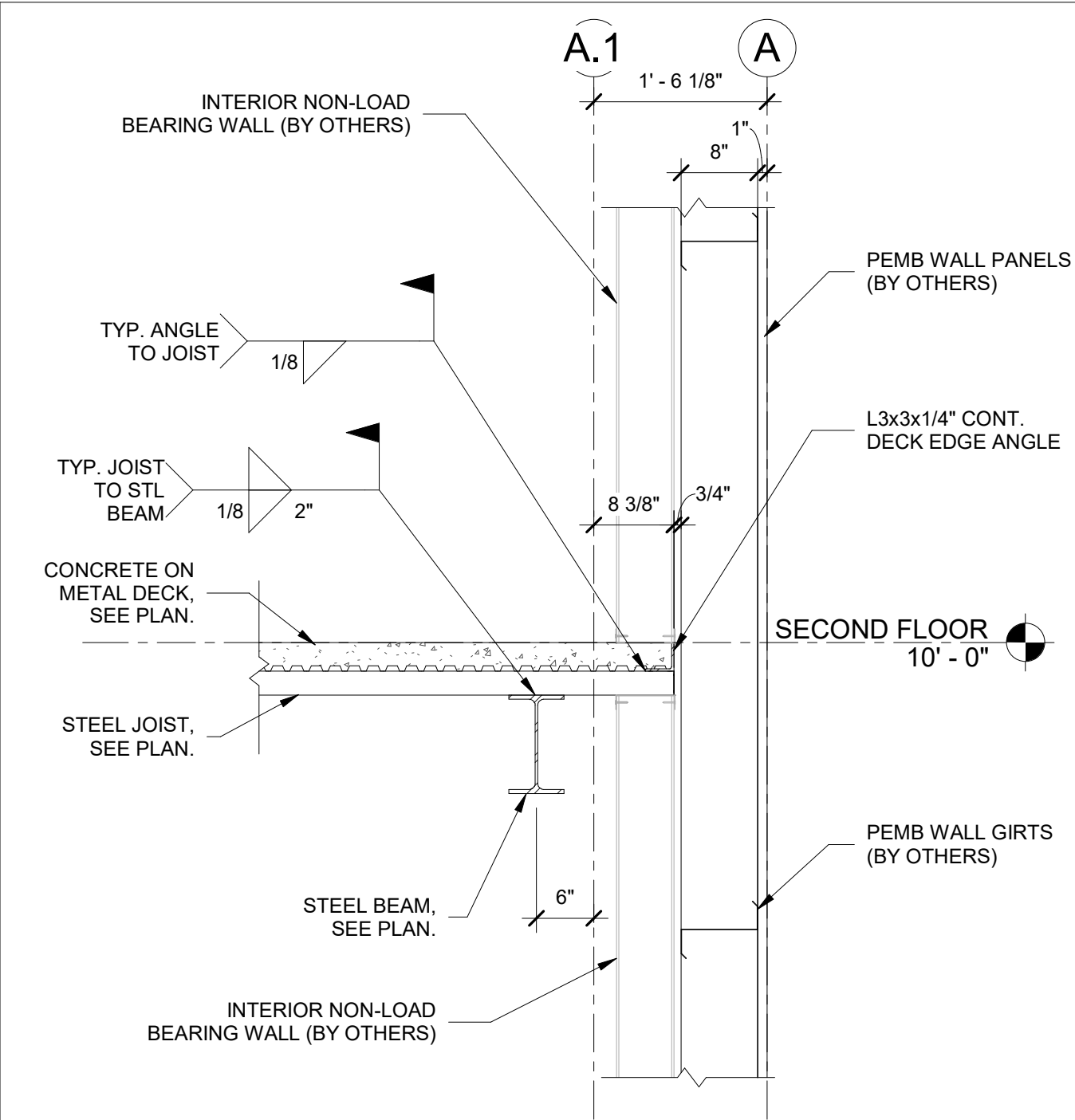
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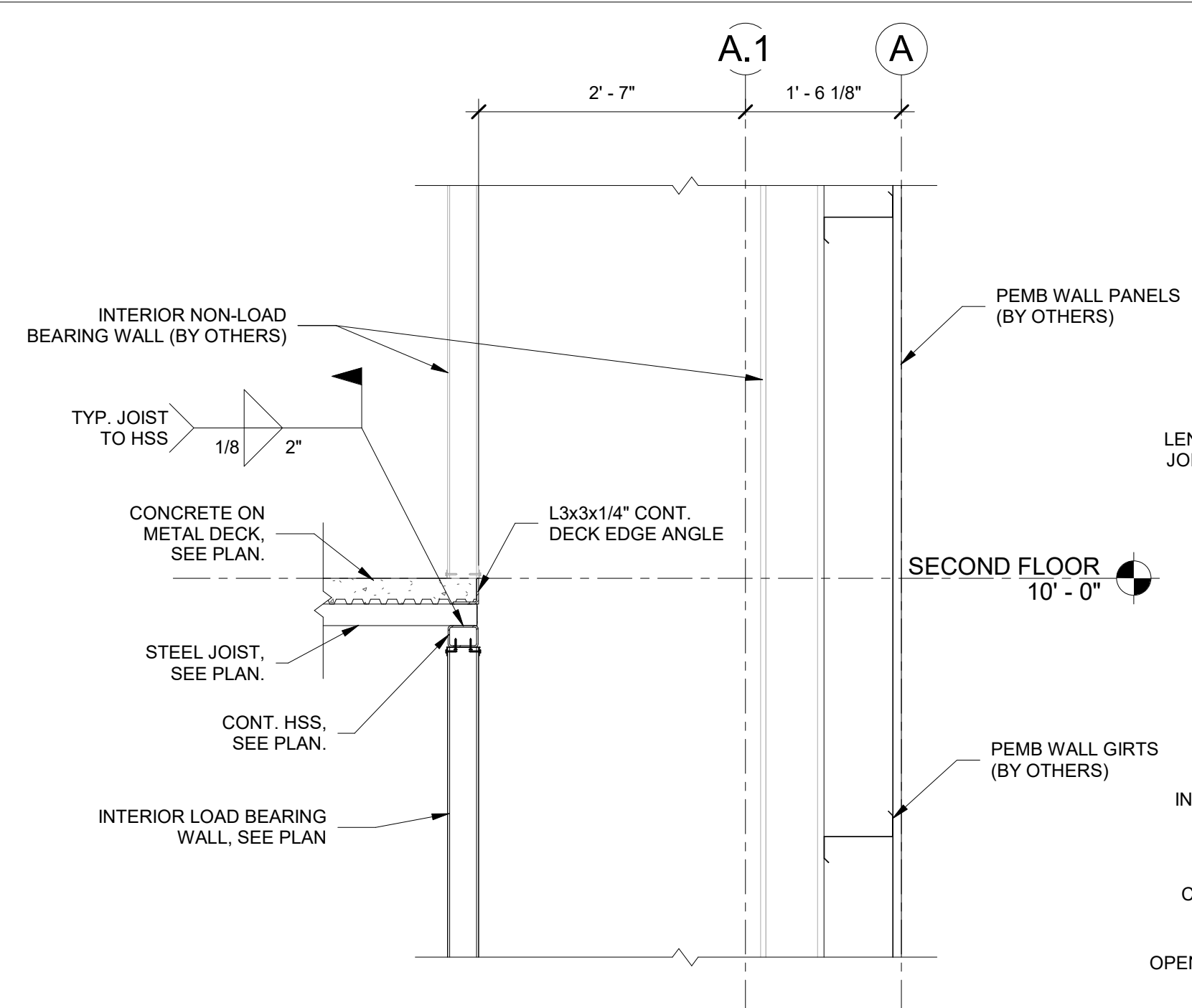
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FRAMING SECTIONS

DRAWING NUMBER

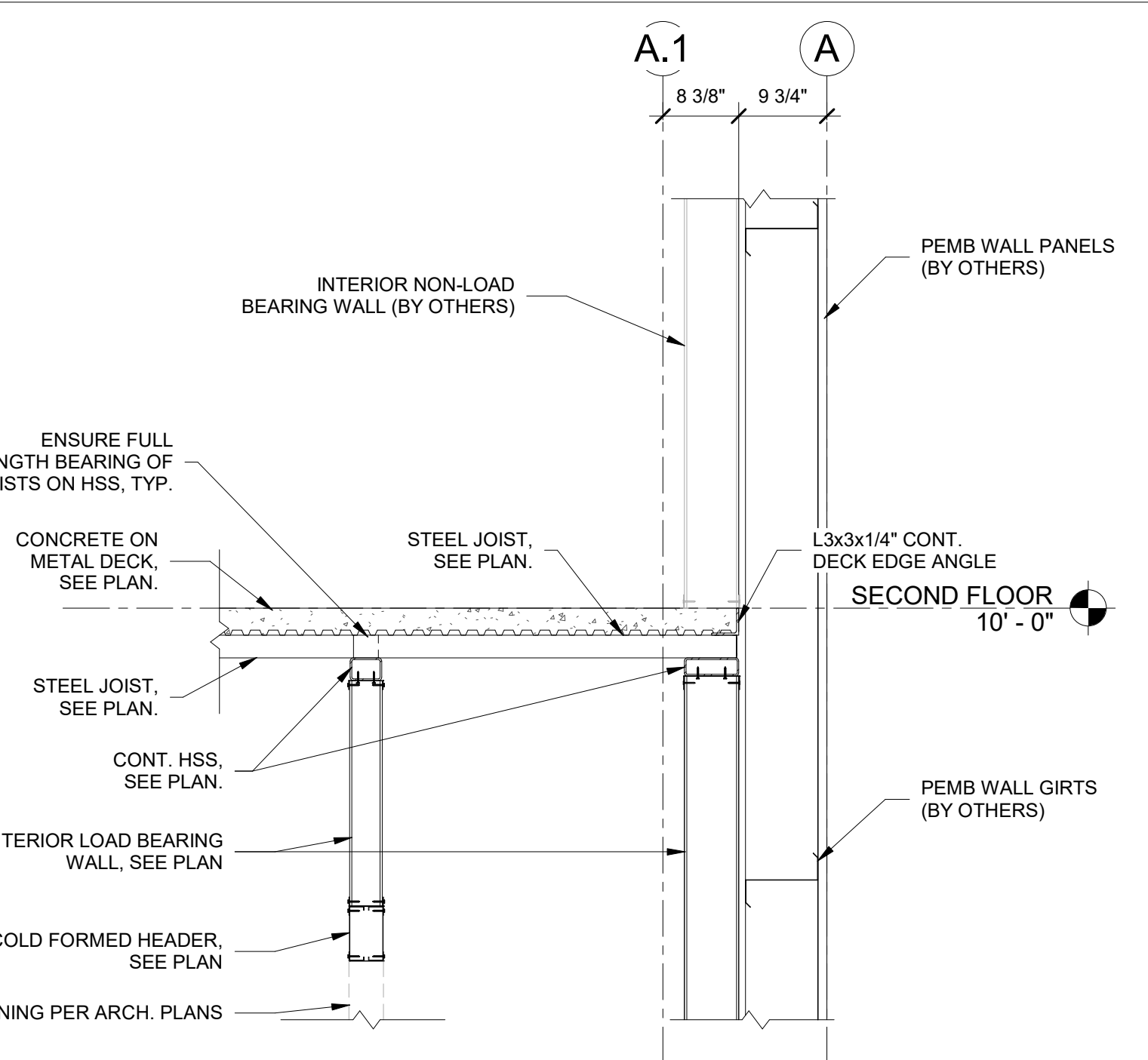
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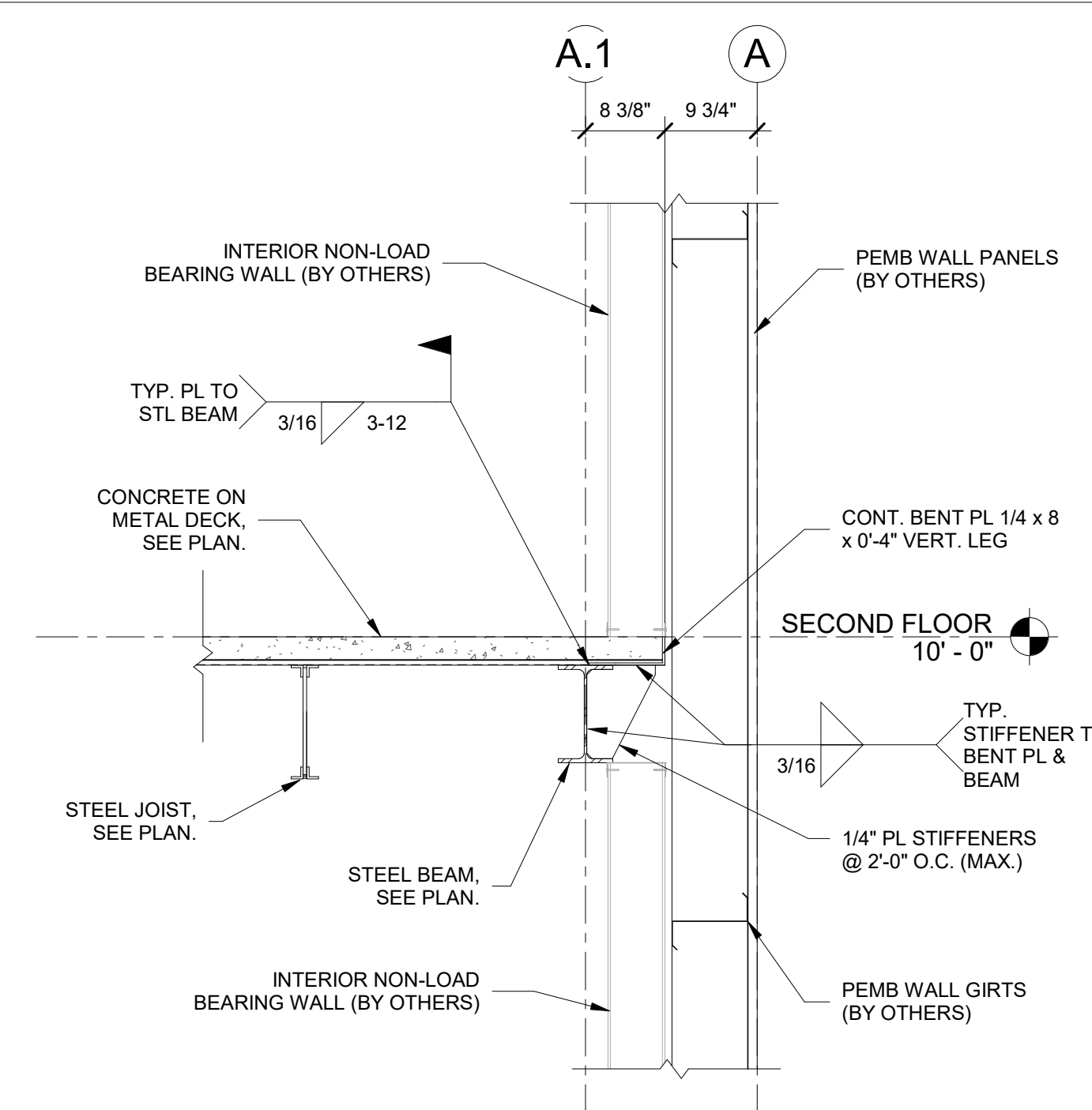
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SCALE: 3/4" = 1'-0"



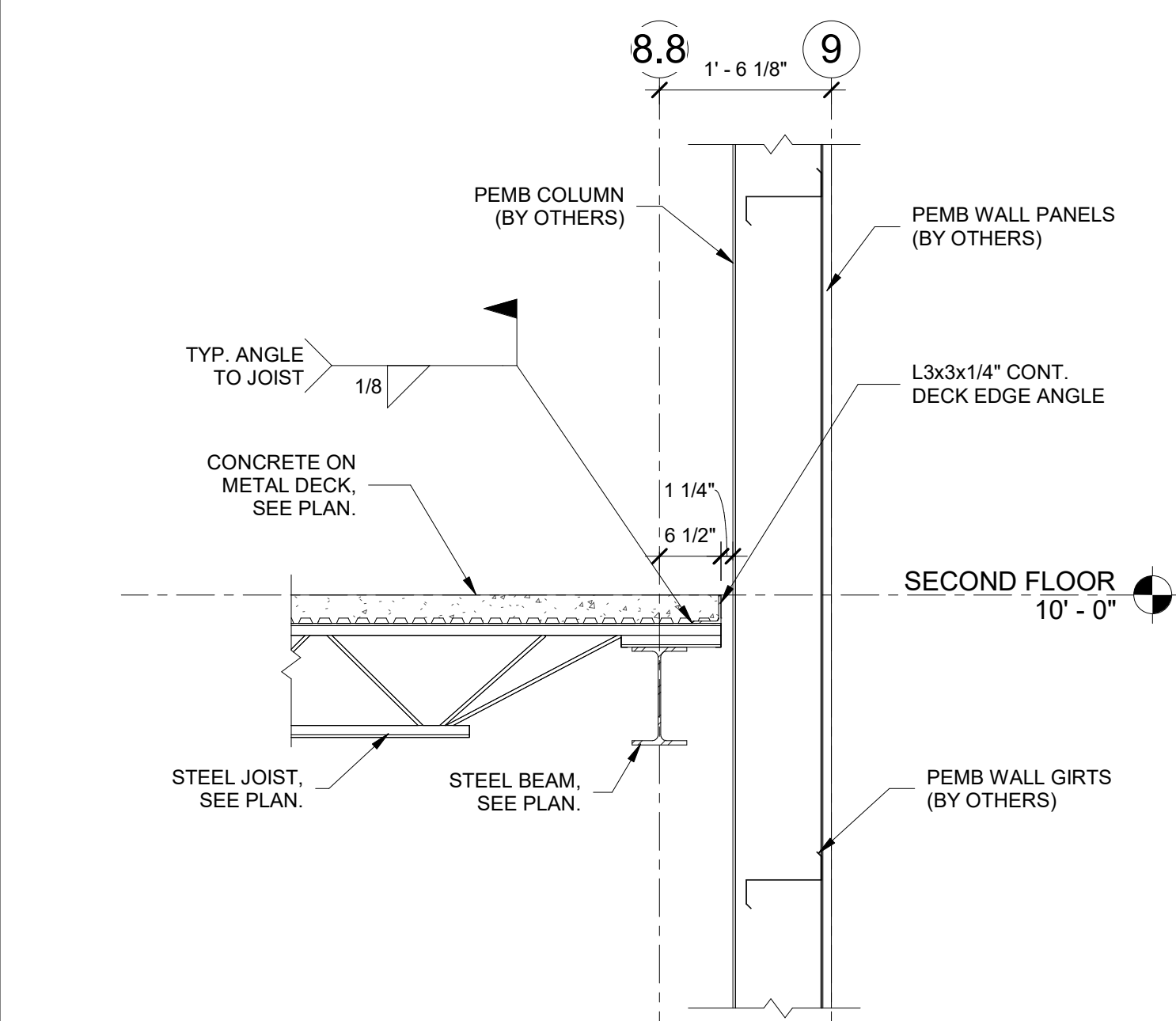
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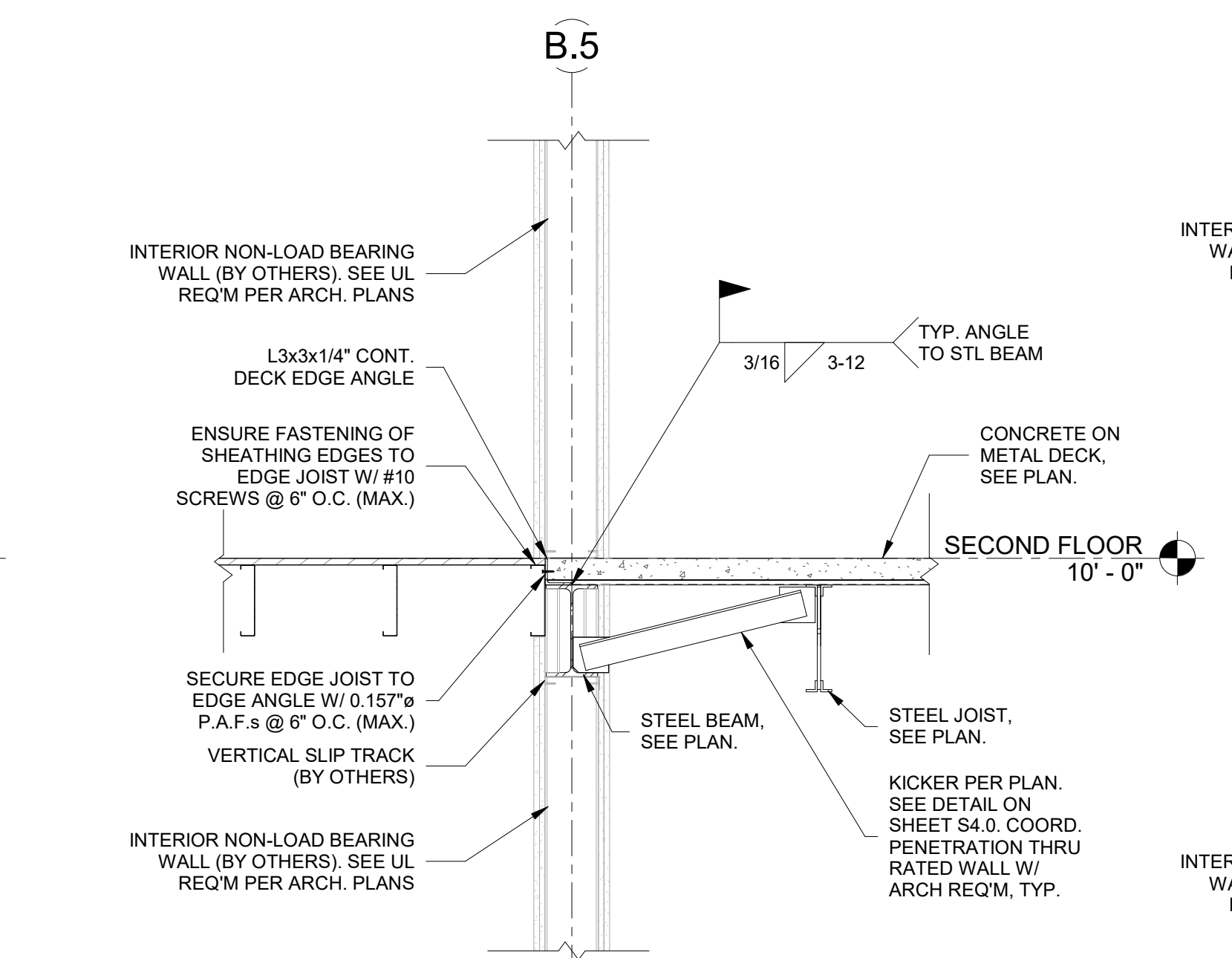
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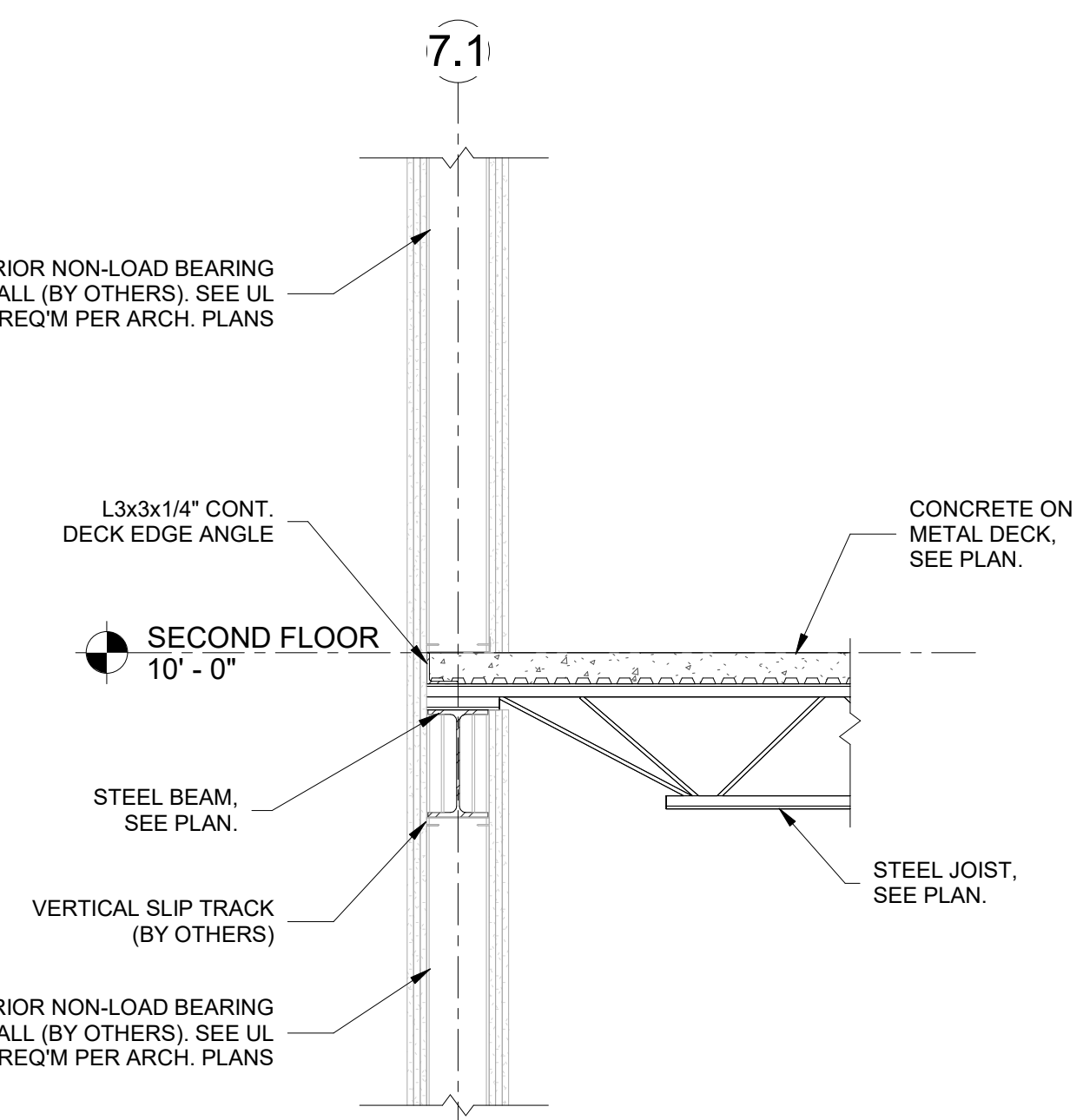
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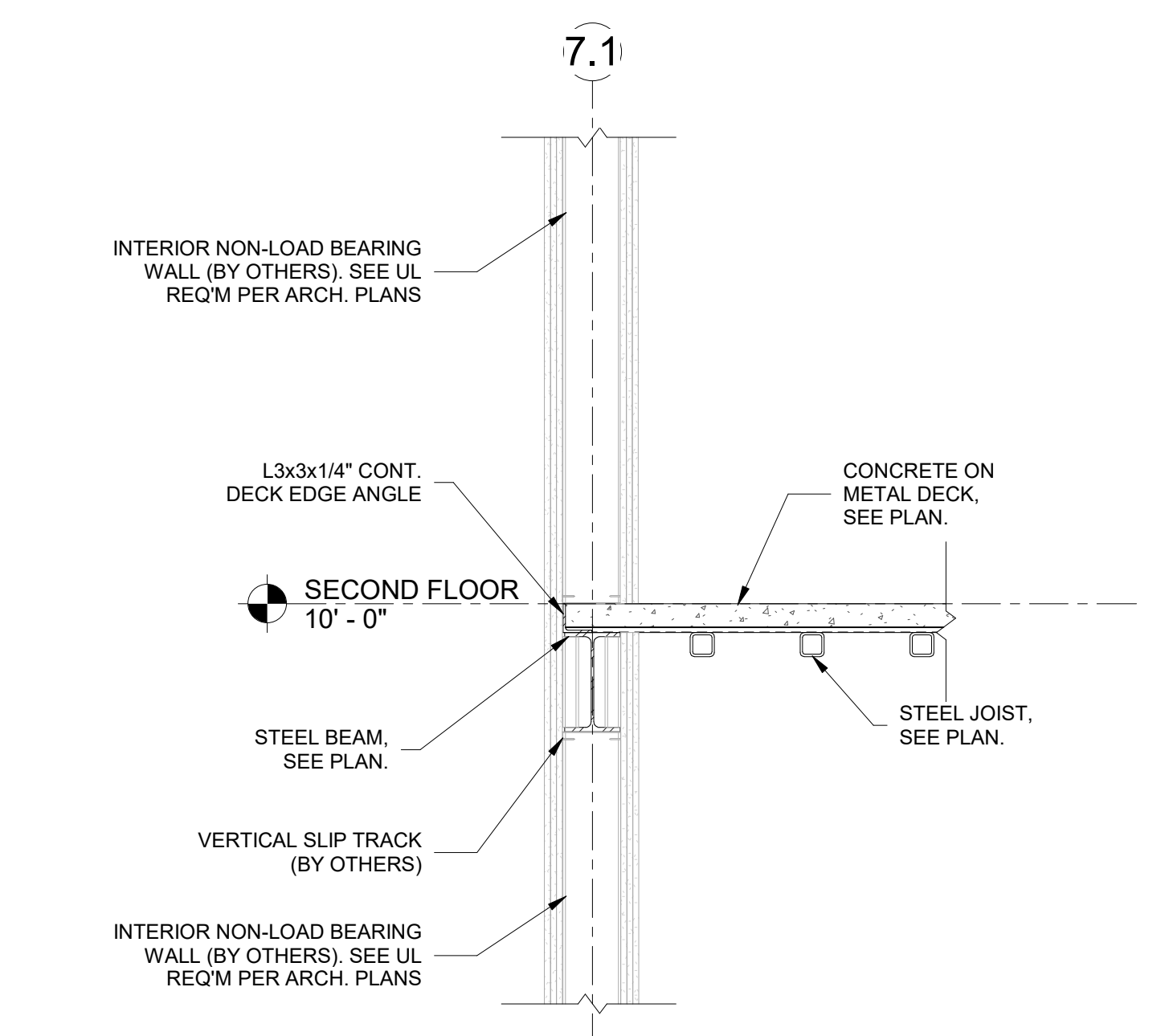
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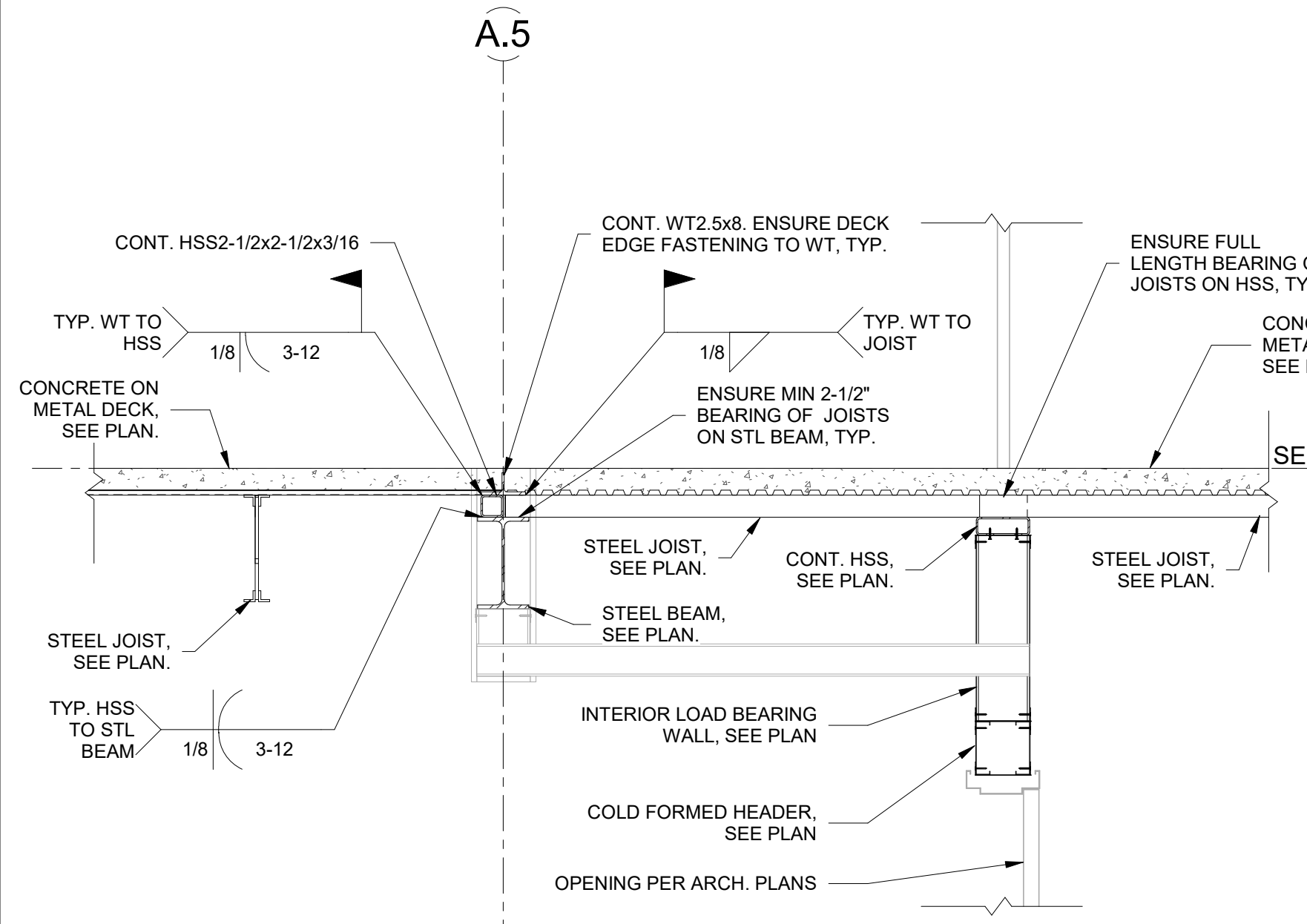
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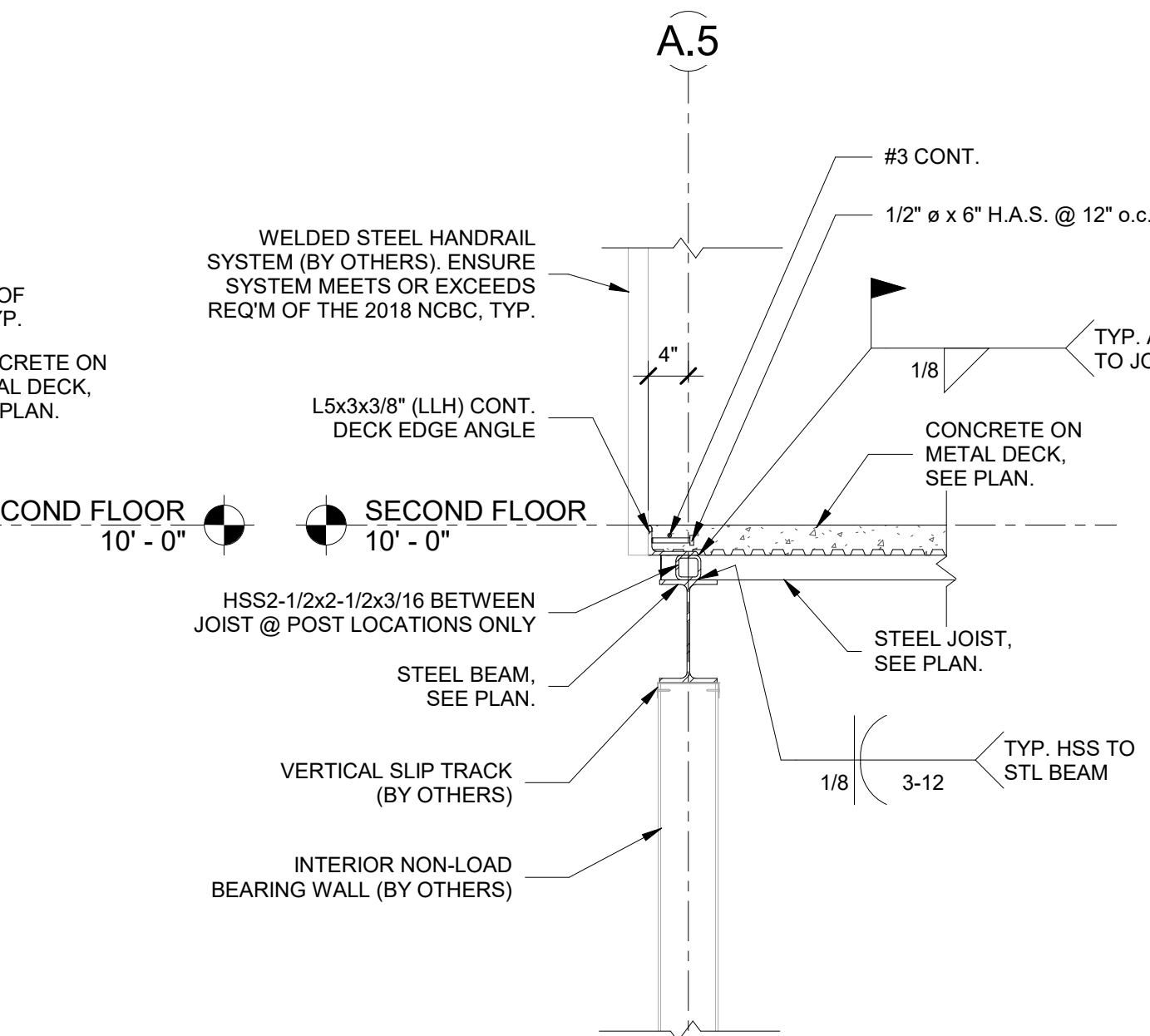
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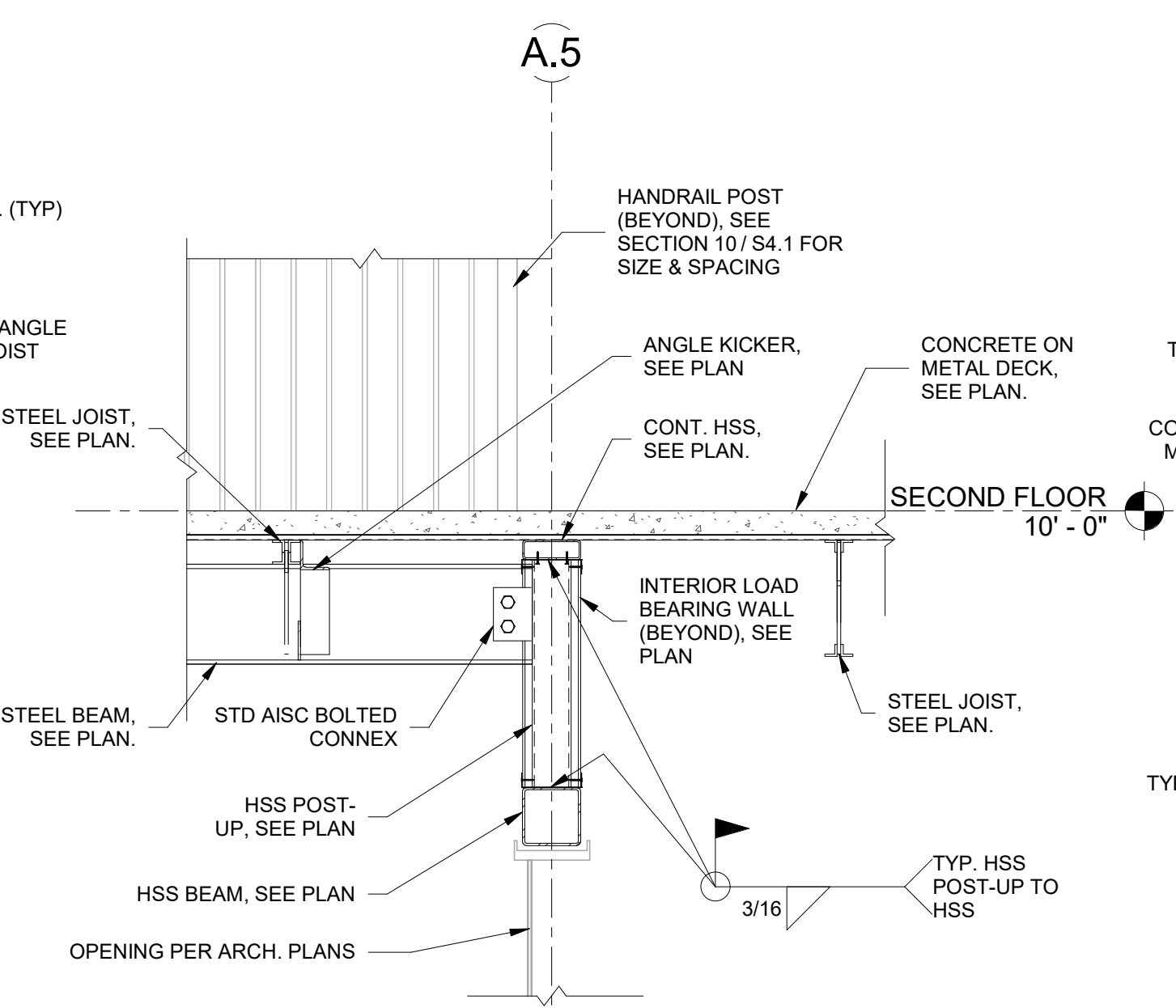
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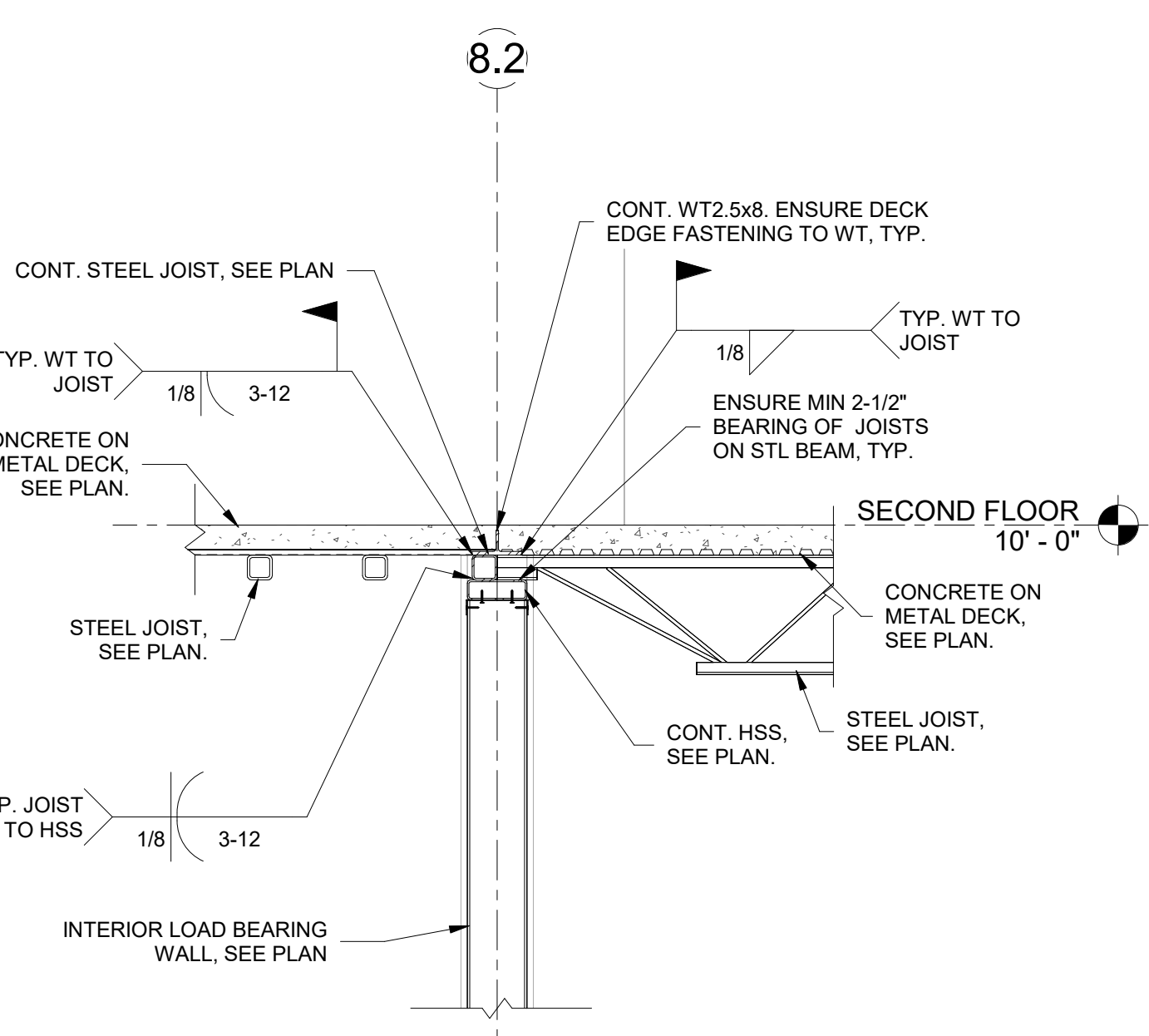
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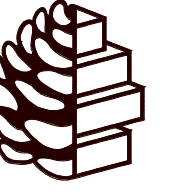
10 FRAMING SECTION
SCALE: 3/4" = 1'-0"



11 FRAMING SECTION
SCALE: 3/4" = 1'-0"



12 FRAMING SECTION
SCALE: 3/4" = 1'-0"



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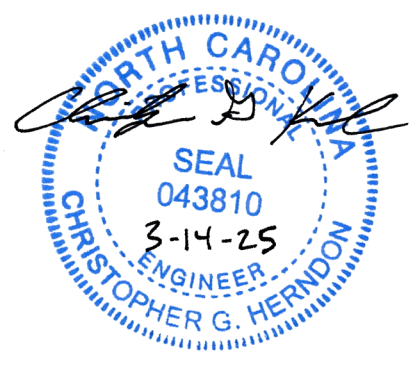
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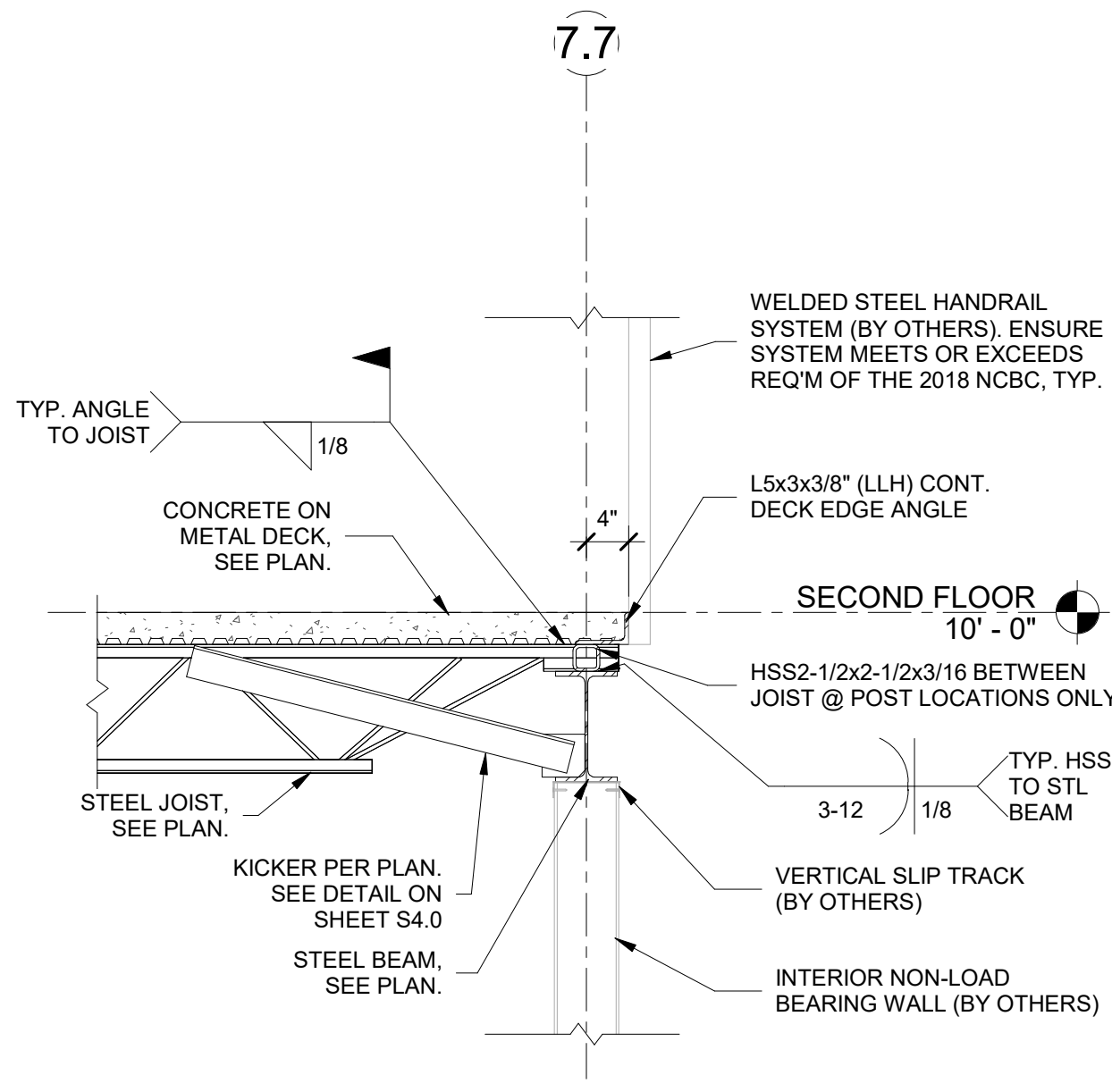
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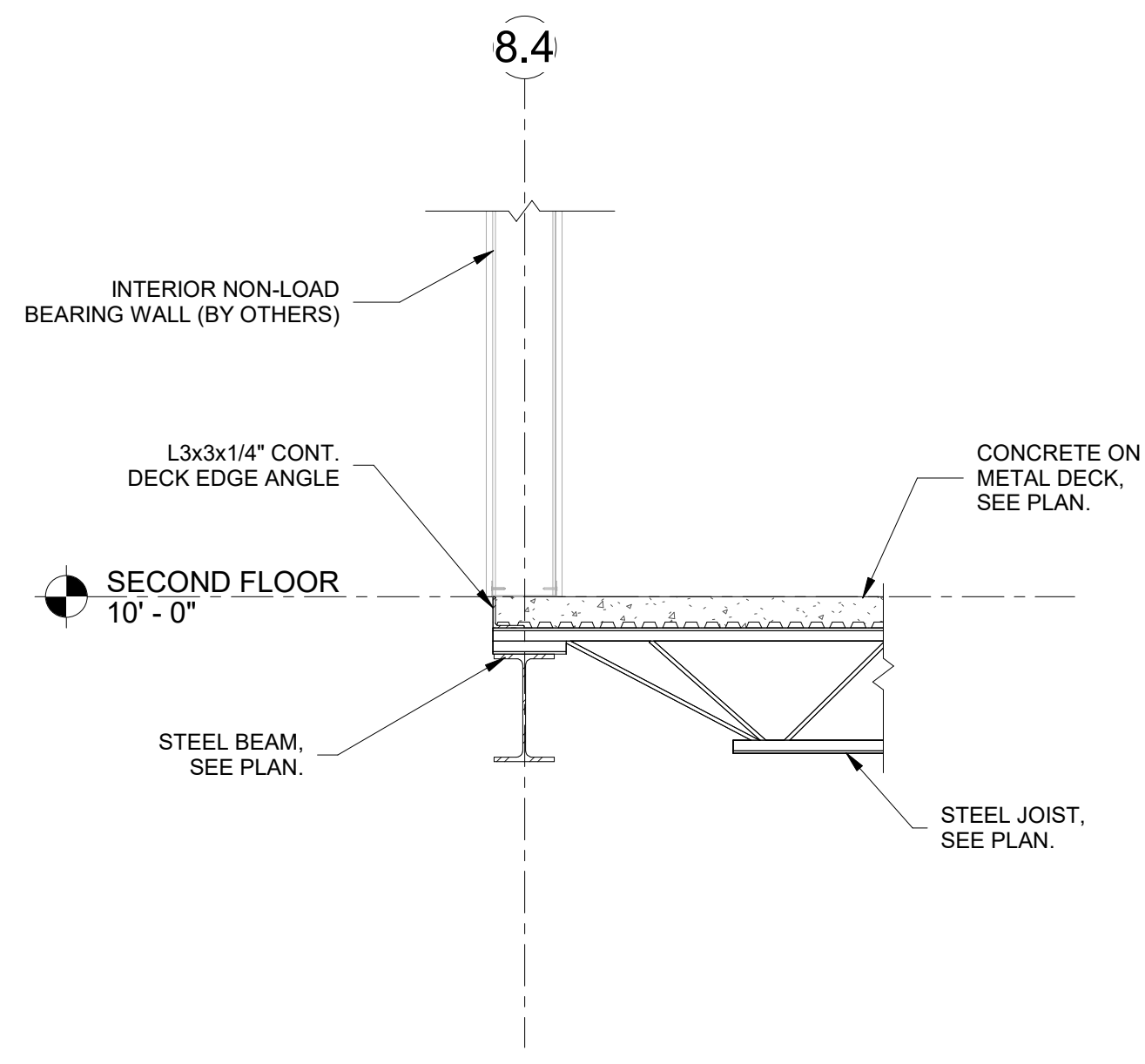
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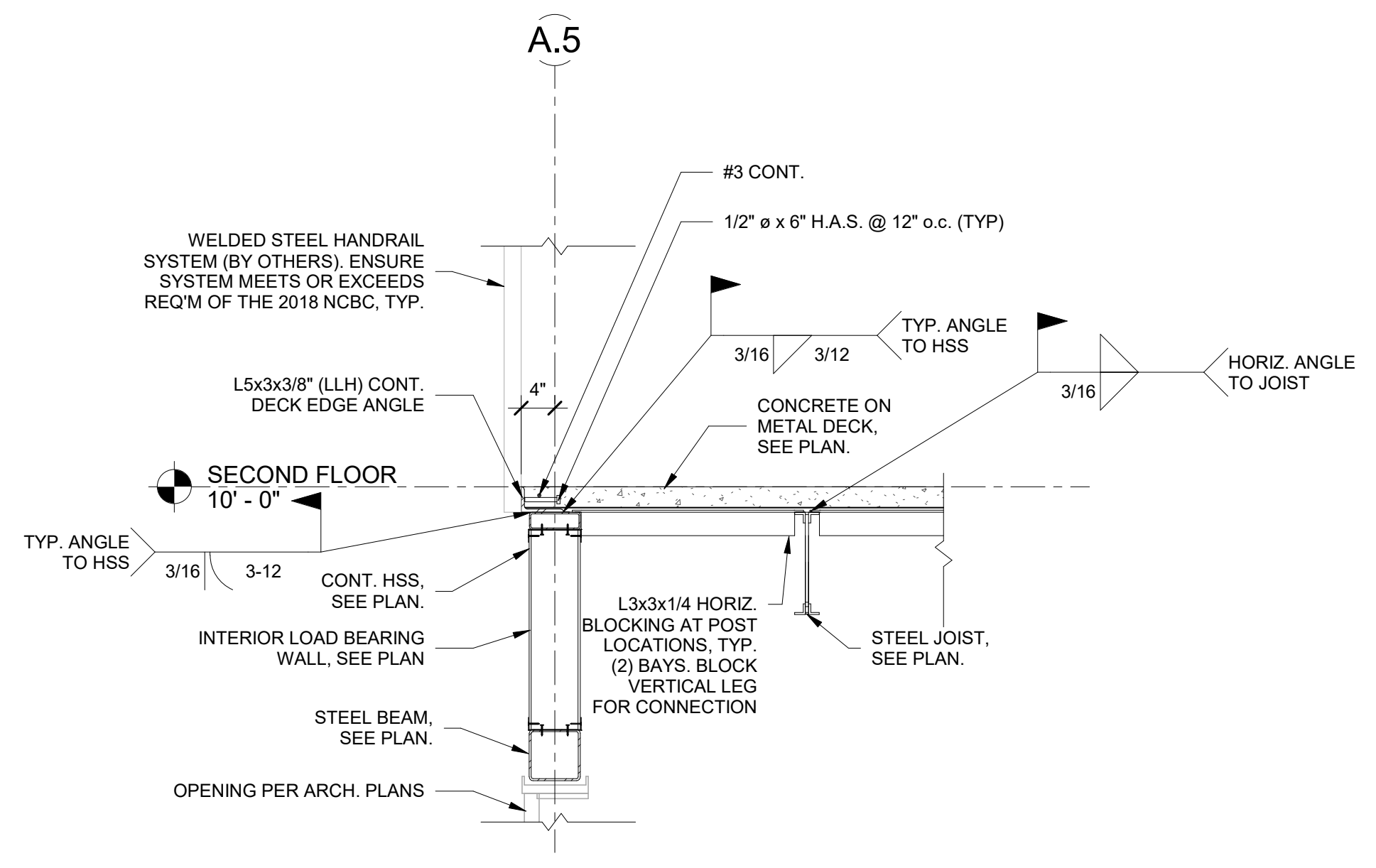
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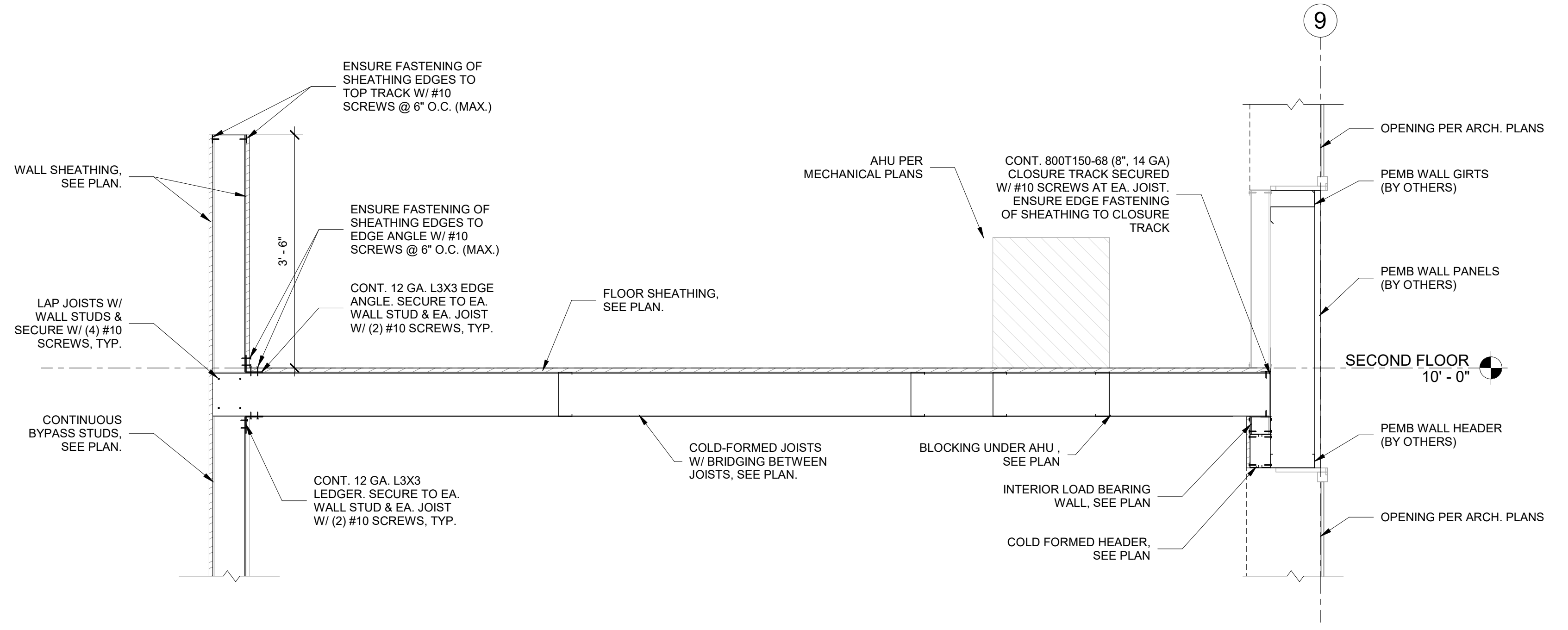
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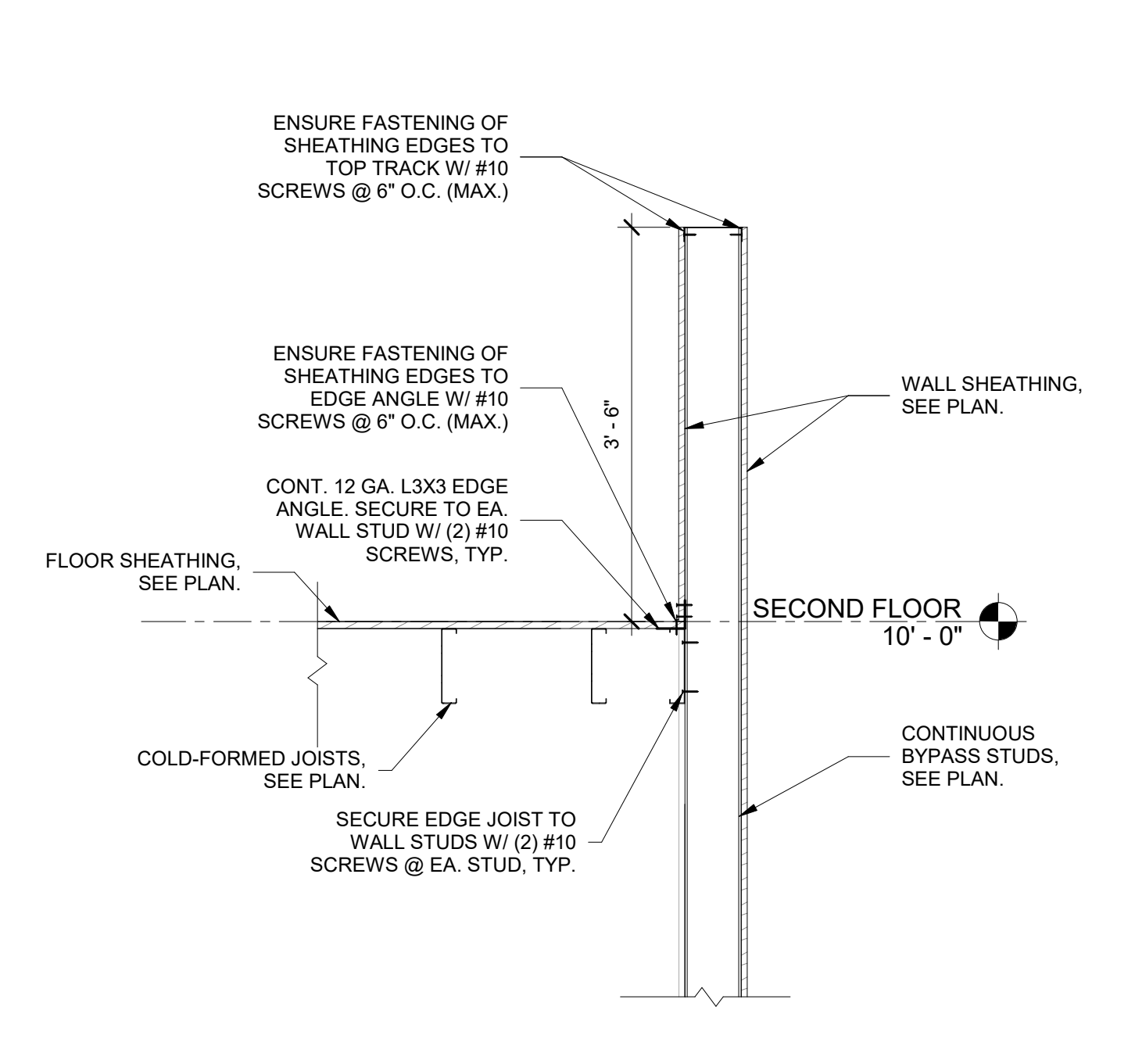
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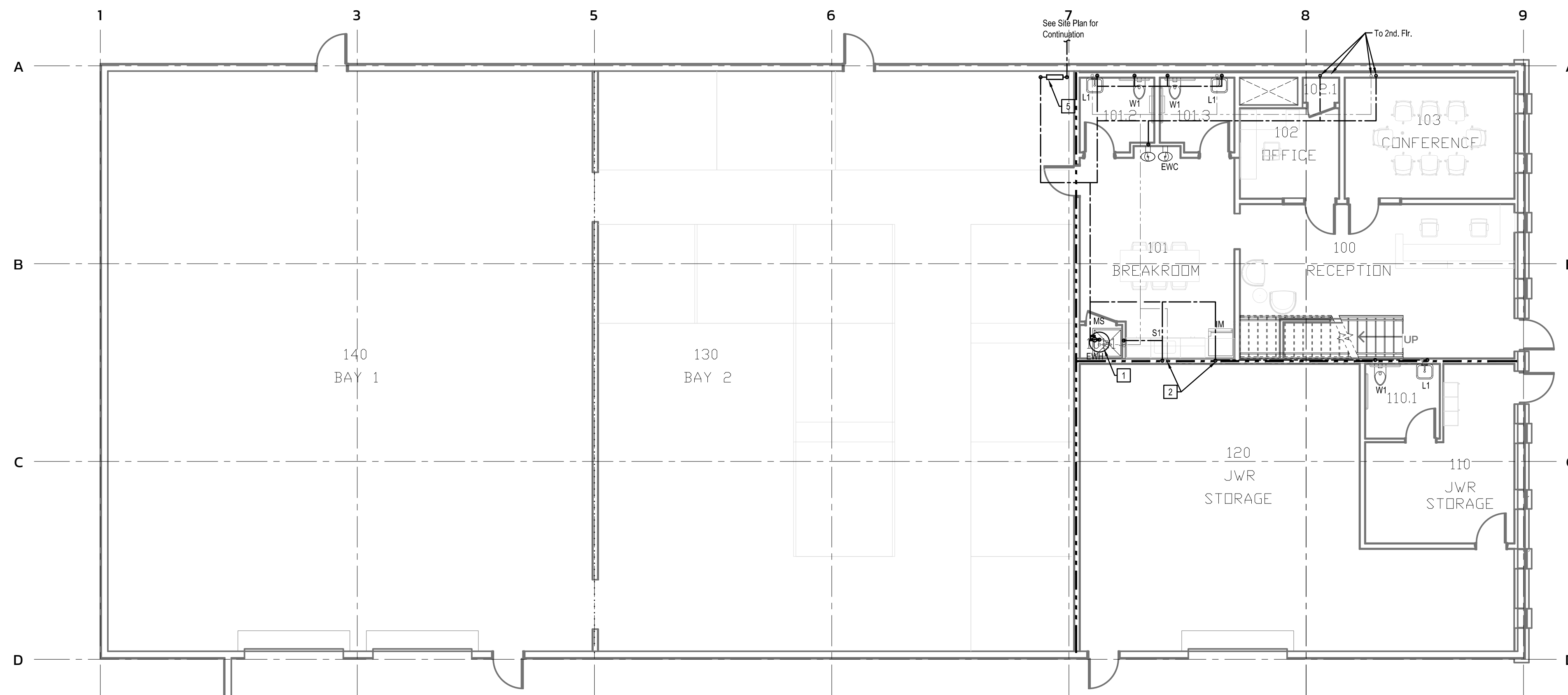
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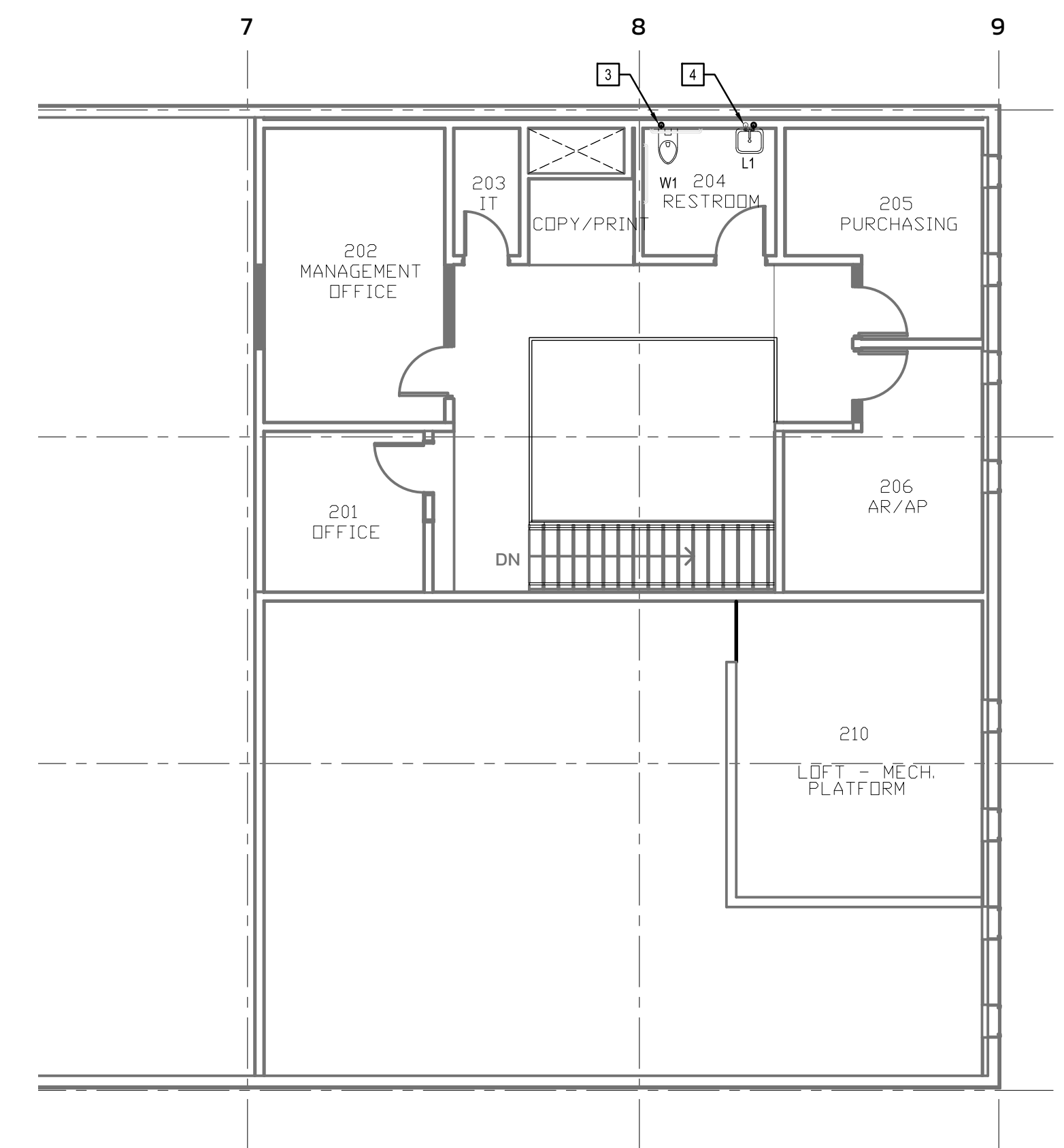
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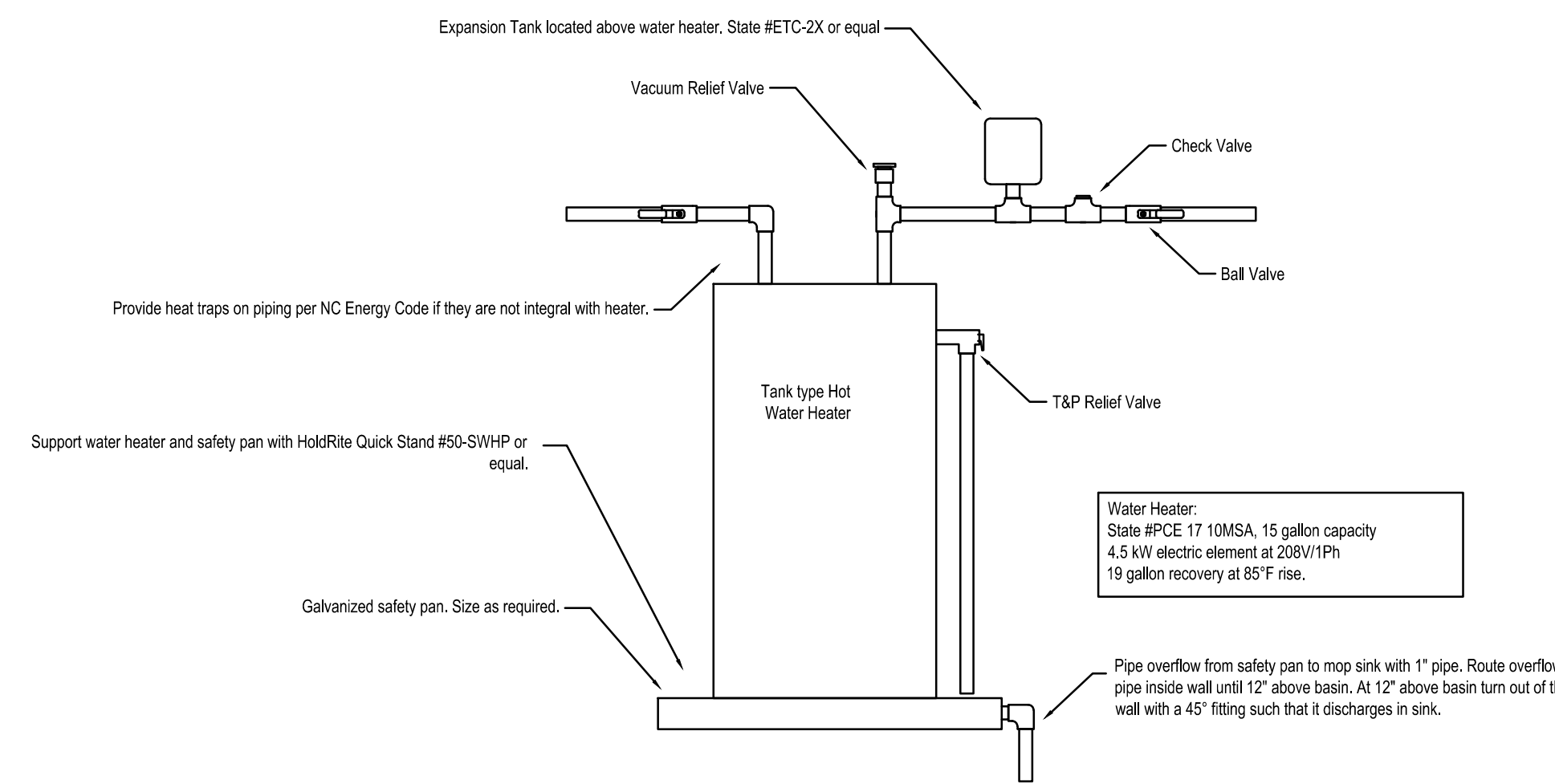
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SCALE: 3/4" = 1'-0"



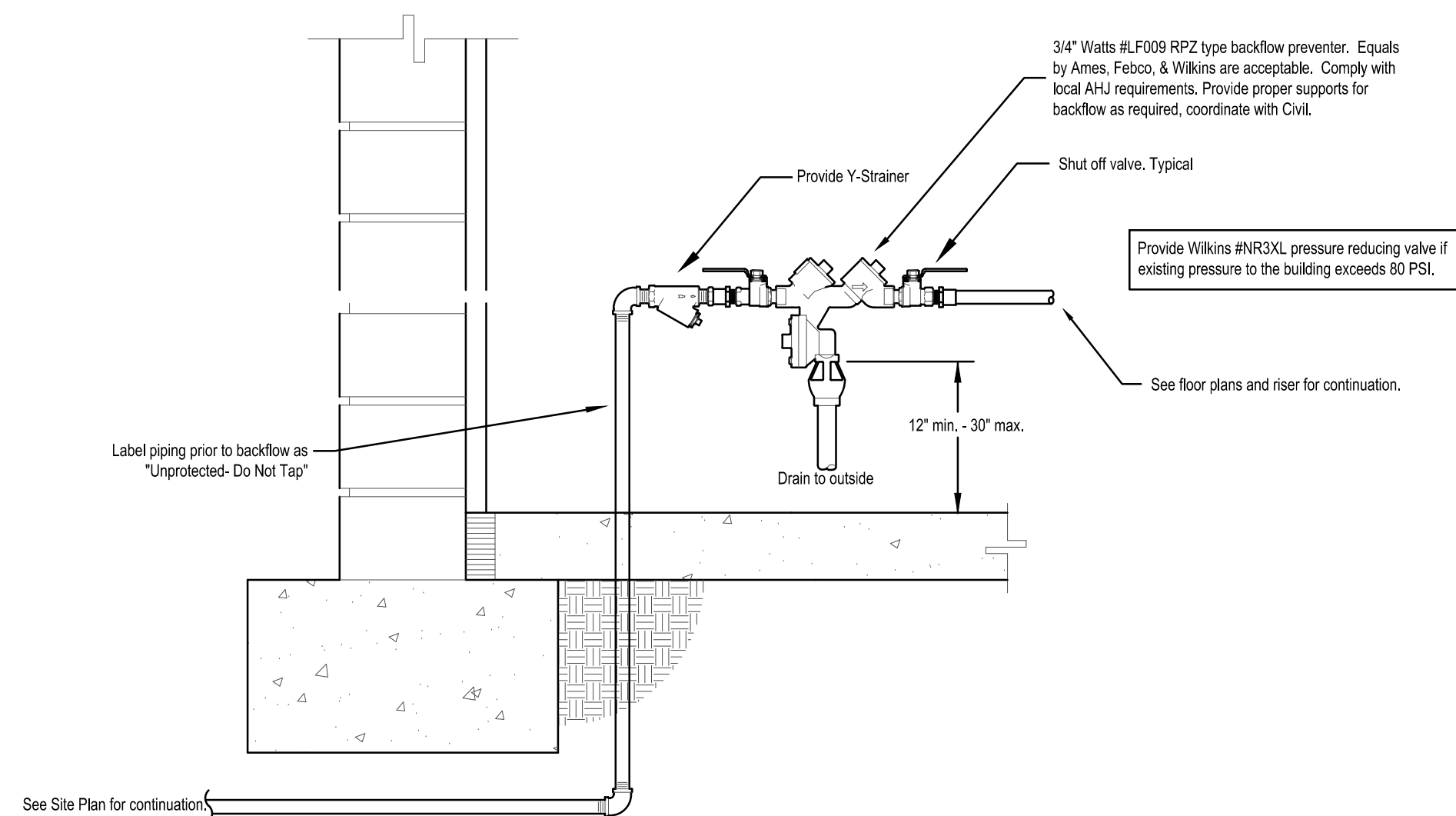
2 First Floor Plan - Water
Scale: 1/8" = 1' - 0"



1 Second Floor Plan - Water
Scale: 1/8" = 1' - 0"



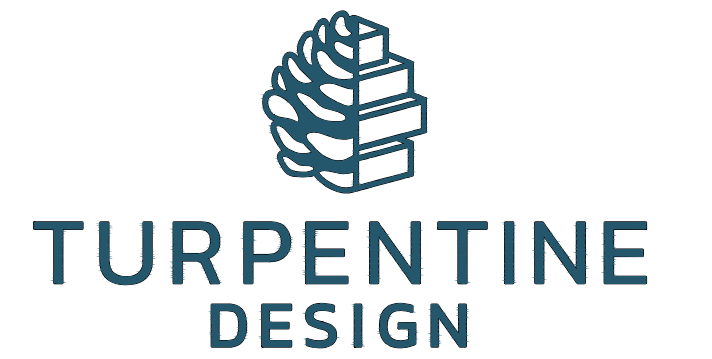
3 Water Heater Detail
Scale: NTS



4 Backflow Preventer Detail
Scale: NTS

| Plumbing Fixtures, Equipment, & Accessories | | | | Water Line & Connection Size | | |
|---|--------------------------------------|--|-----------|------------------------------|-----------|--|
| Tag | Description | Fixture Specification | CW | HW | W | |
| W2 | Water Closet Floor Mounted ADA | Toilet: Kohler HighBid Ultra #K-25077 white vitreous china water closet with elongated bowl, tank type flushing, 12" rough-in 16 1/2" high to the seat with 2 bolt caps. Seat: Kohler Lustra #K-4698-SC extra heavy duty white elongated with open front seat. | 1/2" | - | 4" | |
| L1 | Lavatory Wall Hung ADA | Lavatory Basin: Toto #LT307, Vitreous china, top of rim at 34" AFF for ADA. Faucet: Delta #15769LF-SP, single hole faucet, 0.5 GPM flow rate. Trap & Supplies: McGuire #8902, 17 gauge 1 1/4" x 1 1/2" P-trap and nipple, McGuire #LFB02 angle supply stops. Mount P-trap such that ADA clearance requirements are maintained. Accessories: Truebro 82192 Lav Guard 2 molded insulation # 101-EZ, 3 piece interlocking trap assembly and 2 piece interlocking hot water angle valve assembly, with nylon type fasteners. | 1/2" | 1/2" | 2" | |
| S2 | Break Sink, Single Bowl | Sink Basin: Elkay #LRAD25225, 18 ga Stainless steel, drop-in bowl, Dimensions 21" x 15-3/4" x 12" deep, 1 hole. Faucet: Moen Align #7565, Stainless, 1 hole faucet, 1.8 GPM flow rate. Trap & Supplies: McGuire #8902, 17 gauge 1 1/4" x 1 1/2" P-trap and nipple, McGuire #LFB02 angle supply stops. Mount P-trap such that ADA clearance requirements are maintained. Accessories: Truebro 82192 Lav Guard 2 molded insulation # 101-EZ, 3 piece interlocking trap assembly and 2 piece interlocking hot water angle valve assembly, with nylon type fasteners. | 1/2" | 1/2" | 1 1/2" | |
| EWC | Electric Water Cooler | Elkay #ZSTL8LC dual level, ADA, wall mounted water cooler; hermetically sealed and air cooled refrigeration unit. Electric push buttons on front and side with vinyl covered steel skirt and stainless steel hood receptor. Mount spout on lower side at 36" AFF and provide cane apron option on higher side of water cooler. | 1/2" | - | 1 1/2" | |
| WCO | Wall Clean Out | Zurn #Z1446 wall cleanout tee, dura-coated cast iron body, gas and watertight ABS tapered thread plug, and round, smooth stainless steel wall access cover with securing screw. | - | - | see plans | |
| TP | Trap Primer | Watts #200 Flow through trap primer | 1/2" | - | - | |
| SA | Shock Absorber | Watts series #15M2 water hammer arrester, sized to match associated line. Shock absorber shall meet all requirements ASSE 1010, ANSI A1 12.261M as well as the 2018 NCSBC and the 2018 NCSPC, section 604.9 | see plans | see plans | - | |
| VB | Vacuum Breaker | Watts #LFT vacuum breaker, sized to match associated line. Vacuum breaker shall meet all requirements ASSE 1024, as well as the 2018 NCSBC. | - | - | - | |
| IM | Ice Maker Box | Osley #39152 square, 1/4 turn, copper, hammer, low lead, water outlet box. Wall mount at 24" AFF, confirm height with architect. Plumbing to provide necessary lines and fitting for connection to equipment. | 1/2" | - | - | |
| MS | Mop Sink | Mop Sink: Flat #MS2424 molded stone mop service basin, 24" x 24" x 10" tall sides. Faucet: Chicago faucets #44-897SRXXXXP with integral vacuum breaker, lever type ceramic 1/4 turn handles, and adjustable arms. Polished chrome finish. Faucet to have 3/4" hose thread on spout. | 1/2" | 1/2" | 3" | |

The intention of the depicted images above are to show the general appearance of the fixtures being specified. Exact representation is not necessarily shown nor are accessories for models or some variation of the model. The fixture specification should take precedent over the photo.



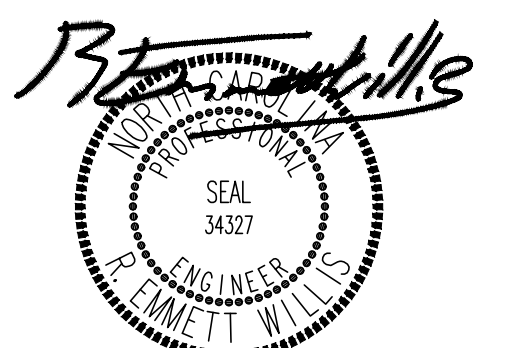
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DRAWING TITLE

FLOOR PLANS -
WATER

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DRAWING NUMBER

P101

These drawings will be at the scale indicated when plotted at 24" x 36"

Renovation Notes:

- Contractor shall visit site to verify existing conditions.
- See architectural for scope of demolition work. Cap and/or plug all waste/vent lines installed during shell that will not be used for flup. Confirm all capped piping will be concealed and/or will not conflict with new layout. Ensure that all waste lines being removed are plugged such that no sewer or gases will escape sanitary system.
- Contractor shall camera the existing under-slab sewer piping prior to cutting concrete. Engineer shall be contacted if the existing lines are not in the location shown on plans or are not in proper working order.
- All new piping shall be concealed in walls, above ceiling, or below slab unless otherwise noted. Contractor shall verify that there is sufficient space above ceiling for all areas affected by new or demolition work.
- Any slab cutting for plumbing access requires soil compaction, vapor barrier and embedded #4 rebar dowels no less than 18" on center.
- Contractor shall reconnect any existing fixtures/piping to remain where the existing piping or surrounding area is affected by the new or demolition work by other trades.

General Notes:

- Existing building water piping is copper. Contractor shall provide Type L annealed copper piping with 95/5 solder joints.
- Contractor shall provide Schedule 40 PVC-DWV (conforming to ASTM D2665) fittings for S, W, & V indicated on plans.
- Contractor may run 3" waste pipe at 1/8" slope where 2 1/2" or smaller would be acceptable for the DFUs but not allow for the proper code required 1/4" sloping and fit in the given space.

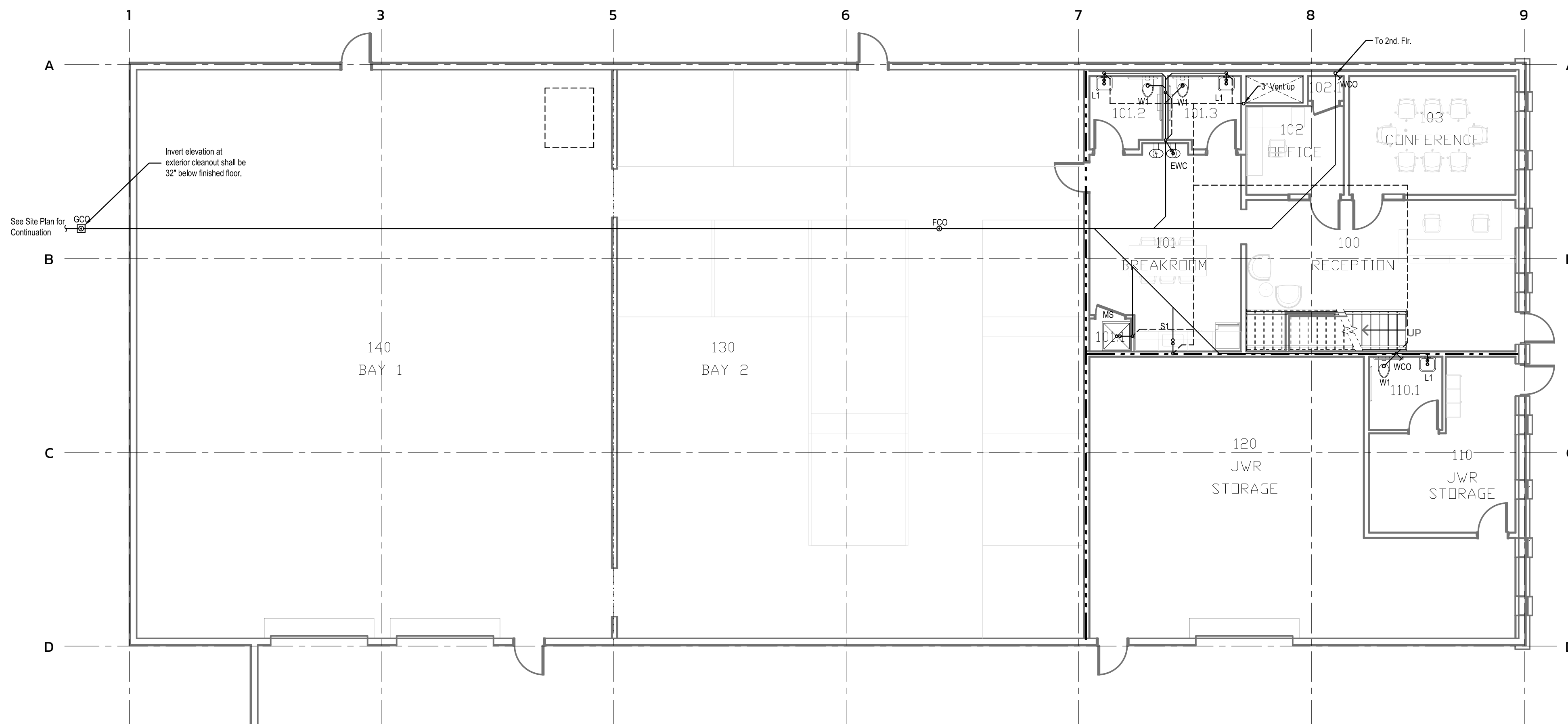
Plan Notes:

- Mount new water heater, safety pan, and expansion tank above ceiling as required. Keep heater as close to demising wall as feasible, coordinate exact location in field with other trades. See riser diagram and "Water Heater Detail" for additional information.
- Route CW & HW through wall to Restroom 100.1. See riser diagram for more information.
- 1/2" CW from 1st floor below.
- 1/2" CW & HW from 1st floor below.
- Install 3/4" RPZ on wall, see backflow preventer detail for more information.

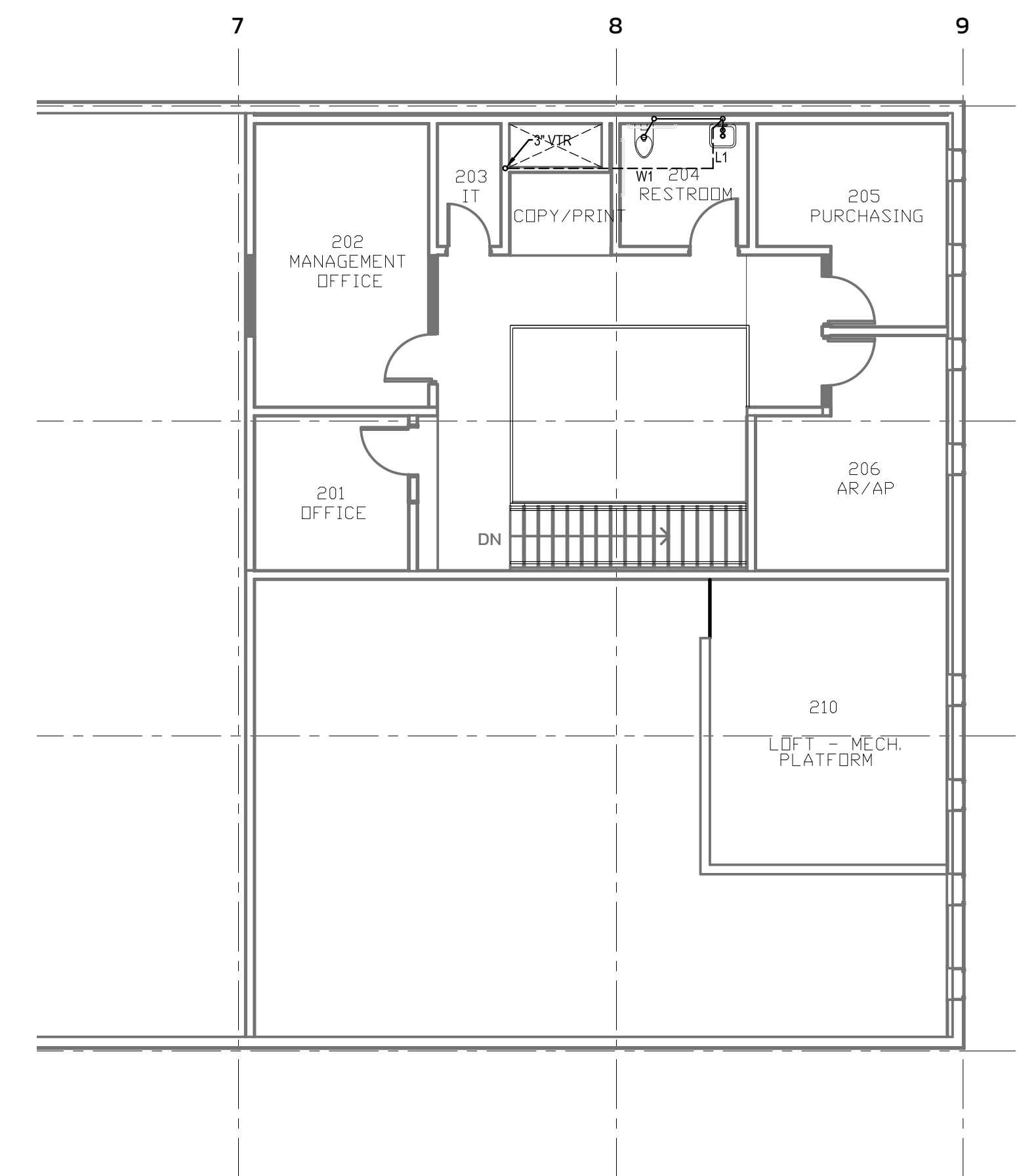
Wall Ratings and Types Legend

See architectural sheets for more information on ratings and additional rated constructions including structure where applicable. Protect all rated constructions as required.

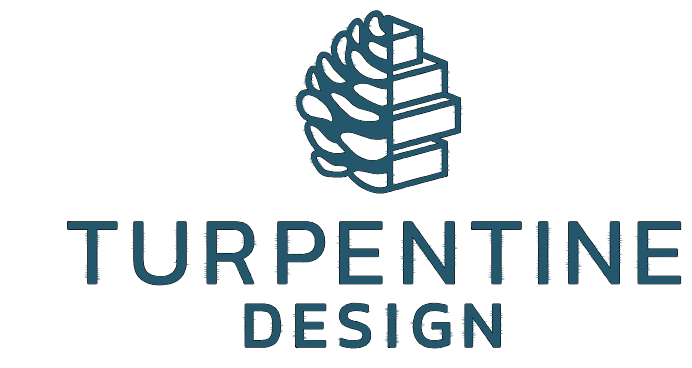
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|----------------------------|-------|
| Existing Wall to Remain | ————— |
| New Wall being Constructed | ————— |
| Wall to Deck | |
| Two Hour Fire Barrier | ----- |
| Three Hour Fire Barrier | ----- |



2 First Floor Plan - S, W, & V
Scale: 1/8" = 1' - 0"



1 Second Floor Plan - S, W, & V
Scale: 1/8" = 1' - 0"



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SEALS

3-14-25

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DRAWING TITLE

FLOOR PLANS - S, W, & V

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DRAWING NUMBER
P102

These drawings will be at the scale indicated when plotted at 24" x 36"

| Plumbing Fixtures, Equipment, & Accessories | | | | Water Line & Connection Size | | |
|---|--------------------------------|---|-----------|------------------------------|-----------|--|
| Tag | Description | Fixture Specification | CW | HW | W | |
| W2 | Water Cbsset Floor Mounted ADA | Toilet: Kohler HighBid Ultra #K-25077 white vitreous china water closet with elongated bowl, tank type flushing, 12" rough-in 16 1/2" high to the seat with 2 bolt caps. Seat: Kohler Lustra #K-4660-SC extra heavy duty white elongated with open front seat. | 1/2" | - | 4" | |
| L1 | Lavatory Wall Hung ADA | Lavatory Basin: Toto #LT307, Vitreous china, top of rim at 34" AFF for ADA. Faucet: Delta #15769LF-SP, single hole faucet, 0.5 GPM flow rate. Trap & Supplies: McGuire #8902, 17 gauge 1 1/4" x 1 1/2" P-trap and nipple, McGuire #LFB02 angle supply stops. Mount P-trap such that ADA clearance requirements are maintained. Accessories: Truebro 82192 Lav Guard 2 molded insulation # 101-EZ, 3 piece interlocking trap assembly and 2 piece interlocking hot water angle valve assembly, with nylon type fasteners. | 1/2" | 1/2" | 2" | |
| S2 | Break Sink, Single Bowl | Sink Basin: Elkay #LRAD25225, 18 ga Stainless steel, drop-in bowl, Dimensions 21"x15-3/4"x5 1/2" deep, 1 hole. Faucet: Moen Align #7565, Stainless, 1 hole faucet, 1.8 GPM flow rate. Trap & Supplies: McGuire #8902, 17 gauge 1 1/4" x 1 1/2" P-trap and nipple, McGuire #LFB02 angle supply stops. Mount P-trap such that ADA clearance requirements are maintained. Accessories: Truebro 82192 Lav Guard 2 molded insulation # 101-EZ, 3 piece interlocking trap assembly and 2 piece interlocking hot water angle valve assembly, with nylon type fasteners. | 1/2" | 1/2" | 1 1/2" | |
| EWC | Electric Water Cooler | Elkay #ZSTL8LC dual level, ADA, wall mounted water cooler; hermetically sealed and air cooled refrigeration unit. Electric push buttons on front and side with vinyl covered steel skirt and stainless steel hood receptor. Mount spout on lower side at 36" AFF and provide cane apron option on higher side of water cooler. | 1/2" | - | 1 1/2" | |
| WCO | Wall Clean Out | Zurn #Z1446 wall cleanout tee, dura-coated cast iron body, gas and watertight ABS tapered thread plug, and round, smooth stainless steel wall access cover with securing screw. | - | - | see plans | |
| TP | Trap Primer | Watts #200 Flow through trap primer | 1/2" | - | - | |
| SA | Shock Absorber | Watts series #15M2 water hammer arrester, sized to match associated line. Shock absorber shall meet all requirements ASSE 1010, ANSI A1 12.261M as well as the 2018 NCSBC and the 2018 NCSPC, section 604.9 | see plans | see plans | - | |
| VB | Vacuum Breaker | Watts #LFT vacuum breaker, sized to match associated line. Vacuum breaker shall meet all requirements ASSE 1024, as well as the 2018 NCSBC. | - | - | - | |
| IM | Ice Maker Box | Osley #39152 square, 1/4 turn, copper, hammer, low lead, water outlet box. Wall mount at 24" AFF, confirm height with architect. Plumbing to provide necessary lines and fitting for connection to equipment. | 1/2" | - | - | |
| MS | Mop Sink | Mop Sink: Flat #MS2424 molded stone mop service basin, 24" x 24" x 10" tall sides. Faucet: Chicago faucets #44-897SRXXXXC with integral vacuum breaker, lever type ceramic 1/4 turn handles, and adjustable arms. Polished chrome finish. Faucet to have 3/4" hose thread on spout. | 1/2" | 1/2" | 3" | |

The intention of the depicted images above are to show the general appearance of the fixtures being specified. Exact representation is not necessarily shown nor are accessories for models or some variation of the model. The fixture specification should take precedent over the photo.

- Renovation Notes:**
- Contractor shall visit site to verify existing conditions.
 - See architectural for scope of demolition work. Cap and/or plug all waste/vent lines installed during shell that will not be used for flup. Confirm all capped piping will be concealed and/or will not conflict with new layout. Ensure that all waste lines being removed are plugged such that no sewer or gases will escape sanitary system.
 - Contractor shall camera the existing under slab sewer piping prior to cutting concrete. Engineer shall be contacted if the existing lines are not in the location shown on plans or are not in proper working order.
 - All new piping shall be concealed in walls, above ceiling, or below slab unless otherwise noted. Contractor shall verify that there is sufficient space above ceiling for all areas affected by new or demolition work.
 - Any slab cutting for plumbing access requires soil compaction, vapor barrier and embedded #4 rebar dowels no less than 16" on center.
 - Contractor shall reconnect any existing fixtures/piping to remain where the existing piping or surrounding area is affected by the new or demolition work by other trades.

General Notes:

- Existing building water piping is copper. Contractor shall provide Type L annealed copper piping with 95/5 solder joints.
- Contractor shall provide Schedule 40 PVC-DWV (conforming to ASTM D2685) fittings for S,W, & V indicated on plans.
- Contractor may run 3" waste pipe at 1/8" slope where 2 1/2" or smaller would be acceptable for the DFUs but not allow for the proper code required 1/4" sloping and fit in the given space.

Wall Ratings and Types Legend

| | |
|----------------------------|-------|
| Existing Wall to Remain | _____ |
| New Wall being Constructed | _____ |
| Wall to Deck | _____ |
| Two Hour Fire Barrier | _____ |
| Three Hour Fire Barrier | _____ |

See architectural sheets for more information on ratings and additional rated constructions including structure where applicable. Protect all rated constructions as required.



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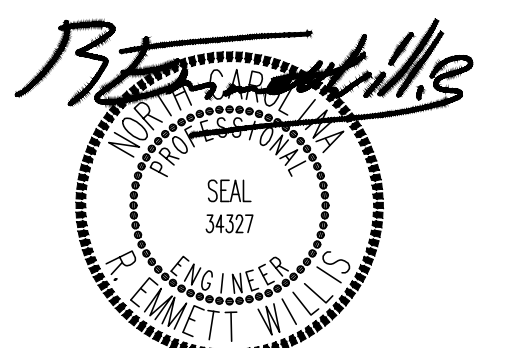
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3-14-25

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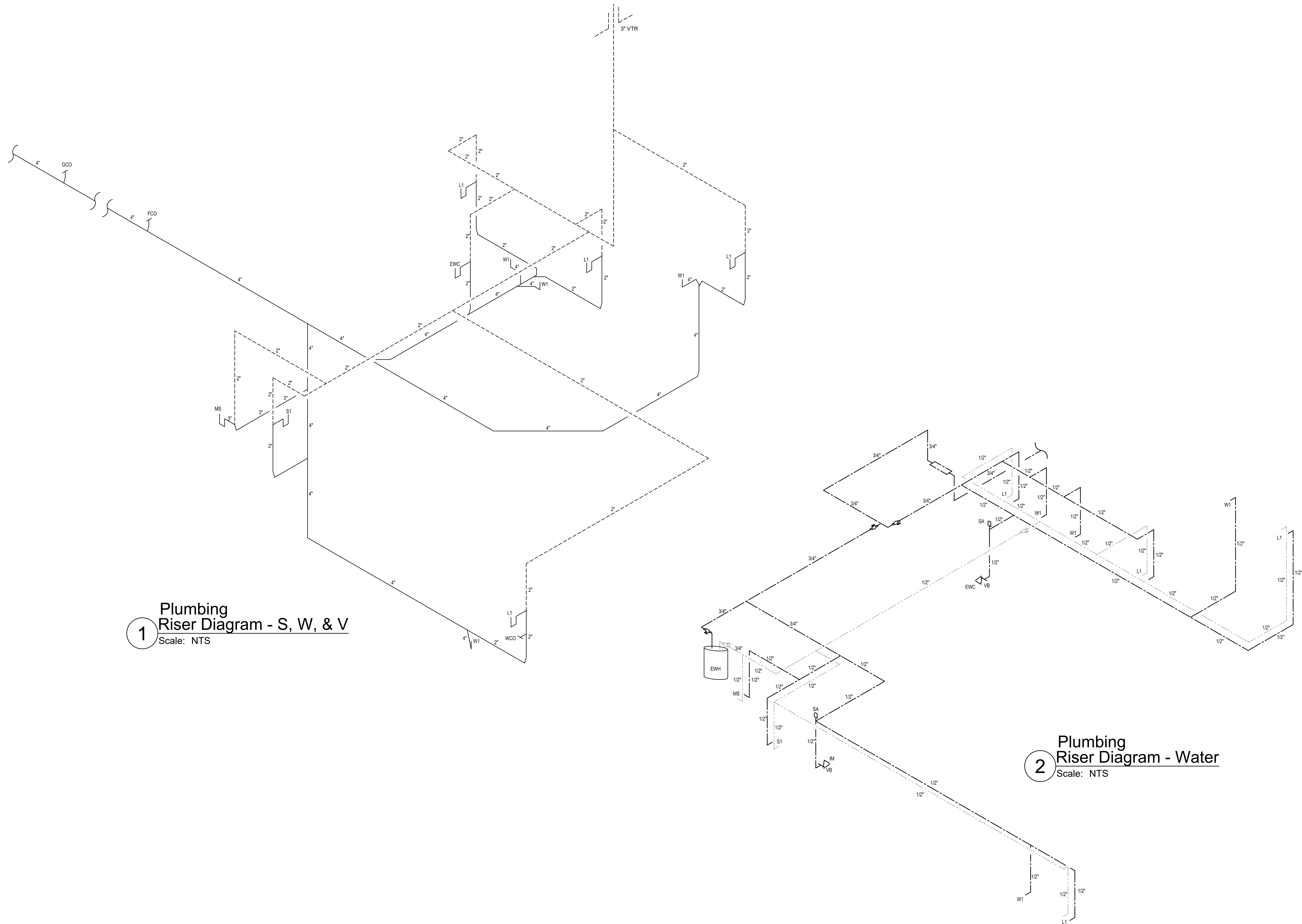
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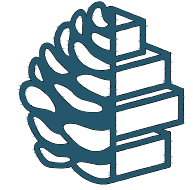
P201

These drawings will be at the scale indicated when plotted at 24" x 36"



1 Plumbing Riser Diagram - S, W, & V
Scale: NTS

2 Plumbing Riser Diagram - Water
Scale: NTS



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| Fan Schedule | | | | | | | | | | | | |
|--------------|--------------|--------|----------|-----------------|---------------|----------------|------------|-----|--------|---------|--------------|---------|
| Mark | Manufacturer | Model | Service | Type | Airflow (CFM) | ESP (in. W.G.) | Motor Size | RPM | Drive | Volt/Ph | Weight (LBS) | Remarks |
| EF-1 | Loren Cook | GC-128 | Restroom | Ceiling Cabinet | 70 | 0.25 | 29 W | 750 | Direct | 120/1 | 11 | 1,2 |
| EF-2 | Loren Cook | GC-128 | Restroom | Ceiling Cabinet | 70 | 0.25 | 29 W | 750 | Direct | 120/1 | 11 | 1,2 |
| EF-3 | Loren Cook | GC-128 | Restroom | Ceiling Cabinet | 70 | 0.25 | 29 W | 750 | Direct | 120/1 | 11 | 1,2 |
| EF-4 | Loren Cook | GC-128 | Restroom | Ceiling Cabinet | 70 | 0.25 | 29 W | 750 | Direct | 120/1 | 11 | 1,2 |

- Provide fan with backdraft damper, polystyrene grille, and hanging isolator kit to support fan from structure.
- Fan to be controlled by wall switch provided by Electrical Contractor.

| Louver Schedule | | | | | | | | | | | |
|-----------------|--------------|---------|---------|-------|---------------|-----------------|-------------|---------------------|----------------------|-------------|---------|
| Mark | Manufacturer | Model | Service | Type | Airflow (CFM) | Size, WxH (in.) | Depth (in.) | Min. Free Area (SF) | Max. P.D. (in. W.G.) | Damper Type | Remarks |
| L-1 | Pottorff | EFD-437 | Intake | Fixed | 190 | 12x12 | 4 | 0.3 | 0.1 | Barometric | 1,2,3 |

- Provide color selection chart with submittals. Final color selection shall be made by architect during submittal review.
- Louver shall be extruded aluminum with drainable blades. Provide with flanged frame and bird screen.
- Provide barometric damper with counterbalance.

| Packaged Rooftop Heat Pump Schedule | | | | | | | | | | | | | | | | | |
|-------------------------------------|--------------|---------|--------|-------------------|------|------------------|-------------------|----------------|----------|--------|--------------------|-------------|---------|------|------|--------------|-------------|
| Mark | Manufacturer | Tonnage | Model | ARI Cooling (MBH) | SEER | Supply Air (CFM) | Outside Air (CFM) | ESP (in. W.G.) | Fan (HP) | Drive | Electric Heat (KW) | Heat Stages | Volt/Ph | MCA | MOCP | Weight (LBS) | Remarks |
| PAC-1 | Trane | 5.0 | TSK060 | 59.5 | 14.0 | 1750 | 275 | 0.6 | 1.0 | Direct | 12.0 | 2 | 208/3 | 42.0 | 45 | 859 | 1,2,3,5,7 |
| PAC-2 | Trane | 5.0 | TSK060 | 59.5 | 14.0 | 1750 | 215 | 0.6 | 1.0 | Direct | 12.0 | 2 | 208/3 | 42.0 | 45 | 859 | 1,2,3,4,5,6 |
| PAC-3 | Trane | 5.0 | TSK060 | 59.5 | 14.0 | 1750 | 215 | 0.6 | 1.0 | Direct | 12.0 | 2 | 208/3 | 42.0 | 45 | 859 | 1,2,3,4,5,6 |

- Cooling capacity based on indoor entering air condition of 80°F dry bulb, 67°F wet bulb and outdoor air condition of 95°F dry bulb. Heating capacity based on indoor entering air condition of 70°F dry bulb and outdoor air condition of 47°F dry bulb.
- Unit shall utilize R454B. Provide unit with anti-short cycle timer, standard condenser coil with hail guard, 2" MERV 8 pleated filters, condensate drain pan overflow switch, and refrigerant detector. Unit shall be configured for horizontal airflow.
- Provide unit with manufacturer's 14" roof curb.
- Provide unit with manufacturer's touchscreen display, 7-day programmable thermostat.
- Provide unit with 100% outdoor air, comparative enthalpy, fully modulating economizer. Provide with field installed duct mounted barometric relief for building pressure relief.
- Fan shall shut down upon smoke alarm. Mechanical contractor shall provide duct mounted smoke detector. Controls, including audible and visible alarms, shall be provided by the mechanical contractor.
- The system shall be provided with a zone control system with bypass for space temperature control. Refer to "HVAC Controls System Overview" and "Zone Damper Schedule" for additional information.

| Zone Damper Schedule | | | | | | | |
|----------------------|--------|-------------|------------|---------------|--------------------|--------------------|---------|
| Mark | System | Service | Size (in.) | Type | Max. Airflow (CFM) | Min. Airflow (CFM) | Remarks |
| ZD1.1 | PAC-1 | Zone Supply | 16x10 | Opposed Blade | 950 | 190 | 1,2 |
| ZD1.2 | PAC-1 | Zone Supply | 10x10 | Opposed Blade | 430 | 90 | 1,2 |
| ZD1.3 | PAC-1 | Zone Supply | 8x10 | Opposed Blade | 370 | 75 | 1,2 |
| BP1.1 | PAC-1 | Bypass | 12x12 | Opposed Blade | 1400 | 0 | 1,3 |

- Damper to be used in conjunction with HVAC zoning system. Provide damper with electric actuator and 120V/24V step down transformer.
- Provide zone supply damper with wall mounted temperature sensor/controller for zone supply setpoint. Connect sensor through central front end HVAC zoning system control panel.
- Provide bypass damper with communicating bypass controller. Bypass damper shall modulate open/closed to maintain proper duct static pressure.

| Split System Heat Pump Schedule | | | | | | | | | | | | |
|---------------------------------|--------------|---------|----------|-------------------|-------------------|-------|-------|---------|------|------|--------------|---------|
| Mark | Manufacturer | Tonnage | Model | ARI Cooling (MBH) | ARI Heating (MBH) | SEER2 | HSPF2 | Volt/Ph | MCA | MOCP | Weight (LBS) | Remarks |
| HP-1 | Trane | 3.0 | 5TWA4036 | 33.6 | 32.0 | 14.3 | 8.0 | 208/3 | 19.0 | 30 | 222 | 1,2,3,4 |

- Cooling capacity based on indoor entering air condition of 80°F dry bulb, 67°F wet bulb and outdoor air condition of 95°F dry bulb. Heating capacity based on indoor entering air condition of 70°F dry bulb and outdoor air condition of 47°F dry bulb.
- Standard unit features shall include filter drier, front seating service valves, internal pressure relief valve, internal thermal overload, suction line accumulator, high pressure switch, and loss of charge switch.
- Accessory unit features shall include: compressor start assist, crankcase heater, thermostatic expansion valve, and time delay relay.
- Refrigerant lines shall be sized and approved by the equipment manufacturer based upon field measured piping lengths. Mechanical contractor shall provide lengths, bends, and routing to manufacturer for proper pipe sizing. Provide all of the manufacturer's recommended components. Piping shall be sized so that maximum capacity loss due to line length is 3%. All piping shall be hard copper pipe.

| Split System Air Handling Unit Schedule | | | | | | | | | | | | | |
|---|--------------|--------------|----------|----------|----------------|----------|-----------|-------------|---------|------|------|--------------|---------|
| Mark | Manufacturer | Model | SA (CFM) | OA (CFM) | ESP (in. W.G.) | Fan (HP) | Heat (KW) | Heat Stages | Volt/Ph | MCA | MOCP | Weight (LBS) | Remarks |
| AHU-1 | Trane | 5TEM4D04AC31 | 1050 | 220 | 0.5 | 1/2 | 7.2 | 1 | 208/3 | 29.0 | 30 | 110 | 1,2,3 |

- Provide air handling unit with factory installed electric heater, filter rack, disconnect switch, and single point wiring connection.
- Provide unit with manufacturer's touchscreen display, 7-day programmable thermostat.
- Provide unit with 120 Volt, hardwired, plenum rated condensate pump, auxiliary drain pan, and float switch.

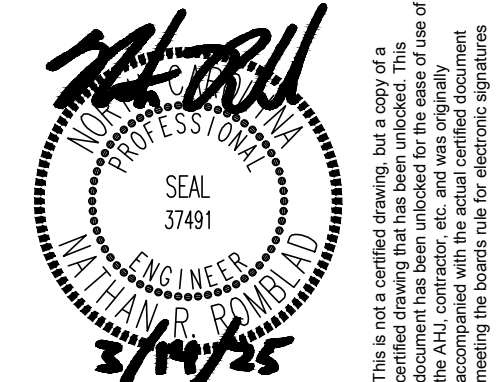
| Air Distribution Schedule | | | | | | | |
|---------------------------|--------------|--------|---|------------|-------------------|-----------|---------|
| Mark | Manufacturer | Model | Description | Panel Size | Type | Neck Size | Remarks |
| SA1 | Titus | TMS | Steel, High Performance, Full Face, Stamped Square, 4-Way | 24x24 | Lay-In | 6"Ø | 1,6 |
| SA2 | Titus | TMS | Steel, High Performance, Full Face, Stamped Square, 4-Way | 24x24 | Lay-In | 10"Ø | 1,6 |
| SB1 | Titus | 300RS | Steel, Double Deflection, Short Front Blades, 3/4" Blade Spacing | NA | Surface Mount | 10x6 | 1,3,5 |
| SB2 | Titus | 300RS | Steel, Double Deflection, Short Front Blades, 3/4" Blade Spacing | NA | Surface Mount | 16x6 | 1,3,5 |
| SB3 | Titus | 300RS | Steel, Double Deflection, Short Front Blades, 3/4" Blade Spacing | NA | Surface Mount | 20x6 | 1,3,5 |
| SC1 | Titus | S300FS | Aluminum, Double Deflection, Short Front Blades, 3/4" Blade Spacing | NA | Spiral Duct Mount | 10x6 | 1,4,5 |
| SD1 | Titus | TDC | Steel, Louvered, Beveled Drop Face, 4-Way | 12x12 | Surface Mount | 8"Ø | 1,6 |
| RA1 | Titus | PAR | Steel, Perforated, Duct Collar | 24x24 | Lay-In | 8"Ø | 1,6 |
| RA2 | Titus | PAR | Steel, Perforated, Duct Collar | 24x24 | Lay-In | 10"Ø | 1,6 |
| RB1 | Titus | 350RL | Steel, 35° Deflection, 3/4" Blade Spacing, Parallel to Long Dimension | NA | Surface Mount | 18x8 | 1,2,5 |
| RB2 | Titus | 350RL | Steel, 35° Deflection, 3/4" Blade Spacing, Parallel to Long Dimension | NA | Surface Mount | 18x14 | 1,2,5 |
| RB3 | Titus | 350RL | Steel, 35° Deflection, 3/4" Blade Spacing, Parallel to Long Dimension | NA | Surface Mount | 16x16 | 1,2,5 |

- Verify all ceiling and wall types with architectural plans. Coordinate color with Architect.
- Provide with square-to-round transition as required.
- Provide with integral opposed blade balancing damper.
- Provide with integral balancing damper extractor. Duct sizes listed on mechanical drawings are inside clear dimension of single-wall spiral duct.
- All surface & duct mounted diffusers/grilles shall be painted to match surrounding surface. Coordinate painting with General Contractor.
- Provide with manufacturer's foil-faced backpan insulation.

REVISIONS

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SEALS



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DRAWING TITLE

MECHANICAL SCHEDULES

DRAWING NUMBER

M-002

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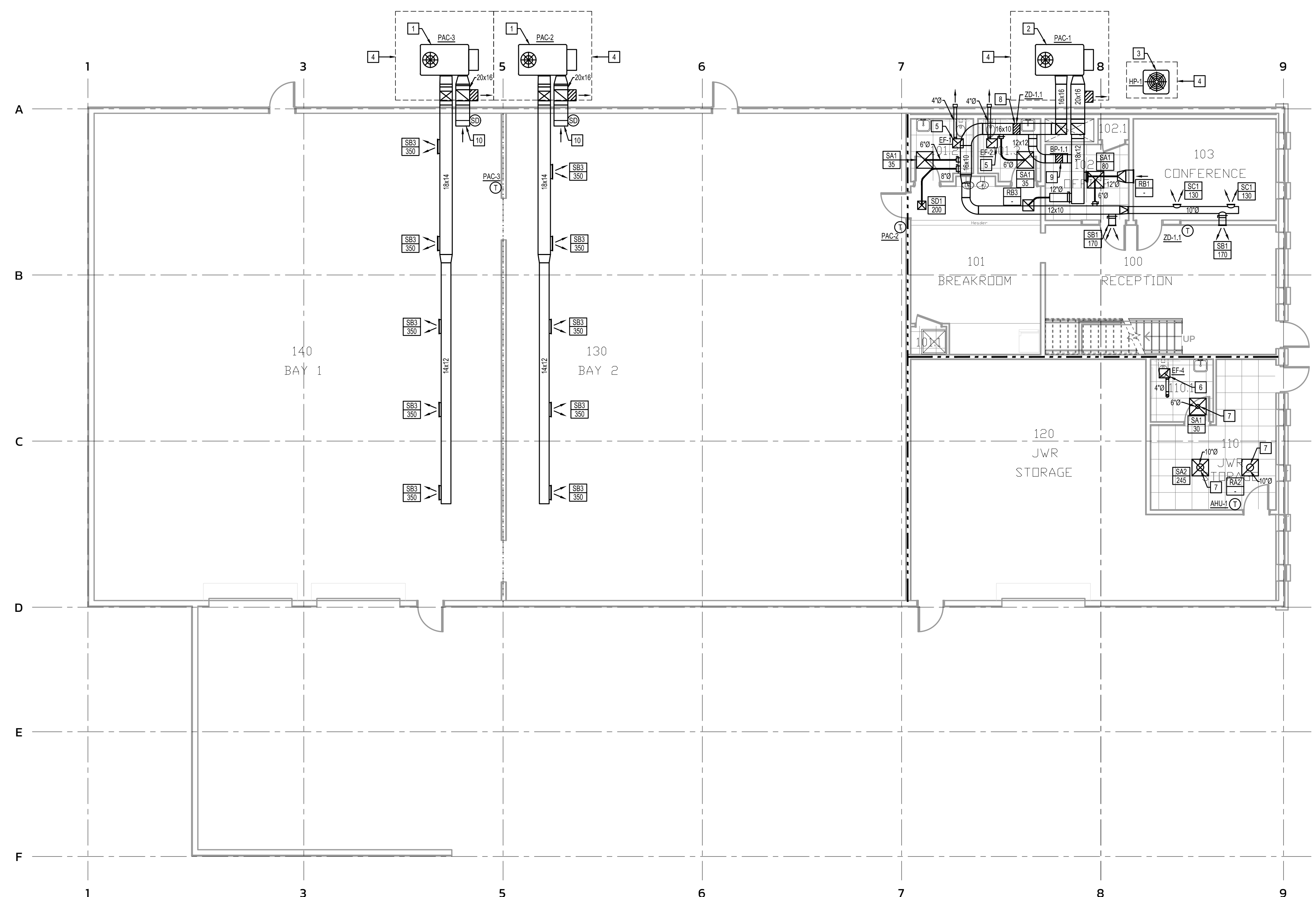
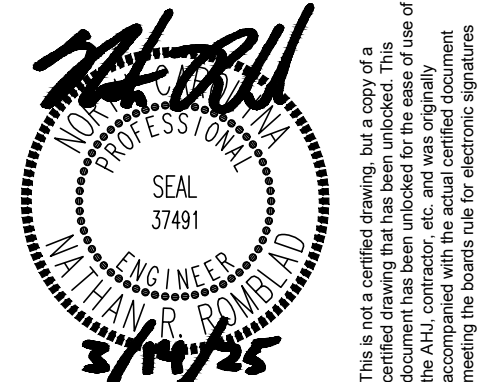
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SEALS



Plan Notes:

1. Install packaged HVAC unit per manufacturer's installation instructions and clearances at grade level on concrete housekeeping pad provided by General Contractor. Coordinate exact pad size and location requirements with General Contractor at beginning of construction. Spill condensate into landscaping, so as not to cause a nuisance. Maintain 10'-0" between outside air intakes and any exhaust or plumbing vent terminations. Refer to "HVAC Equipment Pad Mounting Detail" for additional mounting information. Route supply and return air ducts horizontally. Provide duct supports by "MIRO Industries, Inc." or equivalent. Barometric relief shall be field mounted to the return duct as indicated. Turn supply and return air duct up wall and into building tight to underside of structure. Refer to "Mechanical Notes and Specifications" for exterior ductwork requirements.
2. Install packaged HVAC unit per manufacturer's installation instructions and clearances at grade level on concrete housekeeping pad provided by General Contractor. Coordinate exact pad size and location requirements with General Contractor at beginning of construction. Spill condensate into landscaping, so as not to cause a nuisance. Maintain 10'-0" between outside air intakes and any exhaust or plumbing vent terminations. Refer to "HVAC Equipment Pad Mounting Detail" for additional mounting information. Route supply and return air ducts into building low and turn up within duct chase as indicated and continue into second floor ceiling space. Provide duct supports by "MIRO Industries, Inc." or equivalent. Barometric relief shall be field mounted to the return duct as indicated. Provide outdoor enclosure for return air smoke detector. Route supply and return air duct into building low and turn up within chase. Refer to "Mechanical Notes and Specifications" for exterior ductwork requirements.
3. Install new heat pump on concrete housekeeping pad per manufacturer's installation instructions and clearances. Refer to "HVAC Equipment Pad Mounting Detail" for additional information.
4. Manufacturer's required installation clearances.
5. Install ceiling mounted exhaust fan per manufacturer's installation instructions and clearances. Route exhaust duct through ceiling space as indicated and terminate with wall cap. Maintain 10'-0" from any outside air intakes.
6. Install ceiling mounted exhaust fan per manufacturer's installation instructions and clearances. Route exhaust duct up through mezzanine floor. Refer to "Second Floor Plan - Mechanical" for continuation. Continue through ceiling space as indicated and terminate with wall cap.
7. Route supply/return duct down through floor of mezzanine to diffuser/grille within ceiling below.
8. Install new zone damper per manufacturer's installation instructions and clearances.
9. Install new bypass damper per manufacturer's installation instructions and clearances.
10. End of return duct shall be open to warehouse, provide with bird screen.

Wall Ratings and Types Legend

See architectural sheets for more information on ratings and additional rated constructions including structure where applicable. Protect all rated constructions as required.

| | |
|----------------------------|-------|
| Existing Wall to Remain | _____ |
| New Wall being Constructed | _____ |
| Wall to Deck | _____ |
| Two Hour Fire Barrier | _____ |
| Three Hour Fire Barrier | _____ |

1 First Floor Plan - Mechanical
Scale: 1/8" = 1' - 0"

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DRAWING TITLE

FIRST FLOOR PLAN - MECHANICAL

DRAWING NUMBER

M-101

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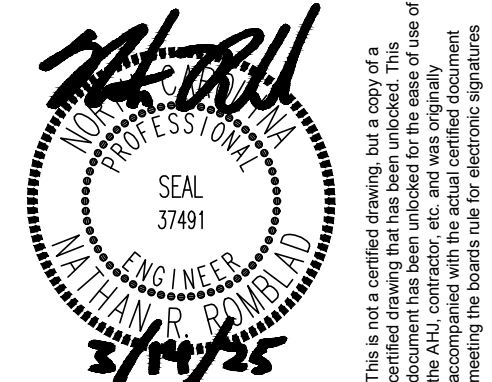
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| NO. | DESCRIPTION |
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SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

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PHASE PERMIT SET
DATE 03.14.2025
TD PROJECT # 24-024

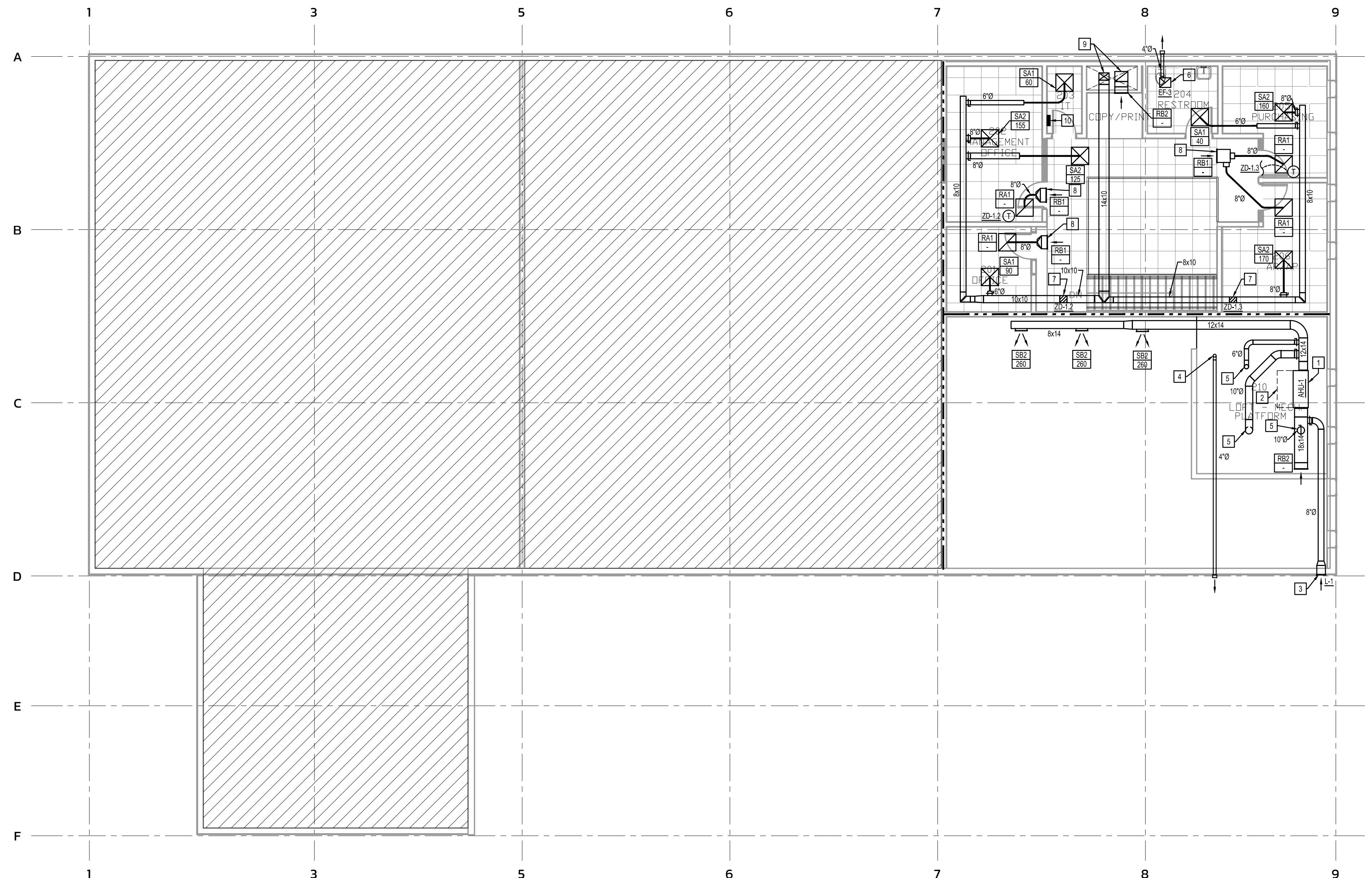
DRAWING TITLE

**SECOND
FLOOR PLAN -
MECHANICAL**

DRAWING NUMBER

M-102

These drawings will be at the scale indicated when plotted at 24" x 36"



1 Second Floor Plan - Mechanical
Scale: 1/8" = 1' - 0"

- Plan Notes:**
1. Install air handling unit horizontally on floor of mezzanine per manufacturer's installation instructions and clearances. Route outside air duct through ceiling space to lower high in exterior wall. Route refrigerant piping through ceiling and turn down within exterior wall to heat pump. Pump condensate adjacent to refrigerant piping and spill into landscaping. Refer to "Air Handling Unit Hanging Detail" for additional information or support from mezzanine floor.
 2. Manufacturer's required installation clearances.
 3. Install lower high in exterior wall per manufacturer's installation instructions and clearances. Maintain 10'-0" between outside air intakes and exhaust outlets.
 4. Continue exhaust duct up through mezzanine floor and route high through warehouse ceiling space. Terminate with wall cap.
 5. Continue supply/return up through mezzanine floor from diffuser/grille below and connect to main supply/return duct as indicated.
 6. Install ceiling mounted exhaust fan per manufacturer's installation instructions and clearances. Route exhaust duct through ceiling space as indicated and terminate with wall cap. Maintain 10'-0" from any outside air intakes.
 7. Install new zone damper per manufacturer's installation instructions and clearances.
 8. Install return air transfer grille in header below lay-in ceiling.
 9. Route supply and return duct up from floor below. Install return grille high in wall, below ceiling. Route supply through ceiling space, sloping with angle of roof in order to maintain lay-in ceiling height as high as possible.
 10. Install HVAC control panel for zone damper system within IT Room. Coordinate exact location with General Contractor, Electrical Contractor, and tenant.

Wall Ratings and Types Legend

See architectural sheets for more information on ratings and additional rated constructions including structure where applicable. Protect all rated constructions as required.

| | |
|----------------------------|-------|
| Existing Wall to Remain | ————— |
| New Wall being Constructed | ————— |
| Wall to Deck | |
| Two Hour Fire Barrier | ————— |
| Three Hour Fire Barrier | ————— |



**TURPENTINE
DESIGN**

1007 Procu Street
Fuquay-Varina, NC 27526

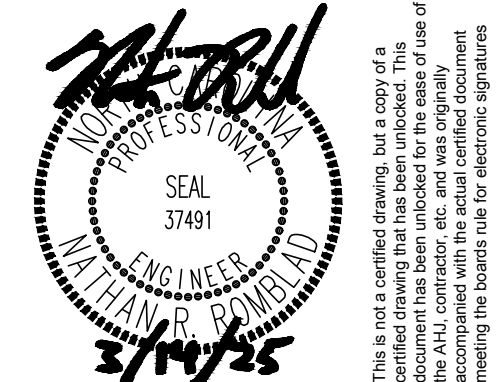
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REVISIONS

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SEALS



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NEW BUILDING

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| | |
|--------------|------------|
| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

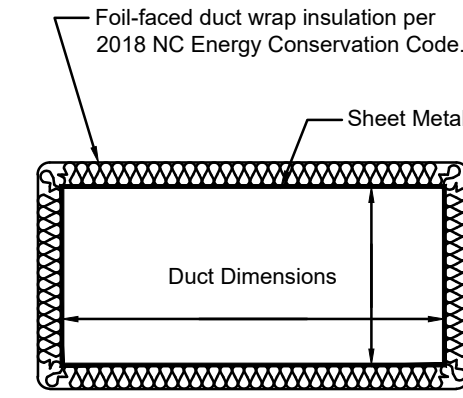
DRAWING TITLE

**MECHANICAL
DETAILS**

DRAWING NUMBER

M-201

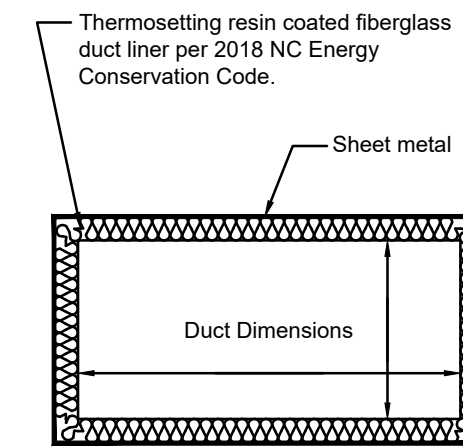
These drawings will be at the scale indicated when plotted at 24" x 36"



- Notes:**
- All duct dimensions shown on these drawings are inside clear.
 - Provide a minimum of R-6 insulation when duct is located in unconditioned space.
 - Provide a minimum of R-8 insulation when duct is located outside the building envelope.

2 Concealed Rectangular Duct Fabrication Detail

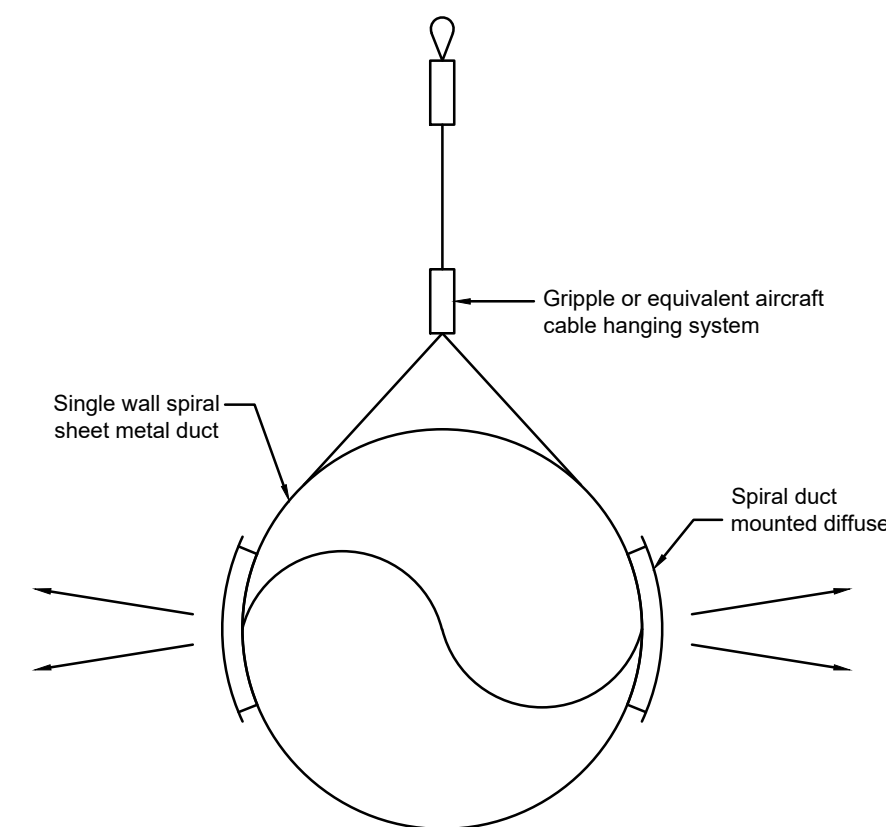
Scale: None



- Notes:**
- All duct dimensions shown on these drawings are inside clear.
 - Provide a minimum of R-6 insulation when duct is located in unconditioned space.
 - Provide a minimum of R-8 insulation when duct is located outside the building envelope.

5 Exposed Rectangular Duct Fabrication Detail

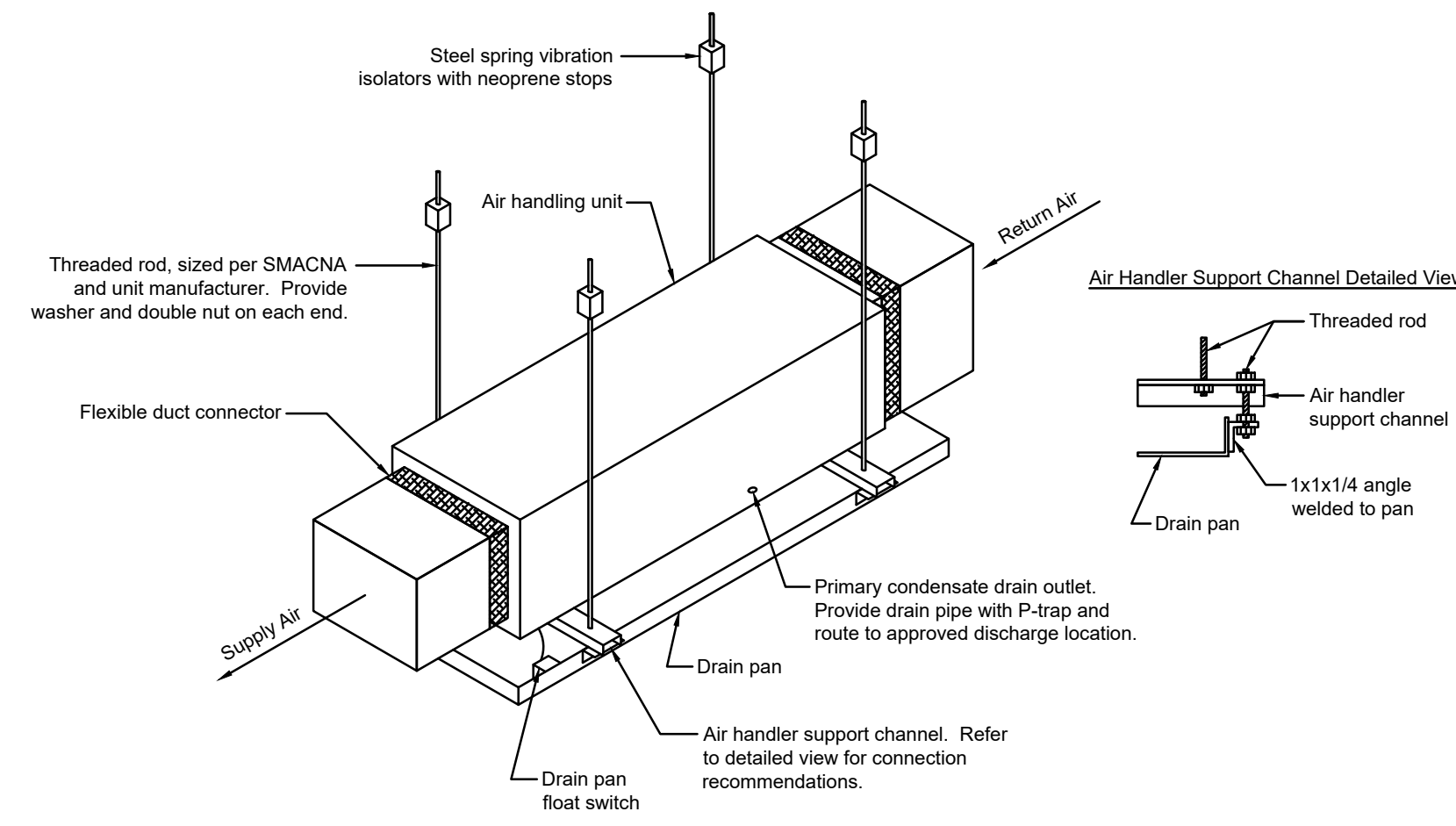
Scale: None



- Notes:**
- All duct dimensions shown on these drawings are inside clear.
 - Refer to specifications for duct finish.
 - Route all duct level and parallel to the floor.
 - Space and install duct hangers per latest edition of SMACNA.

3 Exposed Spiral Duct and Diffuser Detail

Scale: None



6 Air Handling Unit Hanging Detail

Scale: None

System No. W-L-1252

| | |
|--|---|
| ANSI/UL1479 (ASTM E814) | CAN/ULC S115 |
| F Ratings — 1, 2, 3 and 4 Hr (See Items 1 and 3) | F Ratings — 1, 2, 3 and 4 Hr (See Items 1 and 3) |
| T Rating — 0 Hr | FT Rating — 0 Hr |
| L Rating At Ambient — Less Than 1 CFM/Sq Ft | FH Ratings — 1, 2, 3 and 4 Hr (See Items 1 and 3) |
| L Rating At 400 F — Less Than 1 CFM/Sq Ft | FTH Rating — 0 Hr |
| | L Rating At Ambient — Less Than 1 CFM/Sq Ft |
| | L Rating At 400 F — Less Than 1 CFM/Sq Ft |

SECTION A-A

1. Wall Assembly — The 1, 2, 3 or 4 hr fire rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner described in the individual U400, V400 or W400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall include the following construction features:
A. Studs — Wall framing shall consist of steel channel studs. Steel studs to be min 3-1/2 in. (89 mm) wide spaced max 24 in. (610 mm) OC.
B. Gypsum Board — Min 5/8 in. (16 mm) thick with square or tapered edges. The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual Wall or Partition Design. Max diam of opening is 5-3/4 in. (146 mm).
The hourly F and FH Ratings of the firestop system are equal to the hourly fire rating of the wall assembly in which it is installed.
2. Through Penetrant — One metallic pipe, conduit or tube to be installed either concentrically or eccentrically within the firestop system. The annular space between the pipe, conduit or tube and periphery of opening shall be min 0 in. (point contact) to max 7/8 in. (22 mm). Pipe, conduit or tube to be rigidly supported on both sides of wall assembly.
A. Steel Pipe — Nom 4 in. (102 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
B. Iron Pipe — Nom 4 in. (102 mm) diam (or smaller) cast or ductile iron pipe.
C. Conduit — Nom 4 in. (102 mm) diam (or smaller) rigid steel conduit.
D. Conduit — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic conduit.
E. Copper Tubing — Nom 4 in. (102 mm) diam (or smaller) Type L (or heavier) copper tubing.
F. Copper Pipe — Nom 4 in. (102 mm) diam (or smaller) Regular (or heavier) copper pipe.
3. Fill, Void or Cavity Material — Sealant — Fill material applied within annulus. Flush with both surfaces of wall. Type and thickness of sealant is dependent on F and FH Ratings as indicated in Table below. An additional 1/2 in. (13 mm) diameter bead of sealant applied at penetrant/gypsum board interface at point contact location on both surfaces of wall.
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-ONE Sealant, FS-ONE MAX Intumescent Sealant or CP 606 Sealant

| F, FH Ratings hr | Sealant Type | Sealant Thickness, In. (mm) |
|------------------|------------------------------|-----------------------------|
| 1, 2 | FS-ONE, FS-ONE MAX or CP 606 | 5/8 (16) |
| 3 | FS-ONE, FS-ONE MAX or CP 606 | 1 (25) |
| 4 | FS-ONE, FS-ONE MAX | 1 (25) |

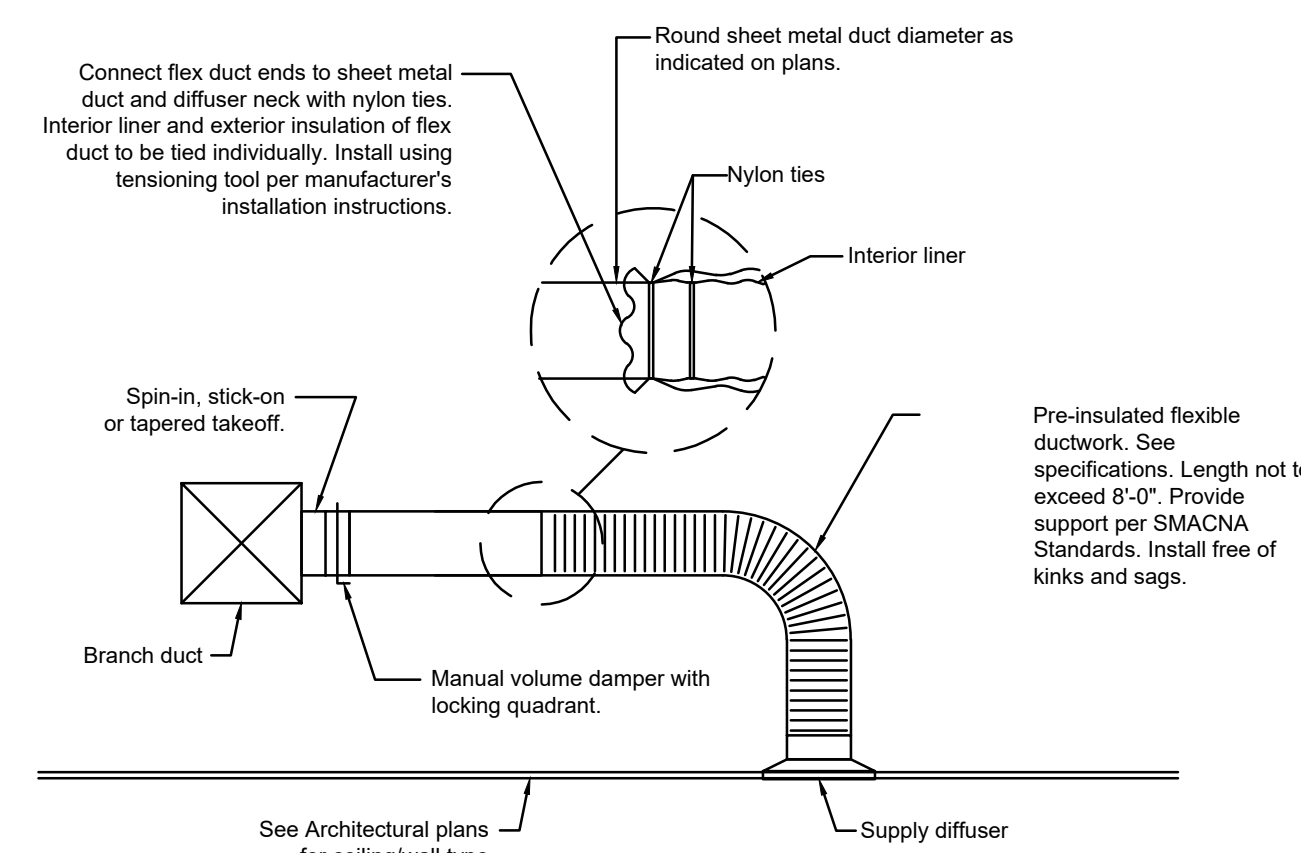
* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

HILTI Hilti Firestop Systems
Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. January 22, 2015

**Gypsum Framed Walls
1, 2, 3, or 4 Hour Penetration Firestop**

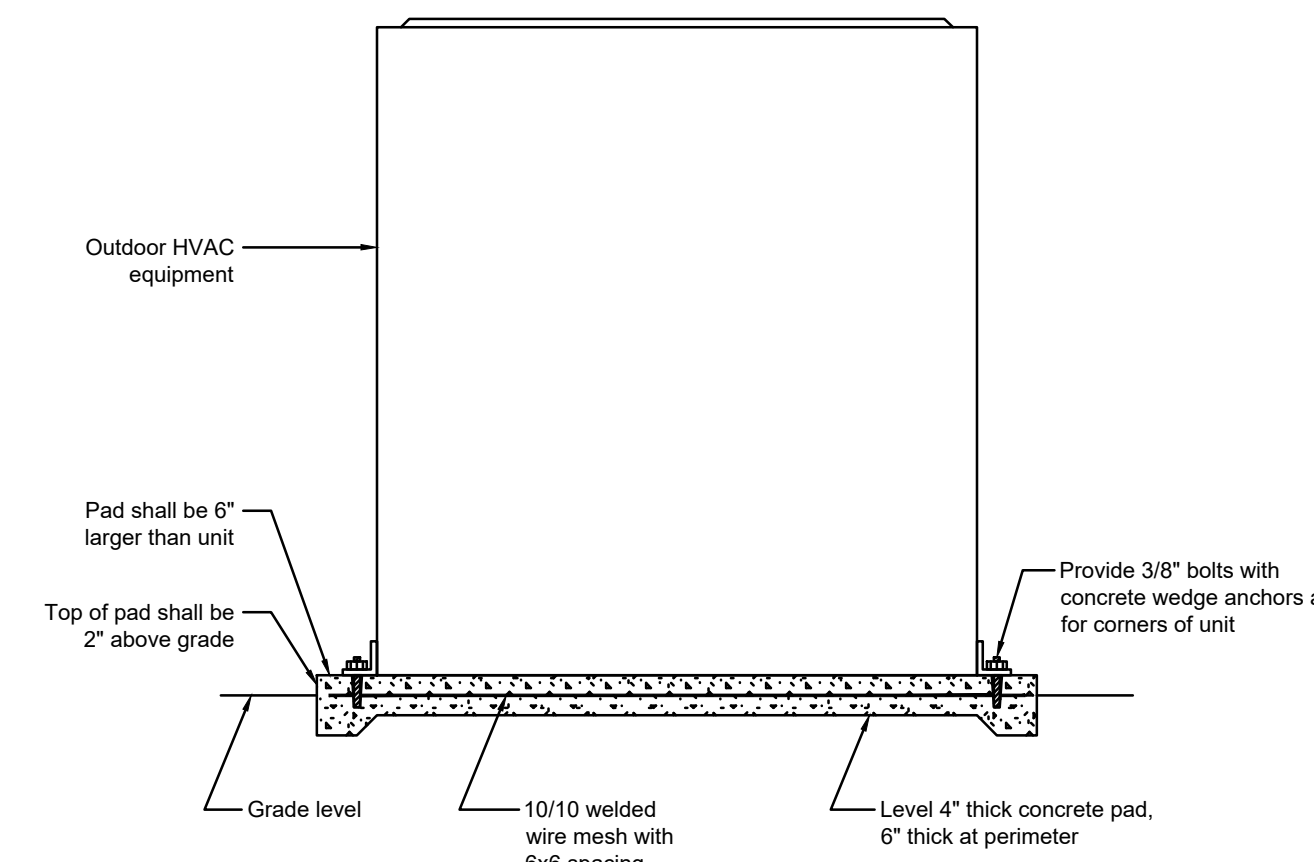
1 Metallic Pipe, Conduit, or Tubing

Scale: None



4 Flexible Duct Installation Detail

Scale: None



7 HVAC Equipment Pad Mounting Detail

Scale: None

GENERAL NOTES AND REQUIREMENTS.

- Workmanship shall conform to NECA installation standards including NECA 1.
- Installation shall comply with National Electrical Code (NEC/NFPA 70), state building code, and all requirements of the local inspector (furnish inspection certificate). All work shall be by licensed electrical contractor.
- The contractor shall refer to the architectural plans for floor plan dimensions and not scale these drawings. The location of all wall mounted devices, including mounting heights, shall be field verified with the architect prior to rough-in. Coordinate locations of all light fixtures with reflected ceiling plans. Light fixtures installed in mechanical areas shall avoid mechanical piping, equipment, ductwork, etc.
- Contractor shall comply with all requirements of the 2018 NC Building Code and Accessibility Code which are applicable to this project regardless of whether all details are indicated on plans. All receptacles, switches, and other electrical devices required to be ADA accessible shall be mounted per ANSI 117.1 sections 308 AND 309.
- All electrical equipment shall be installed so that all code required and manufacturer recommended working/ servicing clearances are maintained. Installation shall fully comply with NEC 110.26 and NEC 408.18 for clearance requirements.
- All wall outlet boxes, receptacles, switches, cover plates, etc. shall be commercial grade, standard or heavy duty except where specified. Verify color/ material for all devices and cover plates prior to order. Provide label for each device identifying the circuit serving the device. Verify if label should be on inside or outside face of cover plate with building management/ tenant. All 15 and 20 amp, 125V and 250V non-locking receptacles shall be listed as tamper resistant, in all locations outlined per NEC 408.12.
- The electrical contractor shall coordinate any and all work with other trades involved in the project, prior to installation of electrical equipment, so as to avoid conflicts during construction and to allow for optimum maintenance and working space.
- All branch circuits shall be in 3/4" minimum zinc-coated EMT, IMC, or RMC as permitted or required by the NEC. LPMC (or FMC as permitted) shall be used for final connections to equipment subject to vibration. A deduct price for MC cable may be offered for approval, where permitted by owner and NEC and conduits completely concealed from view. Schedule 40 PVC conduit may be used for underground feeders/ branch circuits or underground low voltage system conduits located below slab on grade or buried outside of the building, or in concrete block walls. PVC schedule 80 conduit may be used on the building exterior (expansion fittings may be used above grade) where permitted by code. Contractor shall include cost of painting all exposed conduits subject to public view. Conduit sizes noted on these plans are based on EMT conduit. Where other permitted raceway types are used, contractor shall adjust conduit sizes as necessary based on type of raceway used and allowable fill. Provide pull wire in all empty conduit. Junction box covers shall be permanently labeled and conduit shall be labeled every 10'. All labels shall be machine generated onto adhesive labels or tags, or engraved on plastic laminated placards or brass tags.
- All wire and conduit sizes are based on 75°C THHN/THWN copper conductors unless otherwise noted. All conductors, terminations larger than 50A & devices shall be rated for minimum 75°C. All conductor and conduit sizes are calculated based on installation of no more than 3 current carrying conductors per conduit, neutral(s) included. Unless otherwise noted, contractor shall not install more than 3 current carrying conductors per conduit with the following exception: up to 9 current carrying conductors may be used in a single raceway where permitted by the NEC when minimum #12 AVGH (THHN 90°C) is used and when all included circuits are protected upstream by 20 amp overcurrent devices and no other derating conditions exist.
- All conductors shall be copper type THHN, or XHHW, solid for #10 AWG or #12 AWG, and stranded for all larger sizes. Minimum conductor size shall be #12.
- Conduits and cables shall be concealed wherever possible by either routing above ceiling, in interstitial spaces or running exposed in unfinished spaces where possible. Conduits may be run exposed in mechanical areas or other areas not subject to public view where approved by the owner. Wherever conduits or cables are approved to be exposed, conduits and cables shall be run parallel or perpendicular to structural elements and shall be run and bundled in groups, and the installation shall be neat and orderly. Even when exposed, conduits and cables shall be routed to minimize view from personnel. Seal all penetrations air tight around all conduits passing through walls or floors. Escutcheon plates shall be used when passing through walls that are visible to the public. Use appropriate penetration protection when conduit passes into or through rated assemblies.
- Where branch circuit total length is greater than sixty five (65') feet from the panel, see voltage drop schedule for wire size adjustment.
- All mounting heights indicated are given to the bottom of the device, unless noted otherwise.
- Where used in these documents, the word "provide" shall mean to furnish and install the item or equipment as well as make the final connection required.
- All light fixtures shall be supported independently of the suspended ceiling system.
- The electrical contractor shall provide all necessary disconnects, switches, receptacles, etc. under the electrical bid and shall include all necessary circuit and make final connections to the equipment furnish by all suppliers. Coordinate closely with other trades.
- All breakers, disconnect switches, and fuses sizes, indicated for mechanical equipment, shall be verified with equipment supplier and mechanical contractor, before the purchase or installation of that equipment.
- All disconnect switches are to be fusible type. Fuses shall be the appropriate type for the load served by Bussmann or equal. Unless unsuitable, fuses rated 1200A or higher shall be Class L, fast-acting, and shall have a clearing time of 0.07 seconds at the available fault current per NEC 240.67. Submit fuse trip curves along with available fault current at the service entrance for engineer verification prior to beginning work or ordering equipment. The contractor shall compare all installed equipment nameplate information with the electrical plans/ schedules and notify the engineer immediately of any discrepancies. The contractor shall coordinate all fuse sizes with actual installed equipment nameplate information prior to purchasing or installing fuses. Where the nameplate information does not indicate an overcurrent protection size or maximum ampacity rating, fuses shall be installed per the electrical plans assuming other equipment parameters are in agreement with nameplate data.
- Provide grounding conductor for all circuits per NEC. Building ground shall meet all requirements of NEC 250.
- Ground telephone equipment per NEC. If telephone service is not located within 20' of electrical service, then provide separate grounding electrode as required per NEC 800.
- All multiwire branch circuits shall have multiple breakers as required by NEC 210.7.
- All new circuits 100 amps and larger shall be megger tested prior to energizing. All other circuits shall be tested for continuity prior to energizing.

- Dielectric absorption tests shall be performed with a 2,500 volt DC megger.
- Megger tests shall be performed at a DC voltage of 1,000 volts for 600 volt rated equipment, and at a DC voltage of 500 volts for 120-300 volt rated equipment.
- The megger test shall be performed between each pair of conductors and from each conductor to ground. Each test shall be performed for 15 seconds or until the insulation resistance value stabilizes. The insulation resistance between conductors, and from each conductor to ground, shall be 25 megohms (120-300V) or 100 megohms (600V) minimum in one minute or less. In addition, the lowest insulation resistance value shall not differ from the highest value by more than 20 percent. If all megger readings for a given circuit or feeder are above 1000-megohms, the 20% balance requirement may be waived.
- Continuity checks shall be performed with a low voltage DC meter, light or bell.
- The resistance to ground shall be measured using either the three point method or the fall-of-potential method.
- Test instruments shall be calibrated to national standards to insure accuracy of tests. These calibration reports shall be made available to the Owner when requested. Depending upon frequency of use, the instruments shall be calibrated at least every 12-months.

- The electrical contractor shall patch any wall, ceiling, or floor opening (or penetration) resulting from demolition or new work in existing areas. Any rated constructions or assemblies affected shall be patched, protected and refinished as necessary to maintain the original appearance as well as the rating.
- The contractor is responsible for proper disposal of all waste materials, demo materials and other trash. This includes but is not limited to proper disposal of mercury containing lamps, batteries, recyclable materials.
- Contractor shall provide the engineer with shop drawings/submittal data for lights, switches, switchgear/panels, floor boxes, fire alarm devices, and any other products deemed necessary for review. These shall be provided in editable PDF format via email through project manager, general contractor, architect, or other proper channel. Expected review duration, and industry standard, is ten business days from date of receipt by engineer. Similarly, RFI response duration, and industry standard, is five business days from date of receipt by engineer. All submissions should include and acknowledge this review duration unless otherwise specifically discussed and agreed upon in advance.
- It is the sole responsibility of the contractor to coordinate w/ all other trades regarding voltages, loads, circuit breakers, etc. prior to beginning any work.
- All switchgear/ panels shall be commercial grade from a reputable national manufacturer such as Square D, Eaton, Siemens and ABB. Panels shall be rated as indicated on panel schedule/ electrical riser diagram. If discrepancies are found, contact engineer immediately.
- Engineer has reserved the right to choose the software package(s) deemed most efficient to deliver these plans for permitting, bid, and construction. Engineer considers any other digital files created during this process as instruments of service, and as such remain the property of the engineer. The contractor should not assume that digital files in any format will be made available during bidding or after award other than PDFs. If digital files are requested, engineer reserves the right to selectively provide them when available and/or may request additional considerations for the time incurred to prepare the files.
- Contractor shall verify all areas that are used as a return plenum with mechanical contractor and provide plenum rated cable for all cables not run in metal conduit. PVC is not allowed in plenum space. This "cable" includes all telecommunications, fire alarm, or control wiring above ceiling.
- Contractor shall complete seismic requirements of the area.
- All underground raceway entering the building, (i.e. through a foundation wall or through the floor) shall be sealed in accordance with NEC 225.27 and 300.5(F). Raceway seals and sealants shall be approved and listed for the specific application and materials.
- Contractor shall provide support bushings/conduit stops for vertical branch circuits and feeders where required per NEC 300.19(A).
- Bi-Directional Antenna system (BDA) could be required for this facility. Contractor shall test the site before and after construction activities per NC Fire Code section 510.4. If it is deemed that a BDA system is necessary based on these tests, a full BDA system shall be installed that meets all requirements of NC Fire Code section 510.
- Electrical boxes, conduit, and wiring shall not be recessed into or penetrate structural members. Boxes/conduits shall be surface mounted to structural member and/or recessed in stud wall where possible. Coordinate with architect.
- All equipment associated with or connected to the electrical, fire alarm or data systems or otherwise included in the drawings/ scope of work shall be listed and labeled by a third party that is acceptable to the AHJ.
- All non-locking type 125 volt, 15 and 20 amp receptacles that are controlled by an automatic control device or that incorporate control features that remove power from the outlet for the purpose of energy management or building automation shall be labeled per NEC 406.3(E).

Electrical Abbreviations

| | |
|-----------|---|
| A | above- indicates a device is to be mounted with the bottom of box 2" above back splash unless noted otherwise. |
| AFF | above finished floor |
| AG | combination of 'A' and 'GFCI' (above counter and ground fault circuit interrupter) |
| ARCH | architect |
| C | ceiling- indicates a device is to be mounted in flush ceiling tile. |
| EC | electrical contractor |
| EX | existing |
| EXT | exterior |
| FA | fire alarm |
| FURN | furniture |
| G | GFCI- indicates a device with integral ground fault circuit interrupter (GFCI) protection and/or protected by upstream GFCI outlet. |
| GFI/ GFCI | same as 'G' |
| H | horizontal orientation of device |
| HG | hospital grade |
| IG | device shall have isolated ground and will require isolated ground circuitry back to an isolated ground bar in panelboard. |
| JB | junction box |
| MC | MC cable (when referring to NEC wiring methods, or wiring type) |
| MC | mechanical contractor (when not referring to NEC wiring methods or type) |
| MECH | mechanical contractor |
| NTS | not to scale |
| OC | on center |
| PC | plumbing contractor |
| PLUMB | plumbing contractor |
| S | surface- indicates device is to be surface mounted. |
| TP | tamper proof device per NEC 406.12 |
| WI | with |
| WP | indicates a device rated for exterior use and is weatherproof or weather resistant with an approved weatherproof in-use cover. |

Voltage Drop Schedule

| 120 V branch circuits up to 8 amps (1.0 kVA) | | |
|---|-----------|-----|
| Distance of run, in feet | Wire size | |
| 1' | - 120' | #12 |
| 121' | - 190' | #10 |
| 191' | - 300' | #8 |
| 301' | - 470' | #6 |
| 120 V branch circuits from 8 to 14 amps (1.7 kVA) | | |
| Distance of run, in feet | Wire size | |
| 1' | - 65' | #12 |
| 66' | - 110' | #10 |
| 111' | - 170' | #8 |
| 171' | - 270' | #6 |
| 277 V branch circuits up to 14 amps (3.9 kVA) | | |
| Distance of run, in feet | Wire size | |
| 1' | - 160' | #12 |
| 161' | - 250' | #10 |
| 251' | - 390' | #8 |
| 391' | - 620' | #6 |

Contractor shall upsized branch circuit conductors based on load and length as indicated in schedule above. Wire sizes indicated in general notes and schedules are minimum wire sizes and shall be adjusted for length.

Electrical Legend

Symbols shown below are indicative of new devices. See Linetype Legend for distinction of existing and demolition devices.

Floor Plans

Home run to panel/ branch circuit connection- short cross line(s) represent phase conductor(s) (hot), long cross line(s) represent grounded conductor(s) (neutral), equipment grounding conductor (ground) required but not shown. Minimum size per NEC requirements based on circuit breaker / schedule / voltage drop table.

All duplex and quad receptacles shall be NEMA 5-20R unless otherwise noted.

- Duplex receptacle
- Power receptacle
- Quad receptacle
- Isolated ground duplex receptacle

16" AFF or as otherwise noted

- 16" AFF or as otherwise noted.
- Duplex receptacle with (2) USB ports. Nema 5-20R Duplex Cooper TR756 or equal.

Telecommunications wall outlet - 16" AFF or as noted (run 3/4" EMT to accessible point above ceiling.) Provide pull wire. Outlet/devices, bushings, and cables provided by tenant/ cabling contractor.

AV wall outlet - 16" AFF or as noted (run 1 1/4" EMT to AV wall box above) Provide pull wire, bushings, and faceplate as necessary. Cables provided by tenant/ cabling contractor.

Card reader- verify mounting height with tenant prior to beginning work. Stub 3/4" EMT to above ceiling with pull wire. Outlet/device and all low voltage wiring by tenant/security contractor. Coordinate with tenant/security contractor.

Junction box

Telephone backboard - 4'x8'x3/4" fire-treated plywood. Pull #6 ground wire and terminate with 1/4" x 2" x 12" ground bar with holes every 1". Mount to backboard with stand-off insulators.

Electrical panel

Step-down transformer

Electrical disconnect

Motor rated switch

All lighting control switches shall be mounted at 44" AFF unless otherwise noted. (All motion sensors shall be set to 30 minute delay)

- Overhead fixture unless otherwise noted. See fixture schedule
- Downlight / pendant style fixture. See fixture schedule.
- Slash or shading indicates fixture connected ahead of switch/controls and to operate as night lights (fixture will be on 24/7 unless otherwise noted)
- Exit sign, faces and arrows as indicated. See fixture schedule.
- Emergency wallpack fixture. See fixture schedule.
- Combo emergency / exit fixture. See fixture schedule.
- Wall sconce/ mount fixture. See fixture schedule.
- Flood light/ track head style fixture. See fixture schedule.
- Pole mounted fixture. See fixture schedule.

Detail Sheets

- Electrical panelboard
- Main breaker or minimum ampacity
- Meter in meter base
- CT cabinet
- CT
- Transformer designation
- Transformer size
- 75 KVA
- Transformer designation
- Transformer size
- Service ground

Frame size/ number of poles

Fusible disconnect, frame and fuse size as indicated or noted.

200/3

150A

Transformer designation

Transformer size

75 KVA

Transformer designation

Transformer size

Service ground

Linetypes

- New device unless otherwise noted
- Existing device to remain
- Existing device to be demolished
- New under slab or underground connection. Existing and demo underground noted with existing or demo linetype. New connections not specifically shown to be underground are not necessarily required to be run overhead unless noted as such.
- Low voltage wiring

Examples of existing and demolition symbols using above linetypes.

- Existing floor box to remain
- Existing duplex receptacle to remain
- Existing panel to remain
- Existing light fixture to remain
- Existing switch to remain
- Existing light fixture to remain
- Existing sign to remain
- Existing duplex receptacle to be demolished
- Existing panel to be demolished or relocated
- Existing light fixture to be demolished or relocated
- Existing switch to be demolished or relocated

See fire alarm legend for fire alarm symbols & specifications

See wall rating legend for wall types and symbols

System No. W-L-1252

| ANSIUL1475 (ASTM E814) | | CANULC S115 | |
|--|--|---|--|
| F Ratings — 1, 2, 3 and 4 Hr (See Items 1 and 3) | | F Ratings — 1, 2, 3 and 4 Hr (See Items 1 and 3) | |
| T Rating — 0 Hr | | FT Rating — 0 Hr | |
| L Rating At Ambient — Less Than 1 CFMSq Ft | | FH Ratings — 1, 2, 3 and 4 Hr (See Items 1 and 3) | |
| L Rating At 400 F — Less Than 1 CFMSq Ft | | FTH Rating — 0 Hr | |
| | | L Rating At Ambient — Less Than 1 CFMSq Ft | |
| | | L Rating At 400 F — Less Than 1 CFMSq Ft | |

SECTION A-A

- Wall Assembly — The 1, 2, 3 or 4 hr fire rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner described in the individual I400, V400 or W400 Series Wall or Partition Design in the UL Fire Resistance Directory and shall include the following construction features:
 - Studs — Wall framing shall consist of steel channel studs. Steel studs to be min 3-1/2 in. (89 mm) wide spaced max 24 in. (610 mm) OC.
 - Gypsum Board — Min 5/8 in. (16 mm) thick with square or tapered edges. The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual Wall or Partition Design. Max diam of opening is 5-3/4 in. (146 mm).
- The hourly F and FH Ratings of the freestop system are equal to the hourly fire rating of the wall assembly in which it is installed.
- Through Penetrant — One metallic pipe, conduit or tube to be installed either concentrically or eccentrically within the freestop system. The annular space between the pipe, conduit or tube and periphery of opening shall be min 0 in. (point contact) to max 7/8 in. (22 mm). Pipe, conduit or tube to be rigidly supported on both sides of wall assembly.
 - Steel Pipe — Nom 4 in. (102 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - Iron Pipe — Nom 4 in. (102 mm) diam (or smaller) cast or ductile iron pipe.
 - Conduit — Nom 4 in. (102 mm) diam (or smaller) rigid steel conduit.
 - Conduit — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic conduit.
 - Copper Tubing — Nom 4 in. (102 mm) diam (or smaller) Type L (or heavier) copper tubing.
 - Copper Pipe — Nom 4 in. (102 mm) diam (or smaller) Regular (or heavier) copper pipe.
- Fill, Void or Cavity Material — Sealant — Fill material applied within annulus. Flush with both surfaces of wall. Type and thickness of sealant is dependent on F and FH Ratings as indicated in Table below. An additional 1/2 in. (13 mm) diameter bead of sealant applied at penetrant/gypsum board interface at point contact location on both surfaces of wall.

| F, FH Ratings hr | Sealant Type | Sealant Thickness, in. (mm) |
|------------------|------------------------------|-----------------------------|
| 1, 2 | FS-ONE, FS-ONE MAX or CP 606 | 5/8 (16) |
| 3 | FS-ONE, FS-ONE MAX or CP 606 | 1 (25) |
| 4 | FS-ONE, FS-ONE MAX | 1 (25) |

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

HILTI Firestop Systems

Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. January 22, 2015

**Gypsum Framed Walls
3 or 4 Hour Penetration Firestop
Metallic Pipe, Conduit, or Tubing**

1 Scale: None



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SEALS

3/14/25

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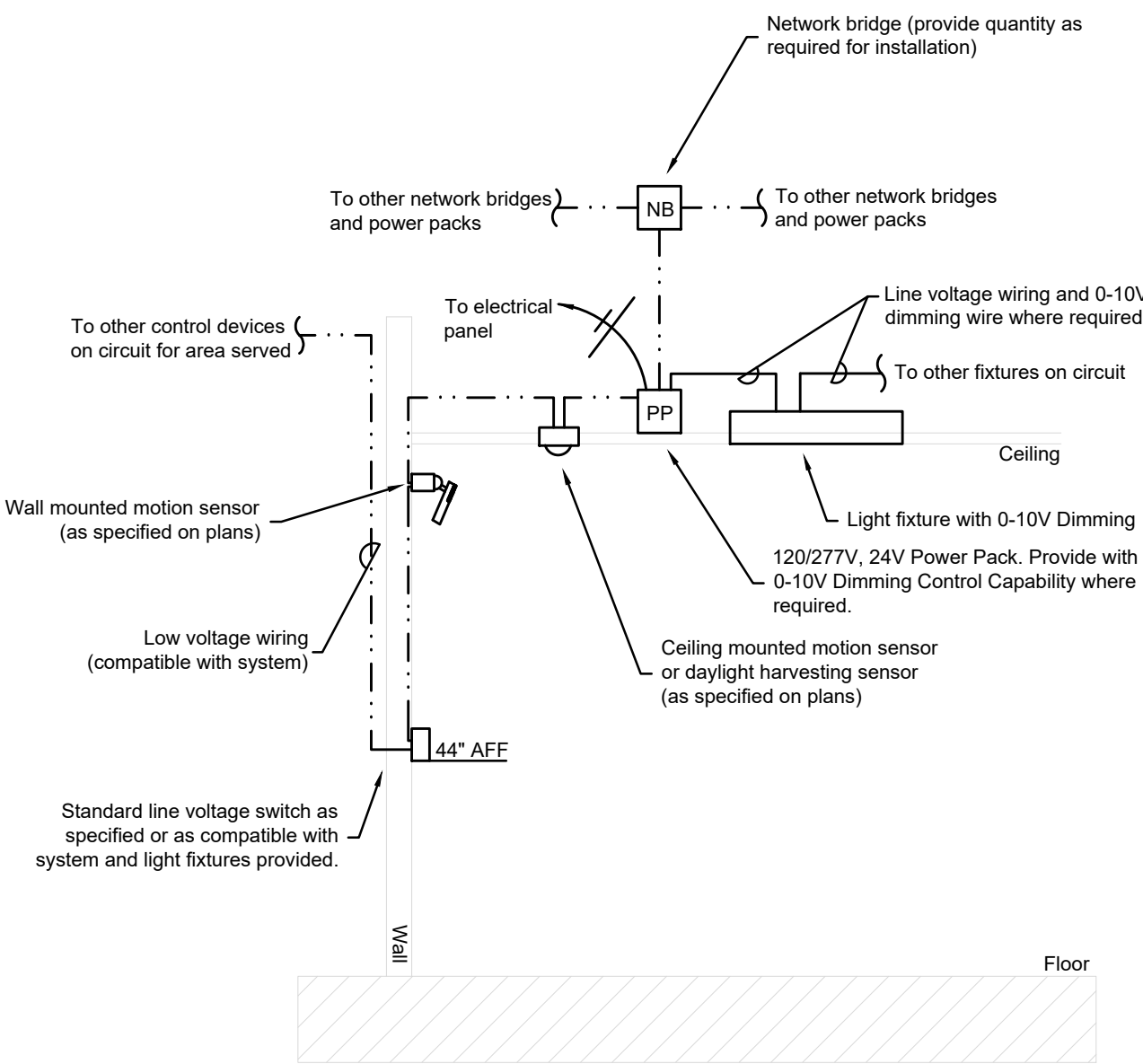
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PHASE PERMIT SET
DATE 03.14.2025
TD PROJECT # 24-024

DRAWING TITLE

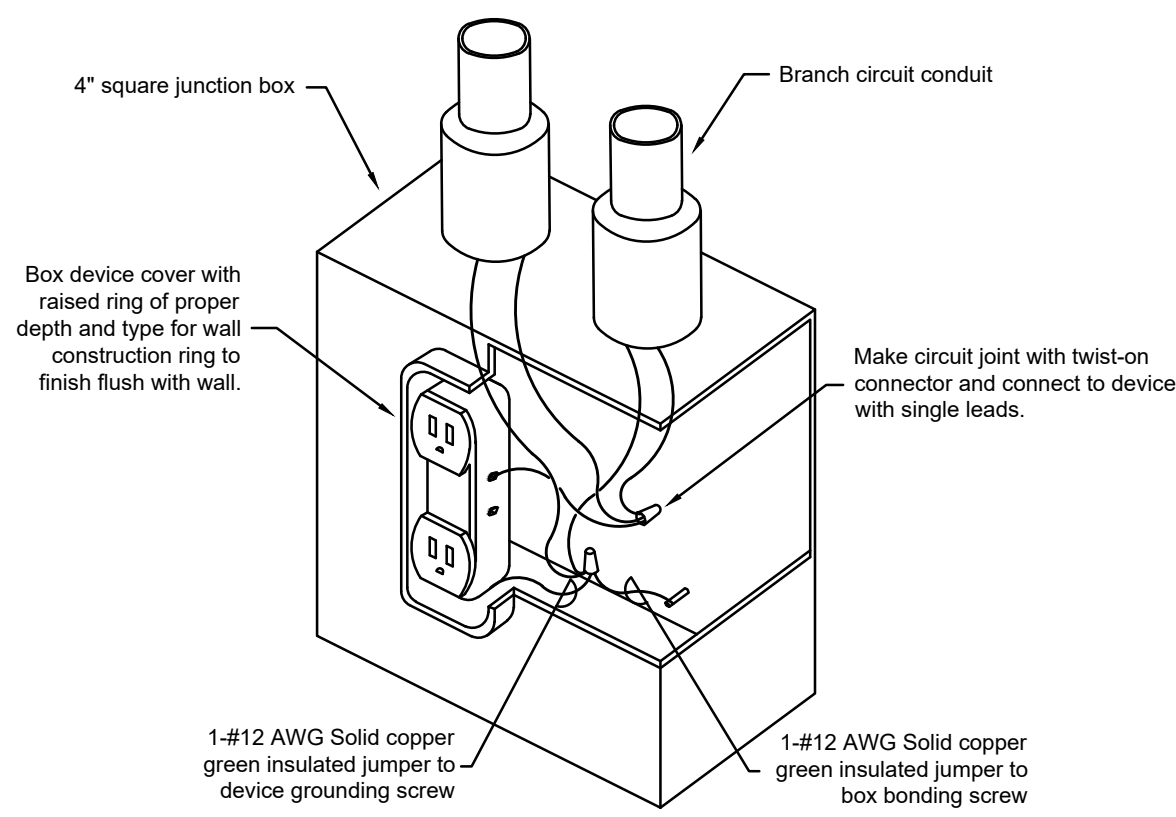
ELECTRICAL COVER SHEET

DRAWING NUMBER
E-001

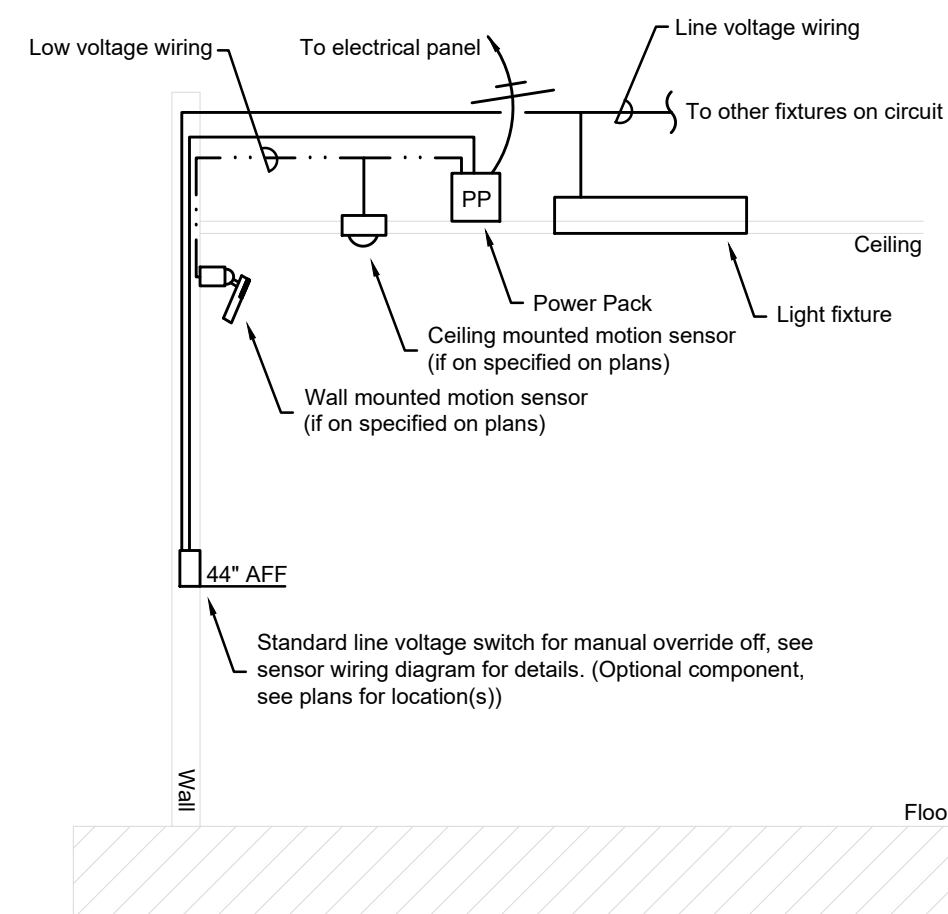


- Notes:**
1. A maximum of two motion sensors shall be connected to each power pack.
 2. Ceiling-mounted motion sensors shall be installed at least 6 feet away from any diffuser.
 3. Motion sensors and motion sensor switches shall be set to a 30-minute time delay. The contractor shall adjust the sensor's sensitivity as required to suit room conditions and size.
 4. The contractor shall provide the appropriate quantity of power packs as per the design requirements. In rooms utilizing both 277-volt and 120-volt lighting, a minimum of two power packs shall be provided (one for each voltage).
 5. Dual-technology sensors shall be programmed so that both technologies are required to turn the lights on initially, but only one technology is necessary to keep the lights on.

1 Typical Motion Sensor with Low Voltage Switch Connection Detail
Scale: None

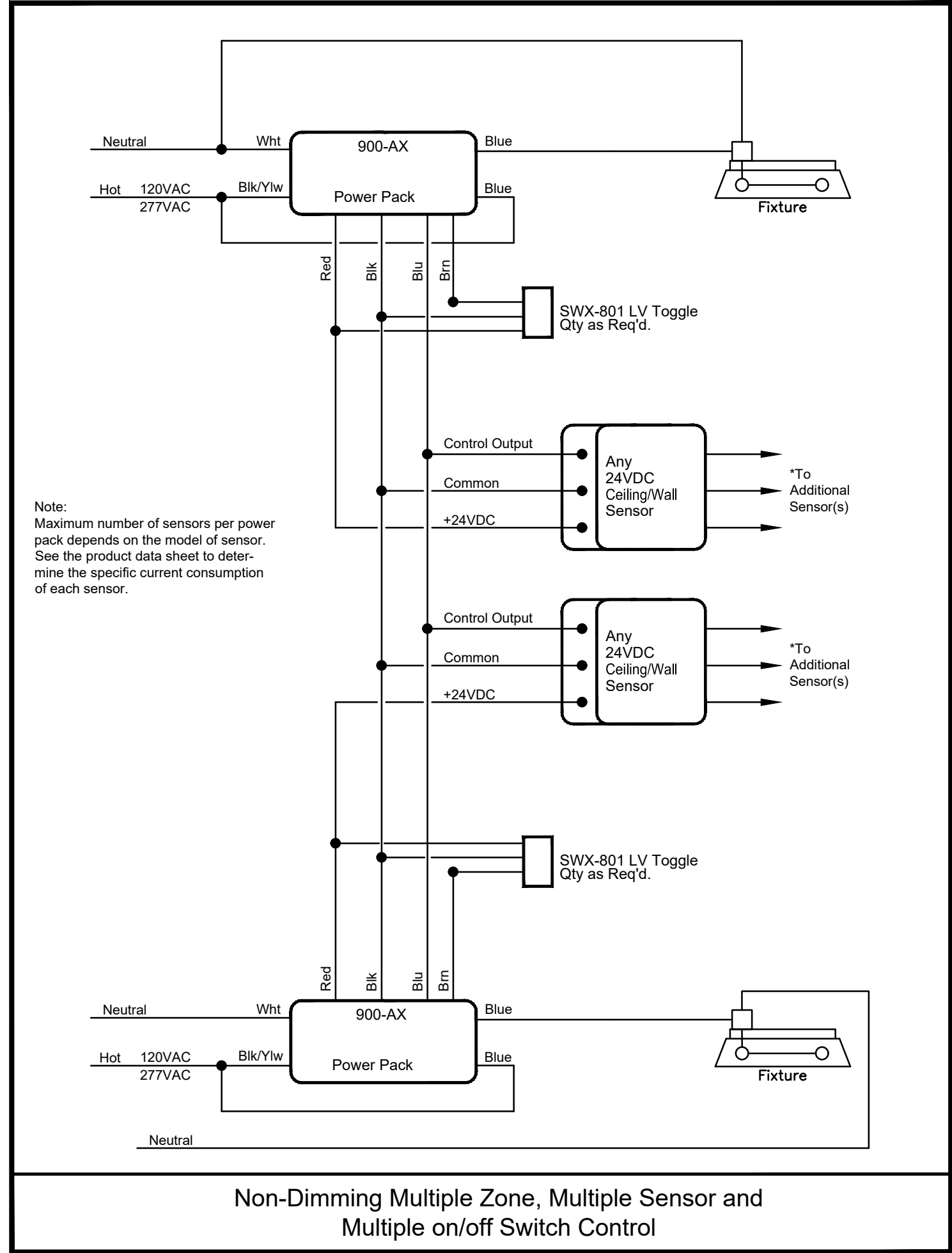


2 Receptacle Grounding Detail
Scale: None

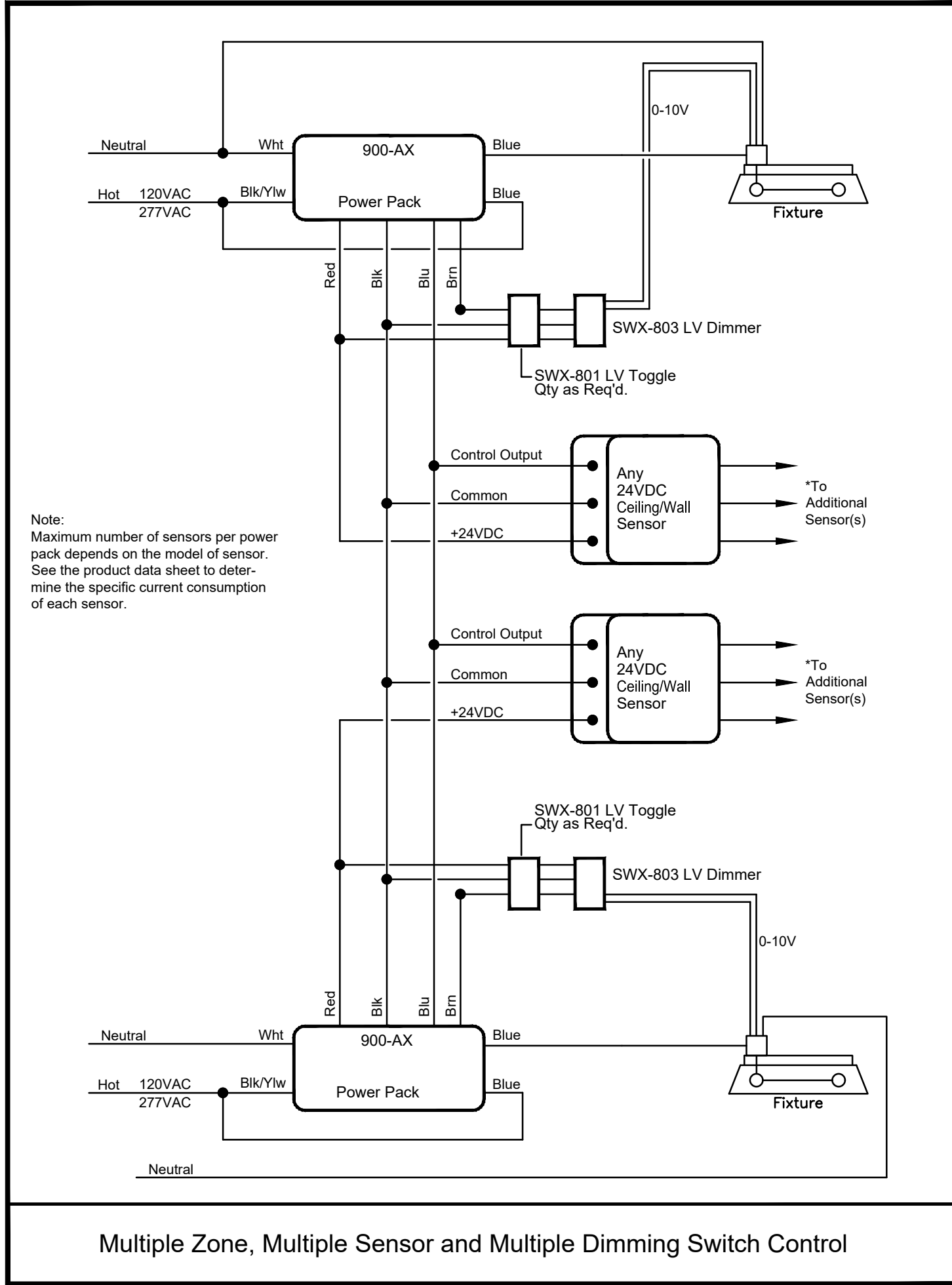


- Notes:**
1. A maximum of two motion sensors shall be connected to each power pack.
 2. Ceiling-mounted motion sensors shall be installed at least 6 feet away from any diffuser.
 3. Motion sensors and motion sensor switches shall be set to a 30-minute time delay. The contractor shall adjust the sensor's sensitivity as required to suit room conditions and size.
 4. The contractor shall provide the appropriate quantity of power packs as per the design requirements. In rooms utilizing both 277-volt and 120-volt lighting, a minimum of two power packs shall be provided (one for each voltage).
 5. Dual-technology sensors shall be programmed so that both technologies are required to turn the lights on initially, but only one technology is necessary to keep the lights on.

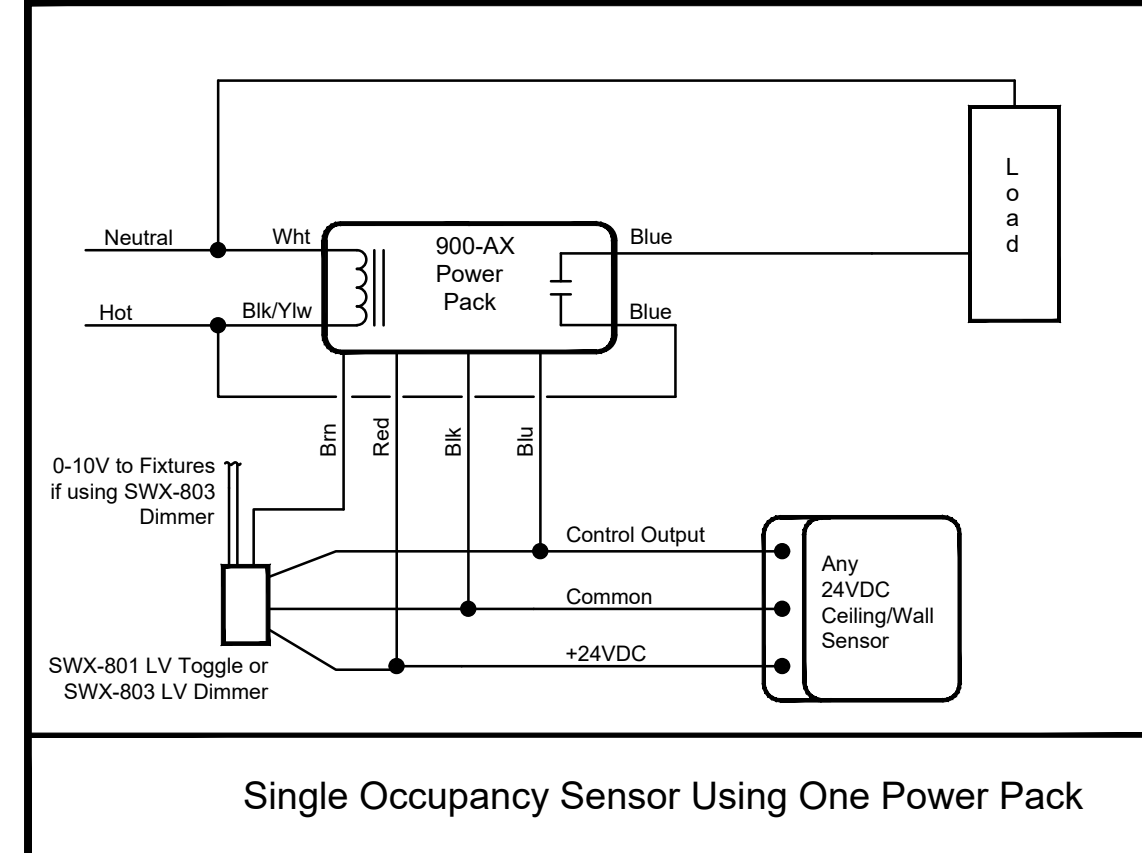
3 Typical Motion Sensor with Line Voltage Switch Connection Detail
Scale: None



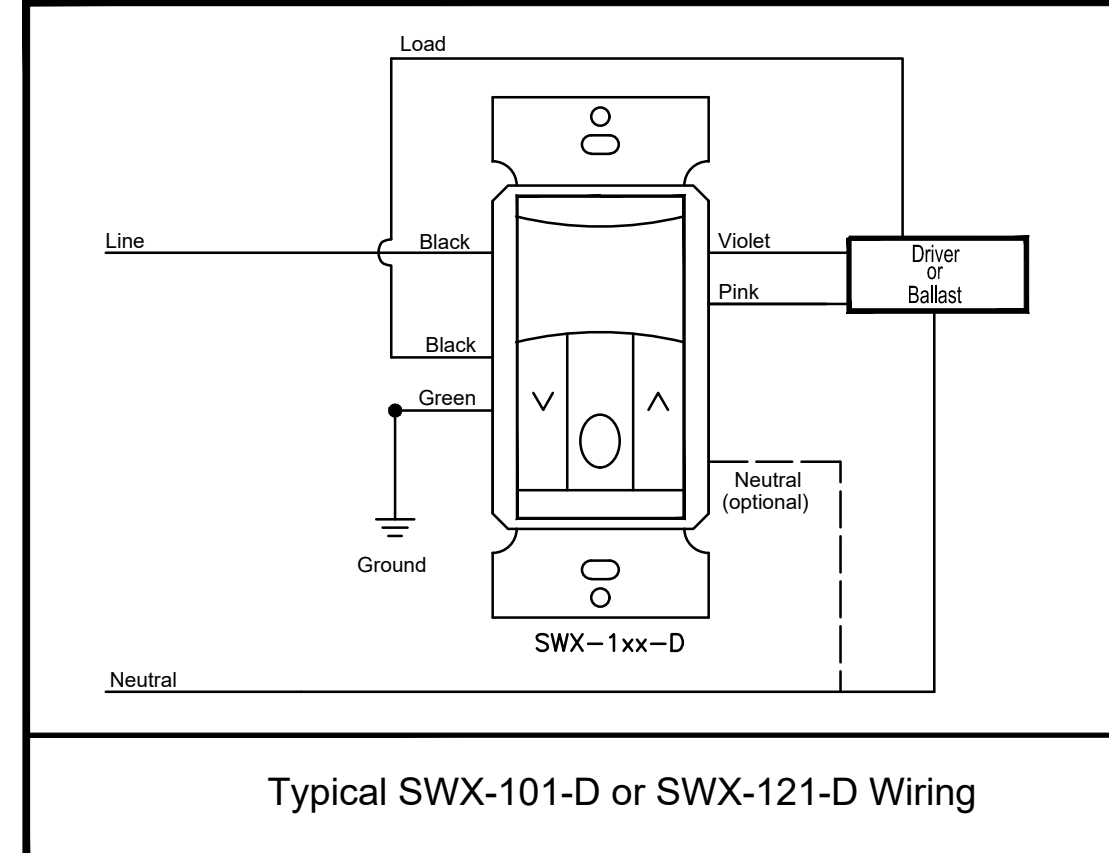
Non-Dimming Multiple Zone, Multiple Sensor and Multiple on/off Switch Control



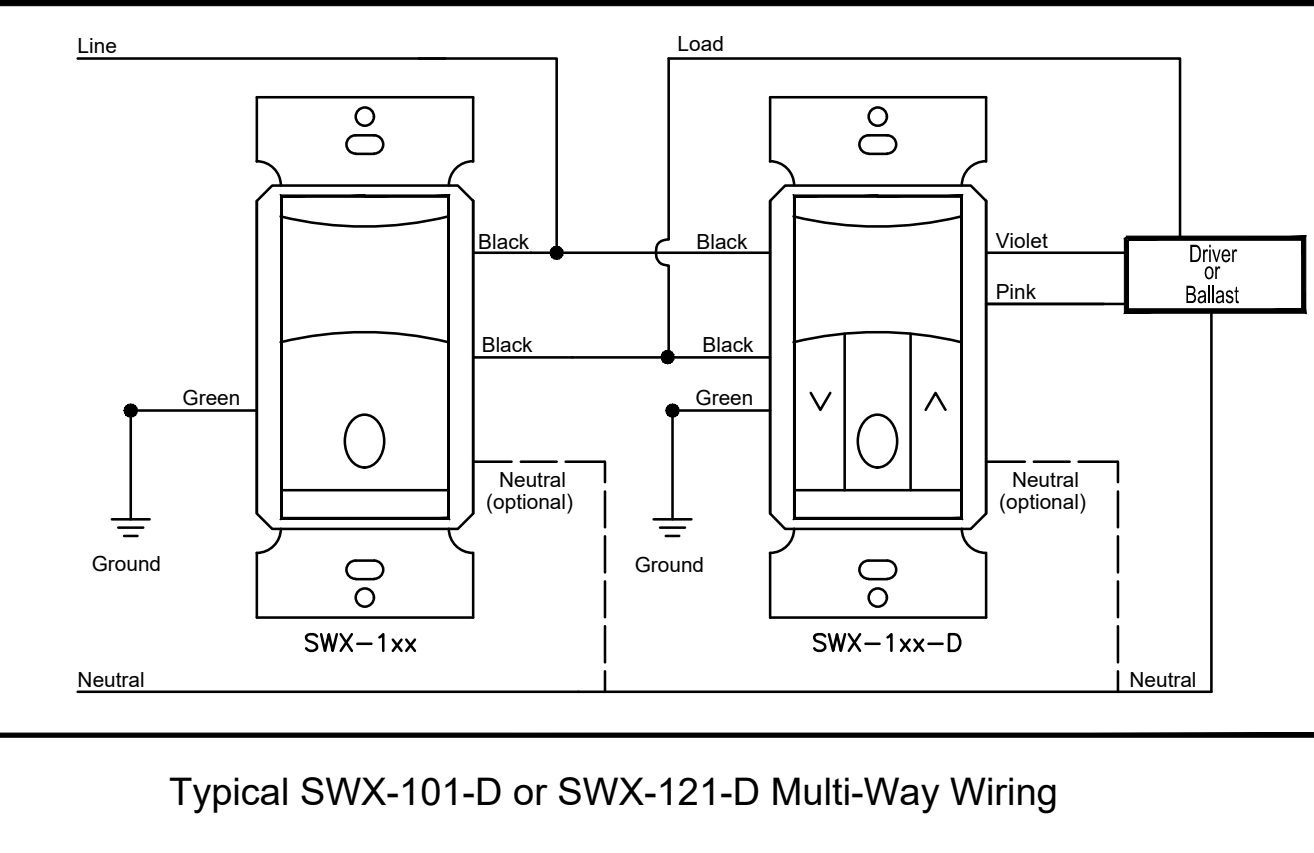
Multiple Zone, Multiple Sensor and Multiple Dimming Switch Control



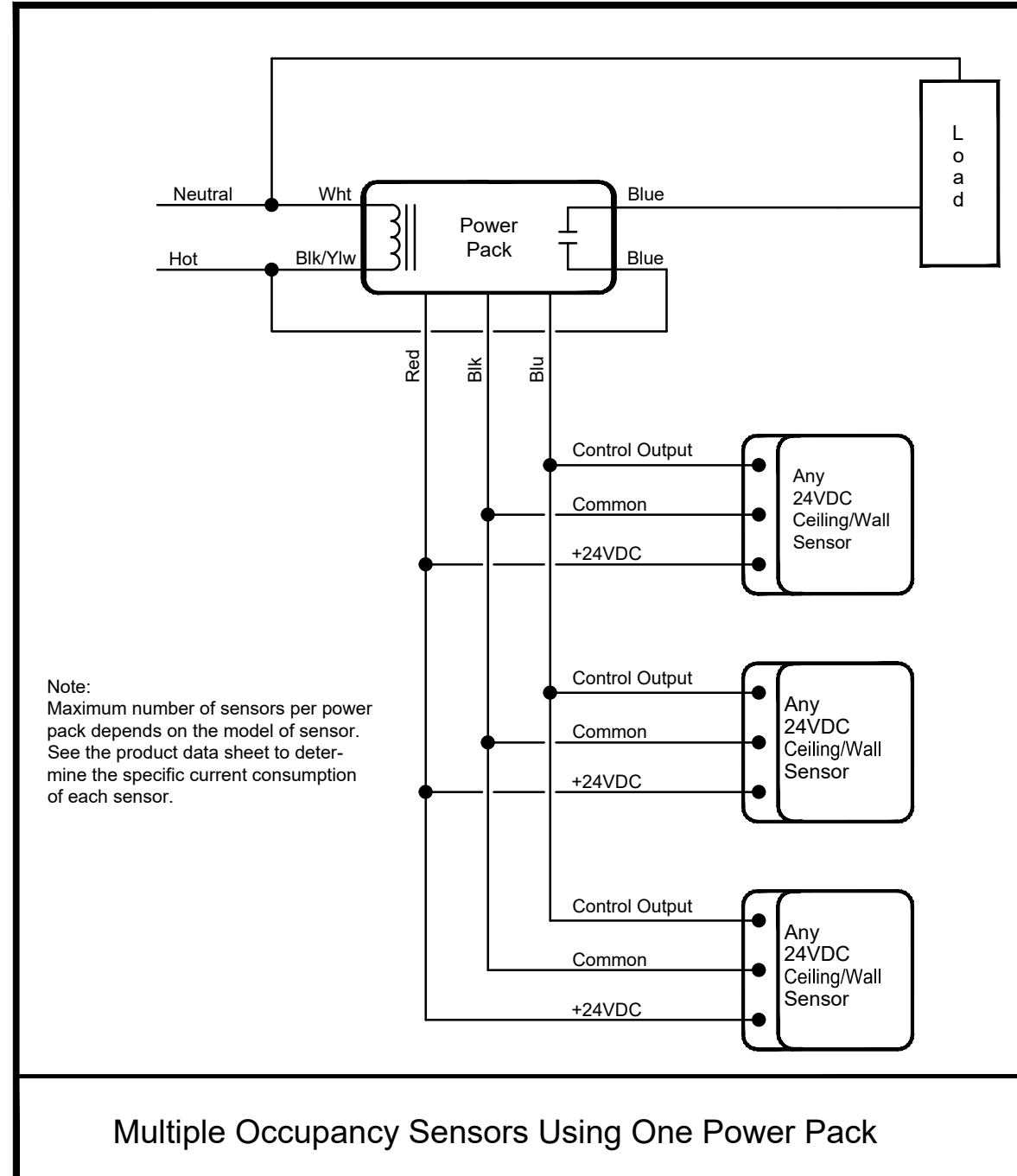
Single Occupancy Sensor Using One Power Pack



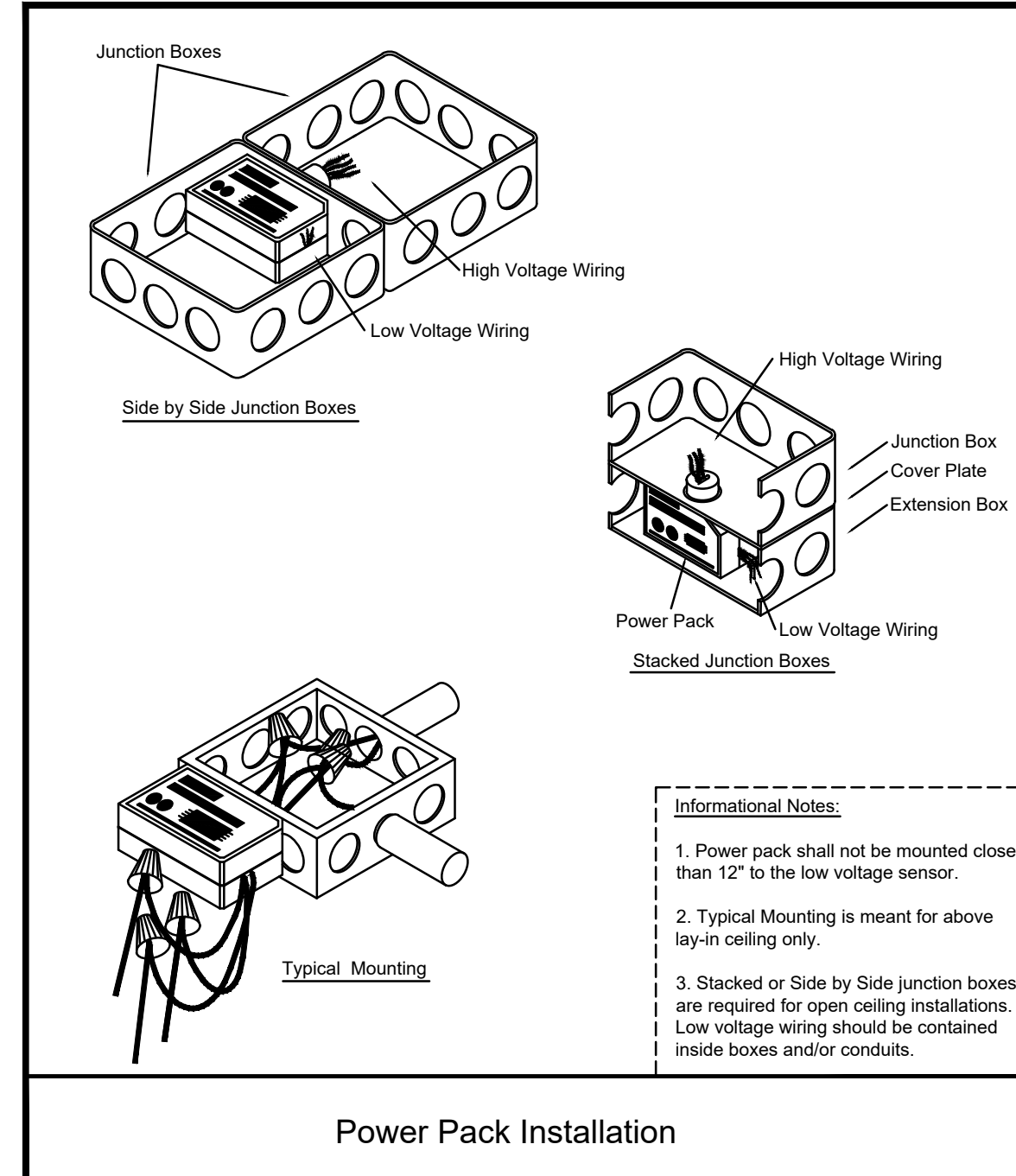
Typical SWX-101-D or SWX-121-D Wiring



Typical SWX-101-D or SWX-121-D Multi-Way Wiring



Multiple Occupancy Sensors Using One Power Pack

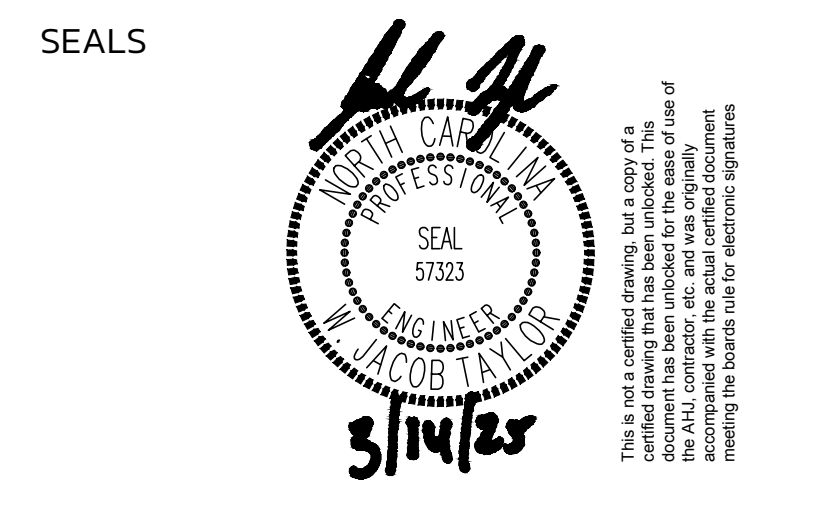


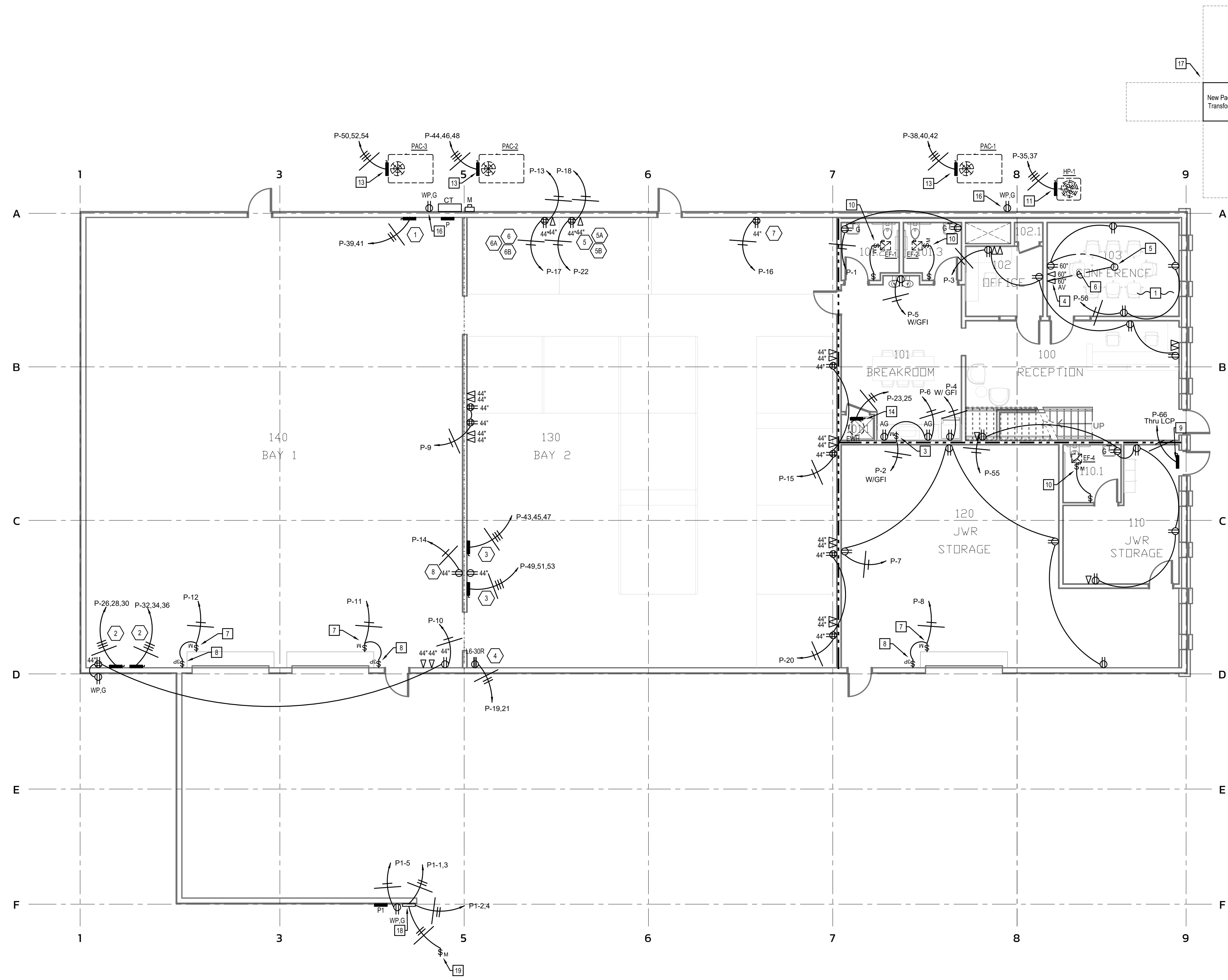
Power Pack Installation

- Informational Notes:**
1. Power pack shall not be mounted closer than 12\"/>

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1 First Floor Plan - Power
Scale: 1/8" = 1' - 0"

- Sheet Notes:**
- All electrical boxes mounted in rated walls shall comply with all requirements of the 2018 NCSBC, section 714.3.2. All electrical boxes mounted in rated ceilings/horizontal assemblies shall comply with all requirements of the 2018 NCSBC, section 714.4.2. Devices shown in rated assemblies shall be flush with conduit concealed, unless otherwise indicated. Provide rated boxes, horizontal separation, putty pads, etc. as required for proper installation. Low voltage electrical devices mounted in rated assemblies shall be protected in accordance with the sections listed above as well.
 - Individual branch circuits are shown with a dedicated neutral unless otherwise noted. When multi-wire branch circuits are to be installed, provide multi-pole circuit breakers as required. NEC 210.7
 - See voltage drop schedule for wire sizing information for all branch circuits over 65' in length.
 - All receptacles within 6 feet from the outside edge of any sink shall be GFCI. NEC 210.8(B)(5). All GFCI trip-reset receptacles shall be readily accessible. NEC 210.8. If an outlet is shown as GFCI protected and would be installed behind a piece of equipment (IE a dishwasher), a remote trip unit shall be installed and/or the outlet should be protected by a GFCI breaker. Where a remote trip unit is used, it should be located above the equipment (IE dishwasher) and in line with other above counter outlets. The trip unit shall be the type that indicates on/off (basis of design is the Legrand #2087WCCD4).
 - Contractor shall use rigid conduit/wire mold to neatly route the conductors between devices in all exposed areas. The general intent is that the exposed conduit runs would be as short as possible. Switches for lights and outlets on one side of beam would be switched from one location and the other side of the beam switched from another location to reduce exposed conduit. Conduit shall not cross the beam in unit if at all possible. Conduits shall be installed perpendicular/ parallel to and at the structure. Typical for all. All other conduits shall be concealed in walls and/or above ceiling wherever possible.

- Plan Notes:**
- Conference room is less than 215 square foot. Therefore, the requirements of NEC 210.65 (B)(2) do not apply.
 - Stub a 2" conduit to the main building telephone backboard for tenant's future telephone service. Provide pull wire.
 - Provide motor switch for dishwasher connection in adjacent base cabinet under sink. Coordinate exact requirements with equipment supplier.
 - Provide sufficient sized junction box capable of accepting 1 1/4" conduit from floor box for AV connections. Provide pull wire.
 - Flush floor box for power, data, and AV. Verify exact location with architect/furniture vendor prior to rough-in. See legend for specification. Typical for all floor boxes.
 - Stub 1 1/4" conduit from floor box to AV junction box behind TV for AV connections. Provide pull wire. Connect as required.
 - Power for overhead door. Connect as required. Coordinate exact location with equipment supplier and owner prior to beginning work.
 - Provide three position switch and 3/4" conduit for overhead door controls. Connect as required. Coordinate exact location with equipment supplier and owner prior to beginning work.
 - Provide lockable 30/1 disconnect fused at 20 amps above ceiling/up high on wall for sign circuit per NEC 600.5. Connect as required.
 - Connect exhaust fan controlled by wall switch to circuit 'P-24' as required. Coordinate with mechanical.
 - Connect heat pump as required. Coordinate with mechanical.
 - Connect air handler unit as required. Coordinate with mechanical.
 - Connect packaged air conditioning unit as required. Coordinate with mechanical.
 - Connect electric water heater as required. Coordinate with plumbing.
 - Connect condensate pump to circuit 'P-24' as required. Coordinate with mechanical.
 - WP GFI receptacle on exterior wall for maintenance. Connect to circuit 'P-10' as required. Coordinate exact locations with mechanical.
 - Approximate location of new pad mounted transformer by power company. Coordinate exact location and requirements with civil and power company.
 - Connect sump pump control panel as required. Provide connections for sump pump and alarm circuit at/thru control panel. Coordinate exact location and requirements with civil.
 - Connect sump pump through control panel as required. Coordinate exact location and requirements with civil.

Wall Ratings and Types Legend

See architectural sheets for more information on ratings and additional rated constructions including structure where applicable. Protect all rated constructions as required.

| | |
|----------------------------|-------|
| Existing Wall to Remain | _____ |
| New Wall being Constructed | _____ |
| Wall to Deck | _____ |
| Two Hour Fire Barrier | _____ |
| Three Hour Fire Barrier | _____ |

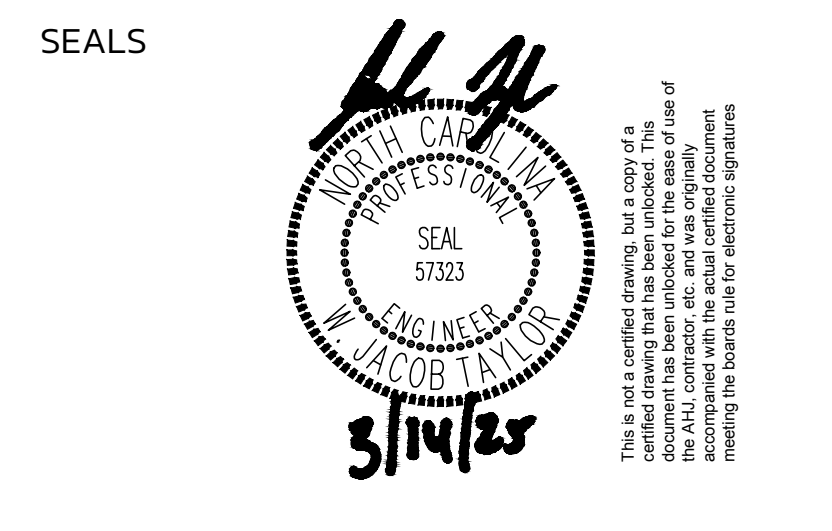


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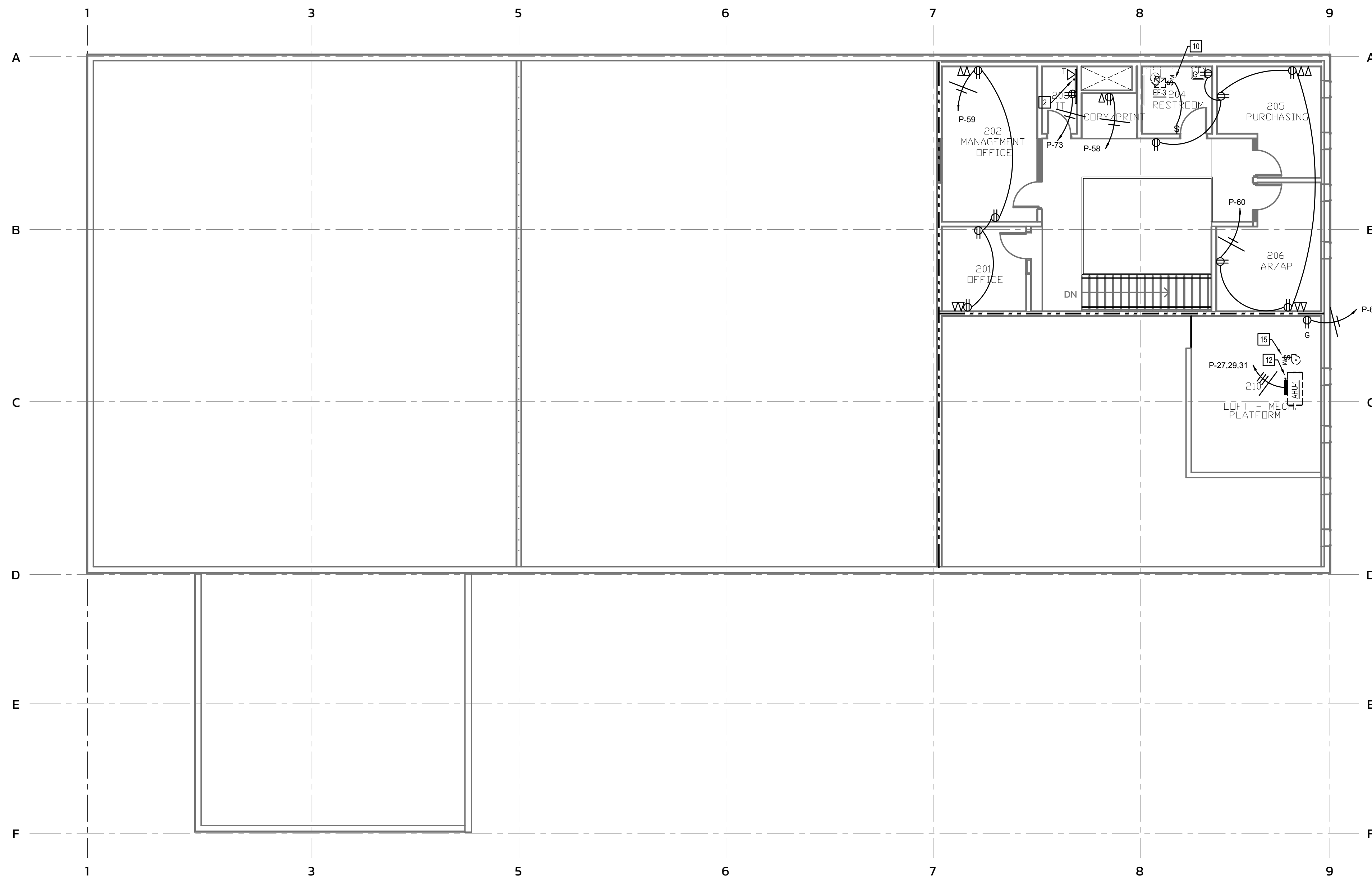
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|--------------|------------|
| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE

FIRST FLOOR PLAN
- POWER

DRAWING NUMBER
E-101

These drawings will be at the scale indicated when plotted at 24" x 36"



1 Second Floor Plan - Power
Scale: 1/8" = 1' - 0"

- Sheet Notes:**
- All electrical boxes mounted in rated walls shall comply with all requirements of the 2018 NCSBC, section 714.3.2. All electrical boxes mounted in rated ceilings/horizontal assemblies shall comply with all requirements of the 2018 NCSBC, section 714.4.2. Devices shown in rated assemblies shall be flush with conduit concealed, unless otherwise indicated. Provide rated boxes, horizontal separation, putty pads, etc. as required for proper installation. Low voltage electrical devices mounted in rated assemblies shall be protected in accordance with the sections listed above as well.
 - Individual branch circuits are shown with a dedicated neutral unless otherwise noted. When multi-wire branch circuits are to be installed, provide multi-pole circuit breakers as required. NEC 210.7
 - See voltage drop schedule for wire sizing information for all branch circuits over 65' in length.
 - All receptacles within 6 feet from the outside edge of any sink shall be GFCI. NEC 210.8(B)(5). All GFCI trip-reset receptacles shall be readily accessible. NEC 210.8. If an outlet is shown as GFCI protected and would be installed behind a piece of equipment (IE a dishwasher), a remote trip unit shall be installed and/or the outlet should be protected by a GFCI breaker. Where a remote trip unit is used, it should be located above the equipment (IE dishwasher) and in line with other above counter outlets. The trip unit shall be the type that indicates on/off (basis of design is the Legrand #2087WCCD4).
 - Contractor shall use rigid conduit/wire mold to neatly route the conductors between devices in all exposed areas. The general intent is that the exposed conduit runs would be as short as possible. Switches for lights and outlets on one side of beam would be switched from one location and the other side of the beam switched from another location to reduce exposed conduit. Conduit shall not cross the beam in unit if at all possible. Conduits shall be installed perpendicular/parallel to and in the structure. Typical for all. All other conduits shall be concealed in walls and/or above ceiling wherever possible.

- Plan Notes:**
- Conference room is less than 215 square foot. Therefore, the requirements of NEC 210.85 (B)(2) do not apply.
 - Stub a 2" conduit to the main building telephone backboard for tenant's future telephone service. Provide pull wire.
 - Provide motor switch for dishwasher connection in adjacent base cabinet under sink. Coordinate exact requirements with equipment supplier.
 - Provide sufficient sized junction box capable of accepting 1 1/4" conduit from floor box for AV connections. Provide pull wire.
 - Flush floor box for power, data, and AV. Verify exact location with architect/furniture vendor prior to rough-in. See legend for specification. Typical for all floor boxes.
 - Stub 1 1/4" conduit from floor box to AV junction box behind TV for AV connections. Provide pull wire. Connect as required.
 - Power for overhead door. Connect as required. Coordinate exact location with equipment supplier and owner prior to beginning work.
 - Provide three position switch and 3/4" conduit for overhead door controls. Connect as required. Coordinate exact location with equipment supplier and owner prior to beginning work.
 - Provide lockable 30/1 disconnect fused at 20 amps above ceiling/up high on wall for sign circuit per NEC 600.5. Connect as required.
 - Connect exhaust fan controlled by wall switch to circuit "P-24" as required. Coordinate with mechanical.
 - Connect heat pump as required. Coordinate with mechanical.
 - Connect air handler unit as required. Coordinate with mechanical.
 - Connect packaged air conditioning unit as required. Coordinate with mechanical.
 - Connect electric water heater as required. Coordinate with plumbing.
 - Connect condensate pump to circuit "P-24" as required. Coordinate with mechanical.
 - WP GFI receptacle on exterior wall for maintenance. Connect to circuit "P-10" as required. Coordinate exact locations with mechanical.
 - Approximate location of new pad mounted transformer by power company. Coordinate exact location and requirements with civil and power company.
 - Connect sump pump control panel as required. Provide connections for sump pump and alarm circuit at/thru control panel. Coordinate exact location and requirements with civil.
 - Connect sump pump through control panel as required. Coordinate exact location and requirements with civil.

Wall Ratings and Types Legend

See architectural sheets for more information on ratings and additional rated constructions including structure where applicable. Protect all rated constructions as required.

| | |
|----------------------------|-------|
| Existing Wall to Remain | _____ |
| New Wall being Constructed | _____ |
| Wall to Deck | |
| Two Hour Fire Barrier | ----- |
| Three Hour Fire Barrier | ----- |

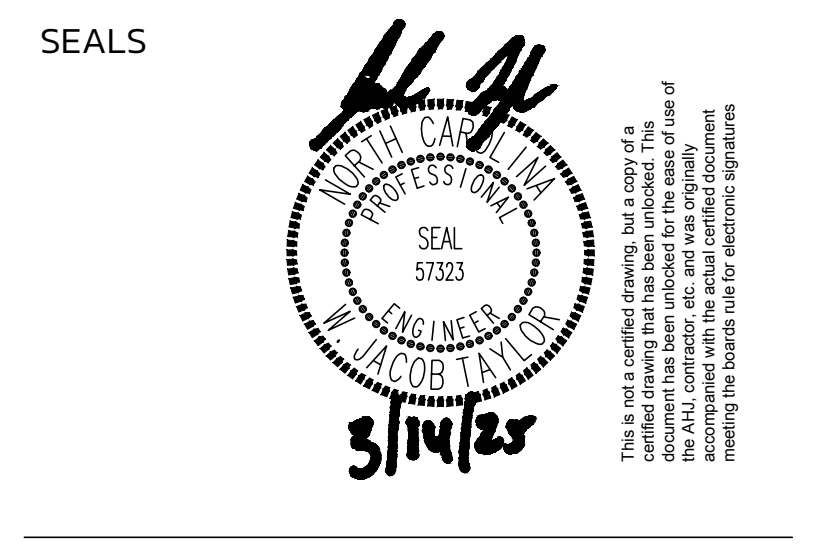


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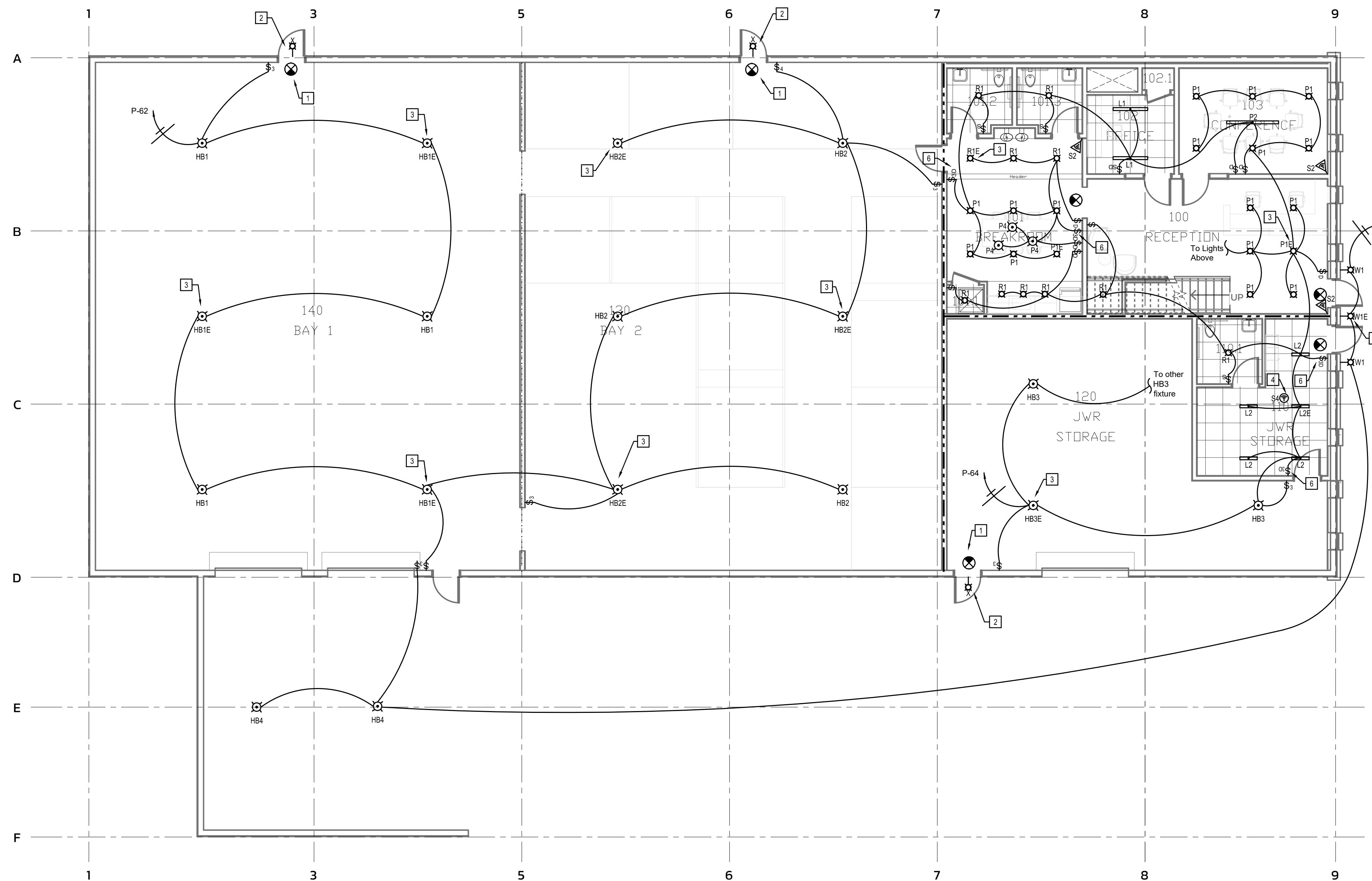
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| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE

**SECOND FLOOR
PLAN - POWER**

DRAWING NUMBER
E-102

These drawings will be at the scale indicated when plotted at 24" x 36"



1 First Floor Plan - Lighting
Scale: 1/8" = 1' - 0"

Sheet Notes:

- All electrical boxes mounted in rated walls shall comply with all requirements of the 2018 NCSCB, section 714.3.2. All electrical boxes mounted in rated ceilings/horizontal assemblies shall comply with all requirements of the 2018 NCSCB, section 714.4.2. Devices shown in rated assemblies shall be flush with conduit concealed, unless otherwise indicated. Provide rated boxes, horizontal separation, putty pads, etc. as required for proper installation. Low voltage electrical devices mounted in rated assemblies shall be protected in accordance with the sections listed above as well.
- Connect wall packs or other normally off emergency lights, exit signs and night lights ahead of local switches and/or controls. (total fixture unswitched). Where lights are not indicated as night lights, fixtures with emergency batteries shall be connected with the battery ahead of switch so that the emergency battery comes on only in the event of power loss. Fixture is normally controlled with the other lights under normal conditions.
- See motion sensor details for specifications and wiring details. All motion sensors, new and existing, shall be set to a 30 minute time delay.
- Lighting controls including occupancy sensors, automatic time switches, automatic shut-off controls, or daylight/occupant sensing automatic controls, the electrical contractor shall be responsible for testing the lighting controls per section C408.3 of the 2018 NC Energy Conservation Code. Ensure that control devices, components, and systems are calibrated, adjusted and operate in accordance with the approved plans and/or specifications. Sequences of operation shall be functionally tested to ensure they operate in accordance with the approved plans and/or specifications.
- See voltage drop schedule for wire sizing information for all branch circuits over 65' in length.
- Contractor shall combine all switches under common cover plate with all other switches in area if possible. Switches throughout the facility should be the same or appear as close to the same as possible.

Plan Notes: Not all notes used on all Sheets

- Connect emergency and exit lights ahead of local switch/controls so that total fixture is unswitched. Connect as required. Typical.
- Contractor shall connect battery in/for light fixture ahead of switch/controls so that emergency ballast/inverter comes on only in the event of power loss. Fixture is switched with other normal lights under normal conditions.
- Contractor shall connect battery in/for light fixture ahead of switch/controls so that emergency ballast/inverter comes on only in the event of power loss. Fixture is switched with other normal lights under normal conditions. Typical.
- Motion sensor to control all lights in this room. See motion sensor wiring diagrams. Provide required power packs to control all lights with override off switches as shown. Typical.
- Contractor shall connect battery in/for light fixture ahead of exterior controls so that emergency ballast/inverter comes on only in the event of power loss. Fixture is controlled with other normal lights under normal conditions.
- This denotes a 3-way on/off and a dimming control of the connected zone. Confirm location of dimmer with tenant and install 3-way in other location. Connect as required.

Wall Ratings and Types Legend

See architectural sheets for more information on ratings and additional rated constructions including structure where applicable. Protect all rated constructions as required.

| | |
|----------------------------|-------|
| Existing Wall to Remain | _____ |
| New Wall being Constructed | _____ |
| Wall to Deck | |
| Two Hour Fire Barrier | ----- |
| Three Hour Fire Barrier | ----- |

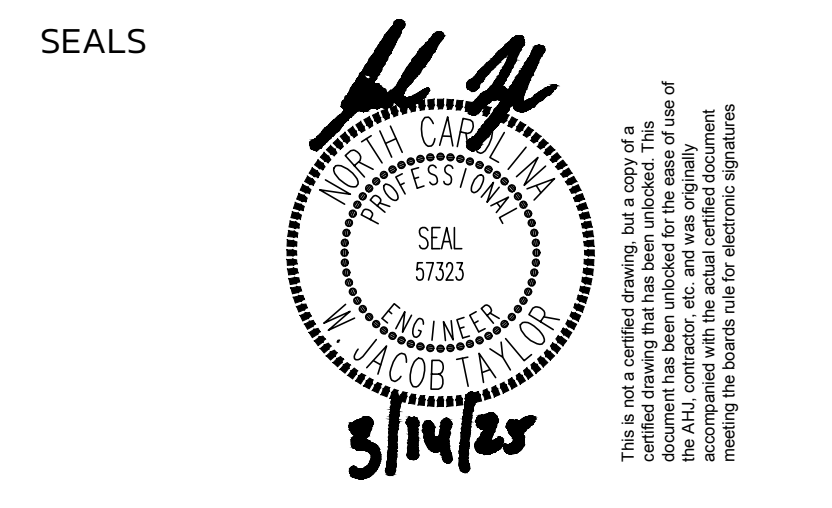


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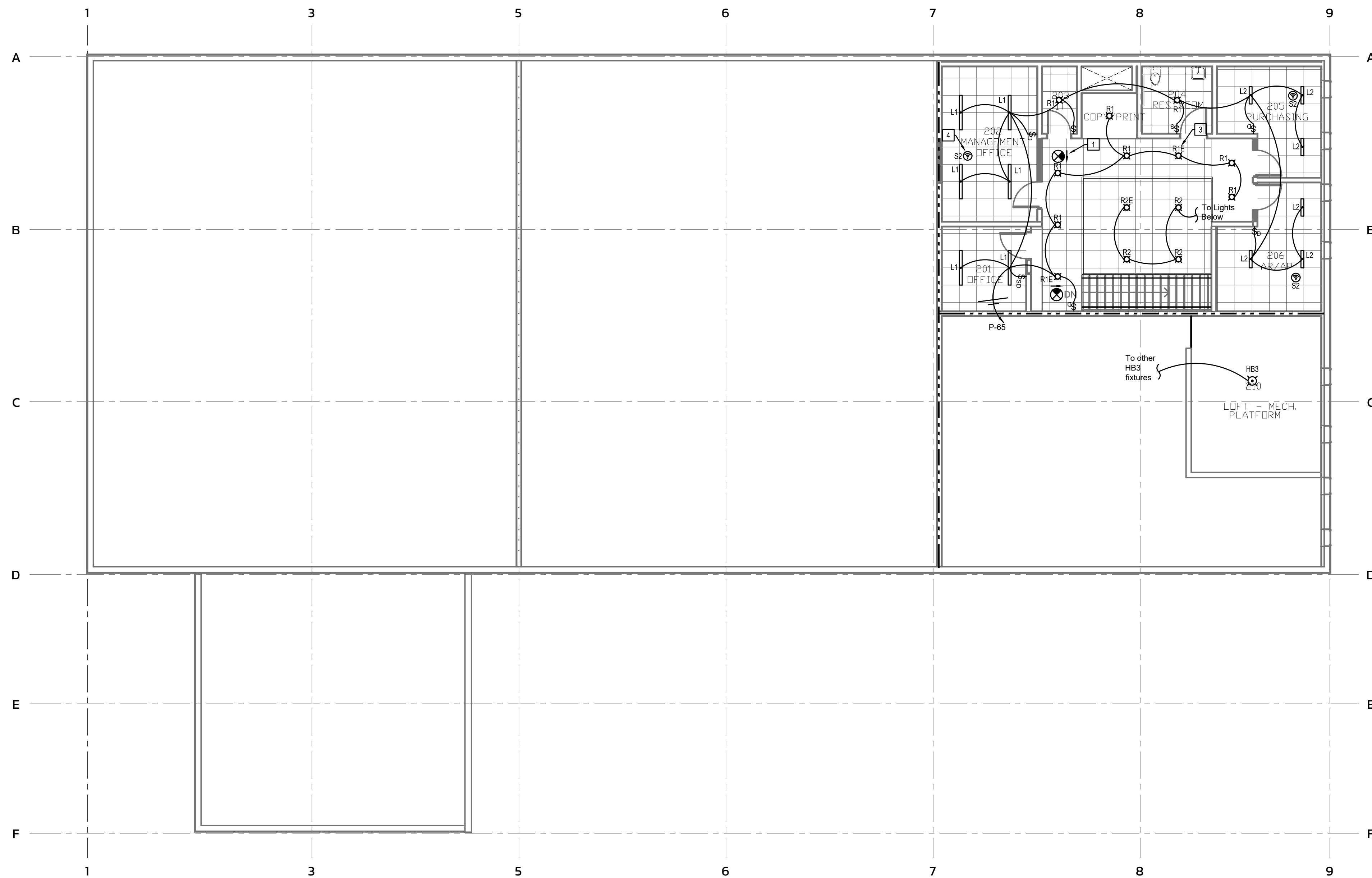
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| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE

**FIRST FLOOR PLAN
- LIGHTING**

DRAWING NUMBER
E-201

These drawings will be at the scale indicated when plotted at 24" x 36"



1 Second Floor Plan - Lighting
Scale: 1/8" = 1' - 0"

- Sheet Notes:**
- All electrical boxes mounted in rated walls shall comply with all requirements of the 2018 NCSCB, section 714.3.2. All electrical boxes mounted in rated ceilings/horizontal assemblies shall comply with all requirements of the 2018 NCSCB, section 714.4.2. Devices shown in rated assemblies shall be flush with conduit concealed, unless otherwise indicated. Provide rated boxes, horizontal separation, putty pads, etc. as required for proper installation. Low voltage electrical devices mounted in rated assemblies shall be protected in accordance with the sections listed above as well.
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 - See motion sensor details for specifications and wiring details. All motion sensors, new and existing, shall be set to a 30 minute time delay.
 - Lighting controls including occupancy sensors, automatic time switches, automatic shut-off controls, or daylight/occupant sensing automatic controls, the electrical contractor shall be responsible for testing the lighting controls per section C408.3 of the 2018 NC Energy Conservation Code. Ensure that control devices, components, and systems are calibrated, adjusted and operate in accordance with the approved plans and/or specifications. Sequences of operation shall be functionally tested to ensure they operate in accordance with the approved plans and/or specifications.
 - See voltage drop schedule for wire sizing information for all branch circuits over 65' in length.
 - Contractor shall combine all switches under common cover plate with all other switches in area if possible. Switches throughout the facility should be the same or appear as close to the same as possible.

- Plan Notes: Not all notes used on all Sheets**
- Connect emergency and exit lights ahead of local switch/controls so that total fixture is unswitched. Connect as required. Typical.
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 - Motion sensor to control all lights in this room. See motion sensor wiring diagrams. Provide required power packs to control all lights with override off switches as shown. Typical.
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 - This denotes a 3-way on/off and a dimming control of the connected zone. Confirm location of dimmer with tenant and install 3-way in other location. Connect as required.

Wall Ratings and Types Legend

See architectural sheets for more information on ratings and additional rated constructions including structure where applicable. Protect all rated constructions as required.

| | |
|----------------------------|-------|
| Existing Wall to Remain | _____ |
| New Wall being Constructed | _____ |
| Wall to Deck | |
| Two Hour Fire Barrier | ----- |
| Three Hour Fire Barrier | ----- |

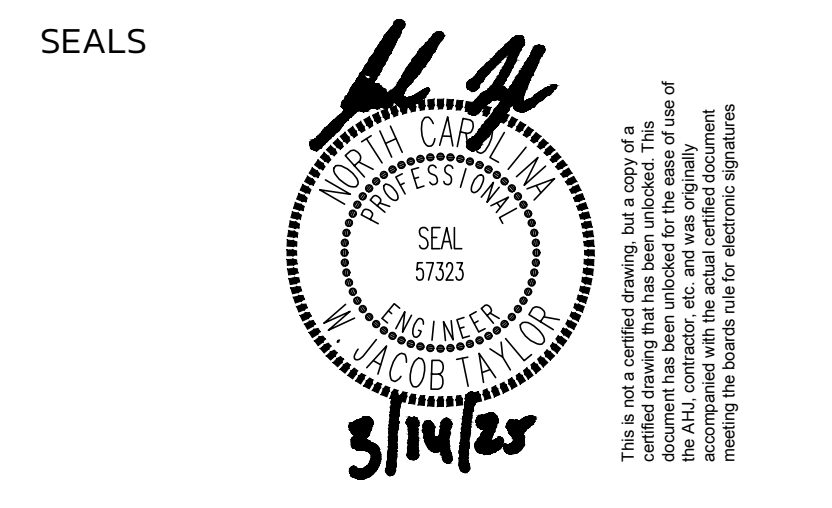


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TD PROJECT # 24-024

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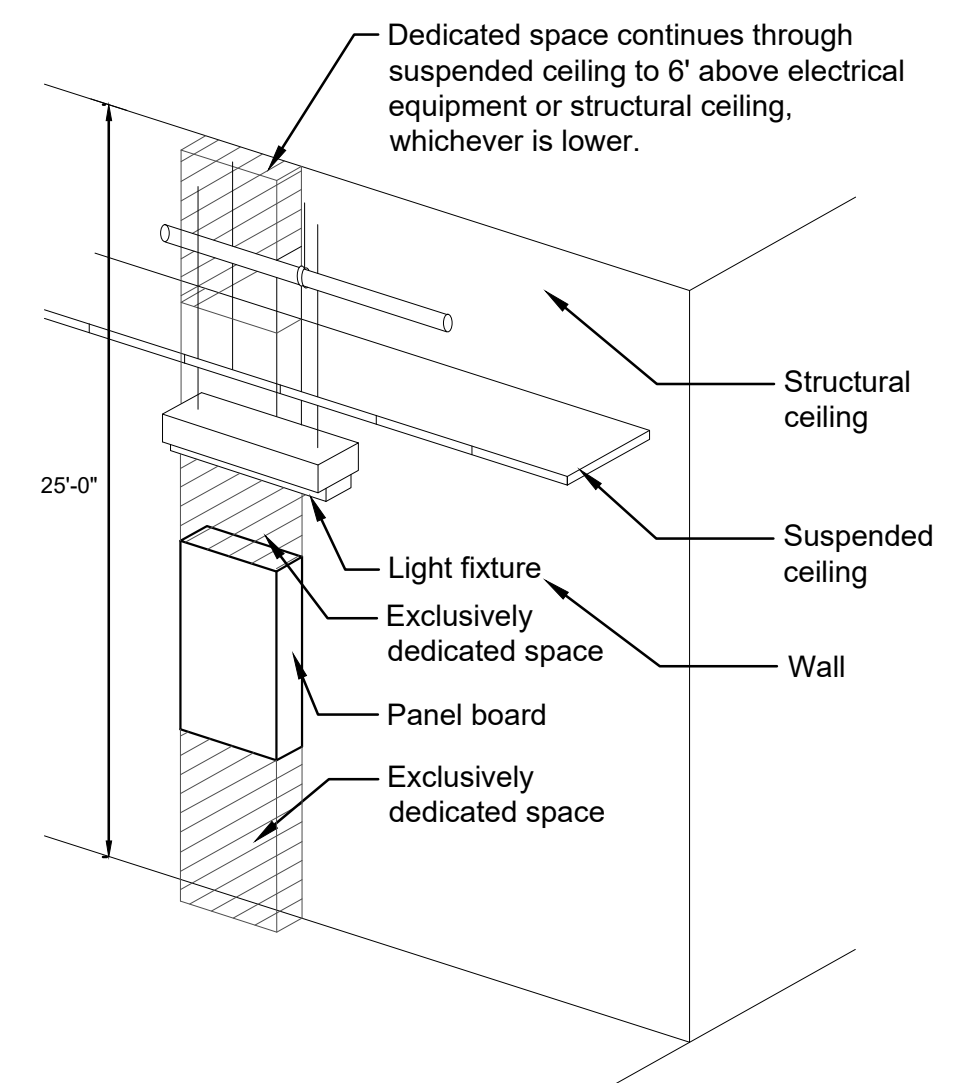
**SECOND FLOOR
PLAN - LIGHTING**

DRAWING NUMBER
E-202

These drawings will be at the scale indicated when plotted at 24" x 36"

Panel Schedule Notes (All Panels, All Sheets):

- All panel directories shall be completed in accordance with NEC 408.4.
- Values for demand loads include all code factors such as 125% for continuous loads, 125% largest motor, etc.
- Breaker sizes shown in panel schedules for new equipment are for reference only, see equipment connection schedule for additional information. Where breaker / fuse size between schedules conflict, the equipment connection schedule shall take precedence. Contractor shall ultimately confirm breaker size with equipment provider.
- Circuit breakers used as overcurrent protection for HVAC equipment shall be "HACR" type.
- Contractor shall provide identification for new feeders and any new branch circuits per NEC 200.6, 210.5, and 215.12.
- Contractor shall label breakers feeding emergency and exit lighting per NEC 700.12(F).
- Provide arc flash hazard warning labels as required on all panels affected by this work to comply with NEC 110.16.
- Where circuit breakers or fuses are noted to be series rated, the equipment shall be listed per NEC 110.22 as applicable. Tested series combination systems, the placard shall state the following "Caution - Series Combination System Rated _____ Amperes. Identified Replacement Components Required." See NEC 110.22(b), for engineered series combination systems placarding language.
- Bolded text indicates a new or changed breaker, label, load on an existing panel. Bolded breakers are new or relocated breakers to location shown.
- Breakers indicated as (L) shall have a breaker lock provided. 201(L) means a 20 amp single pole breaker with lock. Breaker lock shall be accessible from outside of panel and shall not require the removal of panel cover in order to reset the breaker.
- Breakers indicated as (G) shall have GFCI protection provided. 201(G) means a 20 amp single pole breaker with GFCI protection.



NOTES:

- This figure illustrates the additional exclusively dedicated space required over and under panel boards for cables, raceways, etc. to and from panel boards required by NEC section 110-26.
- No piping ductwork or equipment foreign to the electrical equipment or architectural appurtenances shall be permitted to be installed in, enter or pass through the dedicated spaces shown. For exceptions see NEC section 110-26(E).

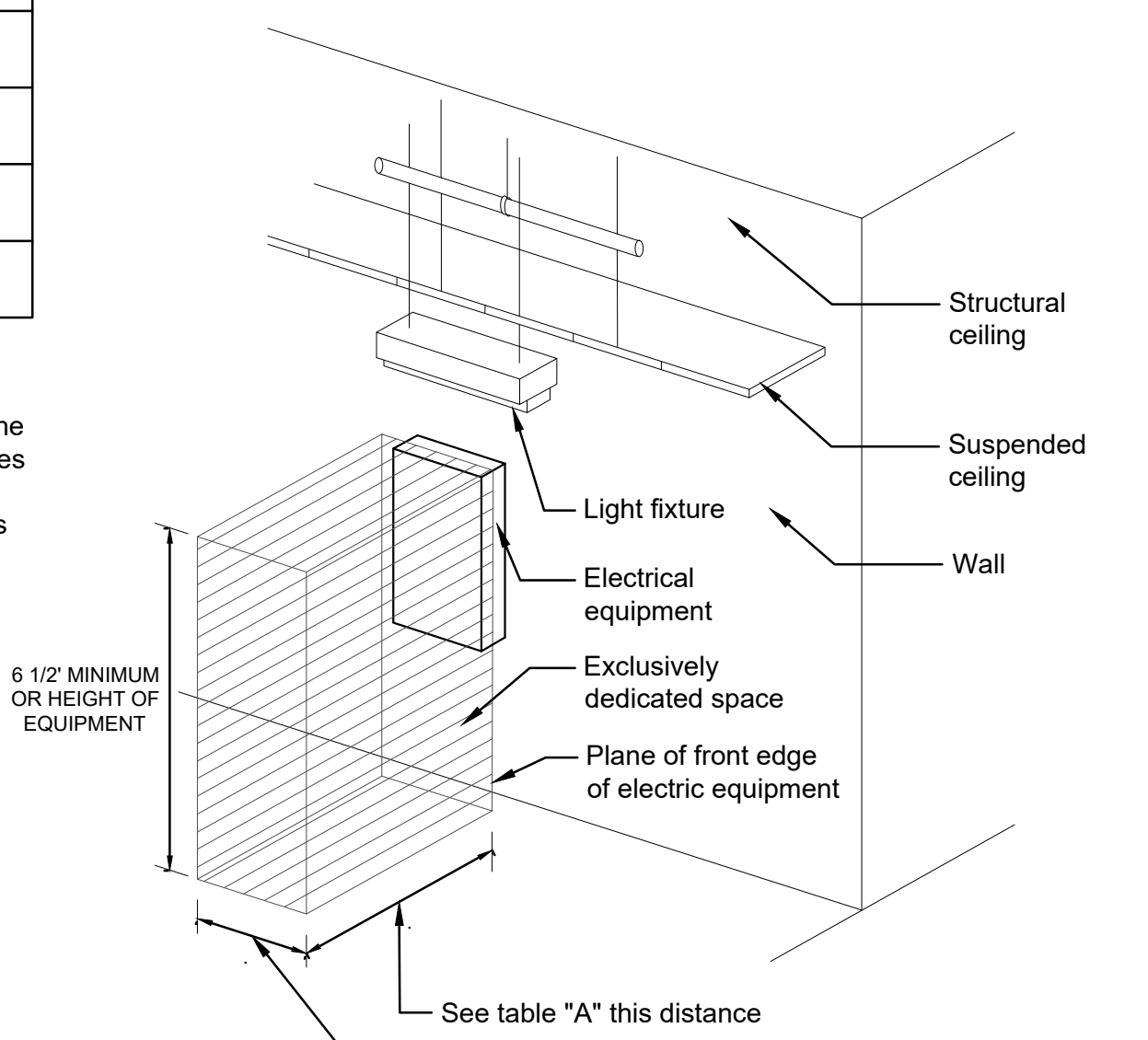
2 NEC Article 110.26 (E) Dedicated Equipment Space For Electrical Equipment

Scale: None

| TABLE "A" WORKING CLEARANCES | | | |
|---------------------------------|--------------------------|--------|----|
| VOLTAGE TO GROUND | CONDITION: | | |
| | 1 | 2 | 3 |
| (Normal) | (MINIMUM CLEAR DISTANCE) | | |
| 0-150 | 3' | 3' | 3' |
| 151-600 | 3' | 3 1/2' | 4' |

Where the "conditions" are as follows:

- Exposed live parts on one side and no live or grounded parts on the other side of the working space, or exposed live parts on both sides effectively guarded by suitable wood or other insulating materials. Insulated wire or insulated busbars operating at not over 300 volts shall not be considered live parts.
- Exposed live parts on one side and grounded parts on the other side.
- Exposed live parts on both sides of the work space (Not guarded as provided in condition 1) with the operator between.



NOTES:

- This figure illustrates the working space in front of electrical equipment required by NEC section 110-26.
- This includes but is not limited to panel boards, safety switches, motor starters, junction boxes and other electrical equipment.

3 NEC Article 110.26 Working Clearance For Electrical Equipment

Scale: None

Panel: P Voltage: 120/208 Panel Bus Rating: 400 Amp Bus
 Poles: 84 Main Rating: 400/3 Main Breaker
 Phase: 3 Fed From: Utility
 Mounting: Surface Wires: 4 Manufacturer: Square D NQ

| Load Type | kVA | Breaker Size | ø | Breaker Size | kVA | Load Type | | |
|--------------------------------|------|--------------|----|--------------|------|-----------|-----|---------------------------|
| Restroom Recs | 0.4 | 20/1 | 1 | A | 2 | 201(G) | 0.7 | Dishwasher |
| Recpt. 100 and Office 102 Recs | 0.7 | 20/1 | 3 | B | 4 | 201(G) | 1.0 | Refrigerator |
| EWC | 0.7 | 201(G) | 5 | C | 6 | 201 | 0.4 | Breakroom Counter Recs |
| Convenience Recs 120 Storage | 0.7 | 20/1 | 7 | A | 8 | 20/1 | 0.7 | Door Opener |
| Assembly 130 Recs | 0.7 | 20/1 | 9 | B | 10 | 20/1 | 1.1 | Convenience Recs |
| Door Opener | 0.7 | 20/1 | 11 | C | 12 | 20/1 | 0.7 | Door Opener |
| Wire Straightener | 1.2 | 20/1 | 13 | A | 14 | 20/1 | 0.1 | Scale |
| Assembly 130 Recs | 0.7 | 20/1 | 15 | B | 16 | 20/1 | 0.3 | Tie Wrap Machine |
| Wire Cutter & Labeler | 0.5 | 20/1 | 17 | C | 18 | 20/1 | 1.0 | Wire Straightener |
| Foam Packaging | 2.5 | 30/2 | 19 | A | 20 | 20/1 | 0.7 | Assembly 130 Recs |
| | 2.5 | 30/2 | 21 | B | 22 | 20/1 | 0.7 | Wire Cutter & Labeler |
| EWH | 2.3 | 30/2 | 23 | C | 24 | 20/1 | 0.5 | EF1-4, Condensate Pump |
| | 2.2 | 30/3 | 25 | A | 26 | | 3.4 | Forklift Charger |
| | 2.9 | 30/3 | 27 | B | 28 | 35/3 | 3.4 | Forklift Charger |
| AHU-1 | 2.8 | 30/3 | 29 | C | 30 | | 3.3 | Forklift Charger |
| | 1.8 | 30/3 | 31 | A | 32 | | 3.4 | Forklift Charger |
| | 1.8 | 30/3 | 33 | B | 34 | 35/3 | 3.4 | Forklift Charger |
| HP-1 | 1.7 | 30/3 | 35 | C | 36 | | 3.3 | Forklift Charger |
| | 1.8 | 30/3 | 37 | A | 38 | | 5.0 | PAC-1 |
| Air Compressor | 2.7 | 35/2 | 39 | B | 40 | 45/3 | 5.0 | PAC-1 |
| | 2.6 | 41 | C | 42 | | 5.1 | 5.1 | PAC-2 |
| Test Cart | 1.9 | 20/3 | 43 | A | 44 | | 5.0 | PAC-2 |
| | 2.0 | 20/3 | 45 | B | 46 | 45/3 | 5.1 | PAC-2 |
| | 1.9 | 20/3 | 47 | C | 48 | | 5.0 | PAC-3 |
| Test Cart | 1.9 | 20/3 | 49 | A | 50 | | 5.1 | PAC-3 |
| | 1.9 | 20/3 | 51 | B | 52 | 45/3 | 5.0 | PAC-3 |
| | 2.0 | 20/1 | 53 | C | 54 | | 5.0 | PAC-3 |
| JWR Office Recs | 0.9 | 20/1 | 55 | A | 56 | 20/1 | 0.9 | Conference 103 Recs |
| Spare | 0.0 | 20/1 | 57 | B | 58 | 20/1 | 1.0 | Copy / Print |
| Office 201 & 202 Recs | 0.8 | 20/1 | 59 | C | 60 | 20/1 | 1.1 | RR 204, 205, and 206 Recs |
| Rec 210 | 0.2 | 20/1 | 61 | A | 62 | 20/1 | 1.8 | Storage 140 & 130 Lights |
| Exterior Lights | 0.5 | 20/1 | 63 | B | 64 | 20/1 | 1.3 | 120 JWR Lights |
| Second Floor Lights | 0.5 | 20/1 | 65 | C | 66 | 20/1 | 1.5 | Sign Circuit |
| SPD | 0.0 | 60/3 | 67 | A | 68 | 20/1 | 0.5 | Lighting Control Panel |
| | 0.0 | 60/3 | 69 | B | 70 | 20/2 | 1.2 | Panel P1 |
| | 0.0 | 71 | C | 72 | | 1.1 | 1.1 | Spare |
| 203 IT Ded Quad | 1.0 | 20/1 | 73 | A | 74 | 20/1 | | Spare |
| Spare | 20/1 | 75 | B | 76 | 20/1 | | | Spare |
| Spare | 20/1 | 77 | C | 78 | 20/1 | | | Spare |
| Spare | 20/1 | 79 | A | 80 | 20/1 | | | Spare |
| Spare | 20/1 | 81 | B | 82 | 20/1 | | | Spare |
| Spare | 20/1 | 83 | C | 84 | 20/1 | | | Spare |

Demand Load Summary:

| | | | | | |
|--------------------|---------------------|-----------|-------------------|-----------|------------|
| Lighting: | 4.0 kVA @ 125% | 5.0 kVA | Phase A: | 45.4 kVA | 378.1 Amps |
| Largest Motor: | kVA @ 125% | kVA | Phase B: | 45.3 kVA | 377.8 Amps |
| Gen Receptacles: | 9.3 kVA Diversified | 9.3 kVA | Phase C: | 44.7 kVA | 372.4 Amps |
| Kitchen Equipment: | kVA Diversified | kVA | Total Panel Load: | 135.4 kVA | 375.7 Amps |
| All Other: | 121.0 kVA @ 100% | 121.0 kVA | | | |

- UL SE rated
 - Separate Neutral Bar
 - Ground bar
 - Feed thru lugs
 - Existing Panel
1. All breakers shall be 10,000 AIC and series rated to 42,000 AIC with breaker feeding this panel.

Panel: P1 Voltage: 120/208 Panel Bus Rating: 60 Amp Bus
 Poles: 6 Main Rating: 20A Main Lugs Only
 Phase: 3 Fed From: Panel P
 Mounting: Surface Wires: 1 Manufacturer: Square D NQ

| Load Type | kVA | Breaker Size | ø | Breaker Size | kVA | Load Type | | |
|-------------------------|-----|--------------|---|--------------|-----|-----------|-----|---------------|
| Sump Pump Control Panel | 0.5 | 20/2 | 1 | A | 2 | 20/2 | 0.5 | Alarm Circuit |
| GFI Rec. | 0.2 | 20/1 | 5 | A | 6 | 20/1 | | |

Demand Load Summary:

| | | | | | |
|--------------------|-----------------|---------|-------------------|---------|-----------|
| Lighting: | kVA @ 125% | kVA | Phase A: | 1.2 kVA | 10.0 Amps |
| Largest Motor: | kVA @ 125% | kVA | Phase B: | 1.1 kVA | 9.2 Amps |
| Gen Receptacles: | 0.2 kVA @ 100% | 0.2 kVA | Total Panel Load: | 2.3 kVA | 11.1 Amps |
| Kitchen Equipment: | kVA Diversified | kVA | | | |
| All Other: | 2.1 kVA @ 100% | 2.1 kVA | | | |

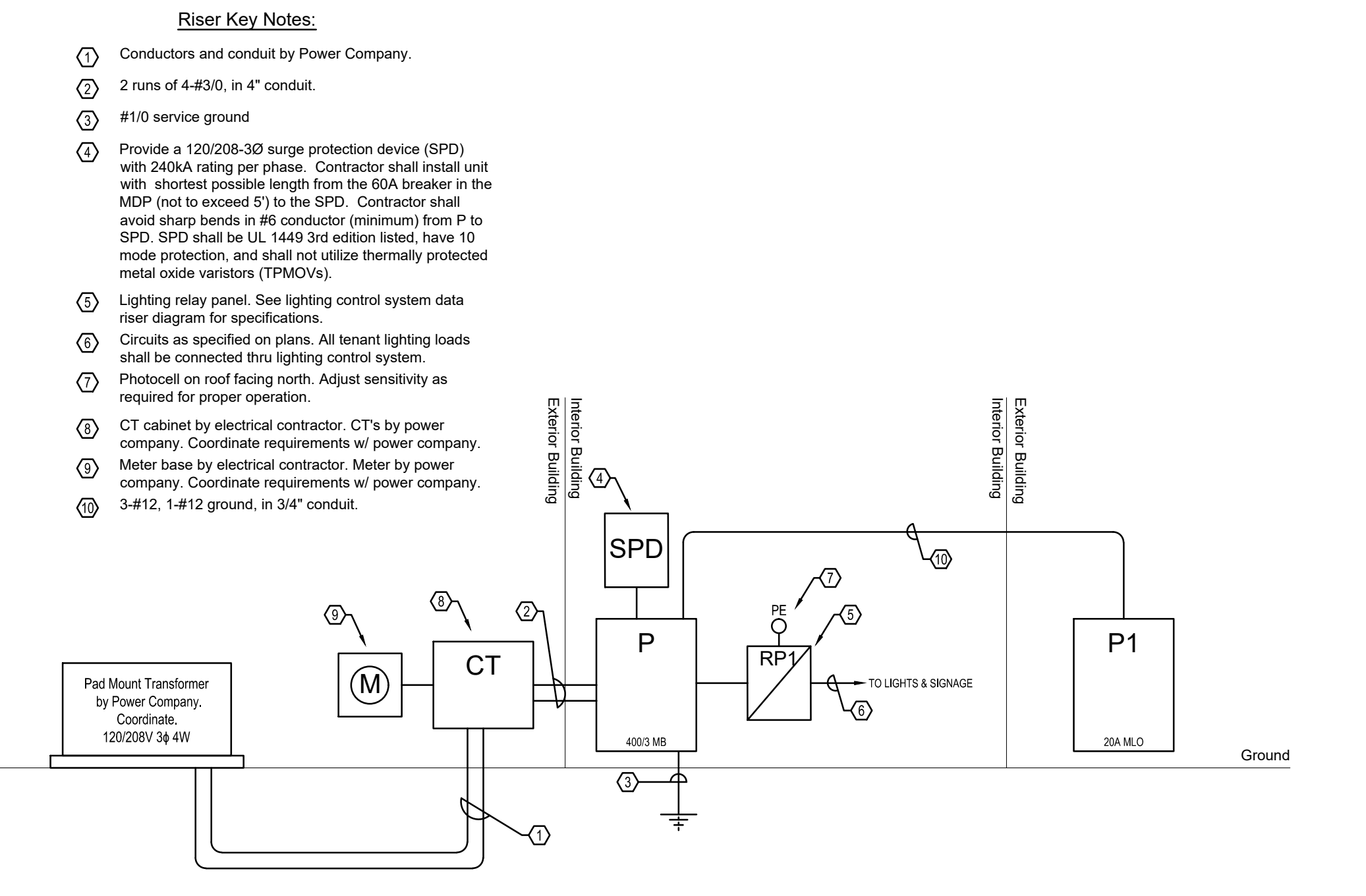
- UL SE rated
 - Separate Neutral Bar
 - Ground bar
 - Feed thru lugs
 - Existing Panel
1. All breakers shall be 10,000 AIC.

| Demand Loads | | |
|---|--------|----------------------|
| Load Type | | Load |
| Lights (@ 125%) | | 5.0 KVA |
| Receptacles and Miscellaneous | | 19.4 KVA |
| Packaged Units (w/ elec heat) | | 45.3 KVA |
| Heat Pumps (includes 125% factor for largest motor) | | 5.3 KVA |
| Electric Water Heater | | 4.5 KVA |
| Air Handling Units | | 8.6 KVA |
| Fans | | 0.4 KVA |
| Sign Circuit | | 1.5 KVA |
| Equipment | | 45.4 KVA |
| | Total: | 135.4 KVA |
| | | 375.8 AMPS @ 208V/3Ø |

.. All code factors, including 125% factor, are included in existing loads per previous engineering drawings.

Electrical Riser Notes

- Grounds for all services shall be bonded together per NEC 250.58 and shall meet all requirements of NEC 250.104.
- The design is based on an estimated fault current of 42,000. The contractor shall coordinate with the utility power company to confirm the available fault current at the transformer and service entrance conductor length. This information shall be submitted to engineer as part of the gear submittal, prior to beginning work.
- The service equipment enclosure(s) and new panelboards shall be legibly marked in the field to indicate the available fault current prior to final inspection. NEC 110.24 and 408.6 The electrical contractor shall contact the power company and obtain the actual available fault current at the transformer. The contractor shall contact the engineer with this value, the conductor type, the verified length of conductors from the transformer to the service enclosure, as well as any and all feeders serving the new panel. With this information, the engineer can calculate the available fault current. The resulting calculated value shall be placarded on the exterior of the service enclosure/ new panel and shall read as follows:
 AVAILABLE FAULT CURRENT: _____
 CALCULATED DATE: _____
- Provide plaques per NEC 230.2(E) and graphic key plans for each service and service disconnecting means for each building service. All disconnecting means for each service shall be grouped. Label each disconnecting means for each service as disconnect # 1 of 1 for service number # 1 of 1. Provide labeling and graphic key plan at main electrical panel (or panels) showing the location and identification of their disconnecting means.
- Where circuit breakers or fuses are applied in compliance with the series combination ratings marked on the equipment by the manufacturer, the equipment enclosure(s) shall be legibly marked in the field to indicate the equipment has been applied with a series combination rating. The placard shall be readily visible and state the following "CAUTION - SERIES COMBINATION SYSTEM RATED _____ AMPERES. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED." NEC 110.22
- New service entrance conductors for panel "P" shall not be more than twice the nominal width of the service enclosure routed horizontally and shall not be more than the greater of 5' or twice the nominal height of the service enclosure routed vertically inside the building ahead of the main breaker. Service disconnect in panel "P" shall be labeled on site as service disconnect per NEC 230.70(B).
- Contractor shall meet all requirements of NEC 250.50 for service grounding. Connect to structural steel, rebar, metal water piping and any other available at the structured served. See service ground detail for more information.
- It is the sole responsibility of the contractor to confirm exact responsibilities with the utility company prior to installation. This includes but is not limited to: who furnishes equipment, underground service cable/conduit, pit pad, metering scheme, lighting pole bases, etc.



1 Electrical Riser Diagram

Scale: None

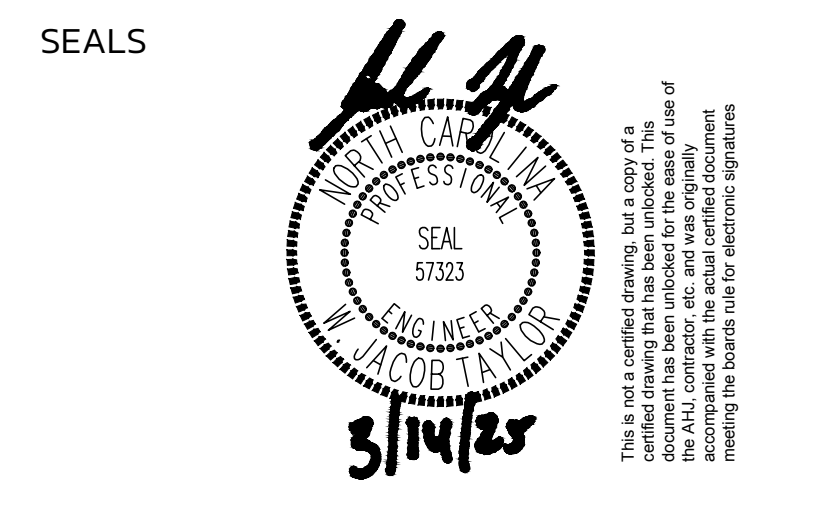


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REVISIONS

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JWR VENTURES

NEW BUILDING

JWR VENTURES
 192 JARCO DRIVE
 FUQUAY-VARINA, NC 27526

OWNER
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PHASE PERMIT SET
 DATE 03.14.2025
 TO PROJECT # 24-024

DRAWING TITLE

ELECTRICAL DETAILS

DRAWING NUMBER E-301

These drawings will be at the scale indicated when plotted at 24" x 36"

| Equipment Connection Schedule | | | | | | | | | | | | | | | | |
|-------------------------------|-----|-------------------|--------------|------|----|---------|------|-----|-----------------|-------------|--------------------|-------------------|-------------|-------------|--------------|------|
| Tag | Qty | Callout | Furnished By | KVA | HP | Voltage | FLA | MCA | Disconnect Size | Provided By | Nema Configuration | Fuse/Breaker Size | Feeder Size | Ground Size | Conduit Size | Note |
| 1 | 1 | Air Compressor | Others | 5.3 | - | 208/1 | 25.5 | - | 60/2 | Electrical | 1 | 35/2 | 3 - #8 | #10 | 3/4" | - |
| 2 | 2 | Forklift Charger | Others | 10.1 | - | 208/3 | 28.0 | - | 60/3 | Electrical | 1 | 35/3 | 4 - #8 | #10 | 3/4" | - |
| 3 | 2 | Test Cart | Others | 5.8 | - | 208/3 | 16.0 | - | 30/3 | Electrical | 1 | 20/3 | 4 - #12 | #12 | 3/4" | - |
| 4 | 1 | Foam Packaging | Others | 5.0 | - | 208/1 | 24.0 | - | NEMA LG-30R | Electrical | 1 | 30/2 | 3 - #10 | #10 | 3/4" | - |
| 5 | 1 | Wire cutter | Others | 0.5 | - | 120/1 | 4.3 | - | 5-20R | Electrical | 1 | 20/1 | 2 - #12 | #12 | 3/4" | - |
| 5A | 1 | Wire Labeler | Others | 0.2 | - | 120/1 | 2.0 | - | 5-20R | Electrical | 1 | 20/1 | 2 - #12 | #12 | 3/4" | - |
| 5B | 1 | Wire Straightener | Others | 1.0 | - | 120/1 | 8.0 | - | 5-20R | Electrical | 1 | 20/1 | 2 - #12 | #12 | 3/4" | - |
| 6 | 1 | Wire cutter | Others | 0.3 | - | 120/1 | 2.5 | - | 5-20R | Electrical | 1 | 20/1 | 2 - #12 | #12 | 3/4" | - |
| 6A | 1 | Wire Labeler | Others | 0.2 | - | 120/1 | 2.0 | - | 5-20R | Electrical | 1 | 20/1 | 2 - #12 | #12 | 3/4" | - |
| 6B | 1 | Wire Straightener | Others | 1.2 | - | 120/1 | 10.0 | - | 5-20R | Electrical | 1 | 20/1 | 2 - #12 | #12 | 3/4" | - |
| 7 | 1 | Tie Wrap Machine | Others | 0.3 | - | 120/1 | 2.5 | - | 5-20R | Electrical | 1 | 20/1 | 2 - #12 | #12 | 3/4" | - |
| 8 | 1 | Scale | Others | 0.1 | - | 120/1 | 1.0 | - | 5-20R | Electrical | 1 | 20/1 | 2 - #12 | #12 | 3/4" | - |

Electrical contractor shall verify all requirements, mounting height, voltage, load, connection type, etc. with equipment supplier.

| Equipment Connection Schedule | | | | | | | | | | | | | | |
|-------------------------------|-----------------------|--------------|------|----|---------|------|------|-----------------|-------------|--------------------|-------------------|-------------|-------------|--------------|
| Tag | Callout | Furnished By | kVA | HP | Voltage | FLA | MCA | Disconnect Size | Provided By | Nema Configuration | Fuse/Breaker Size | Feeder Size | Ground Size | Conduit Size |
| PAC-1 | Roof Top Unit | Mechanical | 15.1 | - | 208/3 | - | 42.0 | 60/3 | Elec | 3R | 45/3 | 4-#8 | 1-#10 | 3/4" |
| PAC-2 | Roof Top Unit | Mechanical | 15.1 | - | 208/3 | - | 42.0 | 60/3 | Elec | 3R | 45/3 | 4-#8 | 1-#10 | 3/4" |
| PAC-3 | Roof Top Unit | Mechanical | 15.1 | - | 208/3 | - | 42.0 | 60/3 | Elec | 3R | 45/3 | 4-#8 | 1-#10 | 3/4" |
| HP-1 | Heat Pump | Mechanical | 5.3 | - | 208/3 | 14.8 | - | 30/3 | Elec | 3R | 30/3 | 4-#10 | 1-#10 | 3/4" |
| AHU-1 | Air Handler | Mechanical | 8.6 | - | 208/3 | 23.9 | - | 30/3 | Elec | 1 | 30/3 | 4-#10 | 1-#10 | 3/4" |
| EF-1 | Exhaust Fan | Mechanical | 0.1 | - | 120/1 | 0.8 | - | 3/4" | Elec | 1 | 20/1 | 2-#12 | 1-#12 | 3/4" |
| EF-2 | Exhaust Fan | Mechanical | 0.1 | - | 120/1 | 0.8 | - | 3/4" | Elec | 1 | 20/1 | 2-#12 | 1-#12 | 3/4" |
| EF-3 | Exhaust Fan | Mechanical | 0.1 | - | 120/1 | 0.8 | - | 3/4" | Elec | 1 | 20/1 | 2-#12 | 1-#12 | 3/4" |
| EF-4 | Exhaust Fan | Mechanical | 0.1 | - | 120/1 | 0.8 | - | 3/4" | Elec | 1 | 20/1 | 2-#12 | 1-#12 | 3/4" |
| EWH | Electric Water Heater | Plumbing | 4.5 | - | 208/1 | 21.6 | - | 30/2 | Elec | 1 | 30/2 | 3-#10 | 1-#10 | 3/4" |
| - | Condensate Pump | Plumbing | 0.1 | - | 120/1 | 0.8 | - | 3/4" | Elec | 1 | 20/1 | 2-#12 | 1-#12 | 3/4" |

Breaker sizes for all equipment sized at MOCP where applicable.
All disconnects for equipment shall be of fusible type and shall be fused as indicated.

| Light Fixture Schedule | | | | | | | |
|------------------------|--|--|---------|--------------|-----------------------------|---------------|--|
| Mark | Manufacturer | Fixture Description | Voltage | Driver Type | Lamp Type/Quantity | Total Wattage | |
| HB1 | Orion Energy Systems #HHSL2218LUNVFD840LAFGWS20B | LED High Bay | 120/1 | 1-LED Driver | 1-LED | 123 | |
| HB1E | Same as 'HB1' with battery | LED High Bay | 120/1 | 1-LED Driver | 1-LED | 123 | |
| HB2 | Orion Energy Systems #HHSL2230LUNVFD840LAFGWS20B | LED High Bay | 120/1 | 1-LED Driver | 1-LED | 174 | |
| HB2E | Same as 'HB2' with with battery | LED High Bay | 120/1 | 1-LED Driver | 1-LED | 174 | |
| HB3 | Orion Energy Systems #HHSL2212LUNVFD840LAFGWS20B | LED High Bay | 120/1 | 1-LED Driver | 1-LED | 68 | |
| HB3E | Same as 'HB3' with with battery | LED High Bay | 120/1 | 1-LED Driver | 1-LED | 68 | |
| HB4 | Orion Energy Systems #HHSL2230LUNVFD840LAFG | LED High Bay | 120/1 | 1-LED Driver | 1-LED | 174 | |
| L1 | Coronet #LSR2-4-40-HIGH-UNV-DB- -T15-FL-NA-NA-NA | 4' Linear | 120/1 | 1-LED Driver | 1-LED | 30 | |
| L2 | Coronet #LSR2-2-40-HIGH-UNV-DB- -T15-FL-NA-NA-NA | 2' Linear | 120/1 | 1-LED Driver | 1-LED | 15 | |
| L2E | Same as 'L2' with with battery | 2' Linear | 120/1 | 1-LED Driver | 1-LED | 15 | |
| P1 | Elite Lighting #SCH6-LED-SM-PM12-2000L-DIM10- MVOLT-WD-40K-90-WH-*.HH6-6501-W | 6" Suspended LED Cylinder | 120/1 | 1-LED Driver | 1-LED | 20 | |
| P1E | Same as 'P1' with with battery | 6" Suspended LED Cylinder | 120/1 | 1-LED Driver | 1-LED | 20 | |
| P2 | Elite Lighting #OPR3-LED-5000L-DIM10-MVOLT-40K-WH | 6' Linear | 120/1 | 1-LED Driver | 5000 Lumen LED Light Engine | 66 | |
| P4 | Coronet #ORBSTFU-CAP-40-MED- UNV-DB-DG-PS-X-NA-STD | Large Chandelier | 120/1 | 1-LED Driver | 453 Lumen LED Light Engine | 9 | |
| R1 | Elite Lighting #HH6-LED-1000L/1500L/2000L-DIM10-MVOLT-WD -27K/30K/35K/40K/50K-90-HH6-6501-W-WH | 6" LED Can Light | 120/1 | 1-LED Driver | 2000 Lumen LED Light Engine | 25 | |
| R1E | Same as 'R1' with with battery | 6" LED Can Light | 120/1 | 1-LED Driver | 2000 Lumen LED Light Engine | 25 | |
| R2 | Elite Lighting #HH6-LED-2000L/2500L/3000L-DIM10-MVOLT-WD -27K/30K/35K/40K/50K-90-HH6-6501-W-WH | 6" LED Can Light | 120/1 | 1-LED Driver | 3000 Lumen LED Light Engine | 37 | |
| R2E | Same as 'R2' with with battery | 6" LED Can Light | 120/1 | 1-LED Driver | 3000 Lumen LED Light Engine | 37 | |
| W1 | ILP #UC6UD-26L/32L39L-U-CCTS-M-M-WM-BLK | Exterior Cylinder Wall Sconce Downlight | 120/1 | 1-LED Driver | 2-LED | 35 | |
| W1E | Same as 'W1' with with battery | Exterior Cylinder Wall Sconce Downlight | 120/1 | 1-LED Driver | 2-LED | 35 | |
| X | Isolite #ELED-EM-BZ-MB | Emergency Egress (Battery) Wet location | 120/1 | | | | |
| ☉ | Isolite #RL-EM-R-U-WH (1 Face) | Emergency Exit Light (w/ Battery) | 120/1 | | | | |
| ☼ | Isolite #RL-EM-R-U-WH (2 Face) | Emergency Exit Light (w/ Battery) | 120/1 | | | | |

General Notes:

- All fixtures and components shall comply with NC Building Code, 2018 North Carolina Energy Conservation Code and shall be UL listed. All led drivers shall comply with NEMA 410.
- All new, relocated, or reswitched fixtures that utilize ballasts shall be provided with a luminaire disconnect where required per NEC section 410.130(G). Use Ideal PowerPlug or equal inline fixture.
- All fixtures noted as emergency shall have emergency illumination functionality as described below. Batteries must be rated for the environment in which they are installed, in all cases.
 - Interior linear LED and fluorescent fixtures shall have 1,100 lumen (minimum) output, 90 minute battery. LED and fluorescent downlights shall have a 500 lumen (minimum) output, 90 minute battery. Otherwise fixture shall be provided with a full output inverter.
 - Exterior emergency fixtures shall have an integral exterior rated (0° F) or remotely mounted 1,100 lumen (minimum) output, 90 minute battery.
 - Test switches for emergency batteries/inverter shall be integral to the fixture/device served, unless otherwise noted.
 - Emergency fixtures shall operate at least one lamp where multiple emergency fixtures are to be installed in that area, and shall operate at least two lamps where the loss of a single lamp would leave the space in total darkness during emergency operation.
 - Emergency lighting design is based on fixtures lumen outputs as described above. Contractor shall verify all existing emergency batteries to ensure lumen outputs are as indicated and shall replace any batteries rated less outlined above.
 - Emergency lighting units with dedicated emergency heads are spaced based on their unique output. If contractor selects an alternate fixture, they are responsible for ensuring an average of 1 foot candle is provided along the paths of egress for at least 90 minutes.
- Lamp color temperature for new lamps shall match existing to remain lamps, and all lamp colors for different fixture types and sources shall be consistent throughout the space or area unless specifically noted otherwise. Contractor shall ensure that all interior and exterior lamps are the same color temperature.
- Light fixtures indicated as dimmable shall be provide with all necessary components (driver, switch etc.) necessary to achieve 5% minimum dimming unless another specific minimum dimming level is noted.

Electrical System and Equipment Energy Code Compliance

Compliance Method: Prescriptive
Total Exterior Wattage Calculation per table C405.5.1(2)
Specified vs Allowed: 453 vs 1,527.6

Base Site Allowance Zone 3 750 W
Building Entrances and Exits:
Main Entries 30 WLF for 6 LF of door width
Other Doors 20 WLF for 12 LF of door width
Entry Canopies 0.40 W/SF for - 894 SF

See Light Fixtures Schedule for fixture lamp type, quantity, driver, total fixture wattage and additional information.

Engineer Statement:
To the best of my belief, understanding, and knowledge; the design of electrical system of this building complies with NC State Building Code and the 2018 NC Energy Conservation Code.
Name: W. Jacob Taylor, PE

Electrical System and Equipment Energy Code Compliance

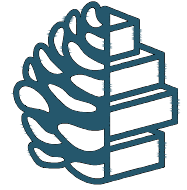
Compliance Method: Prescriptive
Total Interior Wattage Specified vs Allowed: 3,585 vs 11,667.7

See Exterior Lighting Summary for exterior lighting energy code calculations (if required)
See Light Fixtures Schedule for interior fixture lamp type, quantity, driver, total fixture wattage and additional information.

Engineer Statement:
To the best of my belief, understanding, and knowledge; the design of electrical system of this building complies with the NC State Building Code and the 2018 NC Energy Conservation Code.
Name: W. Jacob Taylor, PE

Energy Code Section C406 Compliance:

This project is complying with section C406 for the energy code under the provisions of C406.3 (Reduced lighting power density). The remaining provisions are therefore not required and have not been included in this design.



TURPENTINE DESIGN

1007 Procure Street
Fuquay-Varina, NC 27526

919.412.9138
turpentine-design.com



REVISIONS

| NO. | DATE | DESCRIPTION |
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SEALS



This is not a certified drawing, but a copy of a document that has been certified for the use of an electronic drawing. The seal and signature are associated with the original drawing and meeting the standards set for electronic signatures.

JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

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PHASE PERMIT SET
DATE 03.14.2025
TD PROJECT # 24-024

DRAWING TITLE

ELECTRICAL DETAILS

DRAWING NUMBER
E-302

TABLE OF CONTENTS

| | |
|---------------------|---------|
| COVER PAGE | C1-C1 |
| GENERAL INFORMATION | G1-G3 |
| ANCHOR ROD PLAN | A1-A4 |
| PROJECT NOTES | N1-N1 |
| CROSS SECTION | CS1-CS5 |
| ROOF FRAMING | RF1-RF2 |
| ROOF PANEL | RP1-RP1 |
| SIDEWALL | S1-S6 |
| ENDWALL | E1-E8 |
| DETAILS | D1-D12 |
| GENERAL DETAILS | GD1-GD9 |
| STANDARD PARTS | SP1-SP2 |

| | | | | | | |
|-----------|---------|--------|--------|--------|-----------|-----------|
| BLDG. "A" | Line D | Line A | Line D | Line A | Downspout | Downspout |
| Width | 144'-0" | 20'-0" | 1:0:12 | 1:0:12 | 3 | 3 |
| Height | 20'-0" | 20'-0" | 1:0:12 | 1:0:12 | 3 | 3 |
| BLDG. "B" | Line D | Line F | Line D | Line F | Downspout | Downspout |
| Width | 32'-0" | 20'-0" | 1:0:12 | 1:0:12 | 2 | 2 |
| Height | 32'-0" | 20'-0" | 1:0:12 | 1:0:12 | 2 | 2 |

Roof Panel:
 Type: MSC
 Gage: 24
 Color: Galvalume (GM)

Ordered Options:
 Base Condition: Base Cee- Base Trim /Drip Edge
 Base Trim Color: Charcoal Gray (CG)
 Wall Mastic: No
 UL Rating: Yes, UL90

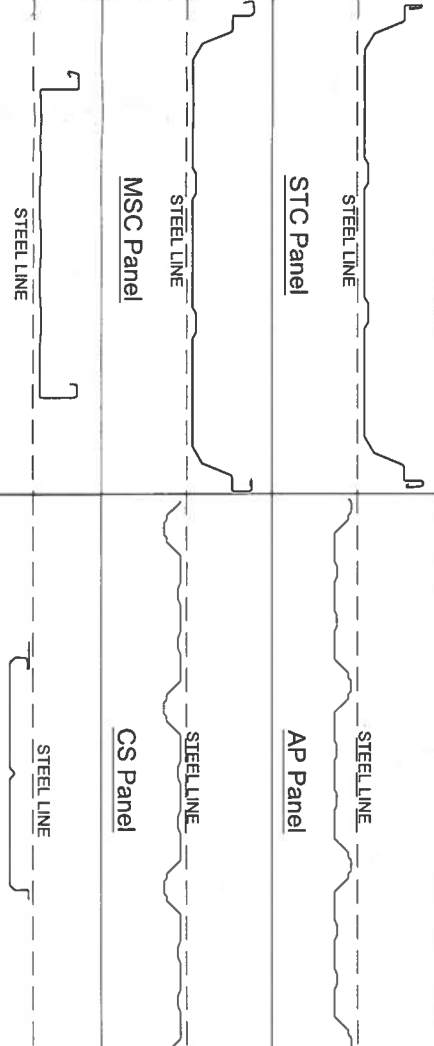
Wall Panel:
 Type: AP
 Gage: 26
 Color: Ash Gray (AG)

Panel Behind Brittle Material:
 Type: AP
 Gage: 26
 Color: Galvalume (GM)

Ordered Options:
 Sidewall Eave Trim Type: Standard Profile Gutter
 Eave Trim Color: Charcoal Gray (CG)
 Gable Trim Color: Charcoal Gray (CG)
 Downspout Type: Corrugated
 Downspout Color: Charcoal Gray (CG)
 Elbows at Bottom of Drops: Yes
 Corner Trim Color: Charcoal Gray (CG)
 Framed Opening Trim Color: Charcoal Gray (CG)

Light Transmitting Panels:
 Roof = None
 Wall = None

Framing:
 Purlin Type: ZEE
 Girt Type: ZEE CEE



Wainscot Panel:
 Type: AP
 Gage: 26
 Color: Galvalume (GM)

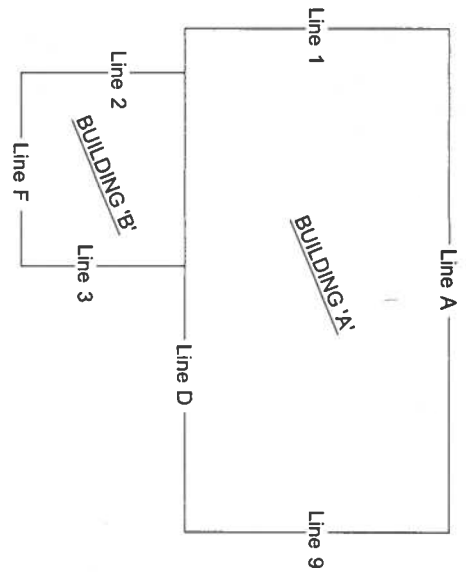
REVISIONS

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| 3 | | |
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| 1 | | |

Accessories
 10 MSC Insulated Light Transmitting Panel 2'x10'-3"-White w/ (20) SLTM6A
 4 3070 Pre-Assembled Solid Walkdoor
 4 Door Closer for Pre-Assembled Door
 8 2'-0" W x 6'-0" H Window
 8 2'-0" W x 4'-0" H Window

Wall Openings
 See drawings for additional info.

| QUAN | DESCRIPTION |
|------|-------------------------------|
| 3 | 10'-0" W x 12'-0" H-Lift Door |
| 2 | 3'-4" W x 7'-2" H Walkdoor |
| 8 | 2'-0" W x 6'-0" H Window |
| 8 | 2'-0" W x 4'-0" H Window |



CHIEF STANDARD COLD FORM SECTIONS

| DESIGNATION | D | B |
|-------------|-------|------|
| 816 | 8.00 | 3.00 |
| 814 | 8.00 | 3.00 |
| 812 | 8.00 | 3.00 |
| 1014 | 10.00 | 3.50 |
| 1012 | 10.00 | 3.50 |

| DESIGNATION | D | B |
|-------------|-------|------|
| 816 | 8.00 | 2.50 |
| 814 | 8.00 | 2.50 |
| 812 | 8.00 | 2.50 |
| 1014 | 10.00 | 2.75 |
| 1012 | 10.00 | 2.75 |

STANDING SEAM ROOF PANEL ERECTION MANUAL: MSC V7.2

TO BE USED FOR CONSTRUCTION



| | |
|--------------|--|
| Drawing | COVER PAGE |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGJ |
| ORDER NO. | B3024694 |
| DATE | 09/10/24 |
| DATE | 09/10/24 |
| PROJECT | C1 |

IAS
 ACCREDITED
 Chief Buildings, a Division of Chief Industries, Inc., is certified as an Approved Fabricator recognized under section 1704.2.5.1 of the 2015, 2018, and 2021 IBC, section 1704.2.5.2 of the 2012 IBC and section 1704.2.2 of earlier code editions in accordance with the International Accreditation Service, Inc.; Accreditation Criteria for Inspection Programs, AC472 (Certificates of Accreditation: MB-123 & MB-124).

Quality Assurance Policy

The following Quality Assurance Policy is comprised of a list of guidelines and procedures to expedite customer service requirements in the field. Chief's objective is to produce a first-class product and back it up with the best customer service in the industry.

The Quality Assurance Policy has been developed over the last fifty years and is based on handling customer service in the field. These guidelines will simplify the communication process and expedite any special requirements needed to make your project run as smooth as possible.

Common Industry Practices:

The correction of minor mistakes by the use of drift pins to draw the components into line, shimming, moderate amounts of reaming, chipping and cutting, and the replacement of minor shortages of material are a normal part of erection and are not subject to claim.

Chief will not pay claims unless the following claim and authorization procedure is strictly followed by the Builder, or if the correction work is started prior to receipt by Builder of Chief's written "Authorization of Corrective Work". If erection is not by the Builder, the Erector is responsible for providing the Builder with the information necessary to make the claim to Chief as provided below.

Chief is not responsible for any claim resulting from the use of any drawings or literature not specifically released for the components purchased for the project.

Chief is not responsible for any claim resulting from the use by the Erector of any improper material or material containing defects that can be detected by visual inspection. Claims for disassembling such improper or defective material and costs of erecting replacement material are not allowed.

Before you contact Chief:

Please have the following information ready before you call, or provided in an e-mail.

1. Chief's order number for your project. This information is available from the drawings or the Shipping Papers.
2. Page numbers and detail callouts from the drawings.
3. Part marks.
4. Line numbers.
5. Contact Information (Name, Company, return Phone Number and e-mail address):

Questions?

Our Customer Service team is here to help!

Contact us at 308-389-7289

You can also contact us via e-mail at cs@chiefind.com

or use the QR code to start an e-mail.

Tim Dykes Rust Register
Lyle Miller
Brett Nielson Terence Flowers



Shortage and Damage Claims

Chief personnel checks off all components on the order prior to shipment. However, it is imperative that the Builder checks each shipment against the Shipment Delivery Note to ensure that the shipment is complete and no damage has occurred. A Shipment Delivery Note and Bill of Lading will be provided with each load.

A full set of Shipping Papers, Erection Drawings, Chief Buildings standing seam erection manuals, Safety Data Sheets (SDSS) and other important documents that will aid you in erecting your project are located in a Resale Box that says "DOCUMENTS ENCLOSED".

Checking the Shipment Delivery Note:

The Shipment Delivery Note will contain the contents of each load delivered to the jobsite. Each individual item or bundle should be checked against the Shipment Delivery Note. Each bundle will have a packing list or bundle tag that lists the mark numbers, quantities and weight of the bundle. The packing list should remain with each bundle to identify individual pieces.

- Columns, rafters, posts, beams and other structural members are individually marked.
- Angle flange braces are individually marked and bundled with a packing list. The part description on the Shipping Papers contains the size and length of the angle along with the bolt-up standard for that piece mark.
- Sag angles are individually marked and bundled with a packing list. If there is a bundle of all the same mark number, only the top angles are marked and common piece marks are color coded on one end. The part description on the Shipping Papers contains the angle size and length in inches.
- Rod bracing are individually marked (CB) and bundled with a packing list. The part description on the Shipping Papers contains the cable or rod diameter and length in inches.
- Girts and purfins are individually marked and bundled with a packing list. The part description on the Shipping Papers contains the member size and length in inches.
- Panel is only identified with a packing list. The piece mark on the packing list includes the length of the panels in inches. The part description on the Shipping Papers contains the color and panel type - "CS" or "AP".
- Bolting clips are individually marked and packaged in boxes with a packing list. Standard bolting clips can also be identified with dimensioned drawings found in the Standard Parts pages of the Chief Buildings Erection Drawings. Special plates will have a part drawing included with the erection drawings.
- Trims are individually marked and packaged in boxes with a packing list. Standard Trims can also be identified with dimensioned drawings found in the Standard Parts pages of the Chief Buildings Erection Drawings. Special Trims will have a part drawing included with the erection drawings. The part description on the Shipping Papers contains the length and colors of trim pieces.
- Bolts, nuts, screws, mastics and other miscellaneous items are packaged in resale boxes. A packing list is attached to each box that describes the contents.

Shortage and Damage Claims (Continued)

Missing or Damaged Parts:

Any missing or damaged items are to be noted on the carrier's Bill of Lading. Chief is to be notified immediately.

Concealed shortages must be reported to Chief during the following period dating from receipt of the first load:

One load job = 2 weeks
Two load job = 3 weeks
Three load job = 4 weeks
Four load job = 5 weeks
Five load job = 6 weeks
Six load job = 7 weeks
Seven or more load job = 8 weeks

Chief's responsibility for shortages expires at the end of these notification periods.

Replacement Shipment:

Maximum effort will be made by Chief to ship replacement components as quickly as possible. Chief will attempt to ship standard components fabricated in its building plants within 48 hours and stock items will be ready to ship in 24 hours.

When a shortage is determined, the Builder needs to notify Chief's Customer Service Department of the issue. Chief's Order Number and complete information describing the parts required must be conveyed at this time.

Chief will act immediately to get the parts to the Builder and responsibility for the problem will be determined later.

After the problem has been corrected, Chief will determine where the responsibility lies. If it is Chief's error, Chief will provide the replacement material at no cost. Otherwise, Chief will invoice accordingly.

Transit Damage:

Nominal damage can occur during transit. Chief supplies touch-up paint for such cases. However, if excessive damage occurs, the following procedure will be observed:

Material damage (transit or otherwise) should be noted on the carrier's Bill Of Lading. Failure to note the damage on the Bill Of Lading will result in the Builder having to file the freight claim and Chief may charge the Builder for the replacement material.

White Rust:

All panels shipped from Chief's building plants are in good condition.

Chief bundles and/or boxes of components are only for protection during transit. This packaging is not intended for protection during storage.

Panels must be stored so air can circulate freely. Trapped moisture may cause discoloration or white rust. Refer to the "Unloading Procedures" in the General Information page of the Chief Buildings Erection Drawings.

Primer:

Chief's shop primer is a rust inhibiting gray modified acrylic primer. This primer is intended to protect the steel only for short periods of exposure to ordinary atmospheric conditions. In addition, shop primer does not provide the uniformity of appearance, or the durability of a field applied finish coat of paint over a shop primer.

The Builder must ensure that the primed material is stored in such a manner that water, snow, ice and other debris are not allowed to pond in the members. If primed material is to be top coated with other paint, compatibility tests must be performed by the Builder to ensure acceptable results. These compatibility tests should cover a cross-section of members (clips, angles, purfins, girts, columns, rafters, beams, flange braces, etc.) as different primers may be used on different members.

Ice and snow melt chemicals that DOT's use are extremely corrosive to the steel and should be cleaned off at the earliest convenience.

Panel Bundles:

Chief's standing seam panels will be sent at a maximum length of 52' unless otherwise directed. Any bundles over 30' in length MUST be unloaded with a spreader bar. Additional handling and storage recommendations are included in the erection manuals.

Authorization for Returning Merchandise

The authorization must be obtained from Chief's Customer Service Department before merchandise may be returned for credit. Returned merchandise shall be limited to resale type items (i.e. fasteners, closures, etc.) at Chief's sole discretion. Chief retains the prerogative to allow or disallow the return of merchandise.

Builder must contact Chief's Customer Service Department with a description of the merchandise and the reason for their request.

When authorization has been granted, an authorization form will be sent to the Builder along with a pre-numbered tag to attach to the merchandise being returned. A 15% re-stock charge may be assessed on all merchandise which is authorized to be returned.

Special Order Merchandise:

Special merchandise ordered, such as special doors, windows, vents, fasteners, etc., may not be returned for credit.

Replacement Items:

All merchandise shipped will be invoiced to the Builder. This includes parts sent to replace merchandise which has been authorized for return to Chief.

Credit will be issued to the Builder's account when the returned merchandise has been accepted by Chief. Chief may refuse to credit your account if the returned merchandise is not in good condition.

Field Modifications

Notification of Field Problems:

The initial claim must be made promptly by either written or verbal notification to Chief's Customer Service Department. Any verbal notification must be followed up in writing within 7 days. The initial claim must include:

1. Description of nature and the extent of the errors, including quantities.
2. Description of nature and the extent of proposed corrective work, including estimated man-hours and costs.
3. Material to be purchased from other than Chief, including estimated quantities and costs.
4. Maximum total cost of proposed corrective work and material to be purchased from other than Chief.

If necessary, Chief may request pictures, field measurements, or other information that will aid in helping to solve the problem.

Authorization MUST be obtained from Chief's Customer Service Department in writing before field modification is made. Authorization identifies the problem and allows Chief to participate in arriving at a solution, it does not assign fault or liability.

Chief cannot be responsible for structures which have been modified without specific authorization. Any such action may void warranties.

Backcharge Procedure:

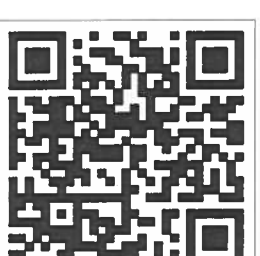
All backcharges must be submitted within 14 (fourteen) days after completion of the corrective work for which prior approved authorization has been given. Failure to submit the backcharge within this time limit will negate Chief's obligation to pay said charges.

Information Required for Submitting the Final Claim:

1. Chief's Order Number.
 2. Actual man-hours by date of direct labor use on corrective work and hourly rates of pay.
 3. Cost of material (not minor supplies) authorized by Chief to be purchased from other than Chief, including copies of paid invoices.
 4. Total actual direct cost of corrective work (sum of 2 and 3).
- The final claim shall be signed and certified true and correct by the Builder. Final claims are paid to the Builder in an amount of the lesser of:
- Cost set forth in the initial report and subsequent "Authorization for Field Modification", or
 - The total actual direct cost of corrective work.
- The cost of equipment (rental or depreciation), small tools, supervision, overhead and profit are not subject to claim. This includes crane and lift charges.

Looking For Jobsite Resources?

Erector's Toolbox



TO BE
USED FOR
CONSTRUCTION

Snap QR code above
or
use web address below

<https://secure.chiefind.com/mychief/>

Username: information@chiefind.com

Password: [gbr2021](#)

FOR REFERENCE ONLY

Drawing QUALITY ASSURANCE POLICY

Buyer JWR Ventures, LLC

Customer JWR Ventures, LLC
Fuquay Varina, NC 27526

Project Name J & L Office

| | | | | |
|------------------------|----------|----------|----------|-----------|
| RELEASED | 03-08-24 | | | G1 |
| SUPERSEDES | 12-18-23 | | | G3 |
| CHIEF BUILDINGS | | DRAWN | CHECK | ORDER NO. |
| | | DJAP | JGJ | B3024694 |
| | | 09/10/24 | 09/10/24 | |

COLLATERAL LOADS (see Building Design Criteria):

Chief Buildings neither assumes nor accepts any responsibility for the design of hangers, bracing of suspended members, transverse support members, nor connections to roof purlins to support collateral loads. It is the responsibility of the Buyer/Contractor and/or End Owner to have this design performed by a registered design professional. All loads suspended from purlins shall have the load introduced through the web and not the flange of the purlin other than what is shown on this page. Loads can not be supported from the lip at the edge of the flange.

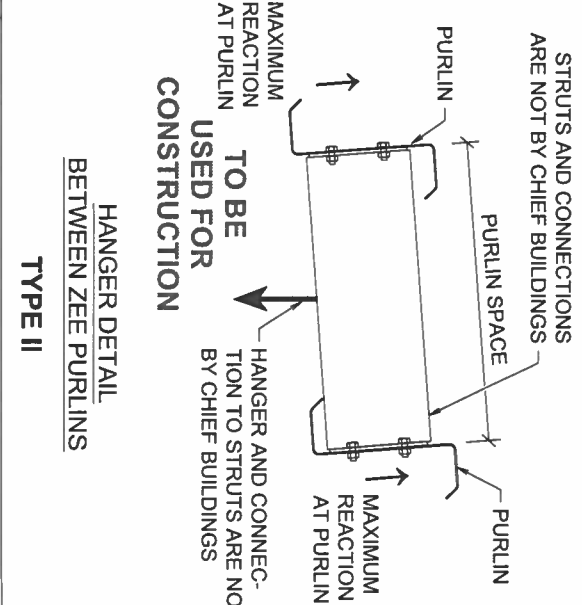
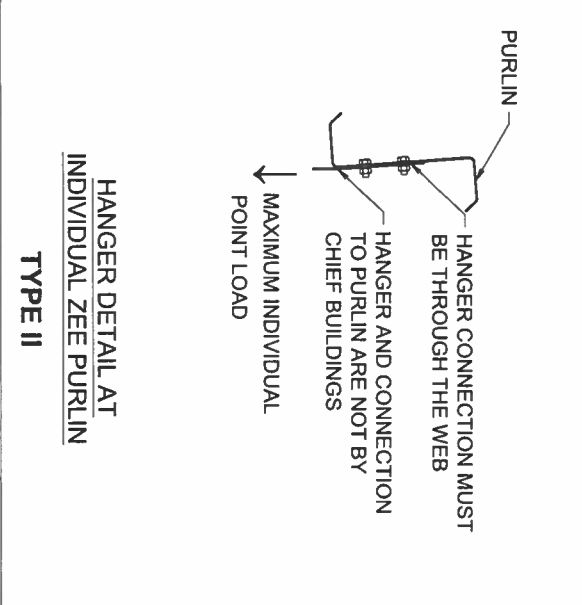
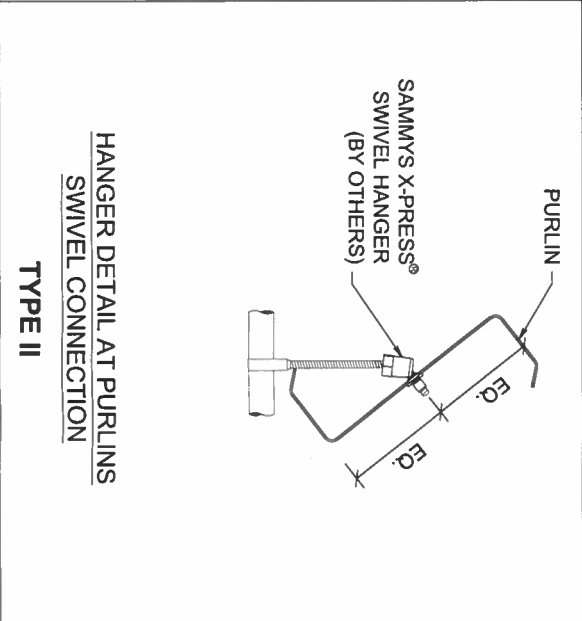
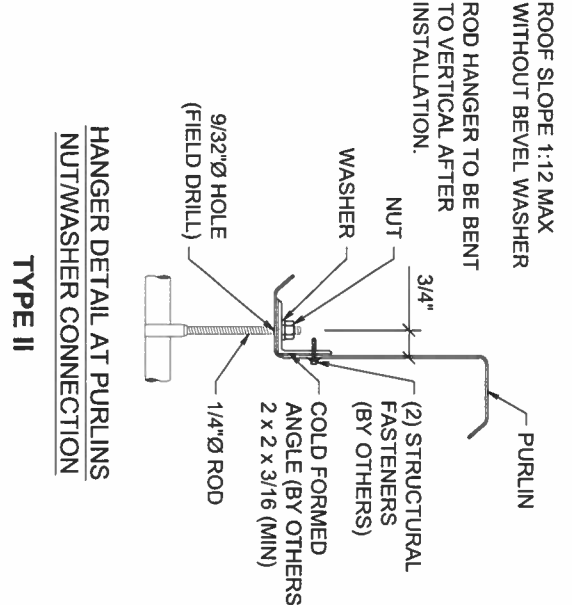
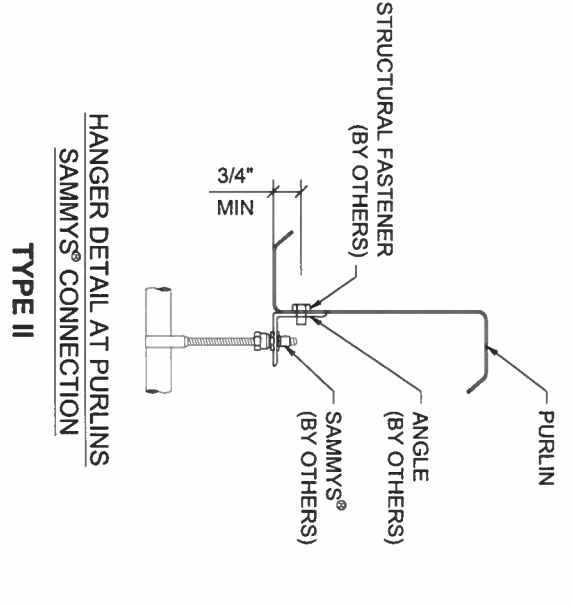
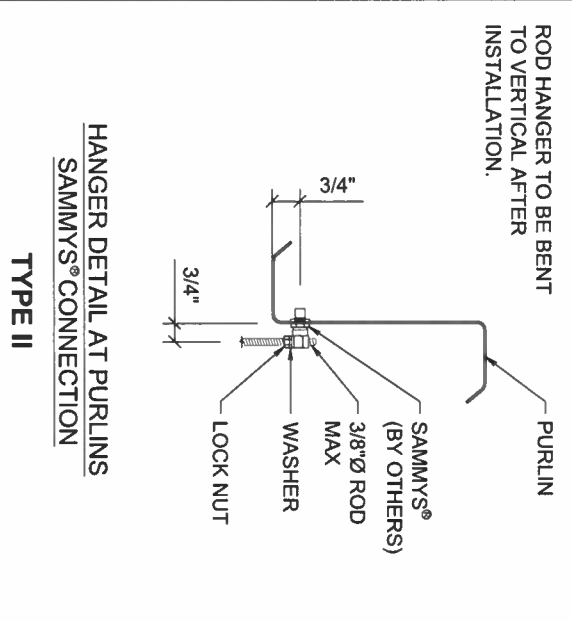
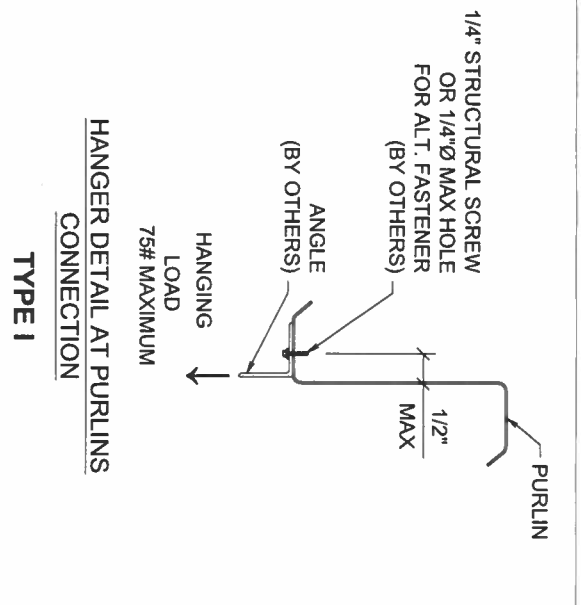
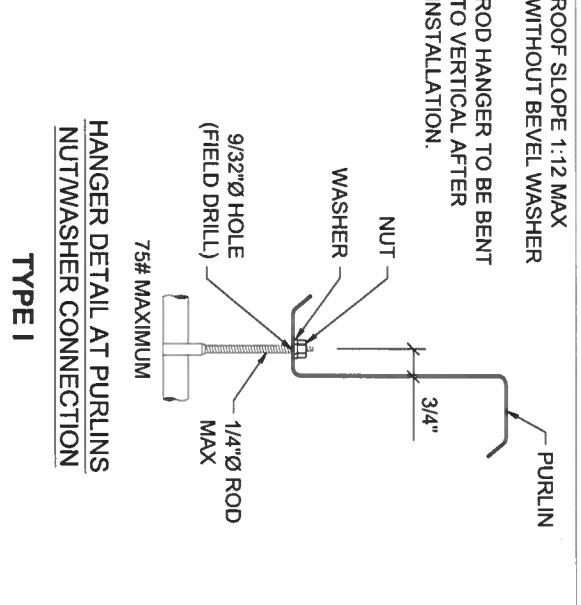
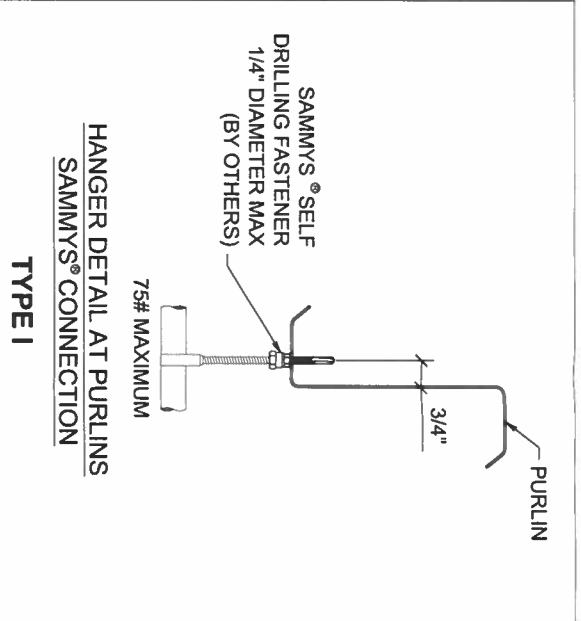
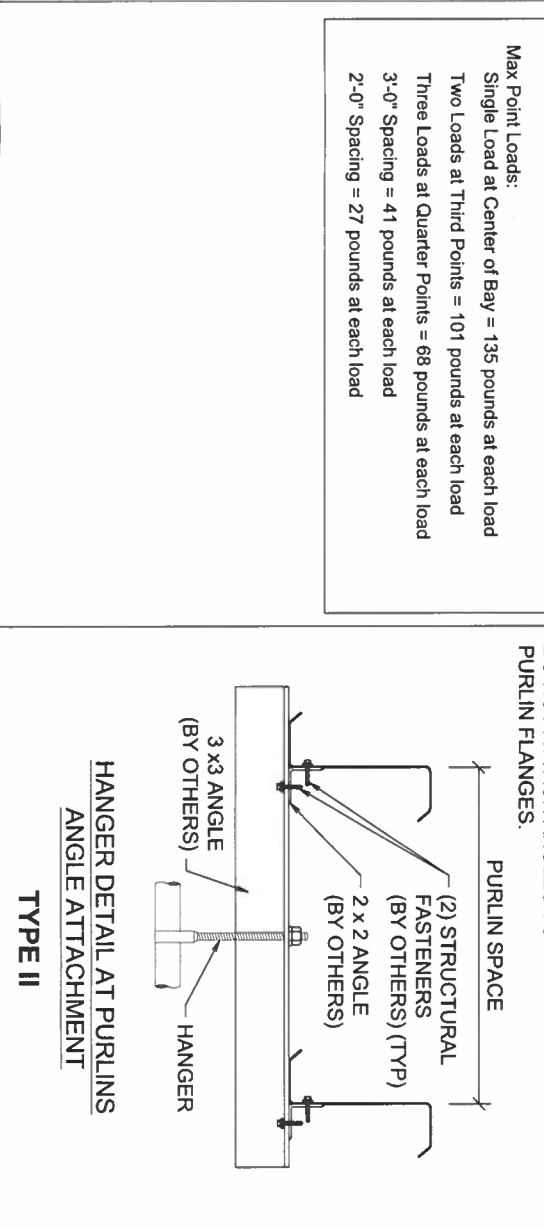
TYPE 1: Lightweight loads with individual point load not exceeding 75 pounds may be hung from bottom flange ONLY as shown on this page.

TYPE 2: Loads exceeding 75 pounds attach to web utilizing on of the methods shown on this drawing or provided by Registered Design Professional.

Guide to converting uniform collateral load (psf) to individual point loads (pounds).

| Load Type | Max Point Load [pounds] | Loading Diagram |
|-------------------------------|---|-----------------|
| Single Load at Center of Bay | 0.40 x Collateral Load [psf] x Purlin Spacing [ft] x Bay Spacing [ft] | |
| Two Loads at Third Points | 0.30 x Collateral Load [psf] x Purlin Spacing [ft] x Bay Spacing [ft] | |
| Three Loads at Quarter Points | 0.20 x Collateral Load [psf] x Purlin Spacing [ft] x Bay Spacing [ft] | |
| 3'-0" Spacing | Collateral Load [psf] x Purlin Spacing [ft] x 3.0' | |
| 2'-0" Spacing | Collateral Load [psf] x Purlin Spacing [ft] x 2.0' | |

Examples
3 psf collateral load, 4'-6" [4.5'] purlin spacing, 25'-0" bay spacing
Max Point Loads:
Single Load at Center of Bay = 135 pounds at each load
Two Loads at Third Points = 101 pounds at each load
Three Loads at Quarter Points = 68 pounds at each load
3'-0" Spacing = 41 pounds at each load
2'-0" Spacing = 27 pounds at each load



REVISIONS

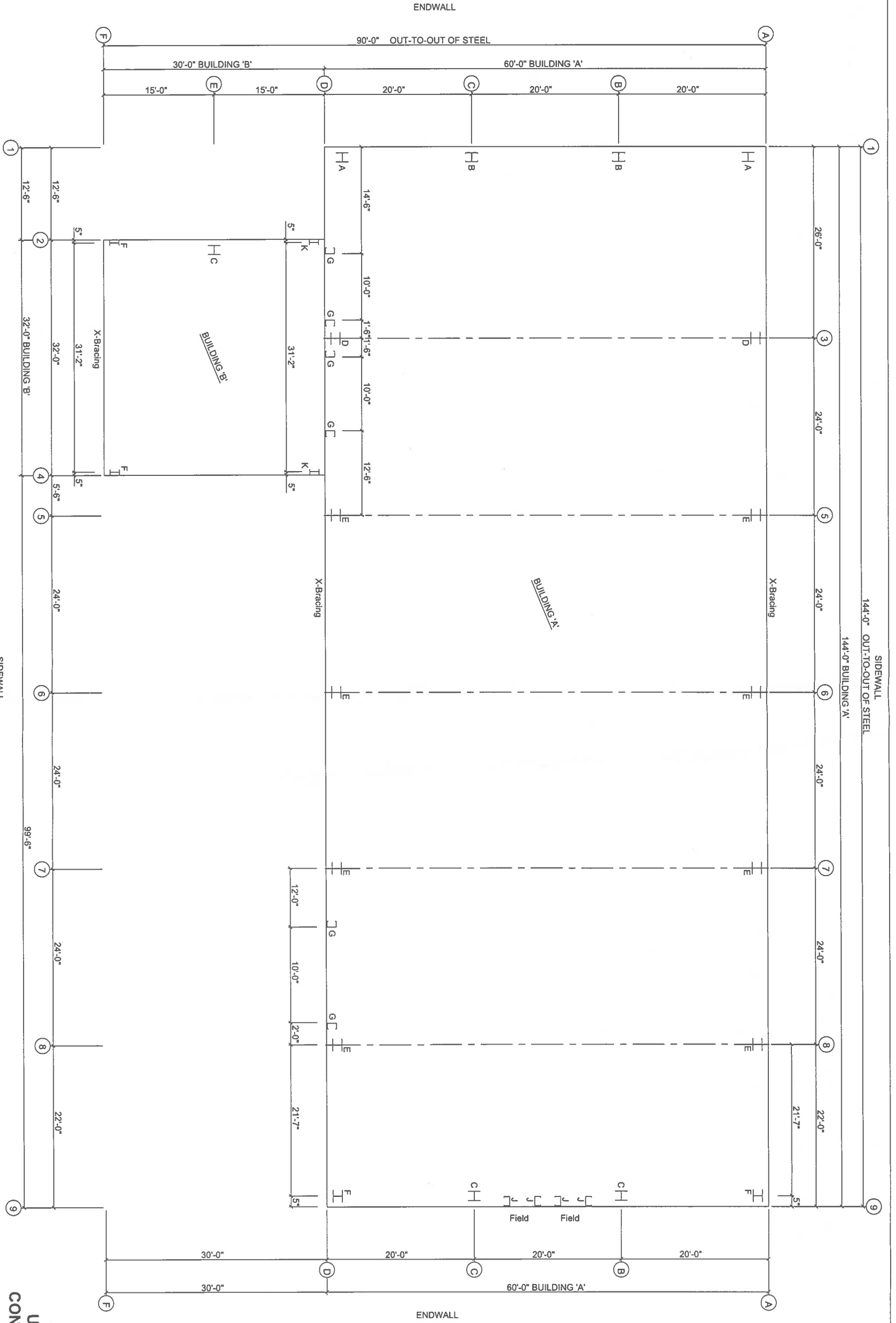
| NO. | DESCRIPTION | DATE |
|-----|-------------|----------|
| 1 | RELEASED | 12-18-23 |
| 2 | SUPERSEDES | 07-13-22 |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
PO Box 2078, Grand Island, NE 68802-2078
(402) 385-7289 c@chiefbuild.com



| | |
|--------------|--|
| Drawing | COLLATERAL LOADING AND ATTACHMENTS |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGJ |
| ORDER NO. | B3024694 |
| | G3 |



TO BE USED FOR CONSTRUCTION

REFERENCE NOTES:

1. All Anchor Rods including nuts and washers for same are not furnished by CHIEF BUILDINGS.
2. Anchor Rod material shall conform to ASTM F-1554 having a yield of 36 KSI or greater.
3. Rod projections are recommended minimums based on the base plate bearing directly on the concrete pier. If the base plate is to bear on grout, the rod projection must be increased accordingly.
4. Concrete shall have a minimum strength of 3000 PSI.
5. ALL DRAWINGS ARE NOT TO SCALE.
6. Anchor Rod Summary Table
 - o Quantity includes all buildings, all phases.
 - o However anchor rods for Partitions and Smart Canopies are found on separate pages (when applicable).

NOTE: Finish Floor @ 100'-0"

ANCHOR ROD PLAN

NOTE: All Base Plates @ 100'-0" (U.N.)

REVISIONS

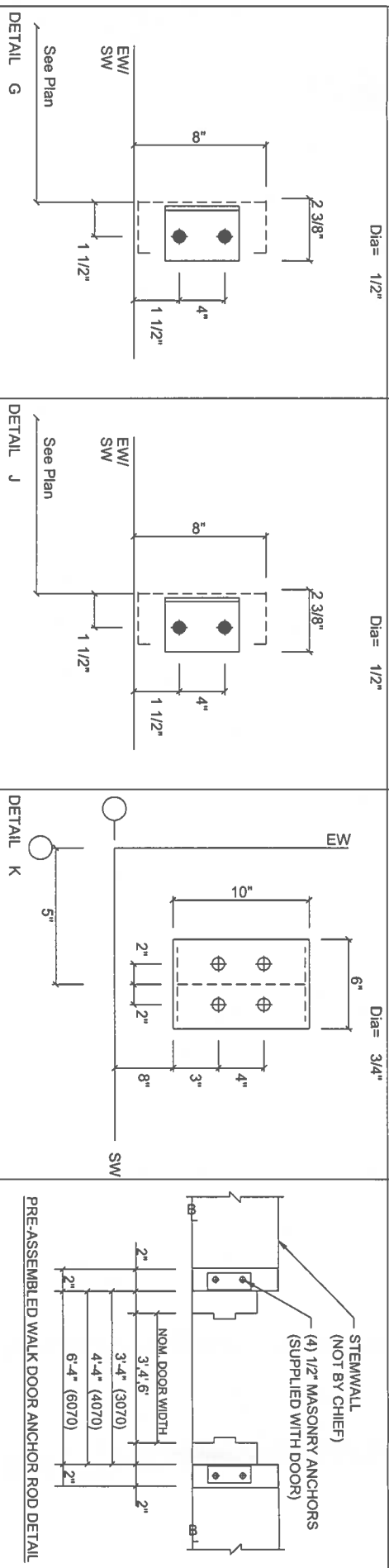
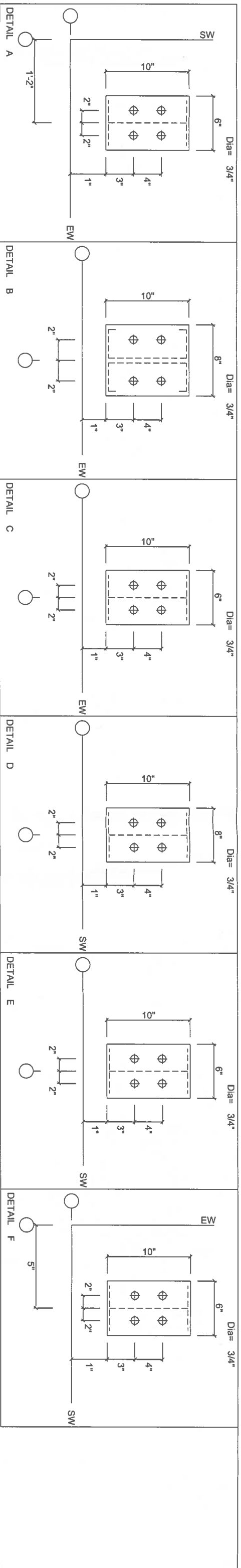
| Rev | Description |
|-----|--|
| 1 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. Chief Buildings, 2178 Grand Haven, NC 28602-2078 (252) 530-1255 - cs@chiefbuildings.com |

ANCHOR ROD SUMMARY

| Qty | Locate | Dia (in) | Type | Proj (in) |
|-----|---------|----------|--------|-----------|
| 20 | Jamb | 1/2" | F-1554 | 1.50 |
| 28 | Endwall | 3/4" | F-1554 | 2.00 |
| 64 | Frame | 3/4" | F-1554 | 2.00 |



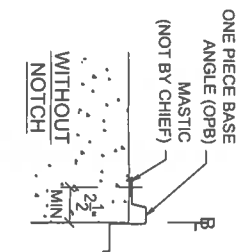
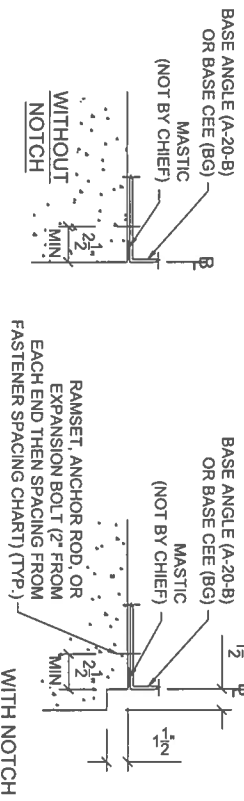
| | |
|--------------|--|
| Drawing | ANCHOR ROD |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DAR 7/30/24 |
| CHECK | KMC 7/30/24 |
| ORDER NO. | B3024694 |
| Sheet | A1 / A4 |



BASE ANCHORAGE SPACING FOR STANDARD BASE ANGLE, BASE CEE OR ONE PIECE BASE WITH CS OR AP WALLS

| FASTENER TYPE & DIAMETER | MINIMUM EMBEDMENT | MAXIMUM SPACING |
|-------------------------------|-------------------|-----------------|
| 1/4" WEDGE ANCHOR ① | 1 1/4" | 1 @ 3'-0" |
| 1/4" SCREW TYPE ANCHOR ② | 1 1/2" | 1 @ 3'-0" |
| 3/8" CAST-IN ANCHOR OR HEAD ③ | 4" WITH HOOK | 1 @ 3'-0" |
| 1/4" HAMMER-IN ④ | 1 3/8" | 1 @ 2'-0" |
| 0.14 POWDER ACTUATED ⑤ | 1 1/4" | 1 @ 1'-6" |

① HILTI KWIK BOLT®, RAMSET TRIBOLT®, POWERS POWERSTUD®, OR EQUAL.
 ② CS FAPCON®, HILTI KWIK-CON 18®, POWERS WEDGE-BOLT®, OR EQUAL.
 ③ POWERS ZAMAC HAMMER SCREW®, HILTI METAL HIT ANCHOR®, OR EQUAL.
 ④ POWERS BALLISTIC POINT PIN, RAMSET 1500/1600 SERIES, HILTI UNIVERSAL NAIL, OR EQUAL.



BASE MEMBER DETAILS

CONTRACTOR IS RESPONSIBLE FOR ANCHORING BASE MEMBER TO CONCRETE.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------|
| 1 | 10/25/24 | |
| 2 | | |
| 3 | | |
| 4 | | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
 1007751 Grand Island, NE 68602-2078
 (402) 395-7489 www.chiefbuildings.com

TO BE USED FOR CONSTRUCTION



| | | | | | |
|--------------|--|---------|---------|-----------|----|
| Drawing | ANCHOR ROD | DRAWN | CHECK | ORDER NO. | A2 |
| Buyer | JWR Ventures, LLC | DAR | KMC | B3024694 | A4 |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 | 7/30/24 | 7/30/24 | | |
| Project Name | J & L Office | | | | |

REFERENCE NOTES:
 1. ACTUAL BASE PLATE DIMENSIONS MAY BE SMALLER THAN BASE PLATE DIMENSIONS SHOWN.

- Column footings and piers must be designed to withstand horizontal and vertical reactions as shown on the Anchor Rod Plan. Chief Buildings is not responsible for design of concrete foundation. Chief Buildings recommends that the services of a qualified engineer be obtained by the contractor/builder to design the foundations for the indicated reactions.
- Reactions are given in kips. (1 kip = 1000 lbs.) moments, if any, are given in kip-ft.
- Anchor Rod design is based on shear, tension, and combined tension and shear. Chief Buildings is not responsible for anchor rod size recommendations when anchor rod configuration places the rods in a bending mode. When the column base plate bears on ground, the contractor/builder or foundation engineer shall investigate bending in the anchor rods and provide a shear key for the column base to the pier when the anchor rods are not adequate in bending about the pier.

RIGID FRAME: BASIC COLUMN REACTIONS (K)

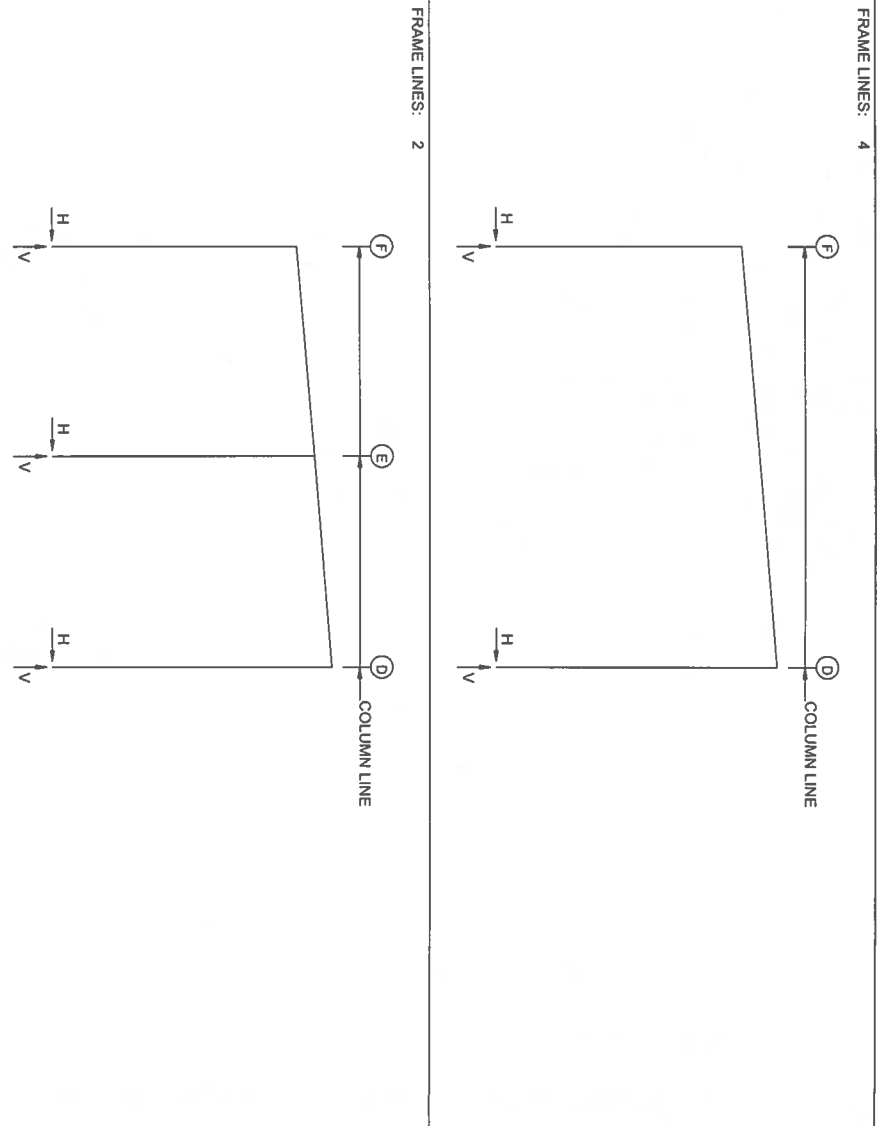
| Frame Line | Column Line | Dead | Collateral | Live | Snow | Wind Left | Wind Right |
|--------------|-------------|------|------------|------|------|-----------|------------|
| Frame Line 4 | Column F | 0.2 | 0.0 | 0.6 | 0.5 | -2.3 | 3.2 |
| | Column D | -0.2 | 0.0 | -0.6 | -0.5 | -2.3 | -3.2 |
| | Column E | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Frame Line 2 | Column F | 0.2 | 0.0 | 0.6 | 0.5 | -2.3 | 3.2 |
| | Column D | -0.2 | 0.0 | -0.6 | -0.5 | -2.3 | -3.2 |
| | Column E | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |

BUILDING BRACING REACTIONS

| Loc | Line | Wall | Col | Horz | Vert | Panel Shear (lb/ft) | Note |
|-----|------|------|------------------------|------|------|---------------------|------|
| L | EW | 4 | Torsional Bracing Used | | | | (h) |
| F | SW | D | | | | | (h) |
| R | SW | Z | 2,4 | 4.5 | 2.3 | 0.4 | 0.2 |
| B | SW | F | | | | | (h) |

CONTROLLING LOAD CASES

| Case | Description |
|------|---|
| 1 | Dead+Collateral+Live |
| 2 | Dead+0.5Wind_Left |
| 3 | Dead+0.5Wind_Right |
| 4 | Dead+Collateral+0.75Live+0.45Wind_Left |
| 5 | Dead+Collateral+0.75Live+0.45Wind_Right |
| 6 | Dead+Collateral+0.75Live+0.45Wind_Right |
| 7 | 0.8Dead+0.8Wind_Left |
| 8 | 0.8Dead+0.8Wind_Right |
| 9 | 0.8Dead+0.8Wind_Left |
| 10 | 0.8Dead+0.8Wind_Right |
| 11 | 0.8Dead+0.8Wind_Right |
| 12 | 0.8Dead+0.8Wind_Right |
| 13 | Dead+Collateral+2PAT_LL-3 |
| 14 | 0.8Dead+0.8Wind_Right+0.8Wind_Suction |
| 15 | 0.8Dead+0.8Wind_Pressure+0.8Wind_LongL |
| 16 | Dead+Collateral |



RIGID FRAME: MAXIMUM REACTIONS

| Frame Line | Col Line | Load Id | Hmax | Vmax | Hmin | Vmin |
|------------|----------|---------|------|------|------|------|
| 4 | F | 5 | 2.1 | 2.7 | -2.6 | -0.9 |
| | F | 6 | 1.3 | 5.0 | 1.1 | -5.0 |
| | D | 10 | 2.4 | 0.0 | -1.8 | 1.7 |
| 4 | D | 12 | -0.9 | 5.2 | 4 | -3.3 |
| | F | 3 | 2.4 | 0.5 | 9 | -2.6 |
| | F | 6 | 0.7 | 3.2 | 11 | -0.7 |
| 2 | D | 10 | 2.4 | 0.0 | -2.0 | -0.8 |
| | D | 13 | -0.1 | 2.6 | 8 | 0.8 |
| | E | 14 | 2.1 | -4.2 | 15 | -2.0 |
| 2 | E | 16 | 0.0 | 5.4 | 7 | 0.0 |
| | E | 16 | 0.0 | 5.4 | 7 | -2.8 |

REVISIONS

| No. | Description |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
3501 S. Grand Island, NE 68802-2078
(408) 338-7258
cs@chiefbuildings.com



ANCHOR ROD


Buyer: JWR Ventures, LLC
Customer: JWR Ventures, LLC
Fuquay Varina, NC 27526

Project Name: J & L Office

Order No.: B3024694

Order Date: 7/30/24

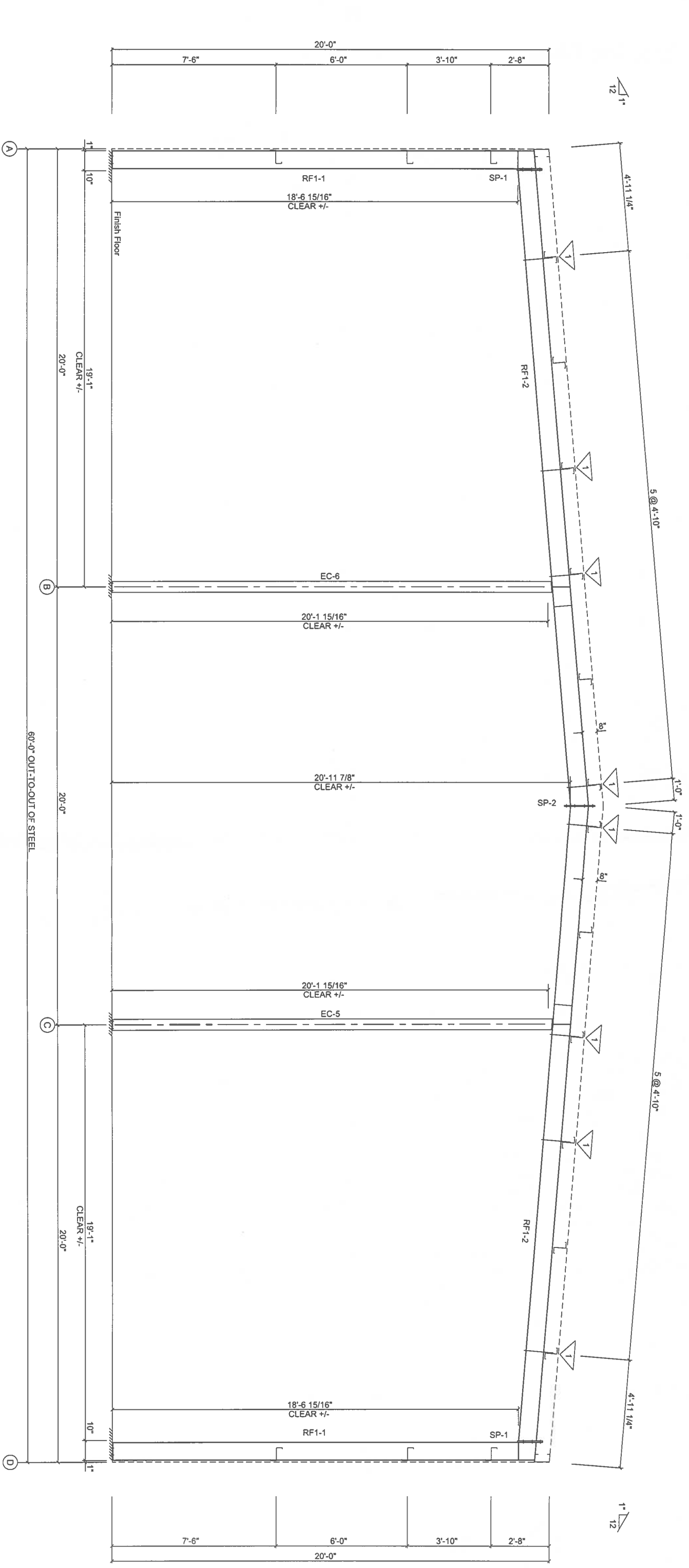
TO BE USED FOR CONSTRUCTION BUILDING 'B'

| | | | |
|--|--|--|--|
| <p>DESIGN CRITERIA</p> <p>Building Code IBC Risk Category Roof Live Load Tributary Area Reduction Allowed Collateral Load</p> <p>Ground Snow Load (Pg) Exposure Factor (Ce) Thermal Factor (Ct) Importance Factor (I) Flat Roof Snow Load (Pf)</p> <p>Minimum Roof Snow Load (Pm) Drift Surcharge Load, Pd and Snow Drift Width, w Building Enclosure</p> <p>Ultimate Design Wind Speed (Vult) Nominal Design Wind Speed (Vasd) Exposure Category Wind Pressure (q) Seismic Spectral Response Short Periods (Ss) Spectral Response 1 s Period (S1) Seismic Importance Factor Seismic Design Category Site Class Seismic Resisting System Longitudinal Direction Lateral Direction Seismic Response Coefficient (Cs) Spectral Response Parameter Short Period (SDS) Spectral Response Parameter 1 s Period (SD1) Analysis Procedure: Base Shear Other Loads:</p> <p>DEFLECTION CRITERIA The material supplied by Chief Buildings has been designed with the following minimum deflection criteria. The actual deflection may be less depending on actual load and specific member length.</p> <p>Vertical Deflection Purlin under Live or Snow Purlin under Wind Frame Rafter under Live or Snow Horizontal Deflection Girts supporting metal wall panel (10 year wind) Spandrel supporting brittle wall material (10 year wind) Frame Sidesway/Drift with 10 year wind Metal wall panel Brittle wall material Method of Design Used: ASD</p> | <p>North Carolina Building Code 2018 II - Standard Buildings 20 psf Yes 3 psf Bldg A 1 psf Bldg B 15 psf 1.0 1.0 Bldg A 1.2 Bldg B 1.0 10.5 psf Bldg A 12.6 psf Bldg B 15 psf - Not used with drift, sliding, unbalanced, or partial loads. None Enclosed Bldg A Partially Enclosed Bldg B 116 mph (GCp1 ± 0.18) Bldg A 116 mph (GCp1 ± 0.55) Bldg B 90 mph B 20.5 psf 0.173 0.083 1 B D Steel System (R=3.00) Steel System (R=3.00) 0.062 0.184 0.133 ELF 5.22 kips None</p> | <p>BOLT TIGHTENING INFORMATION - SNUG TIGHT</p> <p>1. Snug Tightened Joints are used. Tightening of bolts shall be in accordance with the "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS" latest edition published by Research Council on Structural Connections (RCSC). a. All bolt holes shall be aligned to permit insertion of the bolts without undue damage to the threads. b. Bolts shall be placed in all holes and nuts threaded to complete the assembly. c. Compacting the joint to the snug-tight condition shall progress systematically from the most rigid part of the joint. Snug tight is the condition that exists when all of the plies in a connection have been pulled into firm contact by the bolts in the joint and all of the bolts in the joint have been tightened sufficiently to prevent the removal of the nuts without the use of a wrench. • The snug tightened condition is typically achieved with a few impacts of an impact wrench or the full effort of a worker on an ordinary spud wrench. More than one cycle through the bolt pattern may be required to achieve the snug tightened joint. 2. Special Inspection - Inspection that installation achieved snug tightened condition is after bolt installation. Unless local authorities require otherwise, inspection before or during bolt installation/tightening is not required. 3. Fastener components shall be protected from dirt and moisture in closed containers at the site of installation. Only as many fastener components as are anticipated to be installed during the work shift shall be taken from protected storage. Fastener components that are not incorporated into the work shall be returned to protected storage at the end of the work shift.</p> | <p>BRITTLE WALL, General Notes</p> <p>The structure provided by Chief Buildings has been designed for brittle wall provided by others. Chief Buildings neither assumes nor accepts any responsibility for design of the brittle wall nor the attachment or the interface of this wall with the structure provided by Chief Buildings. It is the responsibility of the Buyer/Contractor and/or End Owner to retain the services of a registered design professional who is responsible for the design of: 1. The brittle wall for code prescribed vertical and lateral forces and sufficient ductility to allow for differential movement of the brittle wall and structure provided by Chief Buildings. 2. Detailing at base of the wall and at isolation joints at perpendicular walls to allow for differential movement of the brittle wall and structure provided by Chief Buildings. Lateral deflection and drift for the structure provided by Chief Buildings have been held to the limits stated in the order documents. It is the responsibility of the registered design professional to insure design and separation of the brittle wall is compatible with these serviceability limits.</p> <p>MASONRY/BRICK VENEER WALL</p> <p>The structure provided by Chief Buildings has a brick veneer wall, which is not by Chief Buildings. The girts are at 2'-0" spacing and have been designed to provide lateral support for the brick veneer wall. The 26 gage CS or AP wall panels behind the wall is intended as a weather barrier and is not intended to support the attachment of the brick wall. Attachment of the brick wall must be made through the CS/AP panel to the girt. Chief Buildings neither assumes nor accepts any responsibility for design of this brick veneer wall nor attachment or interface of this wall with the structure provided by Chief Buildings. It is the responsibility of the Buyer/Contractor and/or End Owner to retain the services of a registered design professional that is responsible for the design of: 1.) The brick veneer wall and required reinforcing for code prescribed vertical and lateral loads and sufficient ductility to allow for differential movement of the brick veneer wall and the structure provided by Chief Buildings. 2.) Attachment of the brick veneer wall to the structure provided by Chief Buildings. 3.) Detailing at base of the wall and at isolation joints at perpendicular walls to allow for differential movement of the brick veneer wall and the structure provided by Chief Buildings. Lateral deflection and drift limits for the structure provided by Chief Buildings have been held to the limits in the order documents. These serviceability limits are consistent with those published in AISC Design Guide Series Number 3-Serviceability Design Considerations for Low-Rise Buildings. It is the responsibility of the registered design professional to insure design of the brick veneer wall is compatible with these serviceability limits.</p> |
| <p>REVISIONS</p> <p>4 3 2 1</p> | <p>MATERIAL SPECIFICATIONS</p> <p>Chief Buildings designs and fabricates using the following ASTM material types and grades (minimum yield point, ksi).</p> <ul style="list-style-type: none"> Built-up Structural Steel Members: A572, A572, and A1011 SS or HSLAS. Minimum Grade 50 (50 ksi), and A992. Minimum Grade 50 (50 ksi). Hot-Rolled Structural Steel Shapes (W, C, S): A572 and A992. Minimum Grade 50 (50 ksi). HSS Round and Square Sections: A500. Minimum Grade C (46 ksi and 50 ksi, respectively). Hot-Rolled Angle and Rod Bracing: A36. Minimum Yield Point 36 ksi. Cold-formed Light Gauge Structural Members: A563 SS or HSLAS-Class 1, A1011 SS or HSLAS-Class 1, Grade 55 (55 ksi). Panel and Trim: A792, Minimum Grade 50 Class 1 or Class 4 (50 ksi). | <p>INDEPENDENT MEZZANINE</p> <p>The building provided by Chief Buildings does not include structural support for the mezzanine, which is furnished by others.</p> | <p>TO BE USED FOR CONSTRUCTION</p> |
| <p>Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.</p> <p>Chief Buildings PO Box 2078, Grand Island, NE 68802-2078 (308) 385-7289 cs@chiefinc.com</p> | <p>PROJECT NOTES</p> <p>Drawing Buyer Customer Project Name</p> <p>JWR Ventures, LLC JWR Ventures, LLC Fuquay Varina, NC 27526 J & L Office</p> <p>DRAWN DIAP</p> <p>CHECK JGU</p> <p>ORDER NO. B3024694</p> <p>N1 N1</p> | <p>09/09/2024</p> |  |

| SPLICE BOLT TABLE | | | | CAP PLATE BOLTS | | | |
|-------------------|-----|---------|----------|-----------------|--------|------|-----|
| Mark | Qty | Top Bol | Int Type | Dia | Length | Mark | Qty |
| SP-1 | 4 | 2 | 0 | A325 5/8" | 2" | EC-6 | 4 |
| SP-2 | 4 | 4 | 0 | A325 5/8" | 2" | EC-5 | 4 |

| MEMBER TABLE | | | | | | | | | |
|--------------|--------|--------------|-----------|-----------|-----------|-------------|------------------------|------------------------|---------------|
| Mark | Weight | Length | Web Depth | Start/End | Web Plate | Thick | Length | Outside Flange | Inside Flange |
| RF1-1 | 297 | 19'-4 1/16" | 9.5/9.5 | 9.5/9.5 | 0.125 | 19'-4 1/4" | 1/4" x 6 x 19'-3 7/16" | 1/4" x 6 x 18'-6 1/16" | |
| RF1-2 | 453 | 29'-1 15/16" | 9.5/9.5 | 9.5/9.5 | 0.125 | 20'-0" | 1/4" x 6 x 29'-1 1/16" | 1/4" x 6 x 29'-1 1/16" | |
| EC-6 | 288 | 20'-2 3/16" | 9.5/9.5 | 9.5/9.5 | 0.125 | 20'-2 3/16" | 1/4" x 6 x 20'-2 3/16" | 1/4" x 6 x 20'-2 3/16" | |
| EC-5 | 298 | 20'-2 3/16" | 9.5/9.5 | 9.5/9.5 | 0.125 | 20'-2 3/16" | 1/4" x 6 x 20'-2 3/16" | 1/4" x 6 x 20'-2 3/16" | |

| FLANGE BRACE TABLE | | | | | |
|--------------------|---|-------|--------|--------|--------|
| FRAME LINE 9 | | | | | |
| △ ID | # | BRACE | DETAIL | CLIP 1 | CLIP 2 |
| 1 | 1 | FBS | 1'-0" | 1-4 | XSS11 |



CROSS SECTION: FRAME LINE 9

TO BE
USED FOR
CONSTRUCTION

BUILDING 'A'

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
No. 830751, Grand Island, NC 28802-2078
(252) 558-7289 cb@chiefbuild.com



Drawing

Buyer JWR Ventures, LLC

Customer JWR Ventures, LLC
Fuquay Varina, NC 27526

Project Name J & L Office

DRAWN DJAP
CHECK JGI

DATE 09/10/24
DATE 09/10/24

CROSS SECTION

ORDER NO. B3024694

CS1

CS5

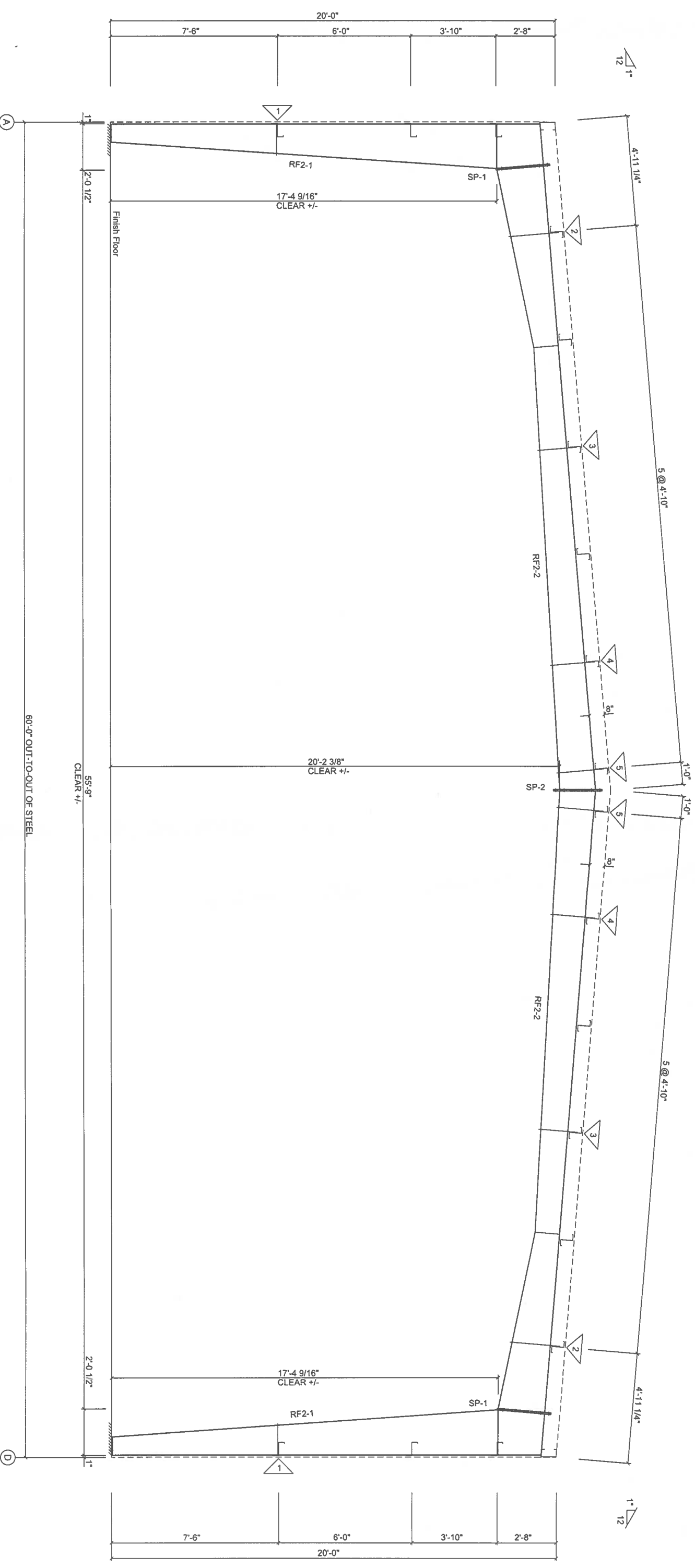
CS1
CS5

- REFERENCE NOTES:
- Snug Tight: Snug Tightened Joints are used. See General Information Snug Tight Sheet for bolt tightening information.
 - Storage: Fastener components shall be protected from dirt and moisture in closed containers at the site of installation. Only as many fastener components as are anticipated to be installed during the work shift shall be taken from protected storage. Fastener components that are not incorporated into the work shall be returned to protected storage at the end of the work shift.
 - Bolt and Nut Specifications: Bolts are high strength bolts conforming to ASTM F3125 Grade A325 or Grade A490. Nuts are high strength nuts conforming to ASTM A194 Grade 2 or 2H or ASTM A563 Grade C, D, or DH nut specifications. Substitution of mild steel bolts or nuts is not allowed and any field substitution will void the design warranty.
 - Eave Height: Eave height dimension is not always to the top of the eave stud. Due to thermal block situations, eave height dimension and top girt space dimension may be to the intersection of the top of the purlins. Refer to the eave details for more information.

| SPLICE BOLT TABLE | | | | | | |
|-------------------|-----|-----|-----|------|------|--------|
| Mark | Qty | Bol | Int | Type | Dia | Length |
| SP-1 | 4 | 2 | 0 | A325 | 3/4" | 2" |
| SP-2 | 4 | 4 | 0 | A325 | 5/8" | 2" |

| MEMBER TABLE | | | | | | | |
|--------------|--------|-------------|-----------|-----------|------------------|------------------------|-------------------------|
| Mark | Weight | Length | Web Depth | Web Thick | Web Plate Length | Outside Flange | Inside Flange |
| RF2-1 | 488 | 19'-4 1/16" | 9.5/24.0 | 0.219 | 19'-5 1/4" | 1/4" x 6 x 19'-3 7/16" | 1/4" x 6 x 17'-4 1/8" |
| RF2-2 | 579 | 28'-1 9/16" | 25.0/13.0 | 0.188 | 8'-0 9/16" | 1/4" x 6 x 28'-0 9/16" | 1/4" x 6 x 19'-10 7/16" |

| FLANGE BRACE TABLE | | | | | |
|--------------------|---|------|-------------|--------|-------|
| FRAME LINE 5 6 7 8 | | | | | |
| V ID | # | MARK | BRACE DIST. | DETAIL | CLIP |
| 1 | 1 | FB2 | 1'-0" | 1-4 | XSST1 |
| 2 | 1 | FB8 | 2'-0" | 1-4 | XSST1 |
| 3 | 1 | FB4 | 1'-0" | 1-4 | XSST1 |
| 4 | 1 | FB6 | 1'-0" | 1-4 | XSST1 |
| 5 | 1 | FB7 | 1'-0" | 1-4 | XSST1 |



**TO BE
USED FOR
CONSTRUCTION**

BUILDING 'A'

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
PO Box 2078, Grand Island, NE 68802-2078
(680) 355-7289 cs@chiefbuild.com



| | |
|--------------|--|
| Drawing | CROSS SECTION |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |

| | | |
|-------|-------|-----------|
| DRAWN | CHECK | ORDER NO. |
| DJAP | JGU | B3024694 |

CS2

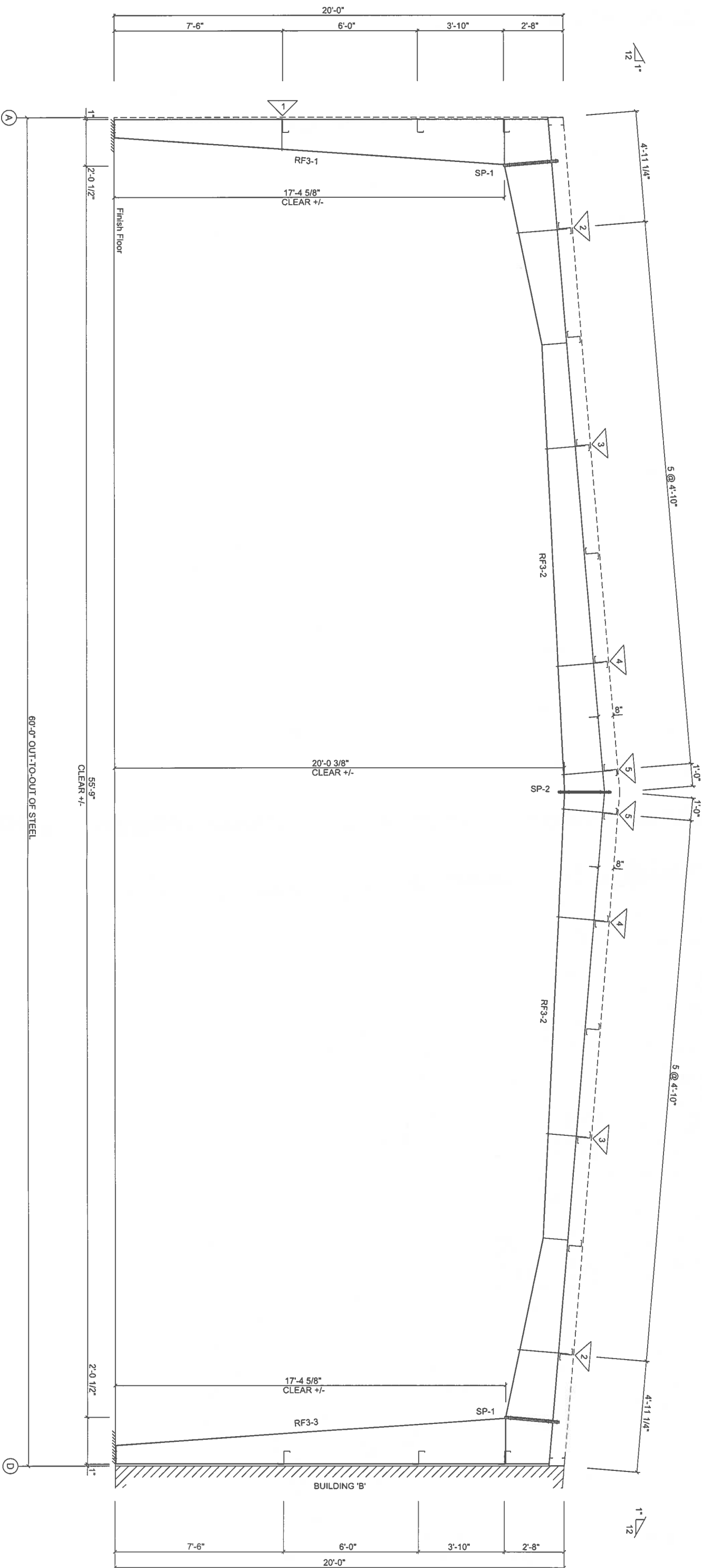
CSS

- REFERENCE NOTES:**
1. Snug Tight: Snug Tightened Joints are used. See General Information Snug Tight Sheet for bolt tightening information.
 2. Storage: Fastener components shall be protected from dirt and moisture in closed containers at the site of installation. Only as many fastener components as are anticipated to be installed during the work shift shall be taken from protected storage. Fastener components that are not incorporated into the work shall be returned to protected storage at the end of the work shift.
 3. Bolt and Nut Specifications: Bolts are high strength bolts conforming to ASTM F3125 Grade A325 or Grade A490. Nuts are high strength nuts conforming to ASTM A194 Grade 2 or 2H or ASTM A563 Grade C, D, or DH nut specifications. Substitution of mild steel bolts or nuts is not allowed and any field substitution will void the design warranty.
 4. Eave Height: Eave height dimension is not always to the top of the eave strut. Due to thermal block situations, eave height dimension and top girt space dimension may be to the intersection of the top of the purlins. Refer to the eave details for more information.

| SPUCE BOLT TABLE | | | | | |
|------------------|-----|-----|-----|------|-------------|
| Mark | Qty | Bol | Int | Type | Length |
| SP-1 | 4 | 2 | 0 | A325 | 3/4" 2 1/2" |
| SP-2 | 4 | 4 | 0 | A325 | 5/8" 2" |

| MEMBER TABLE | | | | | | | |
|--------------|--------|-------------|-----------|-----------|------------------------|-----------------------|--|
| Mark | Weight | Length | Web Depth | Web Plate | Outside Flange | Inside Flange | |
| RF3-1 | 514 | 19'-4 1/16" | 9.5/24.0 | 0.219 | 1/4" x 6 x 19'-3 7/16" | 1/4" x 6 x 17'-4 1/8" | |
| RF3-2 | 605 | 28'-1 7/16" | 25.0/13.0 | 0.188 | 1/4" x 8 x 28'-0 5/16" | 1/4" x 6 x 8'-1 1/16" | |
| RF3-3 | 576 | 19'-4 1/16" | 24.0/9.5 | 0.219 | 1/4" x 8 x 19'-3 7/16" | 1/4" x 8 x 17'-4 1/8" | |

| FLANGE BRACE TABLE | | | | | |
|--------------------|---|------|-------|--------|-------|
| FRAME LINE 3 | | | | | |
| △/ID | # | MARK | BRACE | DETAIL | CLIP |
| 1 | 1 | FB2 | 1'-0" | 1-4 | XSS11 |
| 2 | 1 | FB8 | 2'-0" | 1-4 | XSS11 |
| 3 | 1 | FB5 | 1'-0" | 1-4 | XSS11 |
| 4 | 1 | FB7 | 1'-0" | 1-4 | XSS11 |
| 5 | 1 | FB9 | 2'-0" | 1-4 | XSS11 |



CROSS SECTION: FRAME LINE 3

TO BE
USED FOR
CONSTRUCTION

BUILDING 'A'

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------------|
| 1 | As Issued | 09/09/2024 |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
11378m
729524
No. Box 2076, Grand Island, NE 68802-2076
(402) 550-7559 chiefbuildings.com



DRAWING CROSS SECTION

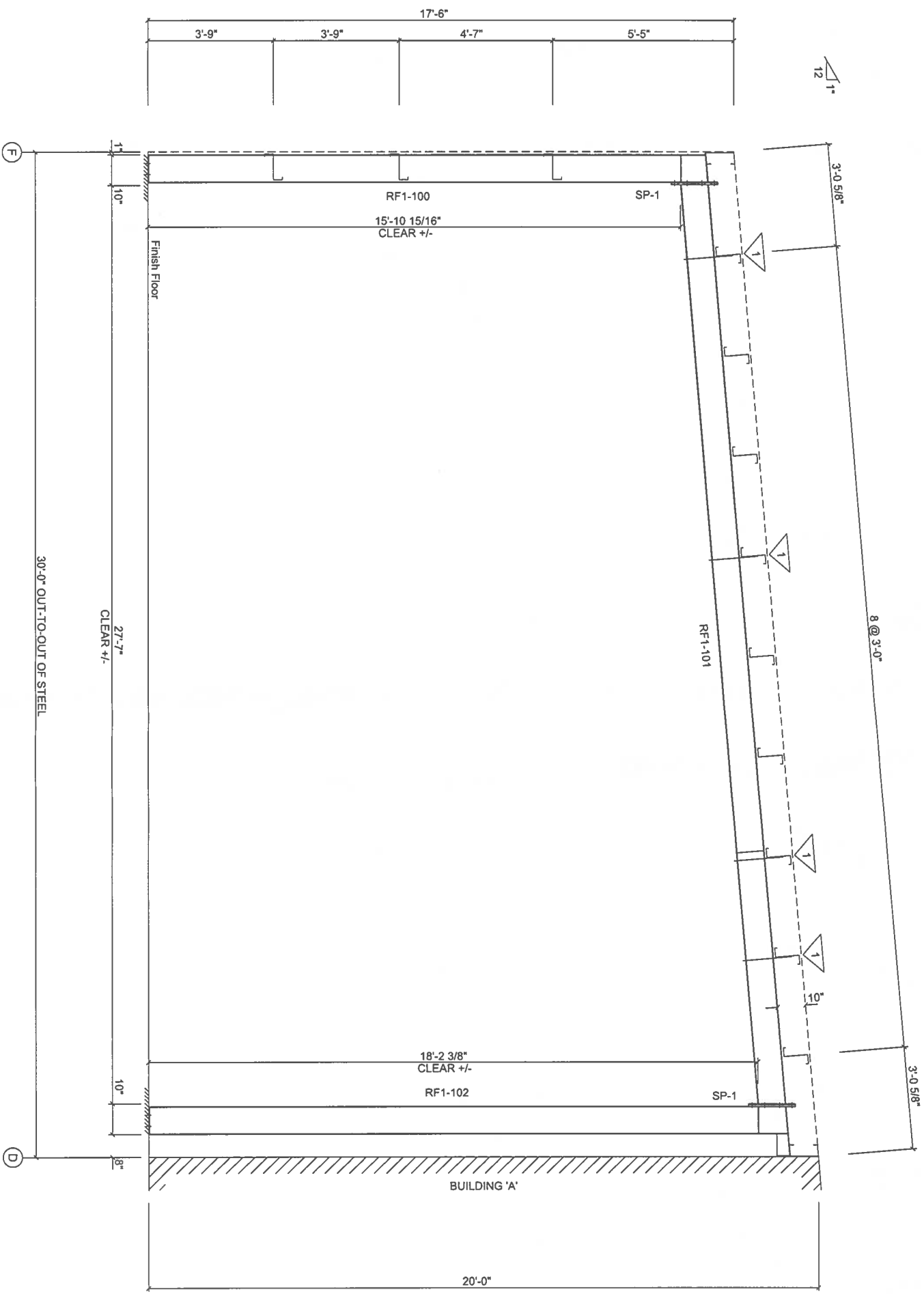
| | |
|--------------|--|
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGJ |
| ORDER NO. | B3024694 |
| | CS3 |
| | CS5 |

- REFERENCE NOTES:
1. Spug Tight: Spug Tightened Joints are used. See General Information Spug Tight Sheet for bolt tightening information.
 2. Storage: Fastener components shall be protected from dirt and moisture in closed containers at the site of installation. Only as many fastener components as are anticipated during the work shift shall be taken from protected storage. Fastener components that are not incorporated into the work shall be returned to protected storage at the end of the work shift.
 3. Bolt and Nut Specifications: Bolts are high strength bolts conforming to ASTM F3125 Grade A325 or Grade A490. Nuts are high strength nuts conforming to ASTM A194 Grade 2 or 2H or ASTM A563 Grade C, D, or DH nut specifications. Substitution of mild steel bolts or nuts is not allowed and any field substitution will void the design warranty.
 4. Eave Height: Eave height dimension is not always to the top of the eave strut. Due to thermal block situations, eave height dimension and top girt space dimension may be to the intersection of the top of the purlins. Refer to the eave details for more information.

| SPURCE BOLT TABLE | | | | | | |
|-------------------|-----|-----|-----|------|------|--------|
| Mark | Qty | Bot | Int | Type | Dia | Length |
| SP-1 | 4 | 4 | 0 | A325 | 5/8" | 2" |

| MEMBER TABLE | | | | | | | |
|--------------|--------|-------------|-----------|-----------|------------------------|------------------------|--|
| Mark | Weight | Length | Web Depth | Web Plate | Outside Flange | Inside Flange | |
| RF1-100 | 278 | 16'-8 1/16" | 9.5/9.5 | 0.156 | 1/4" x 6 x 16'-7 7/16" | 1/4" x 6 x 15'-7 1/8" | |
| RF1-101 | 439 | 27'-7 5/8" | 9.5/9.5 | 0.125 | 1/4" x 6 x 27'-6 5/8" | 1/4" x 6 x 27'-6 5/8" | |
| RF1-102 | 319 | 19'-1 5/16" | 9.5/9.5 | 0.156 | 1/4" x 6 x 17'-10 5/8" | 1/4" x 6 x 17'-10 5/8" | |

| FLANGE BRACE TABLE | | | | | |
|--------------------|---------|------------|-------------|--------|--------|
| FRAME LINE 4 | | | | | |
| ∇ ID | # SIDES | BRACE MARK | BRACE DIST. | DETAIL | CLIP 1 |
| 1 | 1 | FB100 | 1'-0" | 1-1 | CLIP 2 |



CROSS SECTION: FRAME LINE 4

TO BE
USED FOR
CONSTRUCTION

BUILDING 'B'

REVISIONS

| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|------------|-------------------------|
| 1 | As Shown | 09/09/2024 | Michelle L. [Signature] |
| 2 | | | |
| 3 | | | |
| 4 | | | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the pre-engineered components designed by Chief Buildings.

Chief Buildings
PO Box 2078, Grand Island, NE 68802-2078
(402) 385-7439 cb@chiefbuildings.com



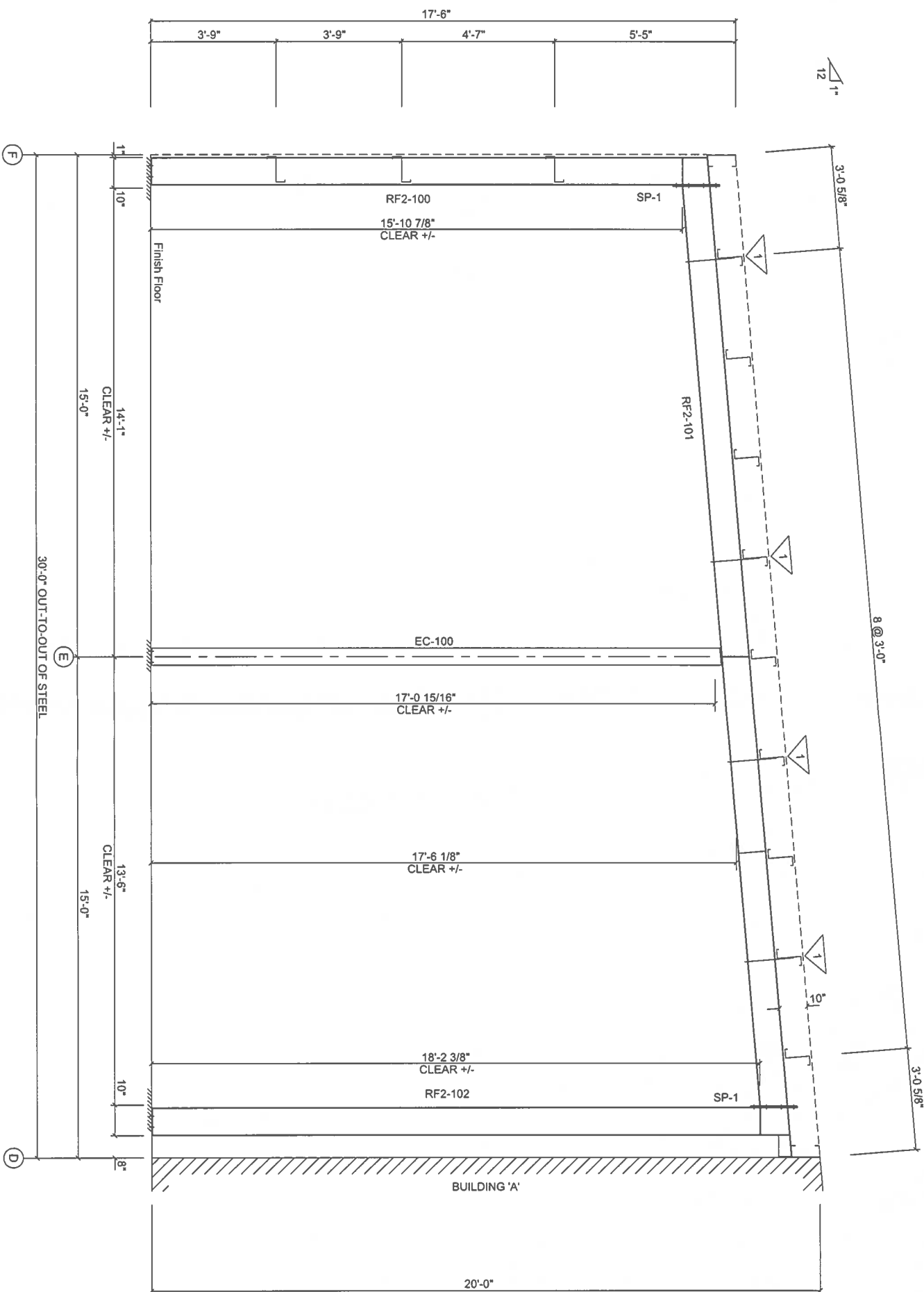
| | |
|--------------|--|
| Drawing | CROSS SECTION |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | CHECK |
| DUAP | JGU |
| 09/10/24 | 09/10/24 |
| ORDER NO. | B3024694 |
| CS4 | CS5 |

- REFERENCE NOTES:
1. Snug Tight: Snug Tightened Joints are used. See General Information Snug Tight Sheet for bolt tightening information.
 2. Storage: Fastener components shall be protected from dirt and moisture in closed containers at the site of installation. Only as many fastener components as are anticipated to be installed during the work shift shall be taken from protected storage. Fastener components that are not incorporated into the work shall be returned to protected storage at the end of the work shift.
 3. Bolt and Nut Specifications: Bolts are high strength bolts conforming to ASTM F3125 Grade A325 or Grade A490. Nuts are high strength nuts conforming to ASTM A194 Grade 2 or 2H or ASTM A563 Grade C, D, or DH nut specifications. Substitution of mild steel bolts or nuts is not allowed and any field substitution will void the design warranty.
 4. Eave Height: Eave height dimension is not always to the top of the eave strut. Due to thermal block situations, eave height dimension and top girt space dimension may be to the intersection of the top of the purlins. Refer to the eave details for more information.

| SPICE BOLT TABLE | | | | CAP PLATE BOLTS | | | | | | |
|------------------|-----|---------|----------|-----------------|--------|--------|-----|------|------|--------|
| Mark | Qty | Top Bol | Int Type | Dia | Length | Mark | Qty | Type | Dia | Length |
| SP-1 | 4 | 4 | 0 | A325 | 5/8" | EC-100 | 4 | A325 | 5/8" | 1 1/2" |

| MEMBER TABLE | | | | | | | | | |
|--------------|--------|-------------|-----------|-----------|-------------|------------------------|------------------------|------------------------|------------------------|
| Mark | Weight | Length | Web Depth | Web Plate | Web Plate | Web Plate | Web Plate | Web Plate | Web Plate |
| RF2-100 | 257 | 16'-8 1/16" | 9.5/9.5 | 0.125 | 16'-8 1/4" | 1/4" x 6 x 16'-7 7/16" | 1/4" x 6 x 15'-7 1/8" | 1/4" x 6 x 15'-7 1/8" | 1/4" x 6 x 15'-7 1/8" |
| RF2-101 | 437 | 27'-7 7/8" | 9.5/9.5 | 0.125 | 20'-0" | 1/4" x 6 x 27'-7 1/8" | 1/4" x 6 x 27'-7 1/8" | 1/4" x 6 x 27'-7 1/8" | 1/4" x 6 x 27'-7 1/8" |
| RF2-102 | 296 | 19'-1 5/16" | 9.5/9.5 | 0.125 | 19'-0 5/8" | 1/4" x 6 x 19'-0 5/8" | 1/4" x 6 x 17'-10 5/8" | 1/4" x 6 x 17'-10 5/8" | 1/4" x 6 x 17'-10 5/8" |
| EC-100 | 254 | 17'-1 3/16" | 9.5/9.5 | 0.125 | 17'-1 3/16" | 1/4" x 6 x 17'-1 3/16" | 1/4" x 6 x 17'-1 3/16" | 1/4" x 6 x 17'-1 3/16" | 1/4" x 6 x 17'-1 3/16" |

| FLANGE BRACE TABLE | | | | |
|--------------------|---------|------------|-------------|--------------|
| FRAME LINE | | 2 | | |
| △ ID | # SIDES | BRACE MARK | BRACE DIST. | BRACE DETAIL |
| 1 | 1 | FB100 | 1'-0" | 1-1 |



CROSS SECTION: FRAME LINE 2

TO BE
USED FOR
CONSTRUCTION

BUILDING 'B'

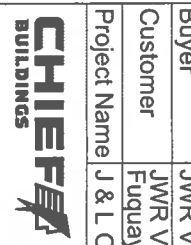
REVISIONS

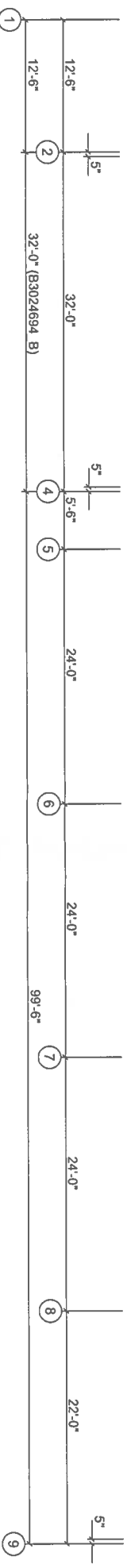
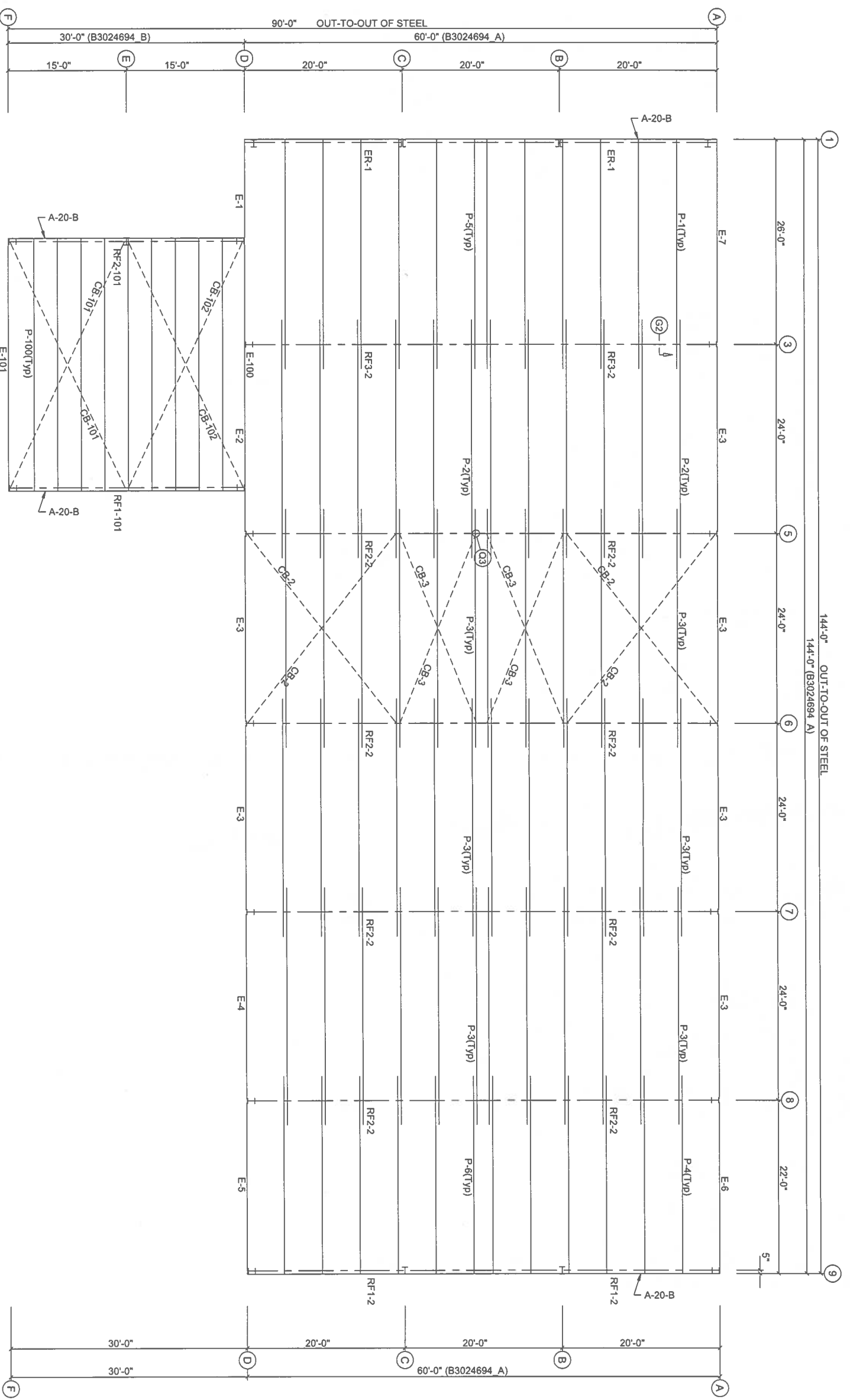
| NO. | DESCRIPTION | DATE |
|-----|---|------------|
| 1 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as 'The Engineer' of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. | 09/09/2024 |
| 2 | Chief Buildings, 11515 6th St., Charlotte, NC 28226 (800) 580-7269, cbs@chiefbuildings.com | |
| 3 | | |
| 4 | | |

CROSS SECTION

| | | | |
|--------------|--|-----------|----------|
| Drawing | CROSS SECTION | ORDER NO. | B3024694 |
| Buyer | JWR Ventures, LLC | CHECK | JGU |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 | DATE | 09/10/24 |
| Project Name | J & L Office | DATE | 09/10/24 |
| Project Name | J & L Office | DATE | 09/10/24 |

- REFERENCE NOTES:
1. Snug Tight: Snug Tightened Joints are used. See General Information Snug Tight Sheet for bolt tightening information.
 2. Storage: Fastener components shall be protected from dirt and moisture in closed containers at the site of installation. Only as many fastener components as are anticipated to be installed during the work shift shall be taken from protected storage. Fastener components that are not incorporated into the work shall be returned to protected storage at the end of the work shift.
 3. Bolt and Nut Specifications: Bolts are high strength bolts conforming to ASTM F3125 Grade A325 or Grade A490. Nuts are high strength nuts conforming to ASTM A194 Grade 2 or 2H or ASTM A563 Grade C, D, or DH nut specifications. Substitution of mild steel bolts or nuts is not allowed and any field substitution will void the design warranty.
 4. Eave Height: Eave height dimension is not always to the top of the eave strut. Due to thermal block situations, eave height dimension and top girt space dimension may be to the intersection of the top of the purlins. Refer to the eave details for more information.





ROOF FRAMING PLAN

PURLIN DEPTH: 8.00

**TO BE
USED FOR
CONSTRUCTION**

REVISIONS

| NO. | DESCRIPTION |
|-----|--------------|
| 1 | As per notes |
| 2 | As per notes |
| 3 | As per notes |
| 4 | As per notes |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

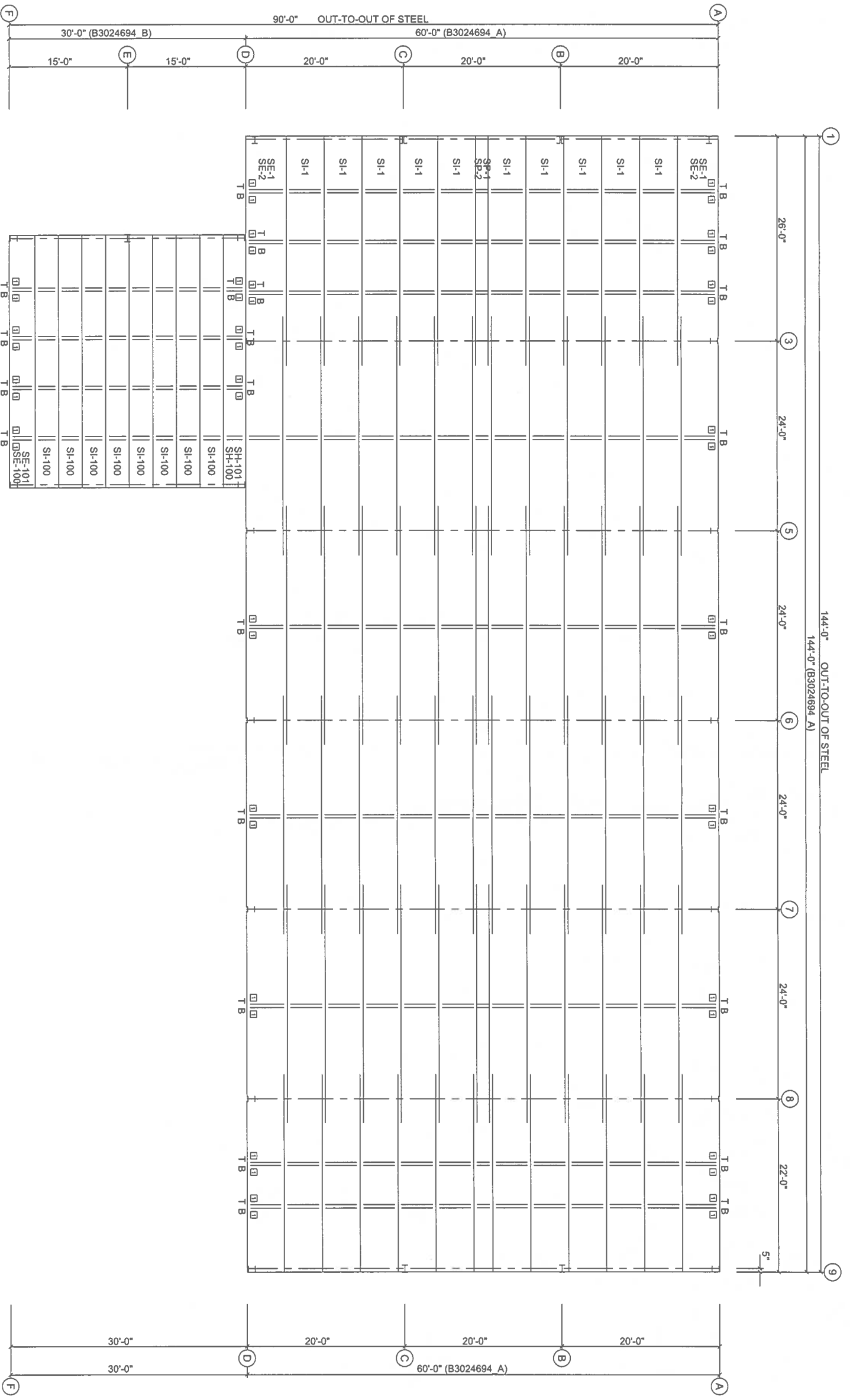
Chief Buildings
 2078 General Island, NE 68602-2078
 (402) 583-2525 cb@chiefbuild.com



| | |
|--------------|--|
| Drawing | ROOF FRAMING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Drawn | DJAP |
| Check | JGJ |
| Order No. | B3024694 |
| Drawn Date | 09/10/24 |
| Check Date | 09/10/24 |
| RF1 | RF1 |
| RF2 | RF2 |

REFERENCE NOTES:
 SAG ANGLE NOMENCLATURE
 • "T" = TOP SAG ANGLE ROW.
 • "B" = BOTTOM SAG ANGLE ROW.

| CONNECTION PLATES | | |
|-------------------|------|-----------|
| ID | QUAN | MARK/PART |
| 1 | 48 | XB C1 |



ROOF FRAMING PLAN

PURLIN DEPTH: 8.00

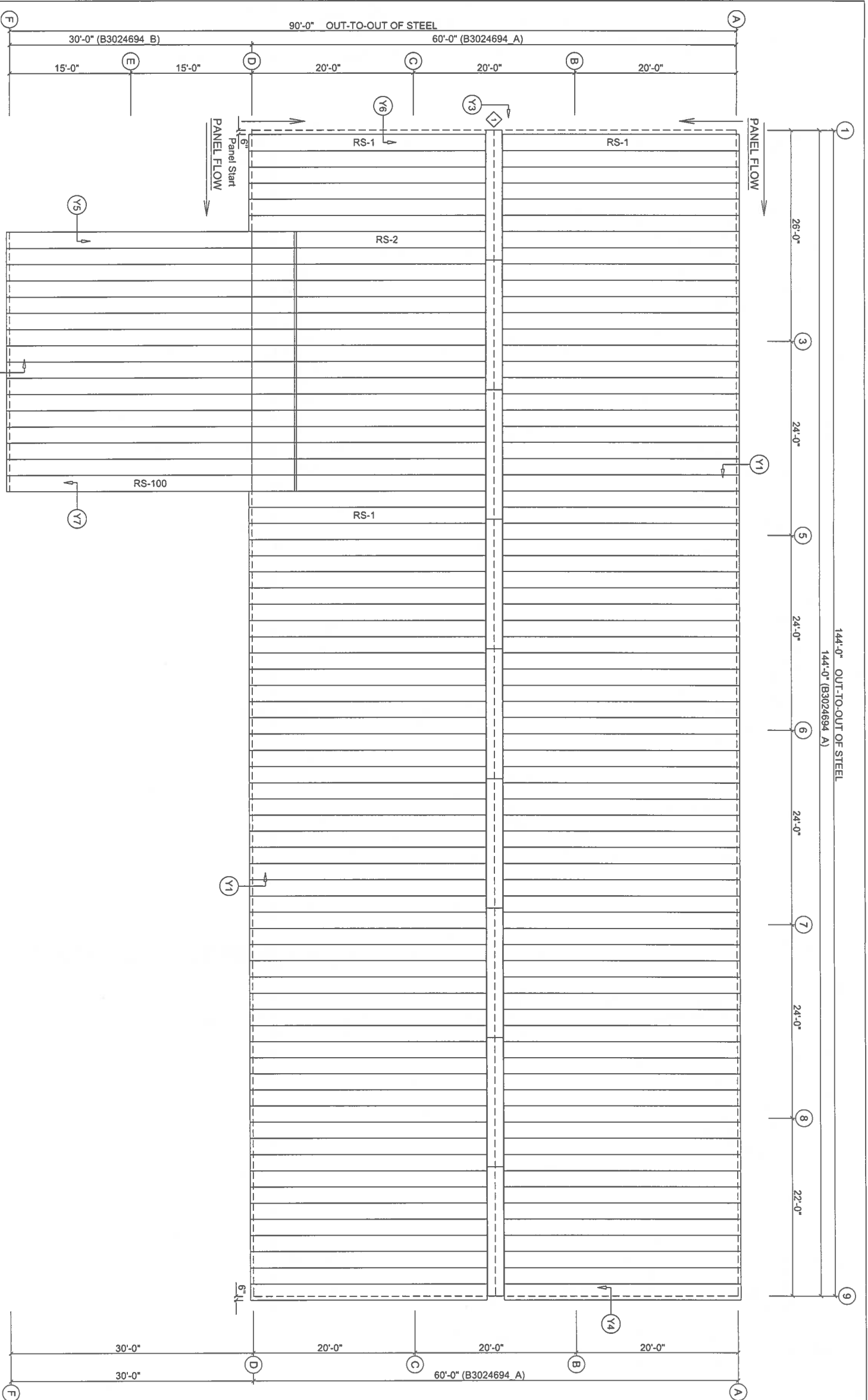
REVISIONS

| NO. | DESCRIPTION |
|-----|---|
| 1 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
| 2 | Chief Buildings P.O. Box 2078, Grand Island, NE 68802-2078 (402) 545-1589 chiefbuildings.com |
| 3 | |
| 4 | |



| | |
|--------------|--|
| Drawing | ROOF FRAMING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Drawn | DJAP |
| Checked | JGU |
| Order No. | B3024694 |
| RF2 | RF2 |

REFERENCE NOTES:
SAG ANGLE NOMENCLATURE
• 'T' = TOP SAG ANGLE ROW.
• 'B' = BOTTOM SAG ANGLE ROW.



| TRIM TABLE | | | | |
|-------------|--------|------------|-------|--------|
| ROOF PLAN | | | | |
| QID | QUAN. | PART | COLOR | LENGTH |
| 1 | 9 | RCL 16A | GM | 206" |
| PANEL TABLE | | | | |
| QUAN | MARK | LENGTH | | |
| 130 | RS-1 | 361 11/16" | | |
| 16 | RS-2 | 294" | | |
| B3024694 B | | | | |
| 16 | RS-100 | 432" | | |

**TO BE
USED FOR
CONSTRUCTION**

- Reference Note (Building 'B'):**
Roof Panel system is based on the following
- 1) MSC High system (Clip offset = 1 3/8" - Bottom of roof panel to top of purlin)
 - 2) A clip MUST be installed on ALL purlins unless noted otherwise.
 - 3) (2) 1/4" x 1" fasteners per clip unless otherwise noted.
 - 4) 1 3/8" Pre-Glued Thermal Spacers

- Roof panel modularity must be maintained during installation in order to assure coverage with the panels supplied.
- Reference Note (Building 'A'):**
Roof Panel system is based on the following
- 1) MSC High system (Clip offset = 1 3/8" - Bottom of roof panel to top of purlin)
 - 2) A clip MUST be installed on ALL purlins unless noted otherwise.
 - 3) (2) 1/4" x 1" fasteners per clip unless otherwise noted.
 - 4) 1" Thermal Spacers

Roof panel modularity must be maintained during installation in order to assure coverage with the panels supplied.

ROOF PANEL PLAN

PANELS: 24 Ga. MSC - Galvalume (GM)

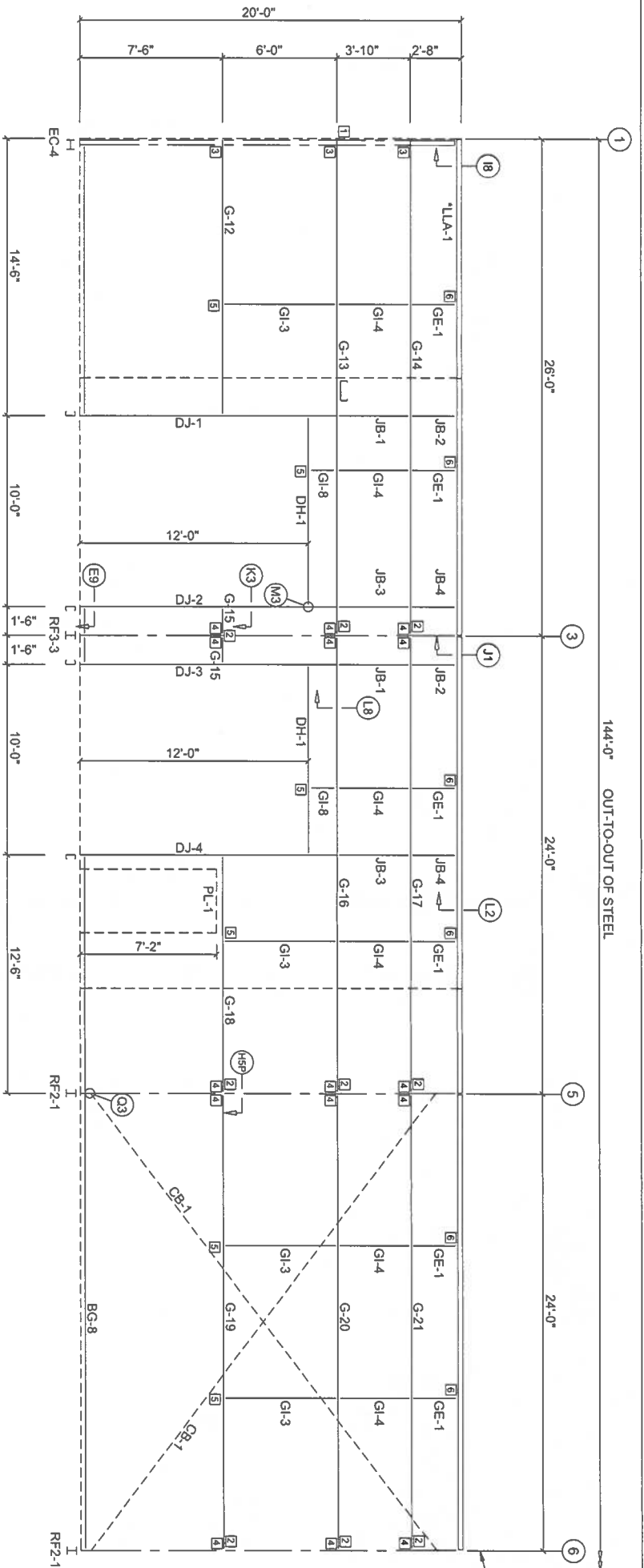
REVISIONS

| NO. | DESCRIPTION |
|-----|---|
| 1 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
| 2 | |
| 3 | |
| 4 | |



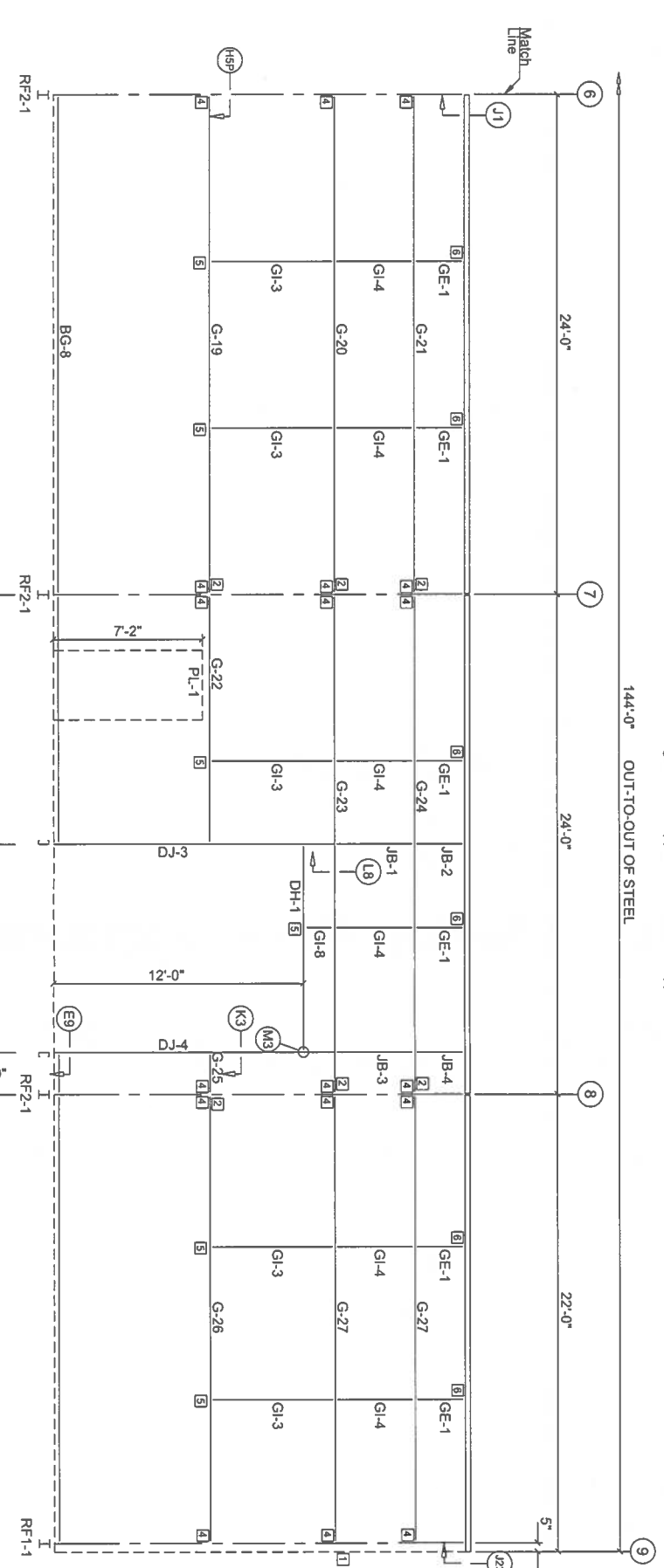
| | |
|------------------|--|
| Drawing | ROOF PANEL |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| CHIEFF BUILDINGS | 09/10/24 |
| ORDER NO. | B3024694 |
| RP1 | RP1 |

- Flange Brace/Sag Angles Details
- Typical Project Details
- Steel Specific Info. (X#-labels)
- Panel Specific Info. (Y#-labels)
- Mezzanine Info. (Z#-labels)
- Panel/Trim Details
- Opening Flashing Details



SIDEWALL FRAMING: FRAME LINE D

Note: Angles marked (*) are for insulation support.



BUILDING 'A'
SIDEWALL FRAMING: FRAME LINE D

GIRT DEPTH: 8.00

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | As Issued |
| 2 | |
| 3 | |
| 4 | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

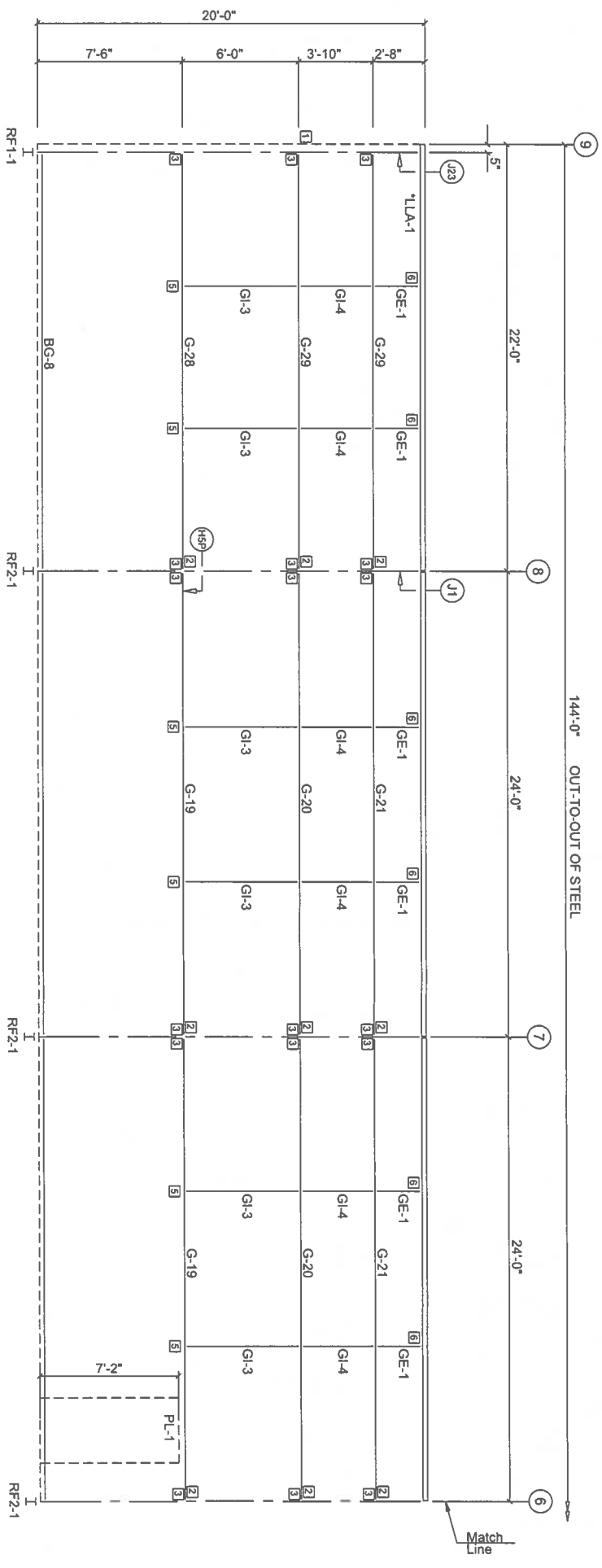


| | |
|--------------|--|
| Drawing | SIDEWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DIAP |
| CHECK | JGU |
| ORDER NO. | B3024694 |
| | S1 |
| | S6 |

CONNECTION PLATES

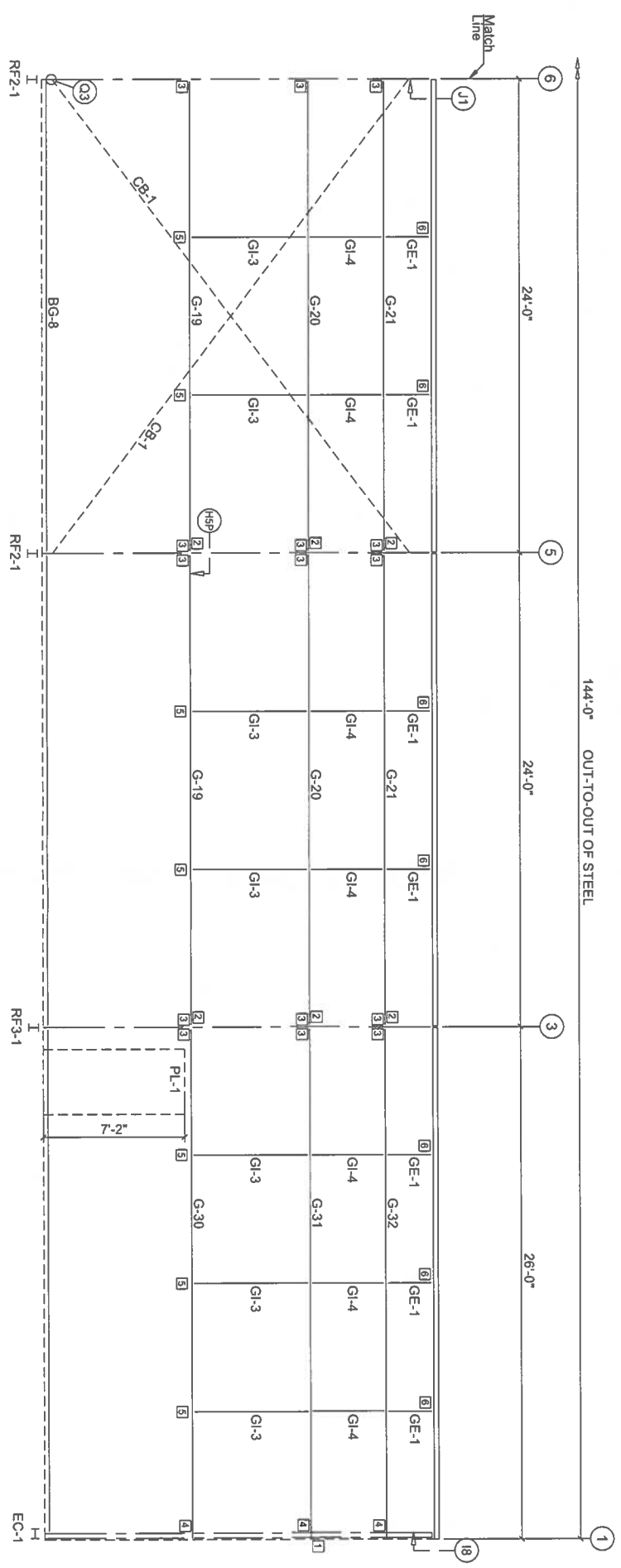
| FRAME LINE D | QUANTITY | MARK/PART |
|--------------|----------|-----------|
| 1 | 2 | XGA24 |
| 2 | 15 | XGA18 |
| 3 | 3 | XBC97 |
| 4 | 33 | XBC74 |
| 5 | 12 | XBC1 |
| 6 | 12 | XBC65 |

- Flange Brace/Sag Angles Details
- Typical Project Details
- Steel Specific Info. (X#-labels)
- Panel Specific Info. (Y#-labels)
- Mezzanine Info. (Z#-labels)
- Panel/Trim Details
- Opening Flashing Details



| FRAME LINE A | CONNECTION PLATES | |
|--------------|-------------------|-----------|
| ID | QUAN | MARK/PART |
| 1 | 2 | XGA24 |
| 2 | 15 | XGA18 |
| 3 | 33 | XBC74 |
| 4 | 3 | XBC87 |
| 5 | 13 | XBC1 |
| 6 | 13 | XBC55 |

SIDEWALL FRAMING: FRAME LINE A
 Note : Angles marked (*) are for insulation support



**TO BE
 USED FOR
 CONSTRUCTION**

BUILDING 'A'
SIDEWALL FRAMING: FRAME LINE A

GIRT DEPTH: 8.00

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

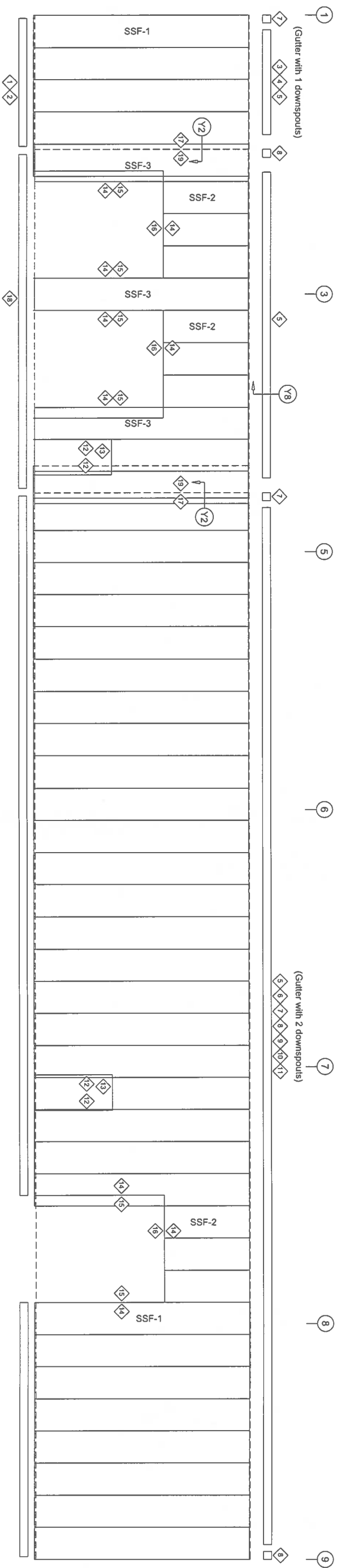
Chief Buildings
 207 S. Grand Avenue, NE 88802-2078
 (404) 525-7255 cb@chiefbuildings.com



| | |
|--------------|--|
| Drawing | SIDEWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Drawn | DAJP |
| Checked | JGJ |
| Order No. | B3024694 |
| Scale | S2 |

S6

- Details Order (D# Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-labels)
 - Panel Specific Info. (Y#-labels)
 - Mezzanine Info. (Z#-labels)
 - Panel/Trim Details
 - Opening Flashing Details



SIDEWALL PANEL & TRIM: FRAME LINE D

PANELS: 26 Ga. AP - Ash Gray (AG)
 Note : Trim expansion joints are required for every 119'-0" of run

| TRIM TABLE | | | | | |
|------------|-----|--------|------|-----------|--------|
| LINE: D | XID | QUAN. | MARK | COLOR | LENGTH |
| 1 | 6 | BTN6A | CG | 206" | |
| 2 | 3 | BTN6B | CG | 146" | |
| 3 | 1 | EGM16A | CG | 206" | |
| 4 | 7 | GSM6A | GM | 12 13/16" | |
| 5 | 3 | TCM6A | CG | 206" | |
| 6 | 7 | GRS6 | CG | 10" | |
| 7 | 3 | ECLM16 | CG | 8 3/4" | |
| 8 | 3 | ECRM18 | CG | 8 3/4" | |
| 9 | 6 | EGM16A | CG | 206" | |
| 10 | 57 | GSM6A | GM | 12 13/16" | |
| 11 | 11 | TCM6A | CG | 206" | |
| 12 | 4 | JTA6C | CG | 90" | |
| 13 | 2 | HTT6D | CG | 52" | |
| 14 | 9 | DT86B | CG | 146" | |
| 15 | 9 | JTA6B | CG | 146" | |
| 16 | 3 | HTT6B | CG | 146" | |
| 17 | 4 | ICT6B | CG | 146" | |
| 18 | 1 | BT6A | CG | 206" | |
| 19 | 4 | JT6A | CG | 206" | |

| PANEL TABLE | | | |
|--------------|-------|-------|----------|
| FRAME LINE D | QUAN. | MARK | LENGTH |
| SSF-1 | 37 | SSF-1 | 240 1/2" |
| SSF-2 | 9 | SSF-2 | 95" |
| SSF-3 | 5 | SSF-3 | 239" |

**TO BE
USED FOR
CONSTRUCTION**

BUILDING 'A'

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
 1000 S. 207th, Grand Island, NE 68802-2078
 (402) 553-7259 c@chiefbuildings.com



| | |
|--------------|--|
| Drawing | SIDEWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Project No. | |
| Drawn | DJAP |
| Checked | JGU |
| Order No. | B3024694 |
| Scale | S3 |
| Sheet No. | S6 |

NOTE: Building "A", Column Line "D" -
 (3) Downspout drops provided for this wall
 Each drop consists of:
 (2) 12"-0" Downspout(s) (1) "A" Elbow(s)

NOTE: Using standard gutter and downspouts, locate downspouts at a spacing not to exceed 74.2 ft with first downspout within 37.1 ft from ends of gutter. This spacing is based on rainfall intensity of 6.5 inches per hour and MBMA Metal Building Systems Manual Appendix A4.2.

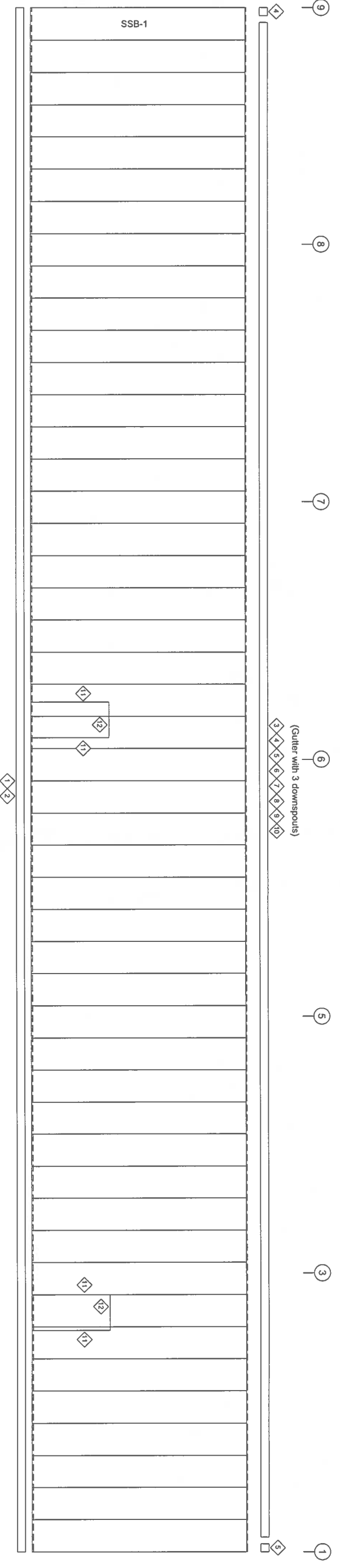
GENERAL NOTES:
 1. All items to receive a 2" lip unless otherwise noted.

7/20/24 11:42am

- Details Order (D# Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-labels)
 - Panel Specific Info. (Y#-labels)
 - Mezzanine Info. (Z#-labels)
 - Panel/Trim Details
 - Opening Flashing Details

| TRIM TABLE | | | | | |
|------------|-----|-------|--------|-------|------------|
| LINE: A | CID | QUAN. | MARK | COLOR | LENGTH |
| 1 | 1 | 1 | BTN6B | CG | 146" |
| 2 | 8 | 1 | BTN6A | CG | 206" |
| 3 | 1 | 1 | GRS6 | CG | 10" |
| 4 | 2 | 2 | ECLM16 | CG | 8 3/4" |
| 5 | 2 | 2 | ECRM16 | CG | 8 3/4" |
| 6 | 1 | 8 | EGM16B | CG | 146" |
| 7 | 8 | 2 | EGM16A | CG | 206" |
| 8 | 72 | 1 | GSWA | GM | 12' 13/16" |
| 9 | 1 | 1 | TCM6A | CG | 146" |
| 10 | 8 | 1 | TCM6A | CG | 206" |
| 11 | 4 | 4 | JTA6C | CG | 90" |
| 12 | 2 | 2 | HTT6D | CG | 52" |

| PANEL TABLE | | | |
|--------------|-------|----------|--|
| FRAME LINE A | MARK | LENGTH | |
| 48 | SSB-1 | 240 1/2" | |



SIDEWALL PANEL & TRIM: FRAME LINE A

PANELS: 26 Ga. AP - Ash Gray (AG)
 Note: Trim expansion joints are required for every 119'-0" of run

**TO BE
 USED FOR
 CONSTRUCTION**

BUILDING 'A'

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|---|------------|
| 1 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. | 09/09/2024 |
| 2 | Chief Buildings PO Box 20776, Grand Island, NE 68802-2078 (402) 583-7439 cb@chiefbuild.com | |
| 3 | | |
| 4 | | |

NOTE: Building "A" - Column Line "A"
 (3) Downspout drops provided for this wall
 Each drop consists of:
 (2) 12'-0" Downspout(s) (1) "A" Elbow(s)

NOTE: Using standard gutter and downspouts, locate downspouts at a spacing not to exceed 74.2 ft with first downspout within 37.1 ft from ends of gutter. This spacing is based on rainfall intensity of 6.5 inches per hour and MBMA Metal Building Systems Manual Appendix A4.2.

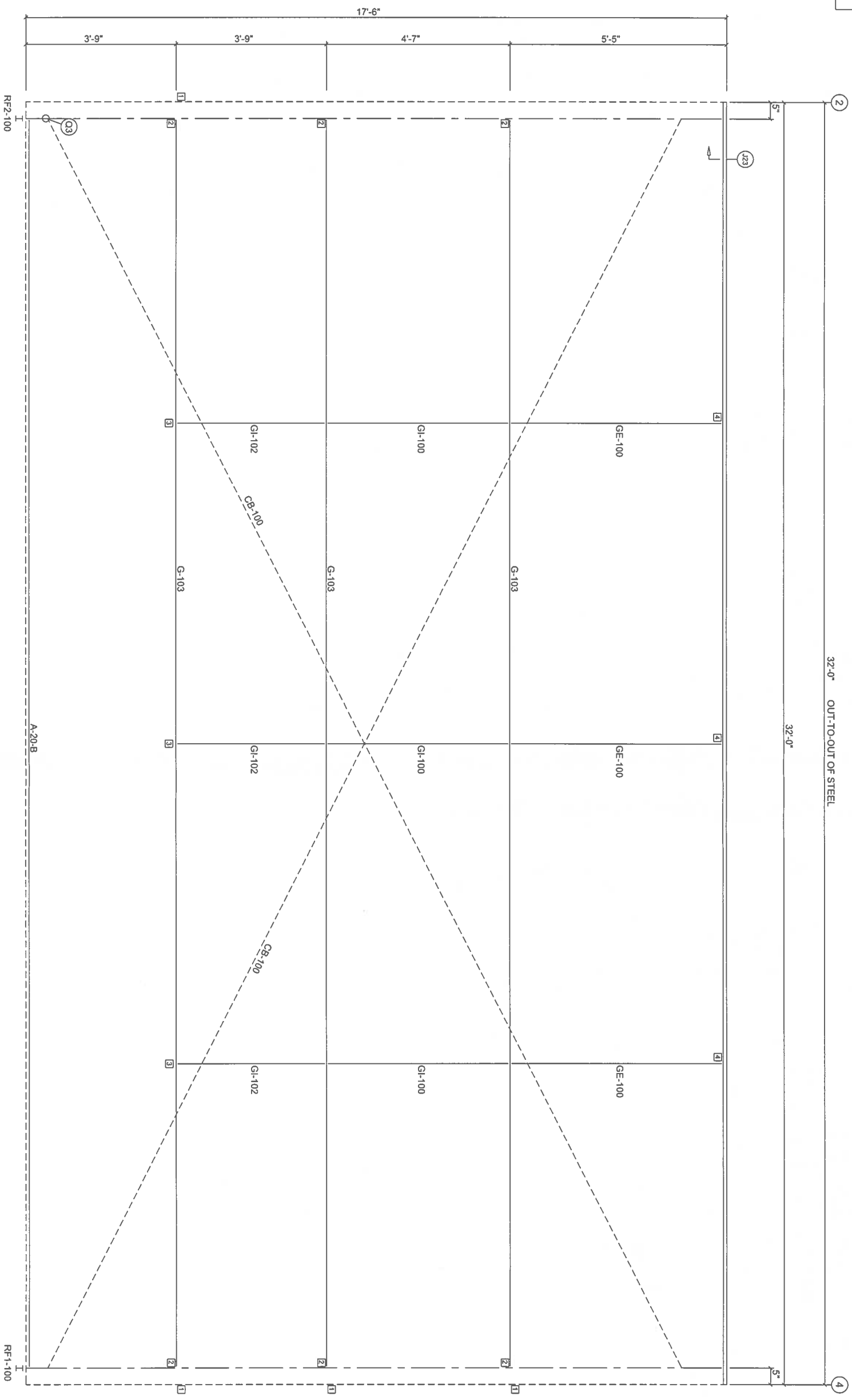
GENERAL NOTES:
 1. All items to receive a 2' lap unless otherwise noted.



| | |
|--------------|--|
| Drawing | SIDEWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | CHECK |
| DJAP | JGJ |
| 09/10/24 | 09/10/24 |
| ORDER NO. | B3024694 |
| S4 | S6 |

- Flange Brace/Sag Angles Details
- Typical Project Details
- Steel Specific Info, (X#-labels)
- Panel Specific Info, (Y#-labels)
- Mezzanine Info, (Z#-labels)
- Panel/Trim Details
- Opening Flashing Details

| CONNECTION PLATES | | |
|-------------------|-------|-------|
| FRAME LINE | MARK | PART |
| 1 | XGA24 | XBC24 |
| 2 | XBC74 | XBC74 |
| 3 | XBC1 | XBC1 |
| 4 | XBC65 | XBC65 |



BUILDING 'B'

SIDEWALL FRAMING: FRAME LINE F

GIRT DEPTH: 10.00

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

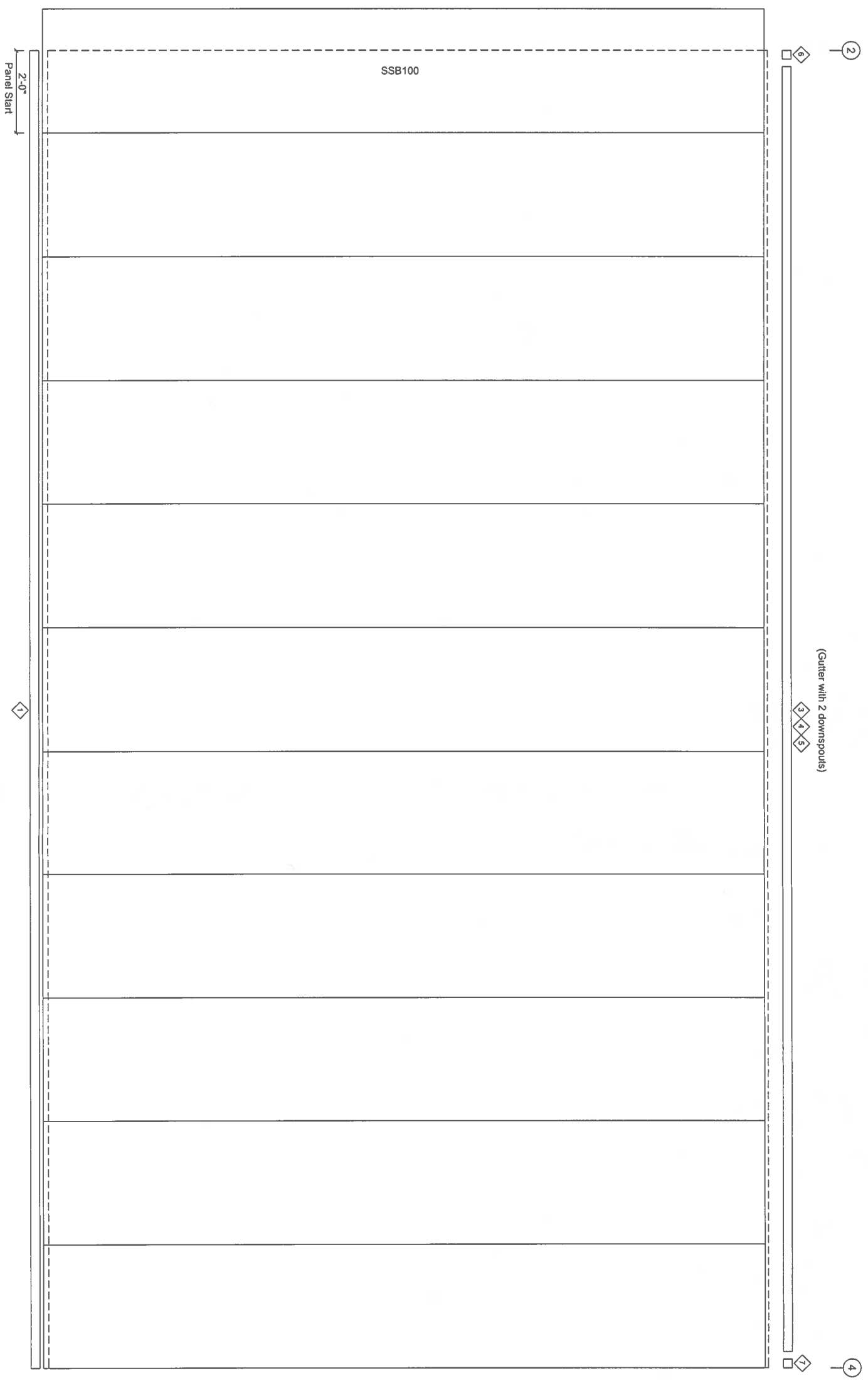
Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as 'The Engineer' of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
 11.35am
 72024
 CO Box 2074, Grand Haven, MI 49424
 (616) 959-7459 cb@chiefbuild.com



| | |
|--------------|--|
| Drawing | SIDEWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGJ |
| ORDER NO. | B3024694 |
| | S5 |
| | S6 |

- Details Order (D# Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-labels)
 - Panel Specific Info. (Y#-labels)
 - Mezzanine Info. (Z#-labels)
 - Panel/Trim Details
 - Opening Flashing Details



(Gutter with 2 downsouts)

| TRIM TABLE | | | | | |
|------------|-----|-------|--------|-------|-----------|
| LINE: F | Q/D | QUAN. | MARK | COLOR | LENGTH |
| 1 | 2 | | BTM6A | CG | 206" |
| 3 | 2 | | EGM16A | CG | 206" |
| 4 | 16 | | GSMMA | GM | 12 13/16" |
| 5 | 2 | | TCM6A | CG | 206" |
| 6 | 1 | | ECLM16 | CG | 8 3/4" |
| 7 | 1 | | ECSM16 | CG | 8 3/4" |

| PANEL TABLE | | | |
|---------------|-------|--------|----------|
| FRAME LINE: F | QUAN. | MARK | LENGTH |
| 11 | | SSB100 | 210 1/2" |

SIDEWALL PANEL & TRIM: FRAME LINE F

PANELS: 26 Ga. AP - Ash Gray (AG)

BUILDING 'B'

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|---|
| 1 | 09/09/2024 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer's responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
| 2 | | |
| 3 | | |
| 4 | | |

TO BE USED FOR CONSTRUCTION

GENERAL NOTES:
1. All items to receive a 2" lap unless otherwise noted.

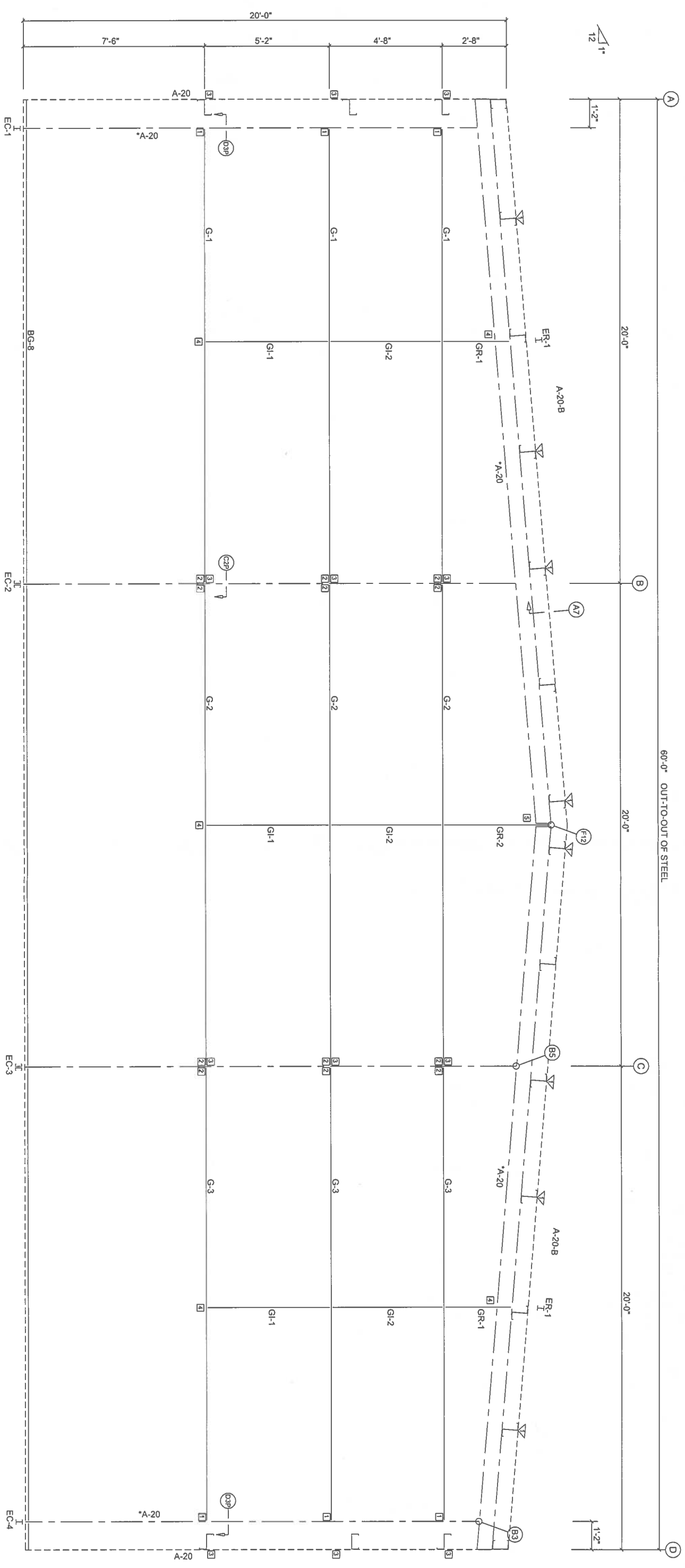
NOTE: Building "B", Column Line "F"
(STANDARD GUTTER) (SINGLE DOWNSPOUT DROP)
(2) Downsout drops provided for this wall
Each drop consists of:
(2) 12'-0" Downsout(s) (1) "A" Elbow(s)

NOTE: Using standard gutter and downsouts, locate downsouts at a spacing not to exceed 43.5 ft with first downsout within 21.8 ft from ends of gutter. This spacing is based on rainfall intensity of 6.5 inches per hour and MBMA Metal Building Systems Manual Appendix A4.2.



| | |
|--------------|--|
| Drawing | SIDEWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | CHECK |
| DUAP | JGJ |
| 09/10/24 | 09/10/24 |
| ORDER NO. | B3024694 |
| S6 | S6 |

- Details Order (D#) Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-labels)
 - Panel Specific Info. (Y#-labels)
 - Mezzanine Info. (Z#-labels)
 - Panel/Trim Details
 - Opening Flashing Details



ENDWALL FRAMING: FRAME LINE 1
 Note : Angles marked (*) are for insulation support

TO BE
 USED FOR
 CONSTRUCTION

BUILDING 'A'

GIRT DEPTH: 8.00

BOLT TABLE

| FRAME LINE 1 | LOCATION | QUAN | TYPE | DIA | LENGTH |
|--------------|-------------|------|------|------|--------|
| ER-1/ER-1 | Columns/Ref | 8 | A325 | 5/8" | 2" |
| | | 4 | A325 | 1/2" | 1 1/4" |

FLANGE BRACE TABLE

| FRAME LINE 1 | # | BRACE MARK | DIST. | DETAIL | CLIP 1 | CLIP 2 | PART |
|--------------|---|------------|-------|--------|--------|--------|----------|
| | 1 | F8-1 | 1'-0" | 1-4 | XSS11 | | L15151/8 |

CONNECTION PLATES

| FRAME LINE 1 | ID | QUAN | MARK/PART |
|--------------|----|------|-----------|
| | 1 | 6 | XBC74 |
| | 2 | 12 | XBC94 |
| | 3 | 12 | XGA18 |
| | 4 | 5 | XBC1 |
| | 5 | 1 | XBC91 |

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
 1144mm
 72024
 (540) 589-7589 CB@chiefbuild.com

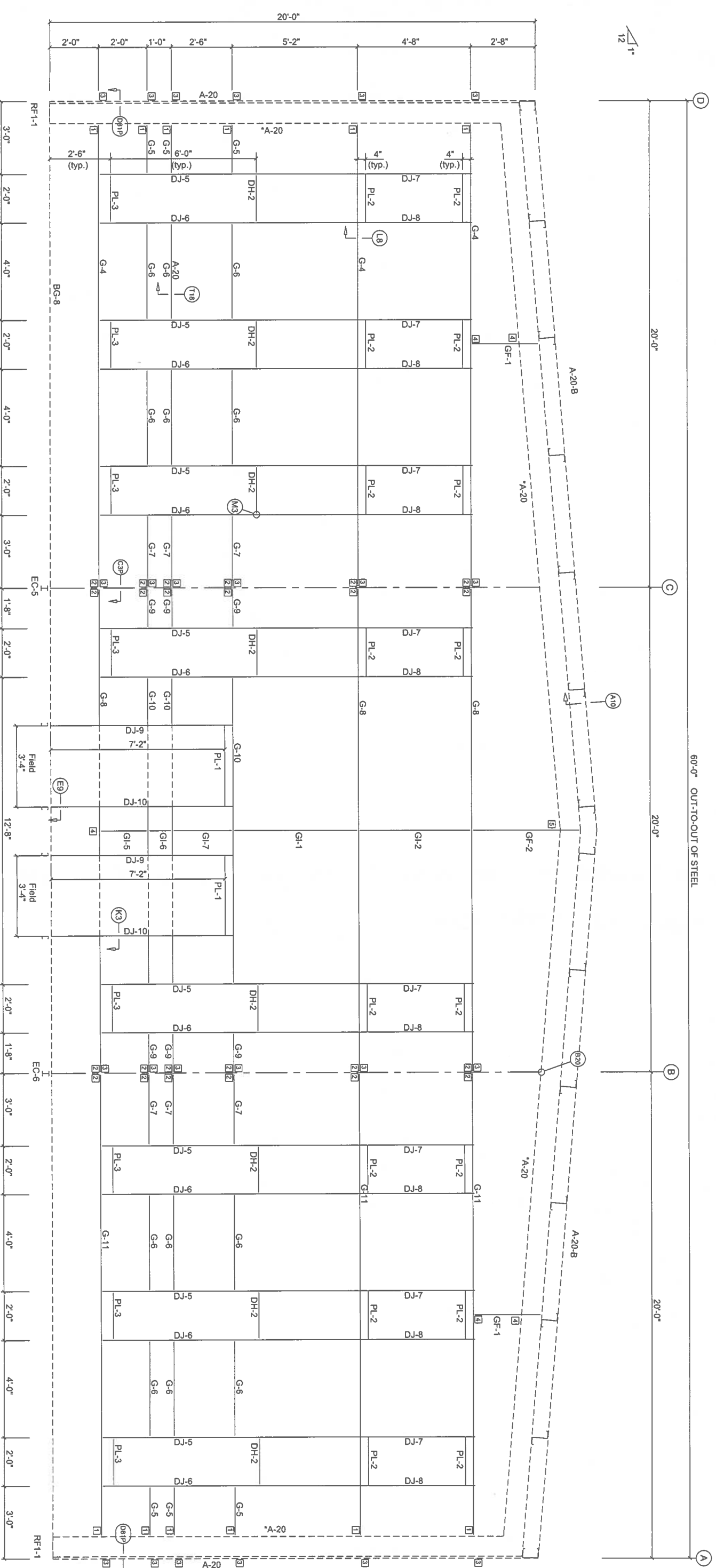


| | |
|--------------|--|
| Drawing | ENDWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGI |
| ORDER NO. | B3024694 |
| | E1 |
| | E8 |

- Flange Brace/Sag Angles Details
- Typical Project Details
- Steel Specific Info. (X#-labels)
- Panel Specific Info. (Y#-labels)
- Mezzanine Info. (Z#-labels)
- Panel/Trim Details
- Opening Flashing Details

TO BE USED FOR CONSTRUCTION

| BOLT TABLE | | QUAN | TYPE | DIA | LENGTH |
|-------------------|------|-----------|------|------|--------|
| FRAME LINE 9 | | 4 | A325 | 5/8" | 1 1/2" |
| LOCATION | | | | | |
| Columns/Raft | | | | | |
| CONNECTION PLATES | | | | | |
| ID | QUAN | MARK/PART | | | |
| 1 | 12 | XBC3 | | | |
| 2 | 24 | XBC7/4 | | | |
| 3 | 24 | XGA18 | | | |
| 4 | 5 | XBC1 | | | |
| 5 | 1 | XBC91 | | | |



ENDWALL FRAMING: FRAME LINE 9

Note : Angles marked (*) are for insulation support

BUILDING 'A'

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

GIRT DEPTH: 8.00

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as 'The Engineer' of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

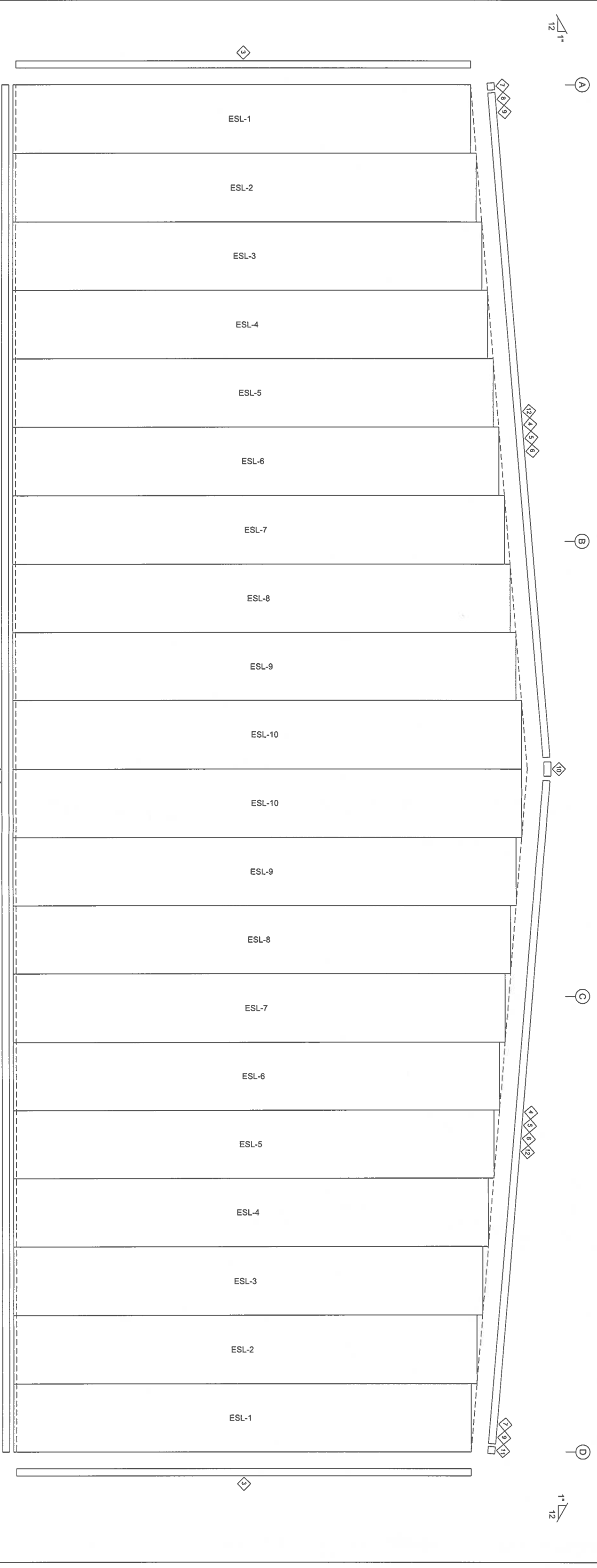


| | |
|--------------|--|
| Drawing | ENDWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGJ |
| ORDER NO. | B3024694 |
| | E2 |
| | E8 |

- Details Order (D# Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-labels)
 - Panel Specific Info. (Y#-labels)
 - Mezzanine Info. (Z#-labels)
 - Panel/Trim Details
 - Opening Flashing Details

| PANEL TABLE | | | |
|-------------|--------|----------|--|
| QUAN | MARK | LENGTH | |
| 2 | ESL-1 | 241 1/2" | |
| 2 | ESL-2 | 244 1/2" | |
| 2 | ESL-3 | 247 1/2" | |
| 2 | ESL-4 | 250 1/2" | |
| 2 | ESL-5 | 253 1/2" | |
| 2 | ESL-6 | 256 1/2" | |
| 2 | ESL-7 | 259 1/2" | |
| 2 | ESL-8 | 262 1/2" | |
| 2 | ESL-9 | 265 1/2" | |
| 2 | ESL-10 | 268 1/2" | |

| TRIM TABLE | | | | |
|------------|-------|--------|-------|-----------|
| QID | QUAN. | MARK | COLOR | LENGTH |
| 1 | 1 | BTNB6 | CG | 146" |
| 2 | 3 | BTNB6 | CG | 206" |
| 3 | 4 | CTM6A | CG | 146" |
| 4 | 4 | CTM6A | CG | 206" |
| 5 | 4 | GET6A | CG | 206" |
| 6 | 8 | GTS6A | PW | 30" |
| 7 | 2 | GCTM6 | CG | 13" |
| 8 | 1 | GCTM6 | CG | 11" |
| 9 | 1 | TPLM6 | CG | 30" |
| 10 | 4 | GTS6A | PW | 30" |
| 11 | 1 | GRTM6 | CG | 22 1/2" |
| 12 | 4 | GRTM6 | CG | 11" |
| | | GTMM6A | CG | 10 13/16" |



ENDWALL PANEL & TRIM: FRAME LINE 1
PANELS: 26 Ga. AP - Ash Gray (AG)

BUILDING 'A'

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

TO BE USED FOR CONSTRUCTION

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(402) 585-7289 www.chiefbuildings.com

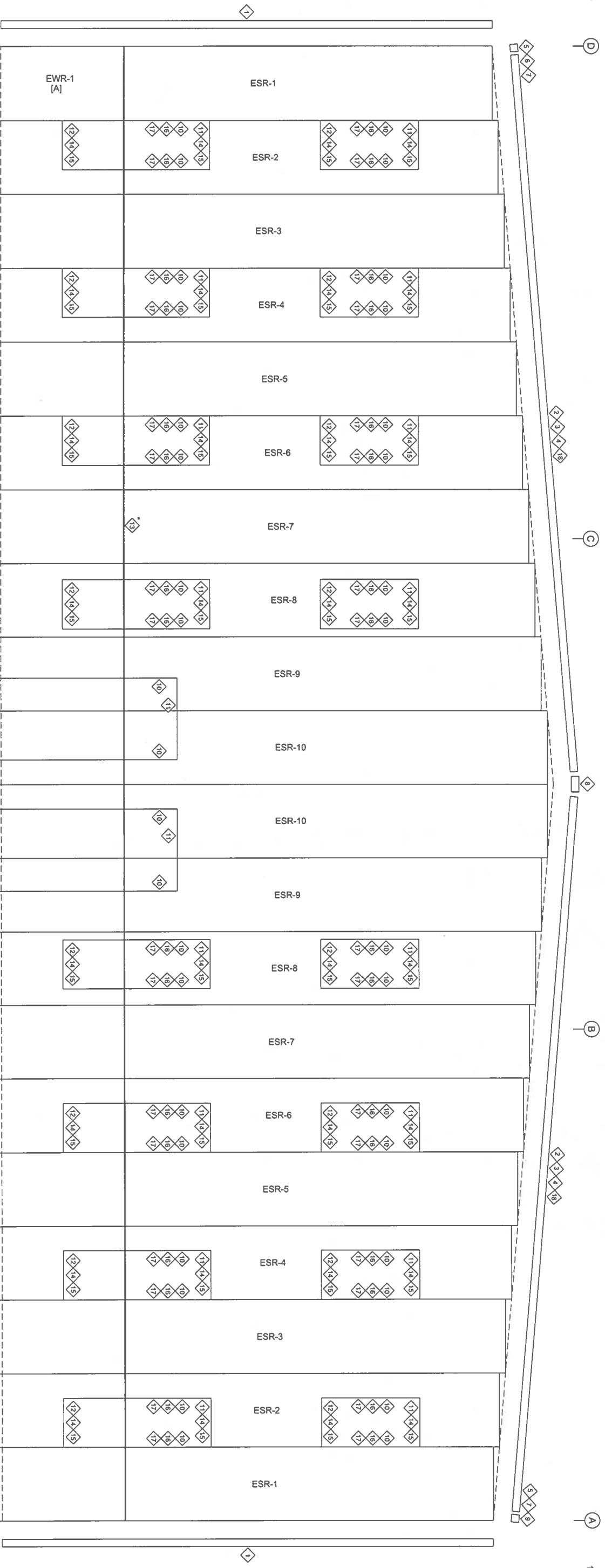


| | |
|--------------|--|
| Drawing | ENDWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Drawn | DJAP |
| Checked | JSL |
| Order No. | B3024694 |
| Scale | E3 |

GENERAL NOTES:
1. All items to receive a 2" lap unless otherwise noted.

- Flange Bracket/Sag Angles Details
- Typical Project Details
- Steel Specific Info, (X#-Labels)
- Panel Specific Info, (Y#-Labels)
- Mezzanine Info, (Z#-Labels)
- Panel/Trim Details
- Opening Flashing Details

| PANEL TABLE | | | | TRIM TABLE | | | | |
|-------------|------|--------|------------|------------|------|--------|-------|---------|
| FRAME LINE | QUAN | MARK | LENGTH | LINE: 9 | QUAN | MARK | COLOR | LENGTH |
| ESR-1 | 2 | ESR-1 | 179 13/16" | 1 | 4 | CTA6B | CG | 146" |
| ESR-2 | 2 | ESR-2 | 182 13/16" | 2 | 4 | GTM6A | CG | 206" |
| ESR-3 | 2 | ESR-3 | 185 13/16" | 3 | 4 | GET5A | CG | 206" |
| ESR-4 | 2 | ESR-4 | 188 13/16" | 4 | 8 | GTS6A | FW | 30" |
| ESR-5 | 2 | ESR-5 | 191 13/16" | 5 | 2 | GCTM6 | CG | 13" |
| ESR-6 | 2 | ESR-6 | 194 13/16" | 6 | 1 | TPALM6 | CG | 11" |
| ESR-7 | 2 | ESR-7 | 197 13/16" | 7 | 4 | GTS6A | FW | 30" |
| ESR-8 | 2 | ESR-8 | 200 13/16" | 8 | 1 | GRTM6 | CG | 22 1/2" |
| ESR-9 | 2 | ESR-9 | 203 13/16" | 9 | 1 | TRRM6 | CG | 11" |
| ESR-10 | 2 | ESR-10 | 206 13/16" | 10 | 36 | JTA6C | CG | 90" |
| EWR-1 | 20 | EWR-1 | 61 3/8" | 11 | 18 | JTA6C | CG | 90" |
| | | | | 12 | 16 | JTB6D | CG | 52" |
| | | | | 13 | 7 | SPT-1 | CG | 42" |
| | | | | 14 | 32 | LCT16C | CG | 42" |
| | | | | 15 | 32 | LCT26C | CG | 42" |
| | | | | 16 | 32 | LCT16B | CG | 90" |
| | | | | 17 | 32 | LCT26B | CG | 90" |
| | | | | 18 | 4 | GTTM6A | CG | 206" |



ENDWALL PANEL & TRIM: FRAME LINE 9
 PANELS: 26 Ga. AP - Ash Gray (AG)
 [A] PANELS: 26 Ga. AP - Galvalume (GM)
 * Note : Field form base trim from flat sheets (SPT-1) at galvalume wall panels and brick stemwall as required.

TO BE USED FOR CONSTRUCTION

BUILDING 'A'

REVISIONS

| NO. | DESCRIPTION |
|-----|---|
| 1 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
| 2 | |
| 3 | |
| 4 | |

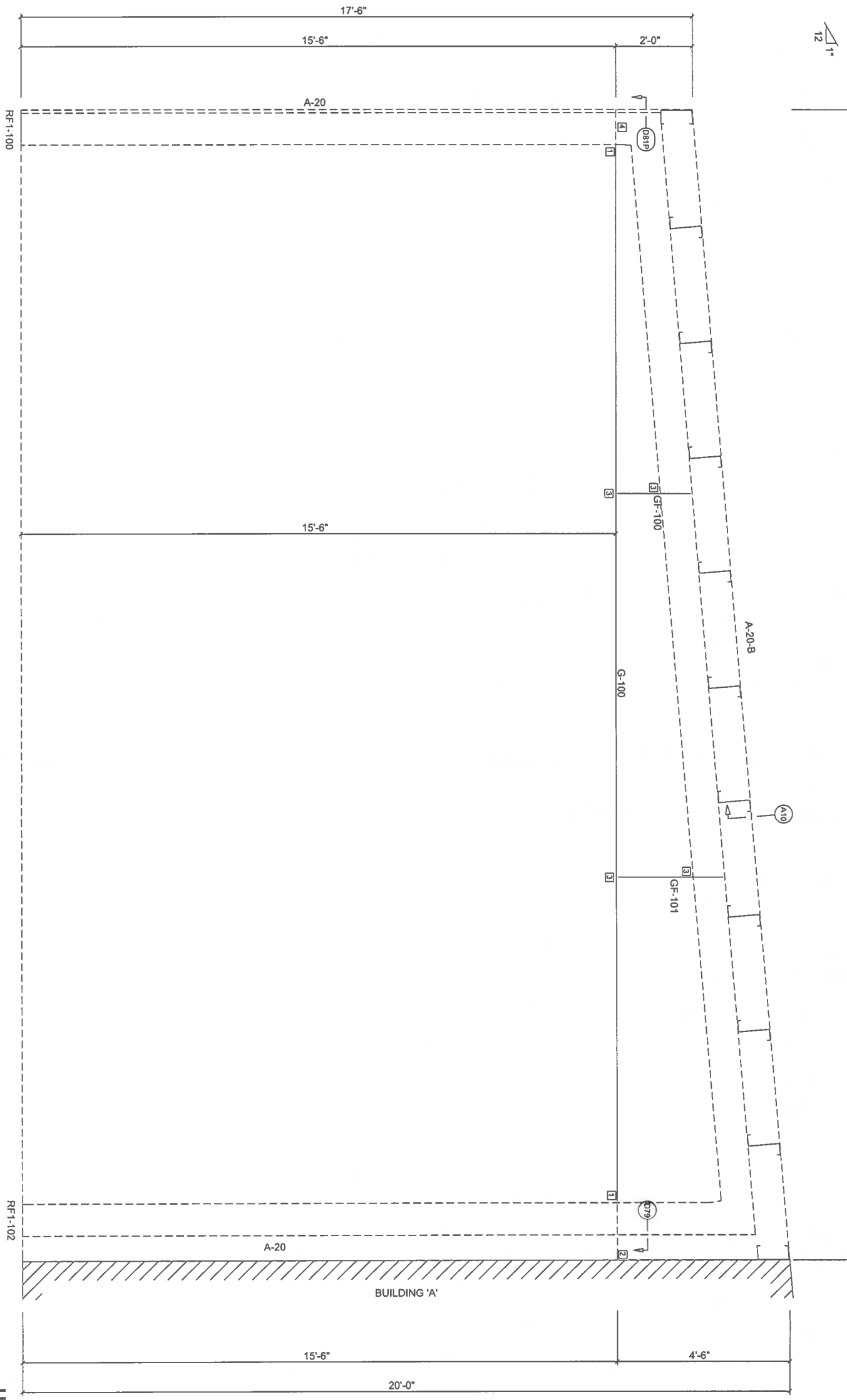


| | |
|--------------|--|
| Drawing | ENDWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Drawn | DIAP |
| Checked | JGU |
| Order No. | B3024694 |
| Date | 09/10/24 |
| Scale | E4 |
| Sheet | E8 |

GENERAL NOTES:
 1. All items to receive a 2" lap unless otherwise noted.

- Details Order (D# Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-labels)
 - Panel Specific Info. (Y#-labels)
 - Mezzanine Info. (Z#-labels)
 - Panel/Trim Details
 - Opening Flashing Details

30'-0" OUT-TO-OUT OF STEEL



ENDWALL FRAMING: FRAME LINE 4

TO BE
USED FOR
CONSTRUCTION

BUILDING 'B'

GIRT DEPTH: 8.00

CONNECTION PLATES

| QTY | MARK/PART |
|-----|-----------|
| 1 | XBC3 |
| 2 | XGA24 |
| 4 | XBC1 |
| 1 | XGA18 |

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

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PO Box 20724, Grand Island, NE 68802-2078
(308) 385-7289 cb@chiefbuild.com



Drawing: ENDWALL DRAWING

Buyer: JWR Ventures, LLC

Customer: JWR Ventures, LLC
Fuquay Varina, NC 27526

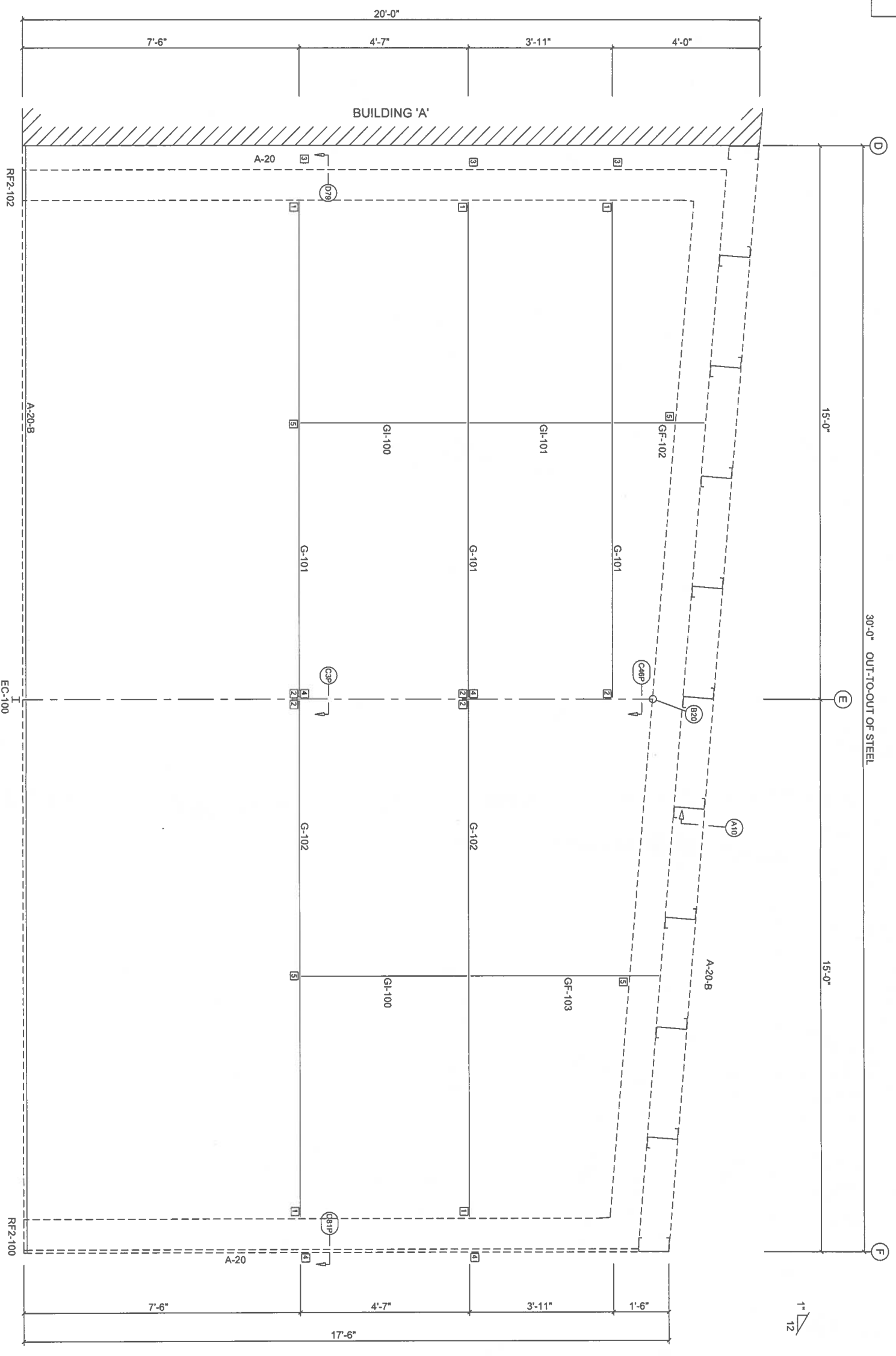
Project Name: J & L Office

| | | | |
|----------|----------|-----------|----|
| DRAWN | CHECK | ORDER NO. | E5 |
| DJAP | JGJ | B3024694 | E8 |
| 09/10/24 | 09/10/24 | | |



7/26/24 11:56am

- Details Order (D# Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-labels)
 - Panel Specific Info. (Y#-labels)
 - Mezzanine Info. (Z#-labels)
 - Panel/Trim Details
 - Opening Flashing Details



| FRAME LINE 2 LOCATION | QUAN | TYPE | DIA | LENGTH |
|-----------------------|------|------|------|--------|
| Columns/Rail | 4 | A325 | 5/8" | 1 1/2" |

| CONNECTION PLATES | QUAN | MARK/PART |
|-------------------|------|-----------|
| FRAME LINE 2 | 1 | XBC3 |
| | 2 | XBC74 |
| | 3 | XGA24 |
| | 4 | XGA18 |
| | 5 | XBC1 |

TO BE USED FOR CONSTRUCTION

BUILDING 'B'

ENDWALL FRAMING: FRAME LINE 2

GIRT DEPTH: 8.00

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

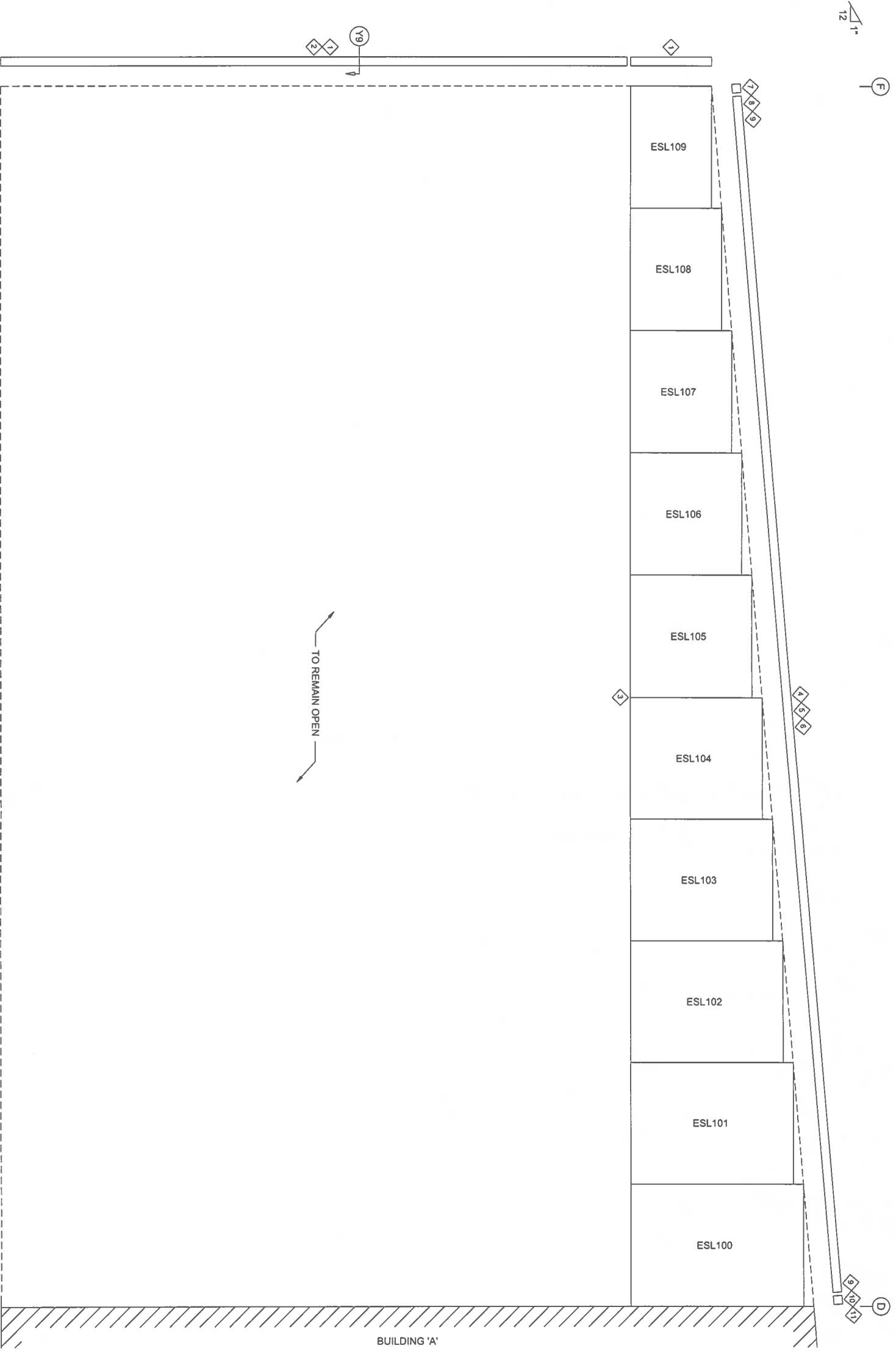
Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
 PO Box 20778, Grand Island, NE 68802-2078
 (530) 383-7289 cb@chiefbuild.com



| | |
|--------------|--|
| Drawing | ENDWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DUAP |
| CHECK | JGU |
| ORDER NO. | B3024694 |
| | E6 |
| | E8 |

- Details Order (D# Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-labels)
 - Panel Specific Info. (Y#-labels)
 - Mezzanine Info. (Z#-labels)
 - Panel/Trim Details
 - Opening Flashing Details



TRIM TABLE
LINE: 4

| QID | QUAN. | MARK | COLOR | LENGTH |
|-----|-------|--------|-------|---------|
| 1 | 1 | CTA6A | CG | 206" |
| 2 | 1 | SPT-2 | CG | 206" |
| 3 | 2 | BTNT6A | CG | 206" |
| 4 | 2 | GTMB6A | CG | 206" |
| 5 | 2 | GET6A | CG | 206" |
| 6 | 4 | GTSG6A | FW | 30" |
| 7 | 1 | GCTMB6 | CG | 13" |
| 8 | 7 | TRLM6 | CG | 13" |
| 9 | 1 | GTSM6A | FW | 11" |
| 10 | 4 | TPRMB6 | CG | 30" |
| 11 | 1 | ICTM6A | CG | 14 1/2" |

PANEL TABLE
FRAME LINE: 4

| QID | QUAN. | MARK | LENGTH |
|-----|-------|--------|--------|
| 1 | 1 | ESL100 | 51" |
| 1 | 1 | ESL101 | 48" |
| 1 | 1 | ESL102 | 45" |
| 1 | 1 | ESL103 | 42" |
| 1 | 1 | ESL104 | 39" |
| 1 | 1 | ESL105 | 36" |
| 1 | 1 | ESL106 | 33" |
| 1 | 1 | ESL107 | 30" |
| 1 | 1 | ESL108 | 27" |
| 1 | 1 | ESL109 | 24" |

BUILDING 'B'

ENDWALL PANEL & TRIM: FRAME LINE 4

PANELS: 26 Ga. AP - Ash Gray (AG)

BUILDING 'B'

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

**TO BE
USED FOR
CONSTRUCTION**

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

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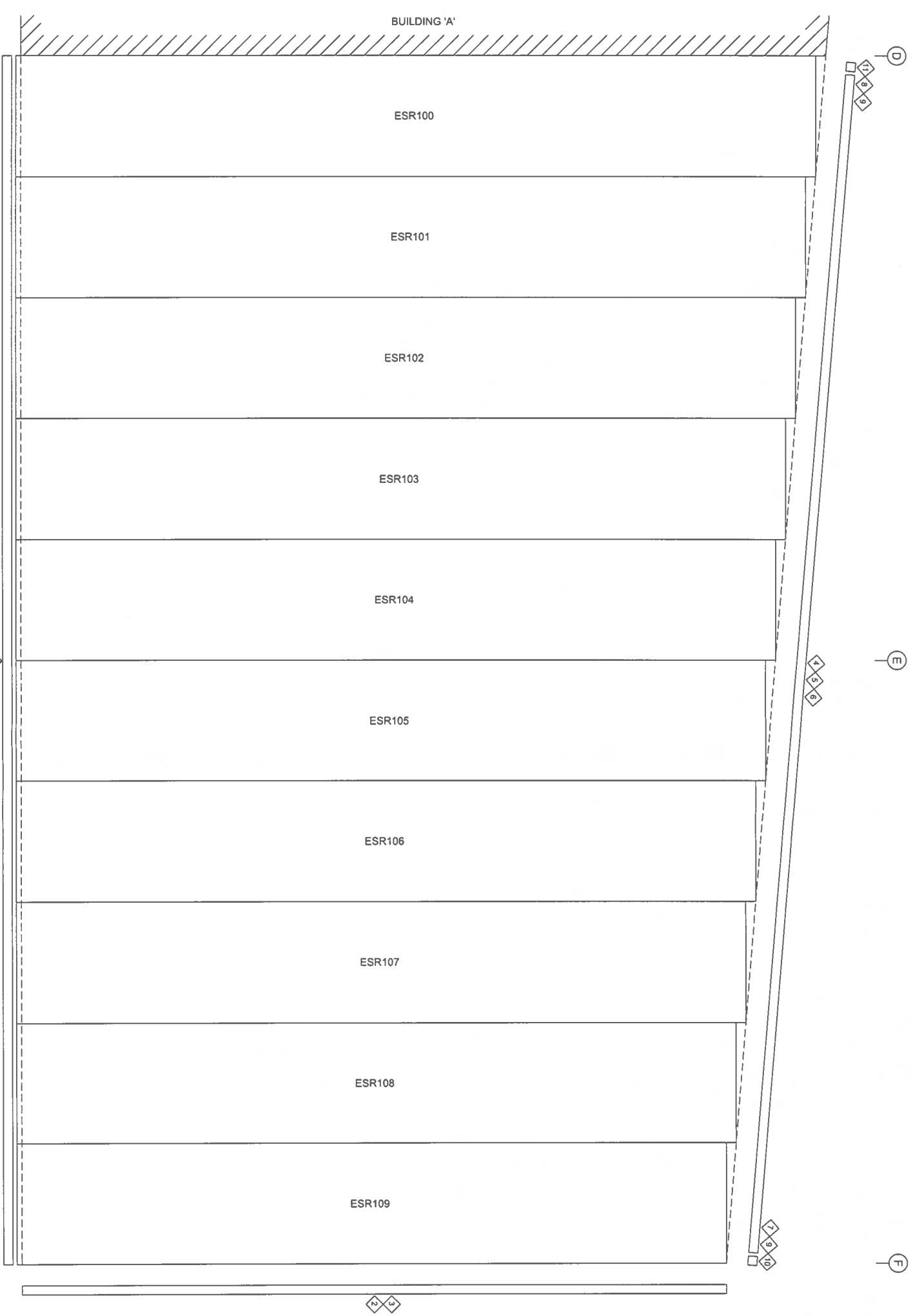


| | |
|--------------|-------------------------|
| Drawing | ENDWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC |
| Project Name | Fuquay Varina, NC 27526 |
| | J & L Office |
| ORDER NO. | B3024694 |
| DRAWN | CHECK |
| DJAP | JGJ |
| 09/10/24 | 09/10/24 |
| E7 | E8 |

GENERAL NOTES:

1. All items to receive a 2" lap unless otherwise noted.

- Details Order (D# Pages)
- Flange Brace/Sag Angles Details
 - Typical Project Details
 - Steel Specific Info. (X#-Labels)
 - Panel Specific Info. (Y#-Labels)
 - Mezzanine Info. (Z#-Labels)
 - Panel/Trim Details
 - Opening Flashing Details



| TRIM TABLE | | | | |
|------------|-------|--------|-------|---------|
| QID | QUAN. | MARK | COLOR | LENGTH |
| 1 | 2 | BTM6A | CG | 206" |
| 2 | 1 | CTA6C | CG | 90" |
| 3 | 1 | CTA6B | CG | 146" |
| 4 | 2 | GTM6A | CG | 206" |
| 5 | 2 | GET6A | CG | 206" |
| 6 | 4 | GTSSA | FW | 30" |
| 7 | 1 | GCTM6 | CG | 13" |
| 8 | 1 | TPLM6 | CG | 13" |
| 9 | 1 | GTSSA | FW | 30" |
| 10 | 4 | TFRM6 | CG | 11" |
| 11 | 1 | ICTM6A | CG | 14 1/2" |

| PANEL TABLE | | | |
|-------------|-------|--------|----------|
| QID | QUAN. | MARK | LENGTH |
| 1 | 1 | ESR100 | 238 1/2" |
| 1 | 1 | ESR101 | 235 1/2" |
| 1 | 1 | ESR102 | 232 1/2" |
| 1 | 1 | ESR103 | 229 1/2" |
| 1 | 1 | ESR104 | 226 1/2" |
| 1 | 1 | ESR105 | 223 1/2" |
| 1 | 1 | ESR106 | 220 1/2" |
| 1 | 1 | ESR107 | 217 1/2" |
| 1 | 1 | ESR108 | 214 1/2" |
| 1 | 1 | ESR109 | 211 1/2" |

ENDWALL PANEL & TRIM: FRAME LINE 2

PANELS: 26 Ga. AP - Ash Gray (AG)

BUILDING 'B'

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |

TO BE USED FOR CONSTRUCTION

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

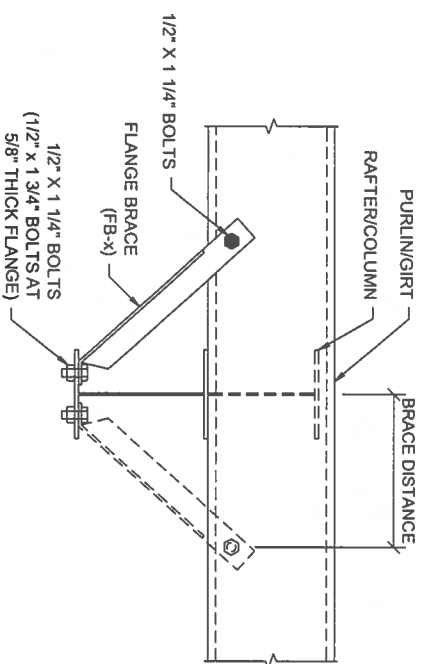
Chief Buildings
 100 Box 2078, Grand Island, NE 68802-2078
 (402) 559-7259 c@chiefbuild.com



| | |
|--------------|--|
| Drawing | ENDWALL DRAWING |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | CHECK |
| DJAP | JGJ |
| 09/10/24 | 09/10/24 |
| ORDER NO. | B3024694 |
| E8 | E8 |

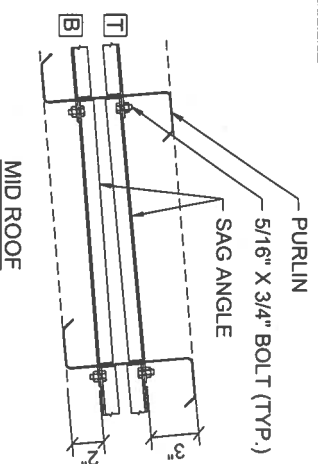
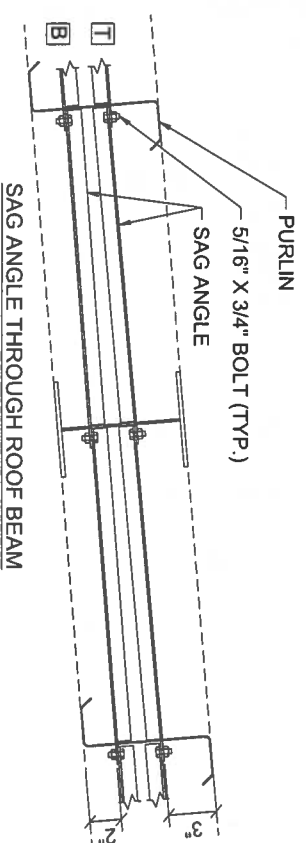
GENERAL NOTES:
 1. All trims to receive a 2" lap unless otherwise noted.

- NOTE:
- Field bend flange brace into place to align with holes in purlins/girts, as required.
 - Fill all holes in the flange brace with bolts.
 - If flange brace connection occurs within the purlin lap, install flange brace before tightening purlin bolts.
 - Flange brace may be one side only. For location and number of sides refer to Cross Sections, Endwall and Sidewall drawings.



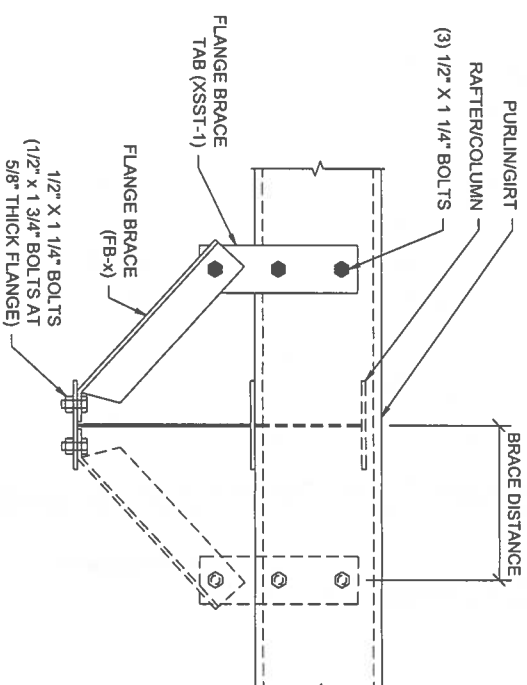
**FLANGE BRACE
"1-1 CONNECTION"**

T = Top Row Sag Angle
B = Bottom Row Sag Angle
See Roof Framing Plans for Locations



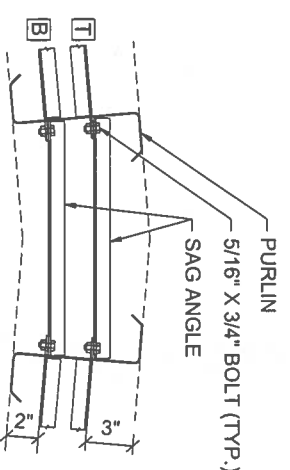
**INTERMEDIATE SAG ANGLE
STANDING SEAM ROOF**

- NOTE:
- Field bend flange brace into place to align with holes in purlins/girts, as required.
 - Fill all holes in the flange brace with bolts.
 - If flange brace connection occurs within the purlin lap, install flange brace before tightening purlin bolts.
 - Flange brace may be one side only. For location and number of sides refer to Cross Sections, Endwall and Sidewall drawings.



**FLANGE BRACE
"1-4 CONNECTION"**

T = Top Row Sag Angle
B = Bottom Row Sag Angle
See Roof Framing Plans for Locations



**RIDGE SAG ANGLE
STANDING SEAM ROOF**

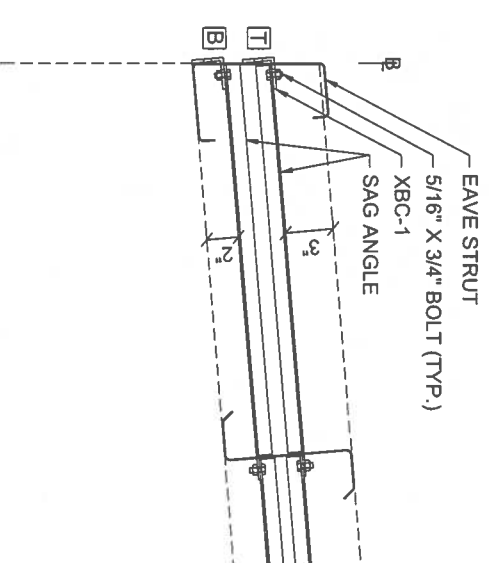
REVISIONS

| | | |
|---|--|--|
| 4 | | |
| 3 | | |
| 2 | | |
| 1 | | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

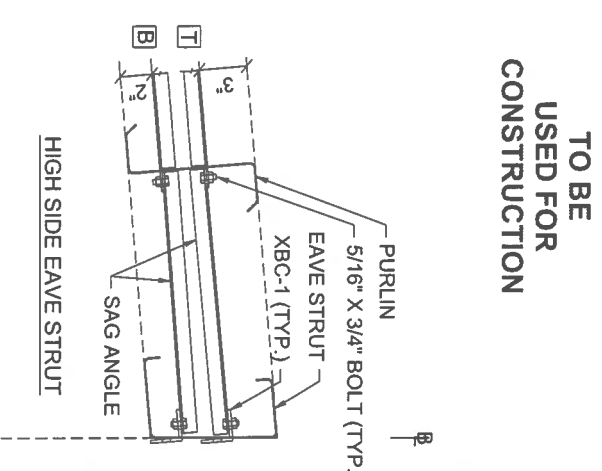
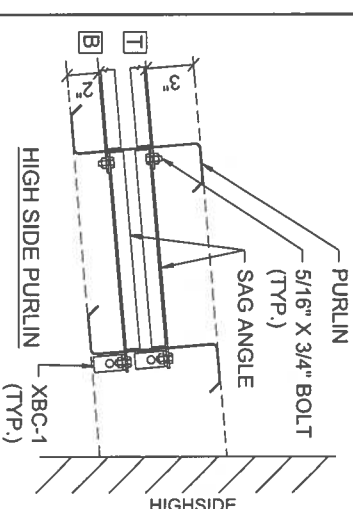
Chief Buildings
P.O. Box 2078, Grand Island, NE 68802-2078
(309) 388-7289
cs@chiefind.com

T = Top Row Sag Angle
B = Bottom Row Sag Angle
See Roof Framing Plans for Locations



**LOW SIDE EAVE STRUT SAG ANGLE
STANDING SEAM ROOF**

T = Top Row Sag Angle
B = Bottom Row Sag Angle
See Roof Framing Plans for Locations



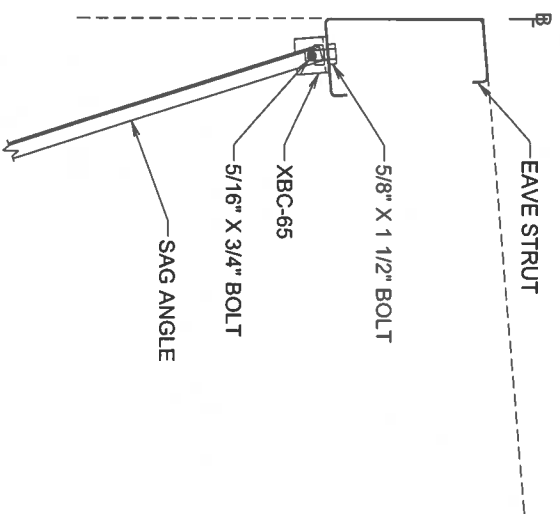
**HIGHSIDE SAG ANGLE
STANDING SEAM ROOF**

DETAILS

| | | | |
|--------------|--|-----------|-----|
| Drawing | DETAILS | | |
| Buyer | JWR Ventures, LLC | | |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 | | |
| Project Name | J & L Office | | |
| DRAWN | CHECK | ORDER NO. | D1 |
| DJAP | JGJ | B3024694 | D12 |
| 09/10/24 | 09/10/24 | | |

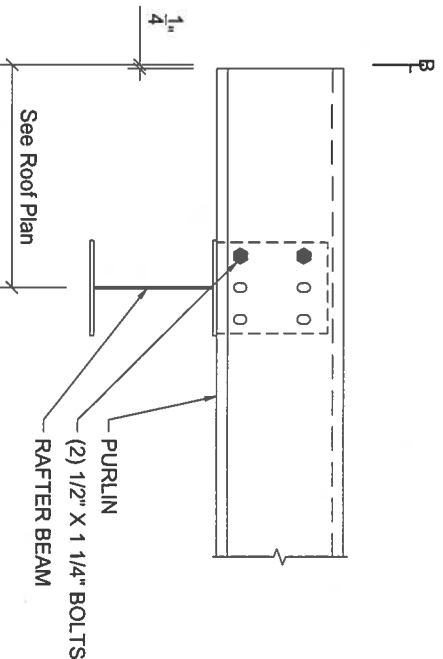


NOTE : Girt sag angles are to be located toward "INSIDE" of building.

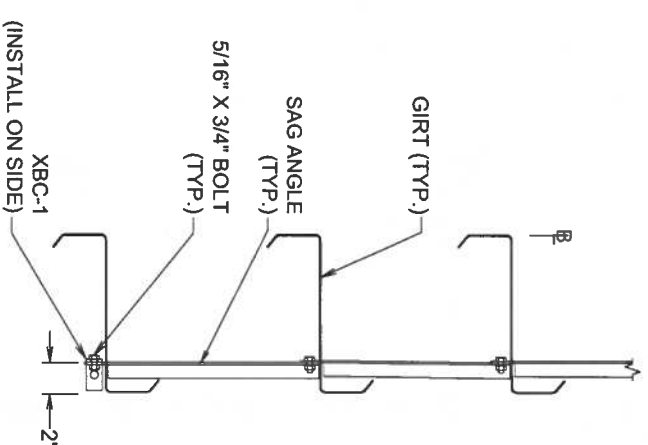


**SIDEWALL SAG ANGLE AT LOW SIDE
(High Side Sag Angle Connections typical)**

NOTE: The "Standard" bolting requirements for a purlin to clip is shown below. See the Special Bolts Roof Plan table on the Roof Framing Plan for additional bolts. The $\text{\textcircled{B}}$ symbol will reference additional bolts, if required.

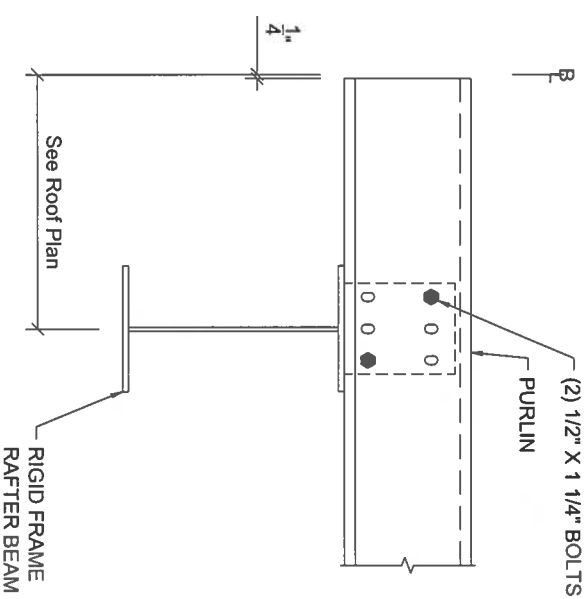


NOTE : Girt sag angles are to be located toward "INSIDE" of building.



INTERMEDIATE SAG ANGLE

NOTE: The "Standard" bolting requirements for a purlin to clip is shown below. See the Special Bolts Roof Plan table on the Roof Framing Plan for additional bolts. The $\text{\textcircled{B}}$ symbol will reference additional bolts, if required.

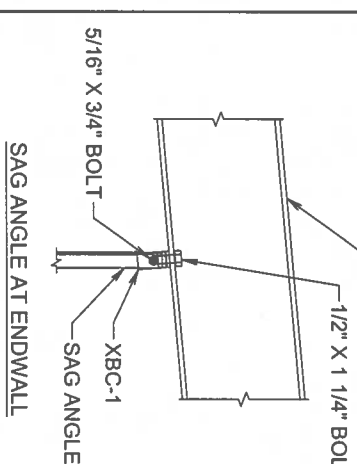


**ROOF PURLIN TO
ENDWALL RIGID FRAME**

REVISIONS

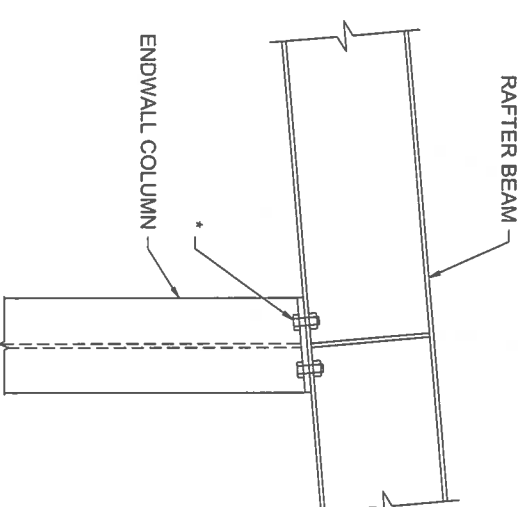
| | | |
|---|--|---|
| 4 | | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
| 3 | | Chief Buildings |
| 2 | | Chief Buildings |
| 1 | | Chief Buildings |

ENDWALL RAFTER BEAM



**ENDWALL SAG ANGLE
INSET / FLUSH ENDWALL**

* Refer to Bolt Table on Endwall drawing for bolting information.



RAFTER BEAM TO COLUMN

DETAILS

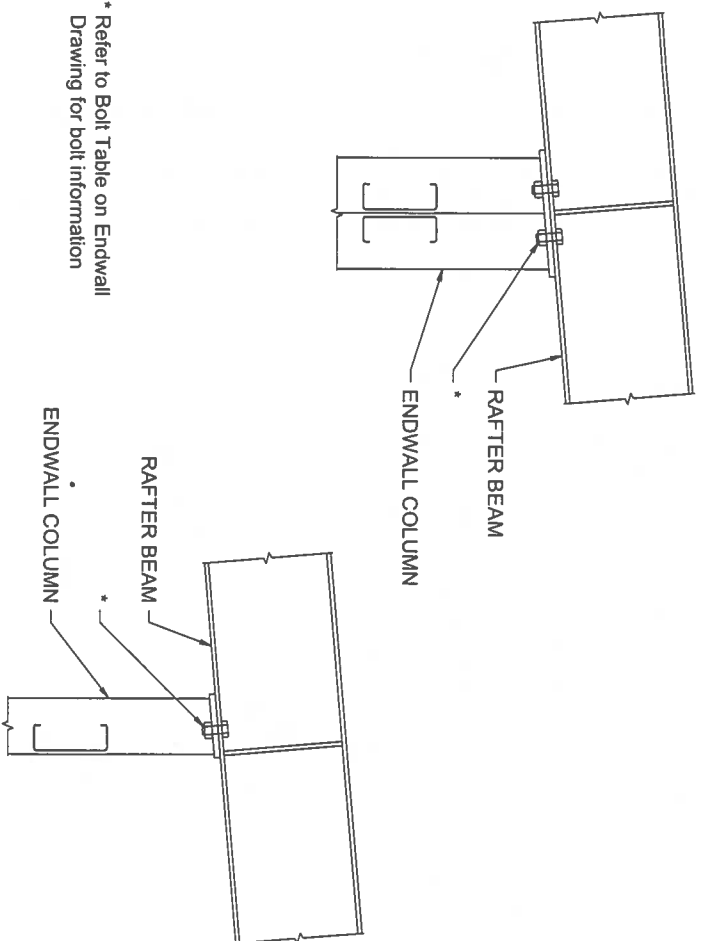
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| Drawing | Buyer | Customer | Project Name | DRAWN | CHECK | ORDER NO. | |
| | JWR Ventures, LLC | JWR Ventures, LLC Fuquay Varina, NC 27526 | J & L Office | DJAP | JGI | B3024694 | D2 |
| | | | | 09/10/24 | 09/10/24 | | D12 |



A7 SECTION THRU ENDWALL RAFTER

A10

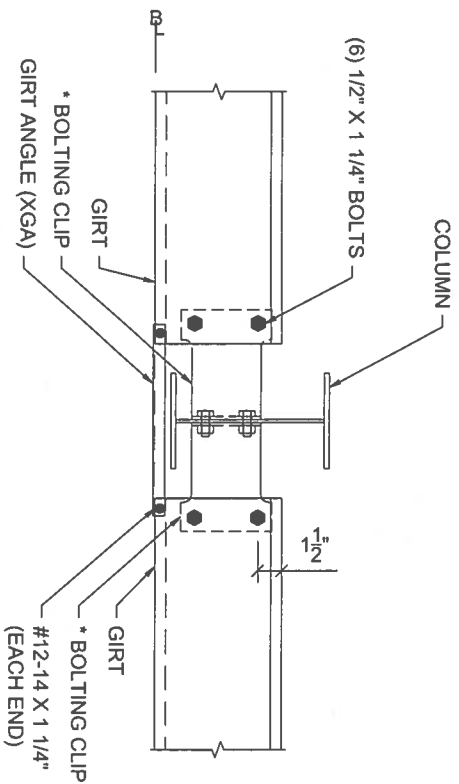
B3



* Refer to Bolt Table on Endwall Drawing for bolt information

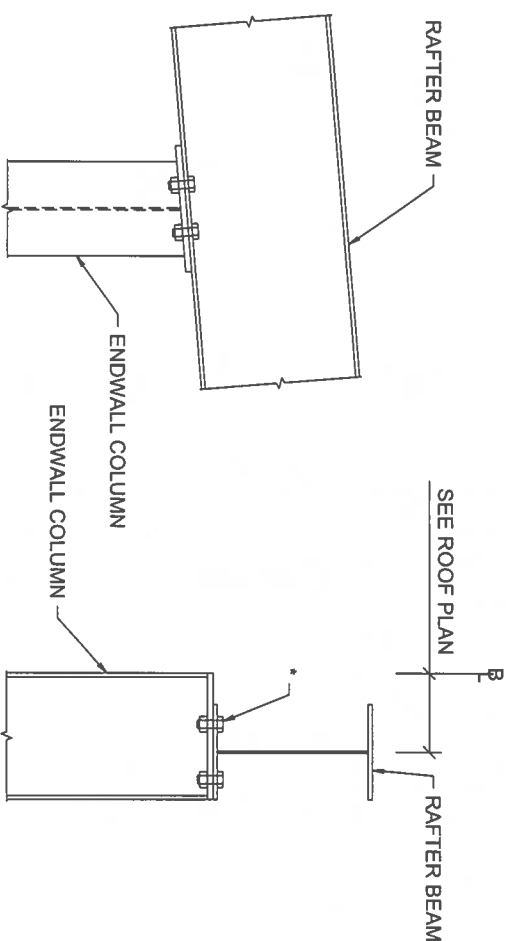
B5 RAFTER BEAM TO COLUMN

NOTE: Flange Braces are not shown. Refer to Flange Brace Table on Cross Section, Endwall, or Sidewall drawings for Flange Brace location and number of sides.



* BOLTING CLIP:
XBC-74 clip used for 6"-8" column flange width.
XBC-75 clip used for 10"-12" column flange width.
(Refer to wall elevation drawings.)

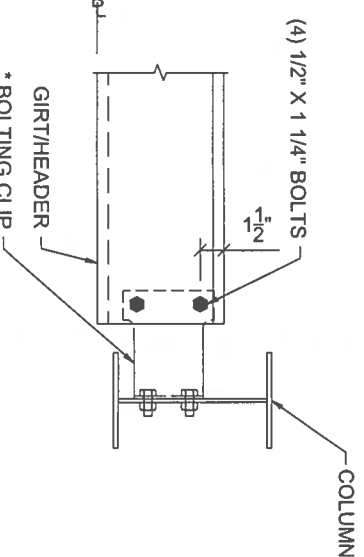
C3P INSET GIRT TO WIDE FLANGE COLUMN



* Refer to Bolt Table on Cross Section and Endwall drawing for bolt information.

B20 COLUMN TO RAFTER BEAM

NOTE: Flange Braces are not shown. Refer to Flange Brace Table on Cross Section, Endwall, or Sidewall drawings for Flange Brace locations and number of sides.



* BOLTING CLIP:
XBC-74 clip used for 6"-8" column flange width.
XBC-75 clip used for 10"-12" column flange width.
(Refer to wall elevation drawings.)

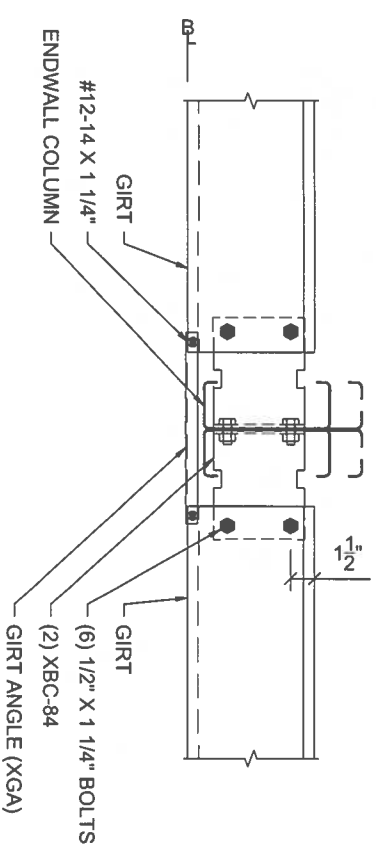
C46P INSET GIRT OR HEADER WIDE FLANGE COLUMN

REVISIONS

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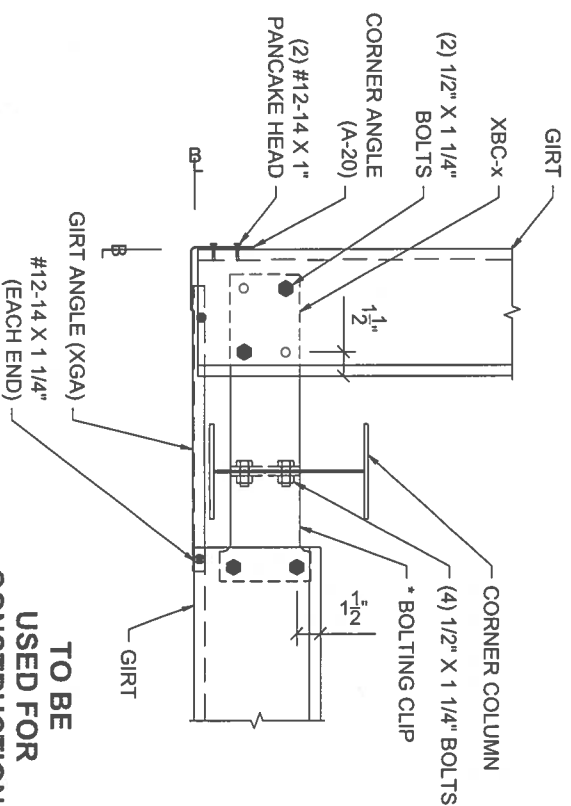
Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

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* BOLTING CLIP:
XBC-74 CLIP USED FOR 6"-8" COLUMN FLANGE WIDTH
XBC-75 CLIP USED FOR 10"-12" COLUMN FLANGE WIDTH
(REFER TO THE WALL ELEVATION DRAWINGS)

C2P INSET GIRT TO BACK-TO-BACK COLUMN

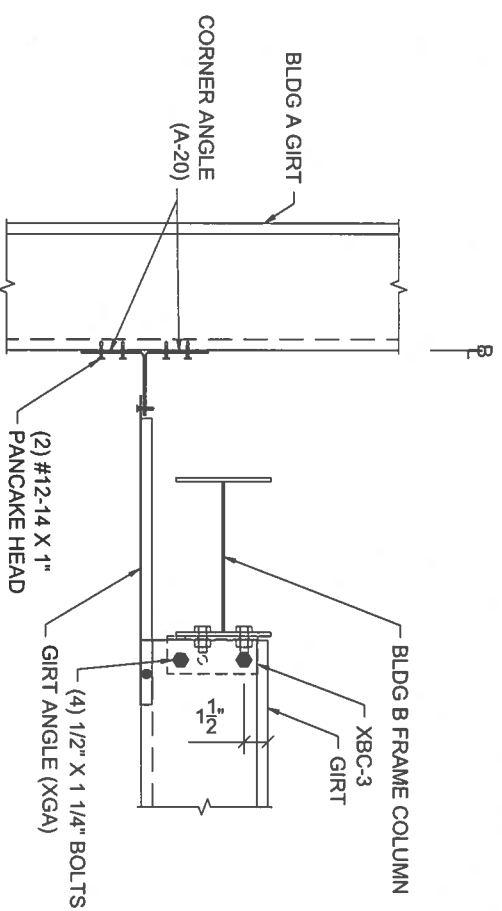


D3P INSET CORNER COLUMN TO WALL GIRT

DETAILS

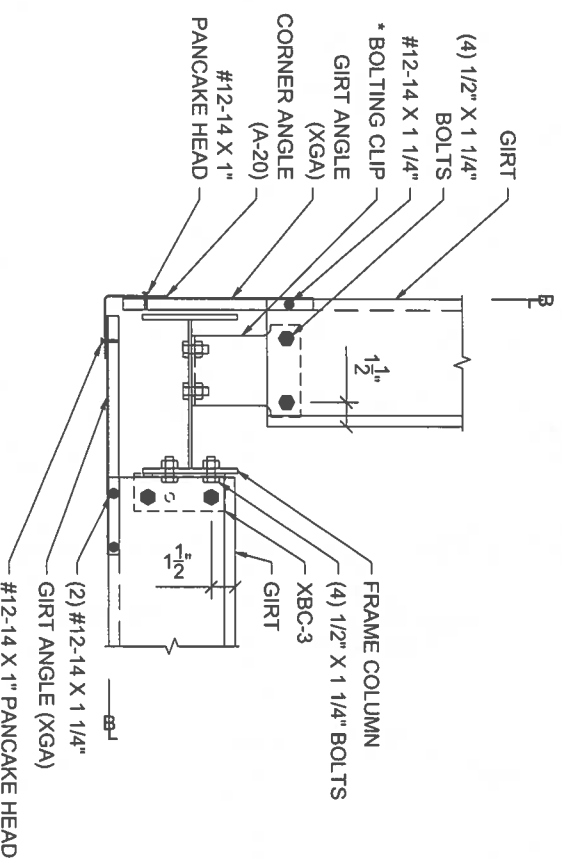
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| Drawing | JWR Ventures, LLC | ORDER NO. | D3 |
| Buyer | JWR Ventures, LLC | | |
| Customer | Fuquay Varina, NC 27526 | | |
| Project Name | J & L Office | | |
| Drawn | DJAP | Checked | JGJ |
| Date | 09/10/24 | Date | 09/10/24 |
| Order No. | B3024694 | | |
| | | | D12 |





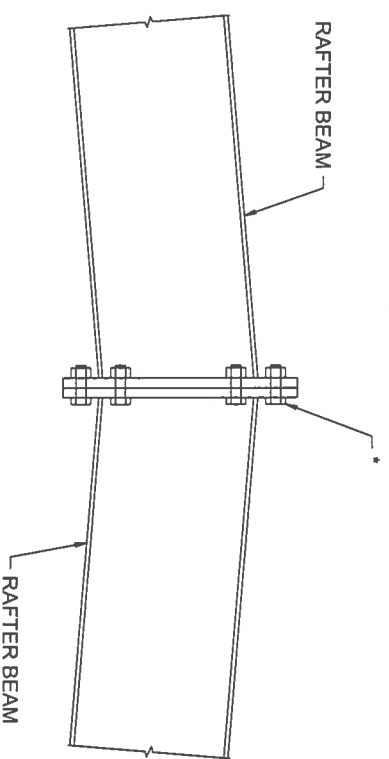
D79 FRAME COLUMN TO WALL GIRTS

* BOLTING CLIP
 • XBC-74 Clip used for 6"-8" column flange width.
 • XBC-75 Clip used for 10"-12" column flange width.
 (Refer to the Wall Elevation drawings)



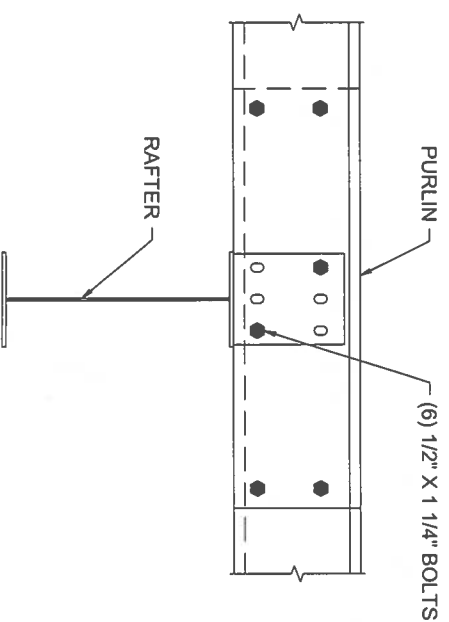
D81P FRAME COLUMN TO WALL GIRTS

NOTE: The "Standard" bolting requirements for a purlin to clip is shown below. See the Special Bolts Roof Plan table on the Roof Framing Plan for additional bolts. The Φ symbol will reference additional bolts, if required.



* Refer to Bolt Table on Endwall drawing for bolting information.

F12 RAFTER BEAM CONNECTION AT RIDGE



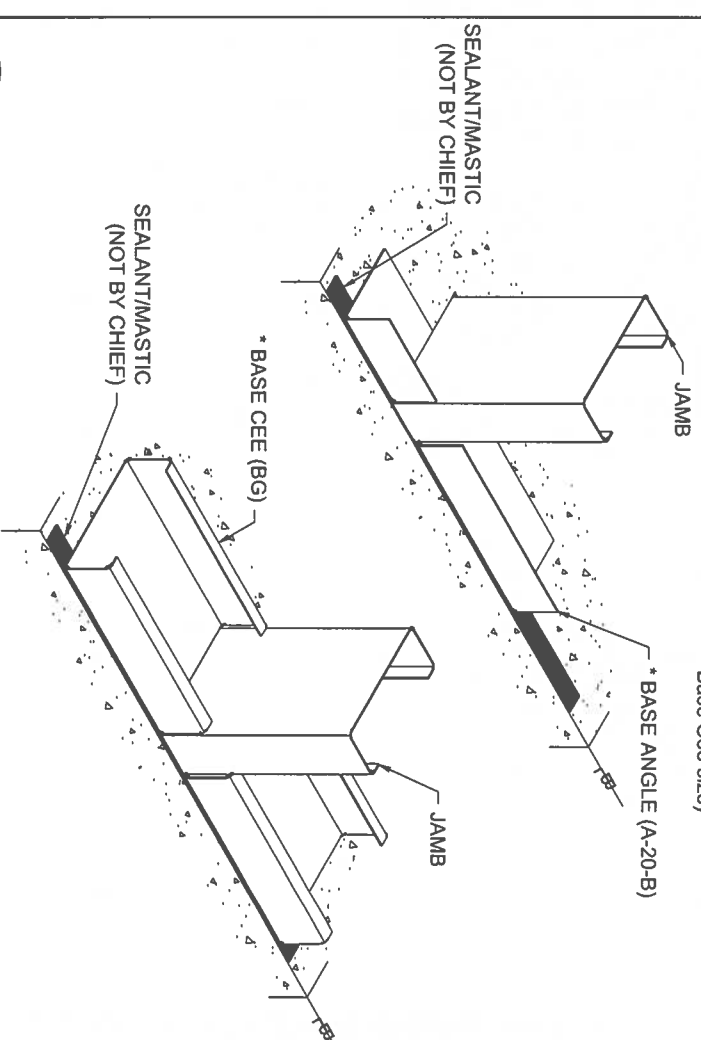
G2 ROOF PURLIN TO INTERIOR FRAME RAFTER

REVISIONS

| | | |
|---|--|---|
| 4 | | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
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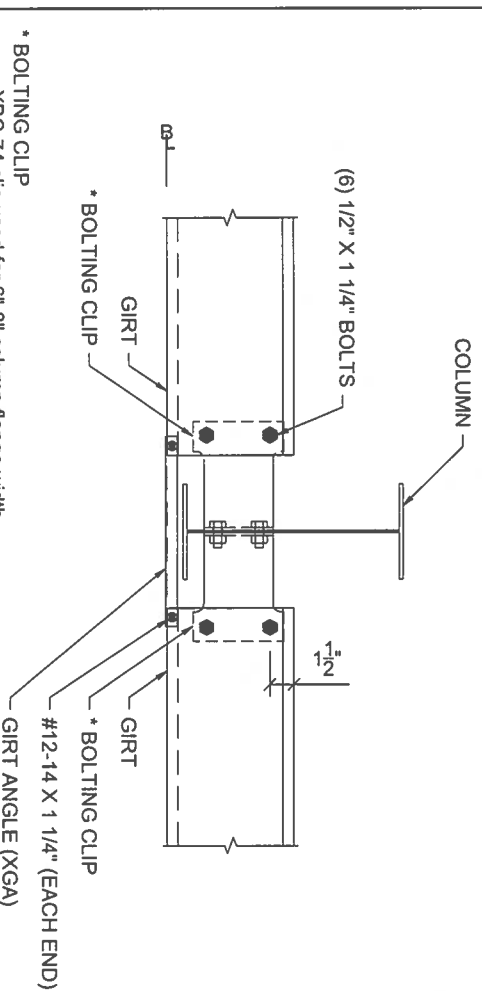
NOTE: See Anchor Rod Plan for connection of jamb and base members.

* Field cut base member at jambs. (Refer to the wall framing drawings for Base Cee size)



E9 BASE MEMBER

NOTE: Flange Braces are not shown. Refer to Flange Brace Table on Cross Section, Endwall, or Sidewall drawings for Flange Brace locations and number of sides.



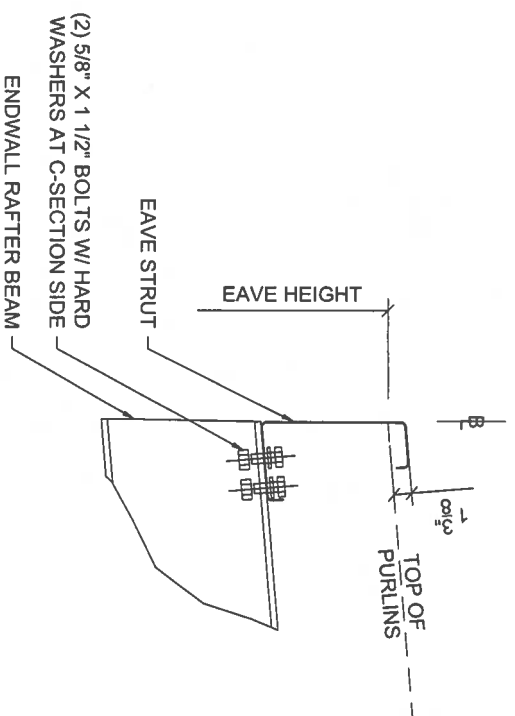
H5P INSET GIRTS TO WIDE FLANGE COLUMN

* BOLTING CLIP
 XBC-74 clip used for 6"-8" column flange width.
 XBC-75 clip used for 10"-12" column flange width.
 (Refer to the wall elevation drawings.)

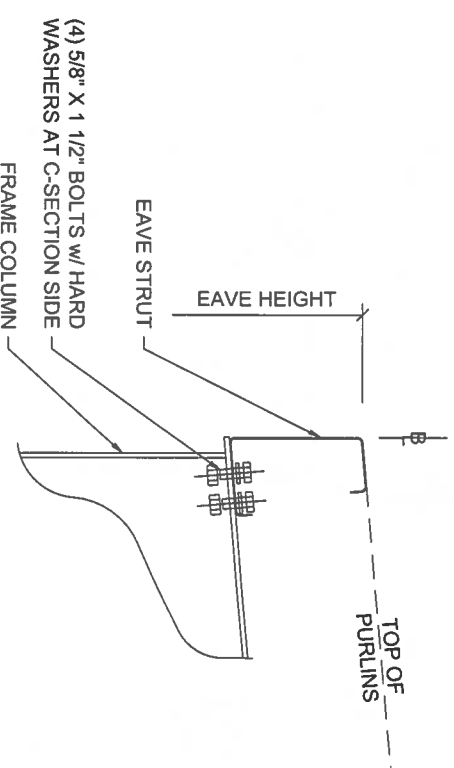
TO BE USED FOR CONSTRUCTION



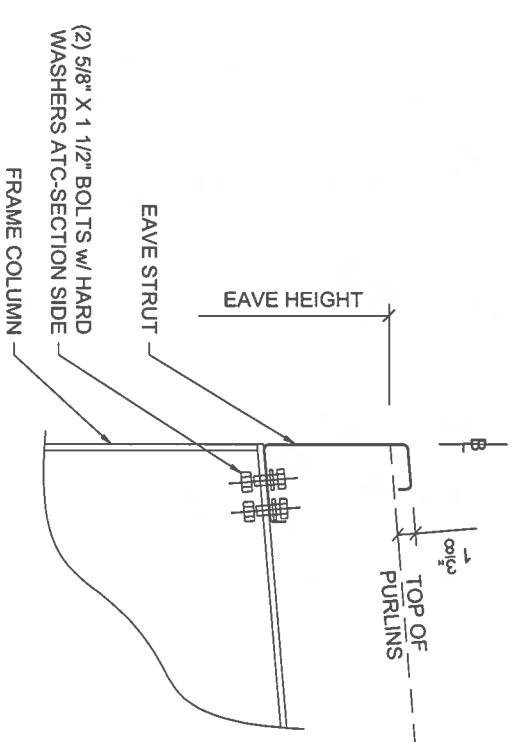
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| Drawing | DETAILS |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Drawn | DJAP |
| Checked | JGJ |
| Order No. | B3024694 |
| Date | 09/10/24 |
| Revision | D4 |



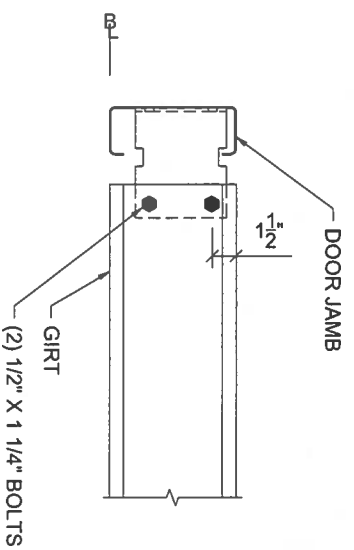
18 EAVE STRUT TO ENDWALL RAFTER BEAM
STANDING SEAM ROOF



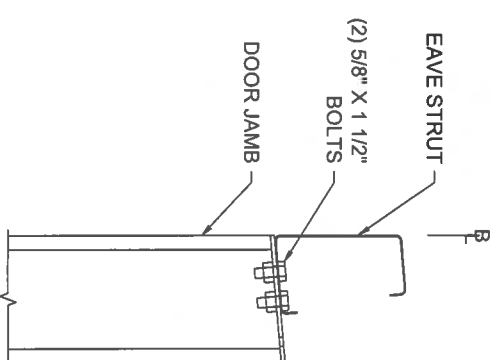
J1 EAVE STRUT TO RIGID FRAME



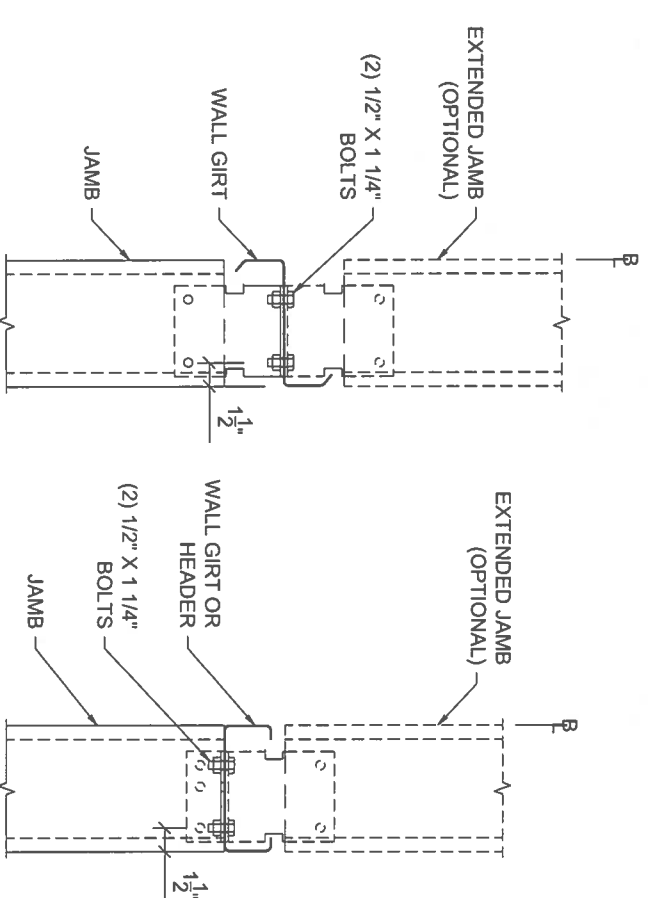
J23 EAVE STRUT TO RIGID FRAME AT
ENDWALL, STANDING SEAM ROOF



K3 WALL GIRT TO DOOR JAMB



L2 DOOR JAMB TO LOW EAVE STRUT



L8 JAMB TO WALL GIRT OR HEADER

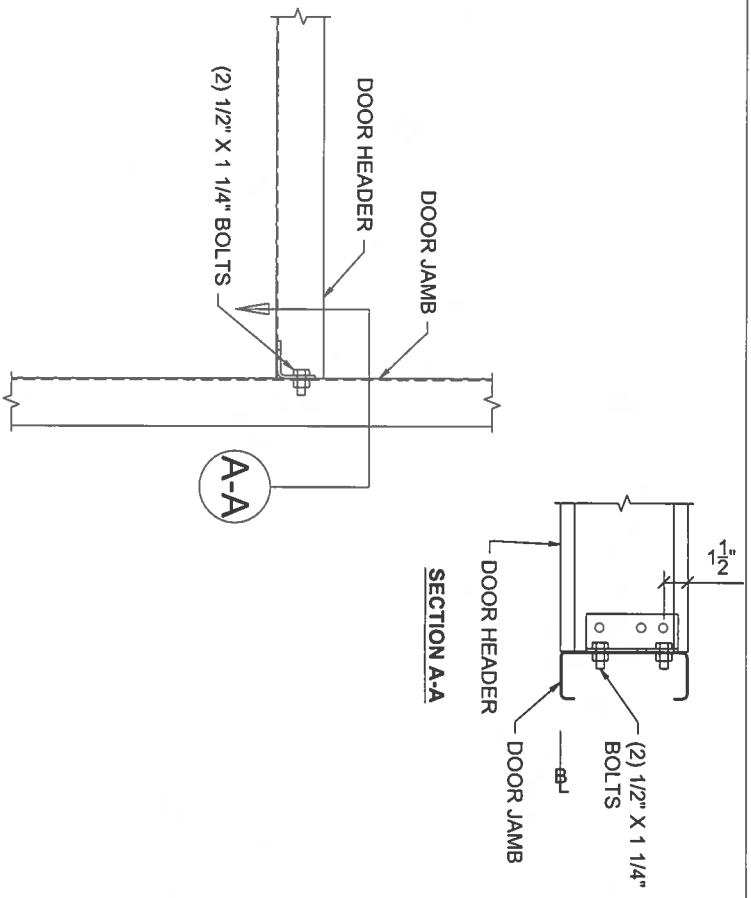
REVISIONS

| | |
|---|---|
| 4 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
| 3 | |
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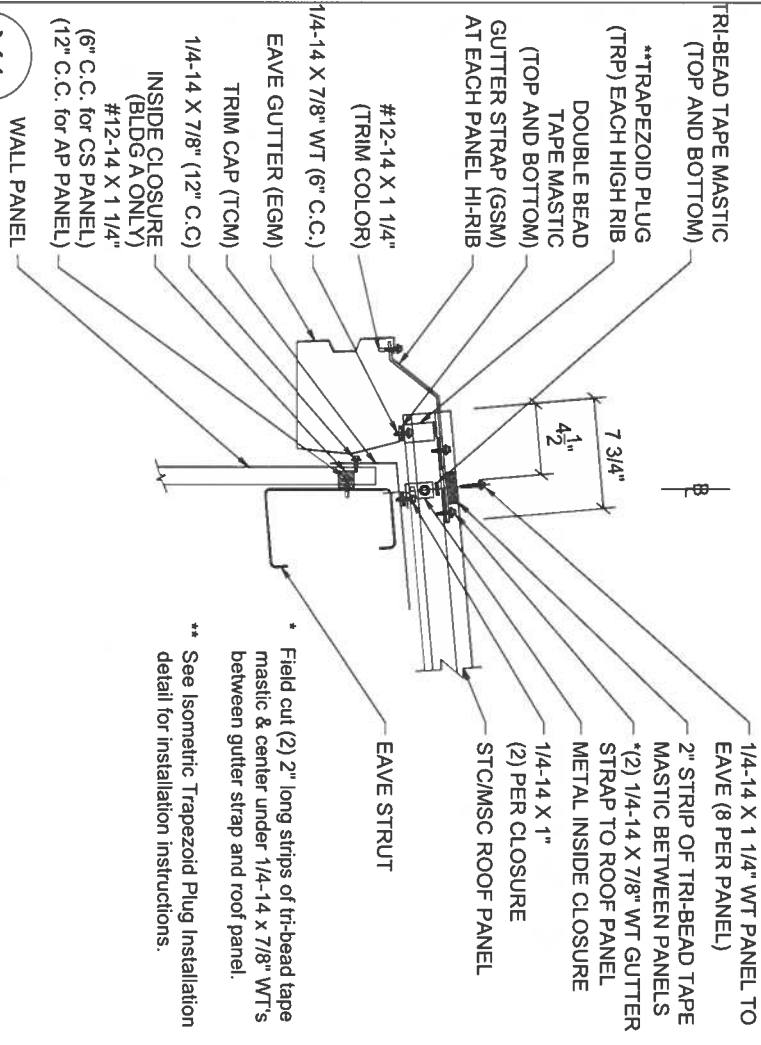
Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.



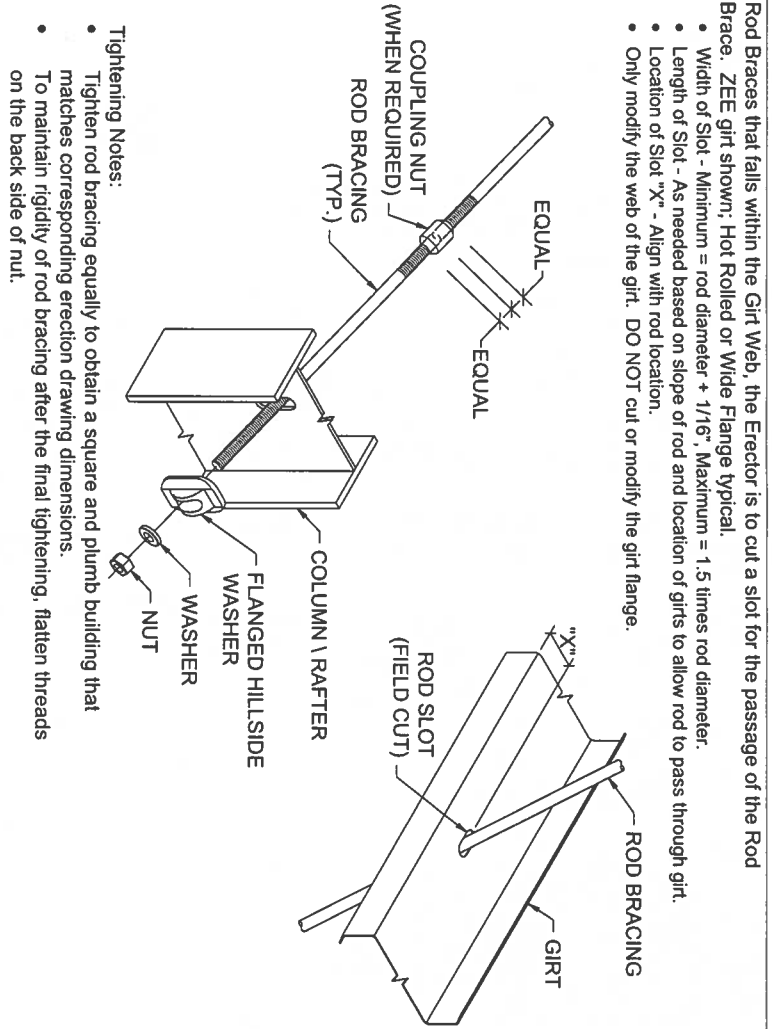
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| DETAILS | |
| Drawing | JWR Ventures, LLC |
| Buyer | JWR Ventures, LLC |
| Customer | Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Drawn | DJAP |
| Check | JGJ |
| Order No. | B3024694 |
| Date | 09/10/24 |
| Scale | D5 |
| Sheet | D12 |



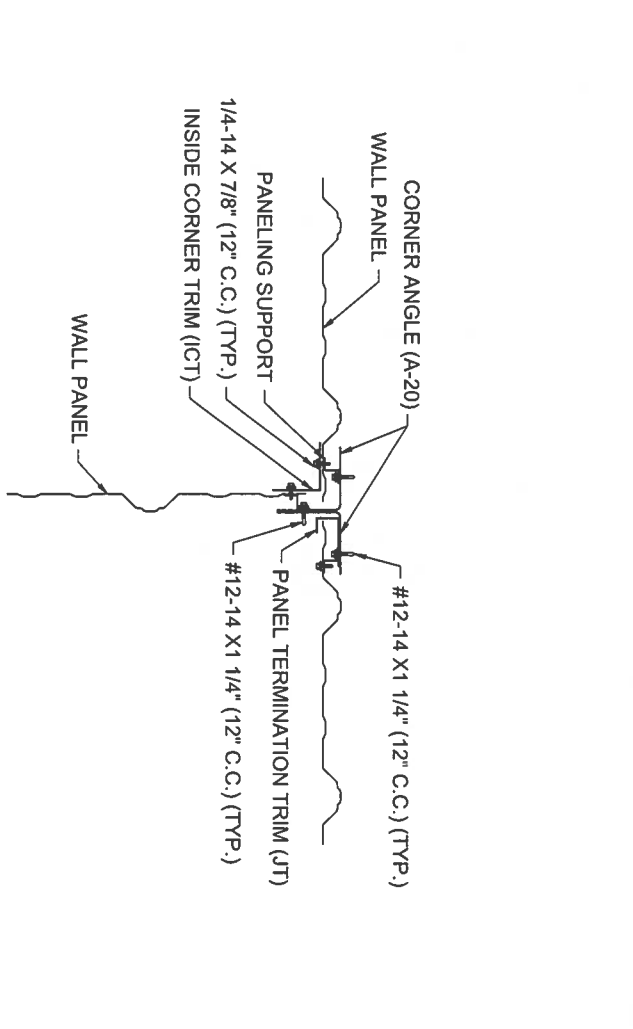
M3
DOOR HEADER TO DOOR JAMB
 (Window Sill Typical)



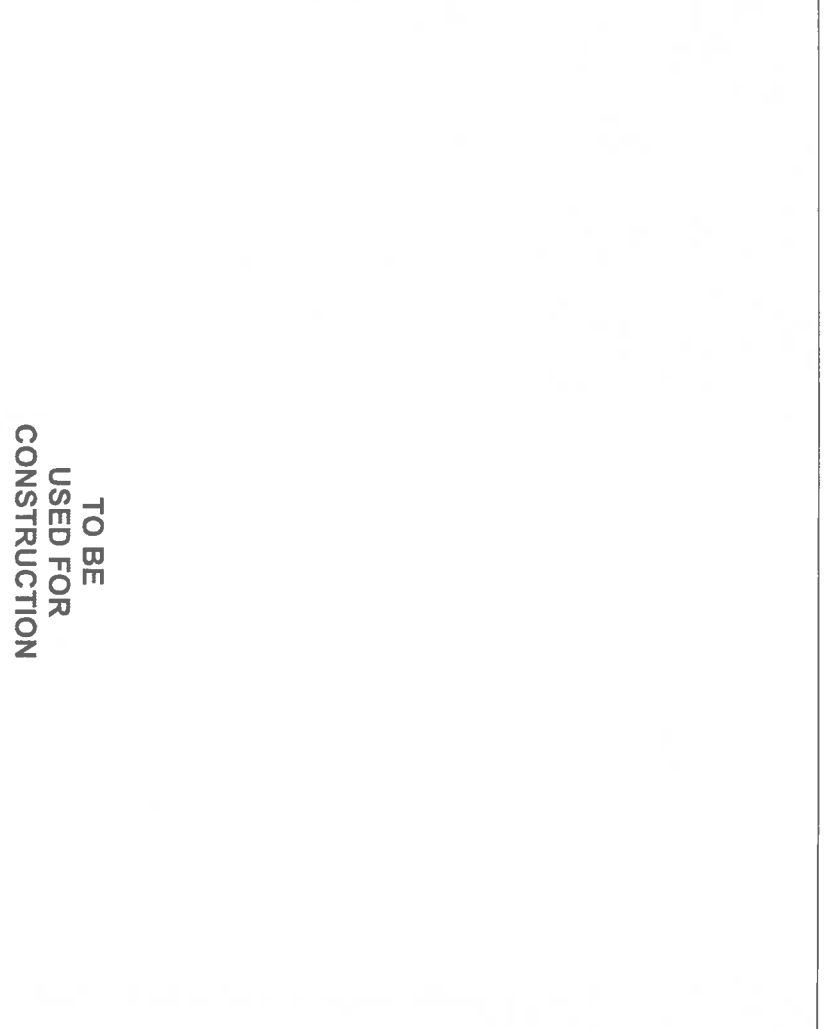
Y1
LOW EAVE GUTTER



Q3 **DIAGONAL BRACE ROD, NUT END**



Y2
TYPICAL INSIDE CORNER



Y3
RIDGE TRIM DETAIL

REVISIONS

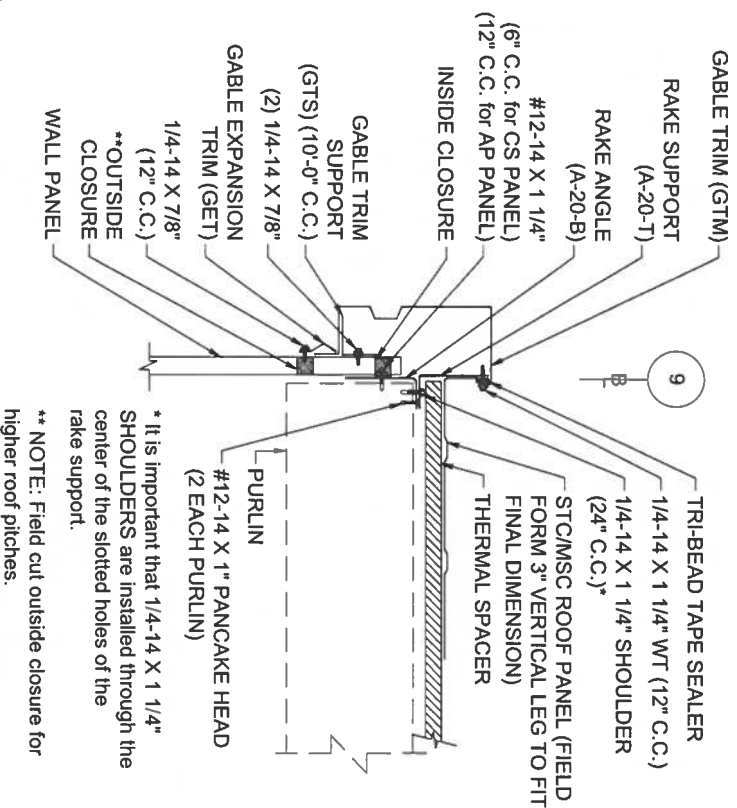
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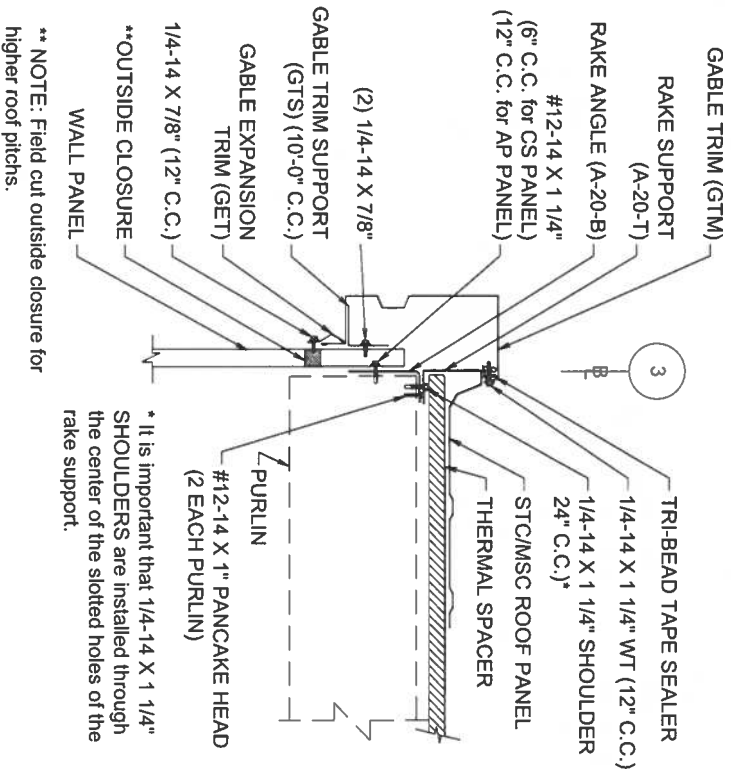


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| DETAILS | |
| Drawing | JWR Ventures, LLC |
| Buyer | JWR Ventures, LLC |
| Customer | Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | CHECK |
| DJAP | JGJ |
| 09/10/24 | 09/10/24 |
| ORDER NO. | B3024694 |
| | D6 |
| | D12 |



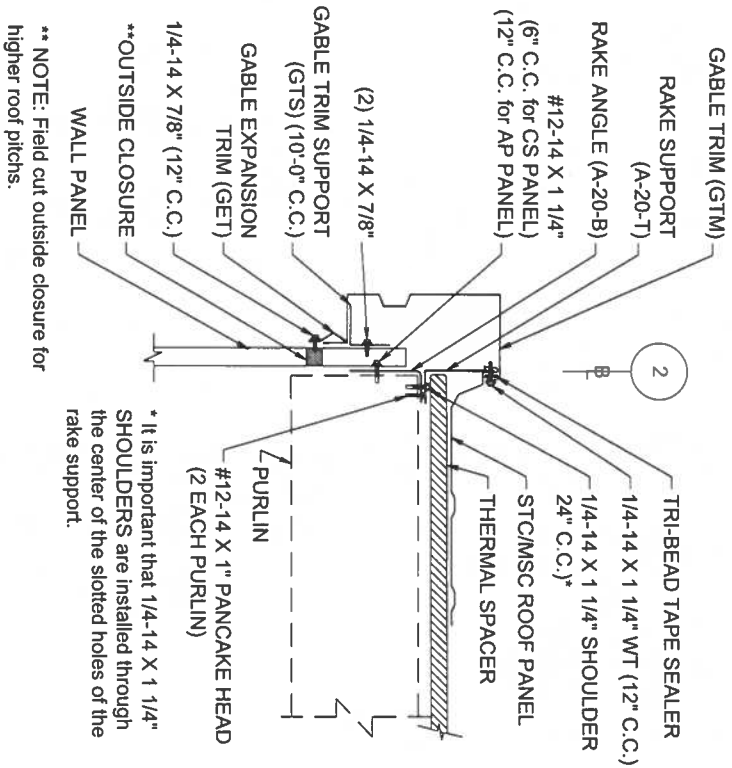
Y4

FIELD BEND GABLE DETAIL



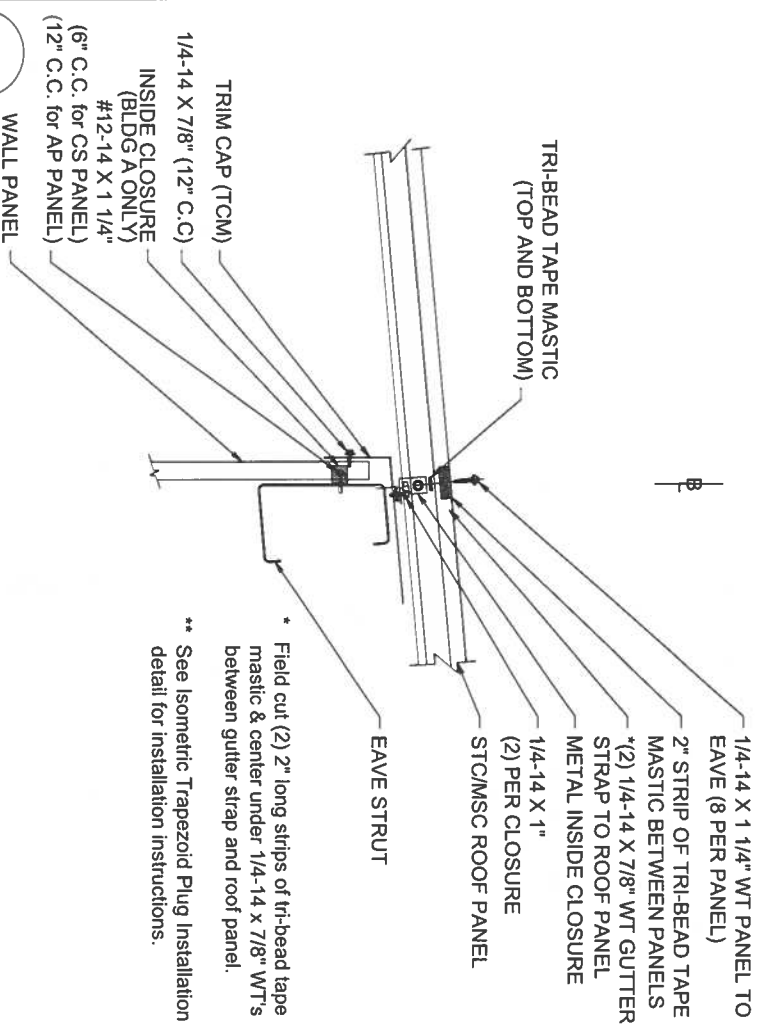
Y7

PANEL END GABLE DETAIL



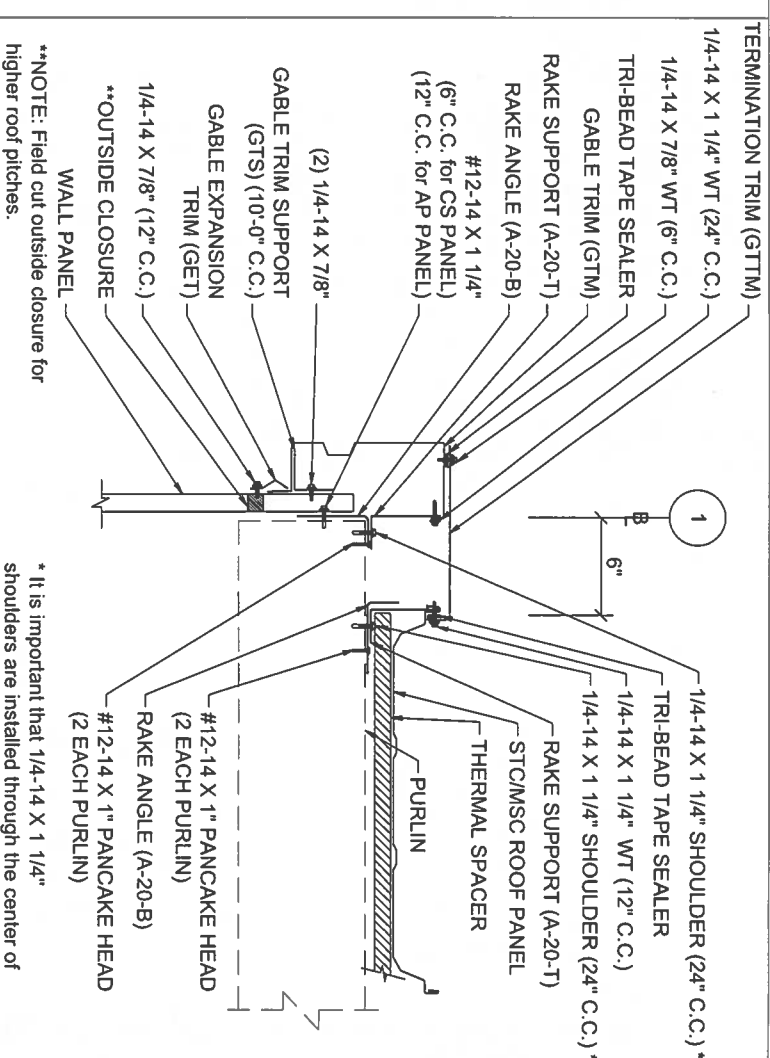
Y5

PANEL START GABLE DETAIL



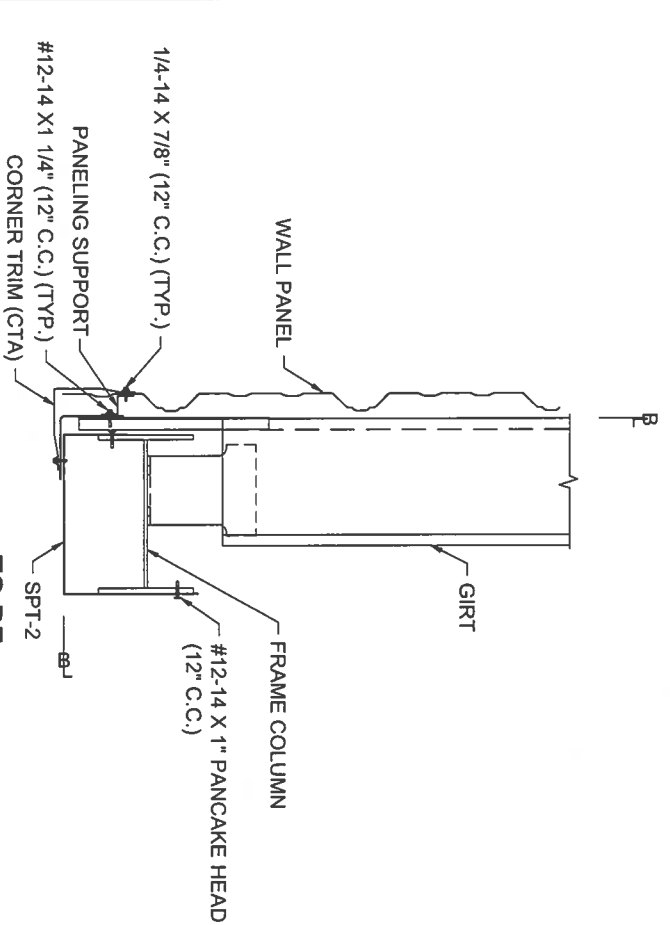
Y8

LOW EAVE AT ROOF PLANE MERGE



Y6

PANEL OFFSET GABLE DETAIL



Y9

LINE 4 CORNER COLUMN TRIM COVER

REVISIONS

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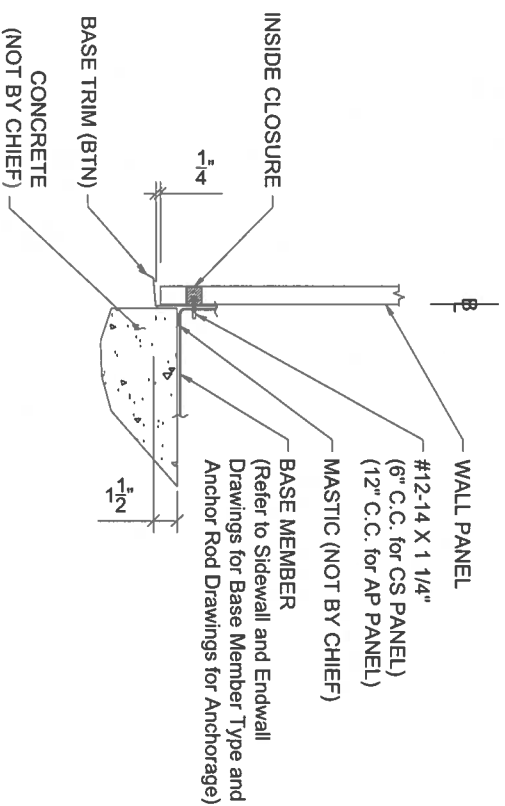
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 PO Box 2078, Grand Island, NE 68802-2078
 (308) 388-1289 c@chiefbu.com



09/09/2024

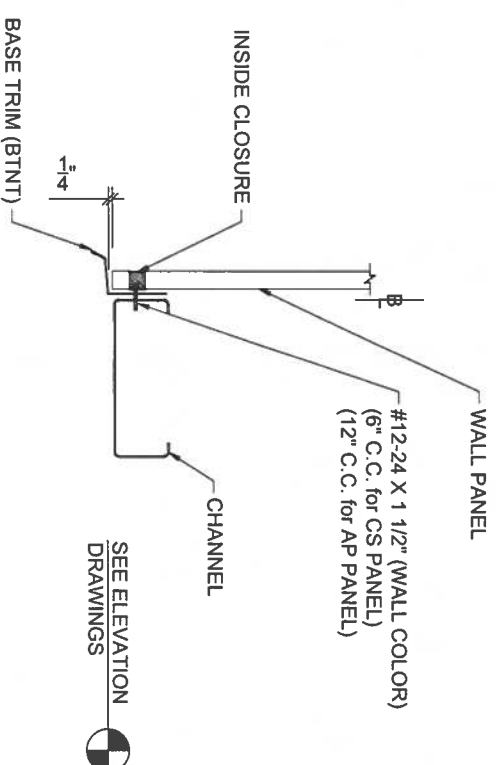
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| Drawing | DETAILS | | |
| Buyer | JWR Ventures, LLC | | |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 | | |
| Project Name | J & L Office | | |
| DRAWN | CHECK | ORDER NO. | D7 |
| DJAP | JGJ | B3024694 | D12 |
| 09/10/24 | 09/10/24 | | |

- Reference notes:
- Use 1/8" x 3/8" Blind Rivets 10'-0" C.C. to attach Base Trim to Base Member.
 - Drill Ø1/8" hole for 1/8" x 3/8" Blind Rivets.
 - Provide air gap of 1/4" min. at bottom of panel to avoid corrosion.



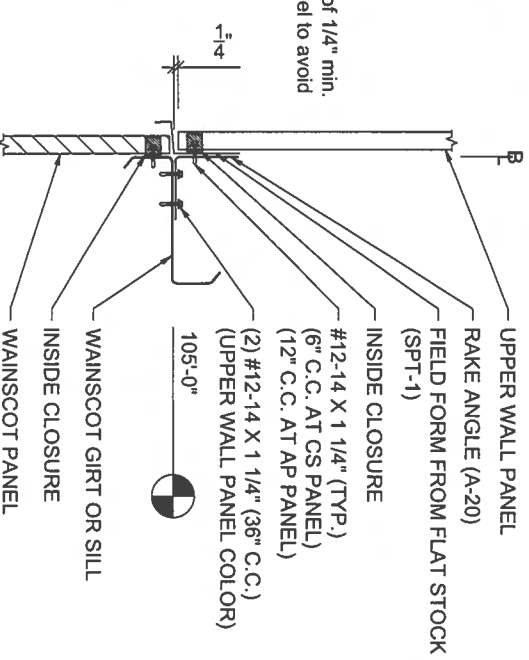
**BASE TRIM (BTN)
FINISH FLOOR**

- Reference notes:
- Use 1/8" x 3/8" Blind Rivets 10'-0" C.C. to attach Base Trim to Base Member.
 - Drill Ø1/8" hole for 1/8" x 3/8" Blind Rivets.
 - Provide air gap of 1/4" min. at bottom of panel to avoid corrosion.



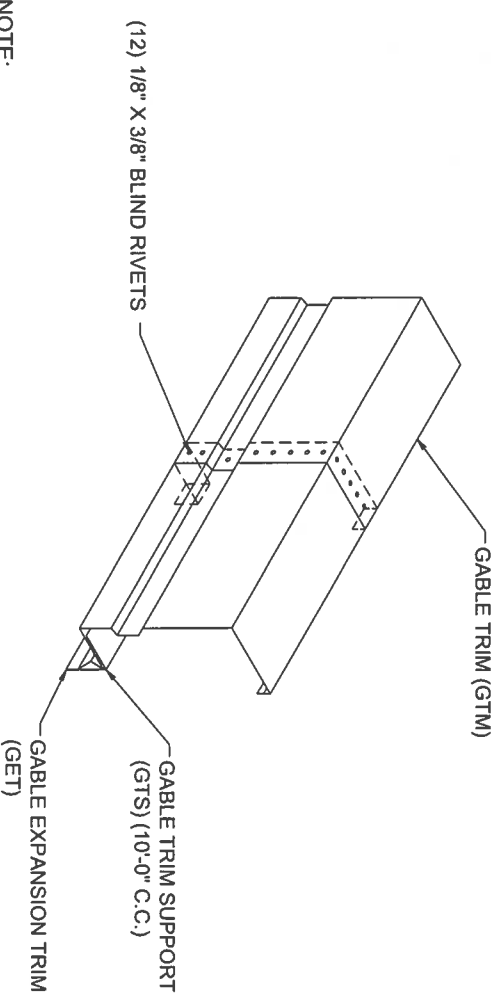
BASE TRIM (BTNT)

- Provide air gap of 1/4" min. at bottom of panel to avoid corrosion.



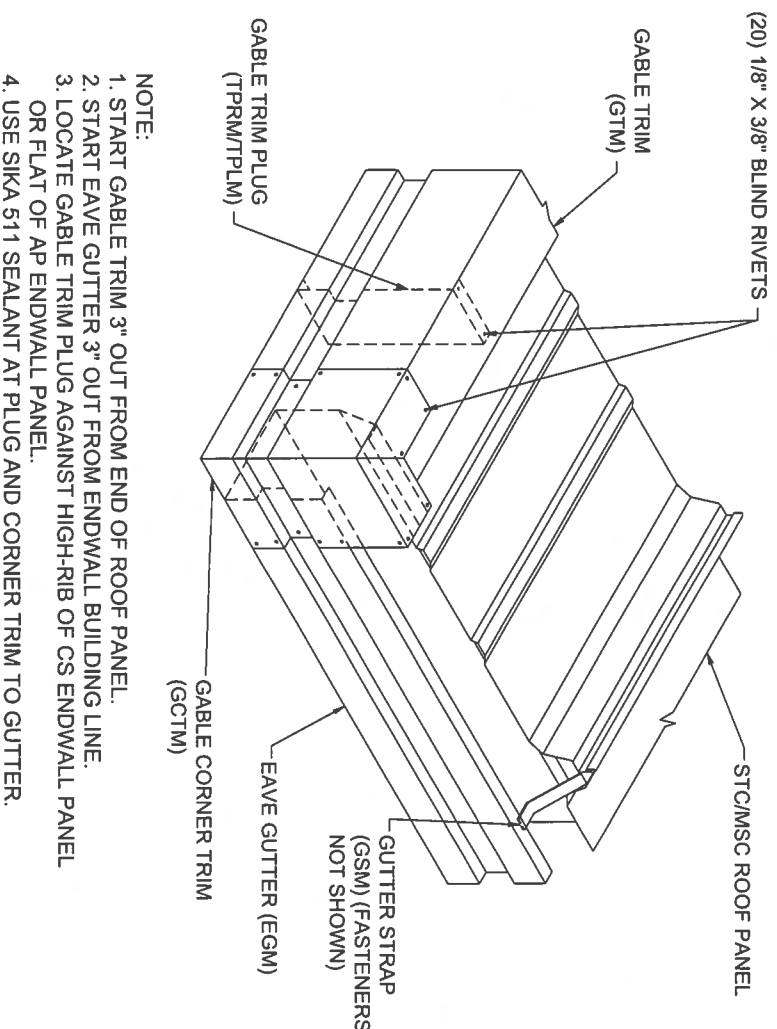
**TO BE
USED FOR
CONSTRUCTION**

**T18
TRANSITION FROM WALL PANEL TO WAINSCOT WITH
PANELS NOT LAPPED**



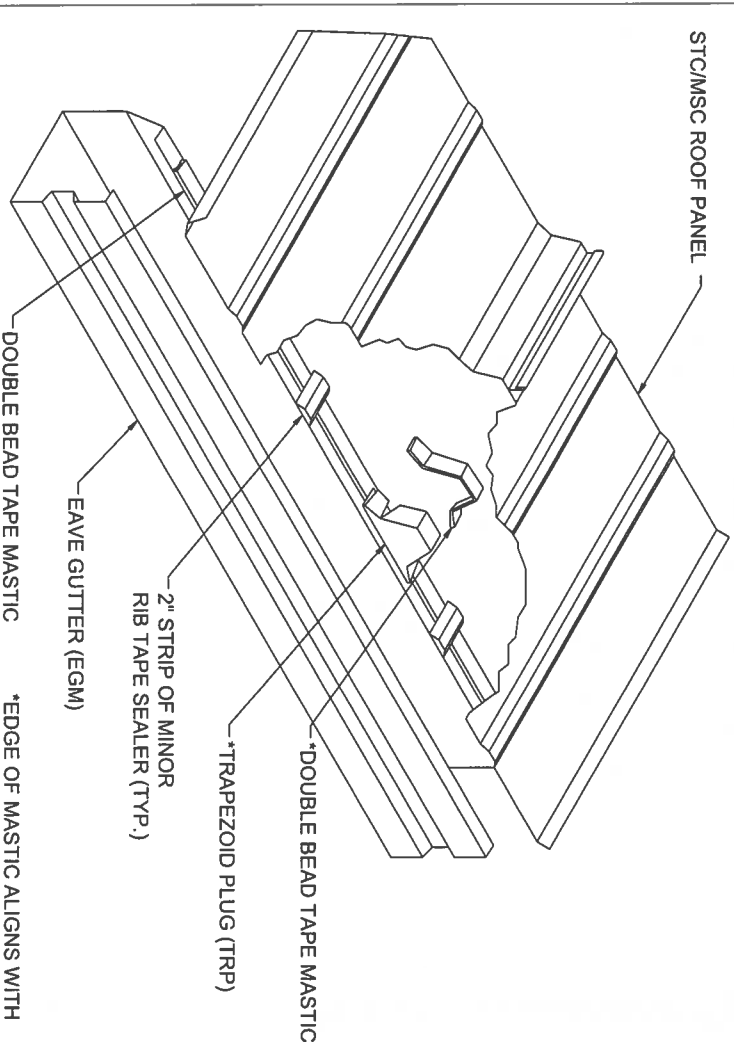
- NOTE:
1. USE 1 1/2" LAP AT SPLICES, AND FIELD CUT 3/8"
 2. FASTEN SPLICE WITH (12) 1/8" X 3/8" BLIND RIVETS.
 3. USE SIKA 511 SEALANT AT SPLICE.

GABLE TRIM SPLICE



- NOTE:
1. START GABLE TRIM 3" OUT FROM END OF ROOF PANEL.
 2. START EAVE GUTTER 3" OUT FROM ENDWALL BUILDING LINE.
 3. LOCATE GABLE TRIM PLUG AGAINST HIGH-RIB OF CS ENDWALL PANEL OR FLAT OF AP ENDWALL PANEL.
 4. USE SIKA 511 SEALANT AT PLUG AND CORNER TRIM TO GUTTER.

GABLE CORNER TRIM WITH GUTTER



TRAPEZOID PLUG INSTALLATION WITH GUTTER

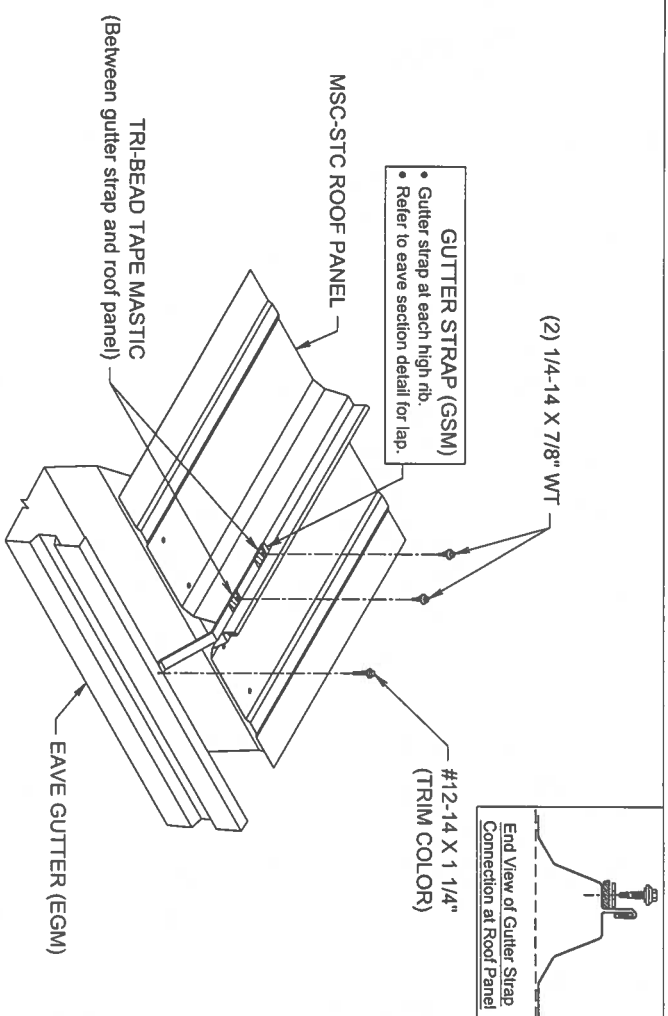
REVISIONS

| | | |
|---|--|---|
| 4 | | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as 'The Engineer of Record.' The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
| 3 | | |
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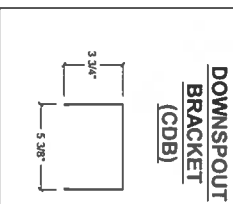
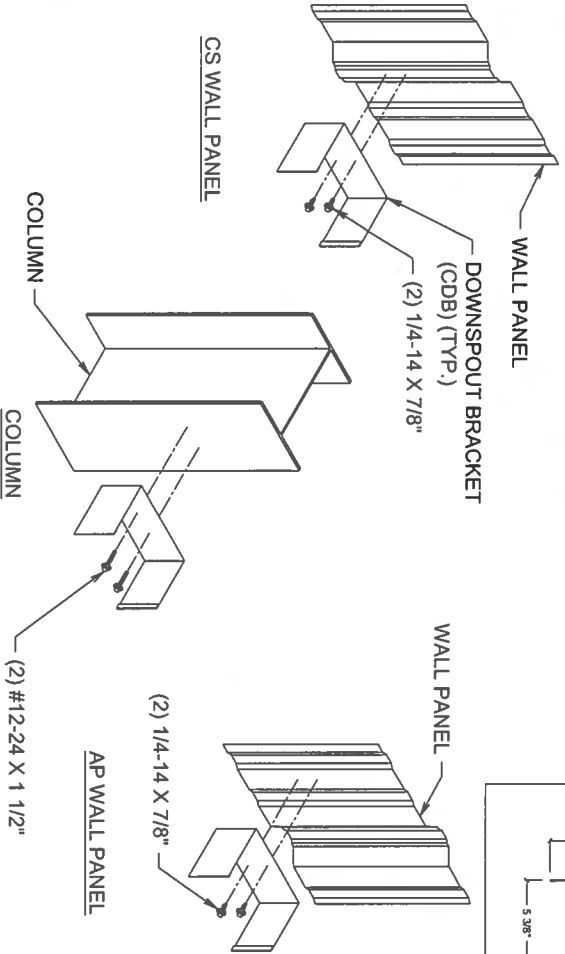


| | |
|--------------|--|
| Drawing | DETAILS |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | CHECK |
| DJAP | JGJ |
| 09/10/24 | 09/10/24 |
| ORDER NO. | B30224694 |
| D8 | D12 |



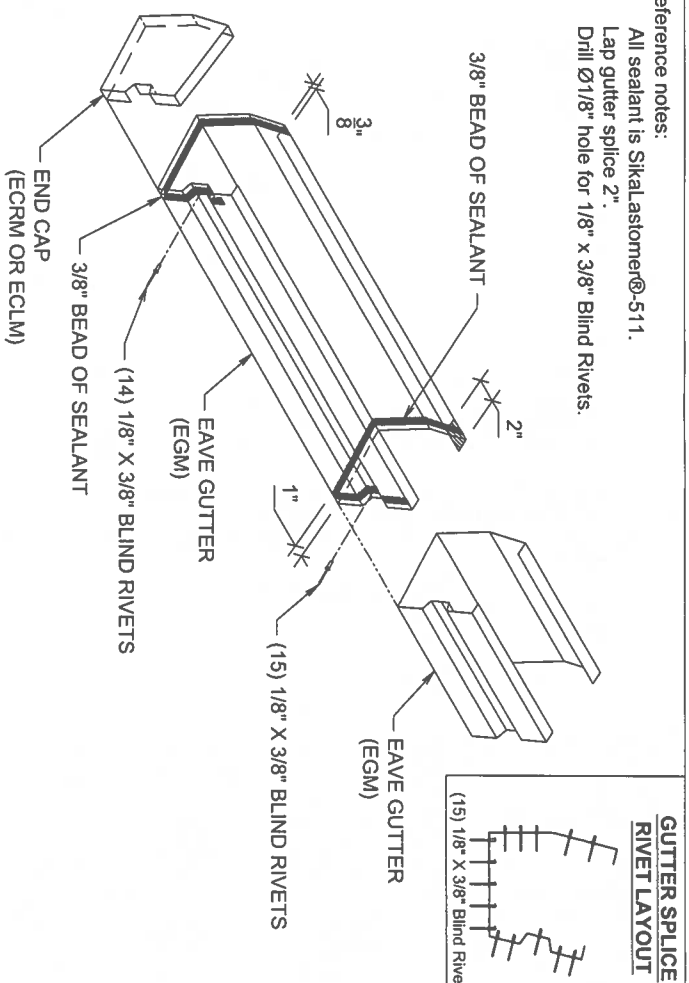
GUTTER STRAP TO ROOF PANEL WITH STANDARD GUTTER
MSC-STC Roof Panel

- Reference notes:
- Locate brackets at 6'-0" C.C.
 - Locate bracket on high ribs for CS wall panel.
 - Locate bracket on flat of panel for AP wall panel.
 - Attach bracket to downspout with (2) 1/8" x 3/8" blind rivets each leg.
 - Cover splices with downspout bracket, if possible.



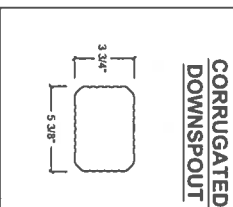
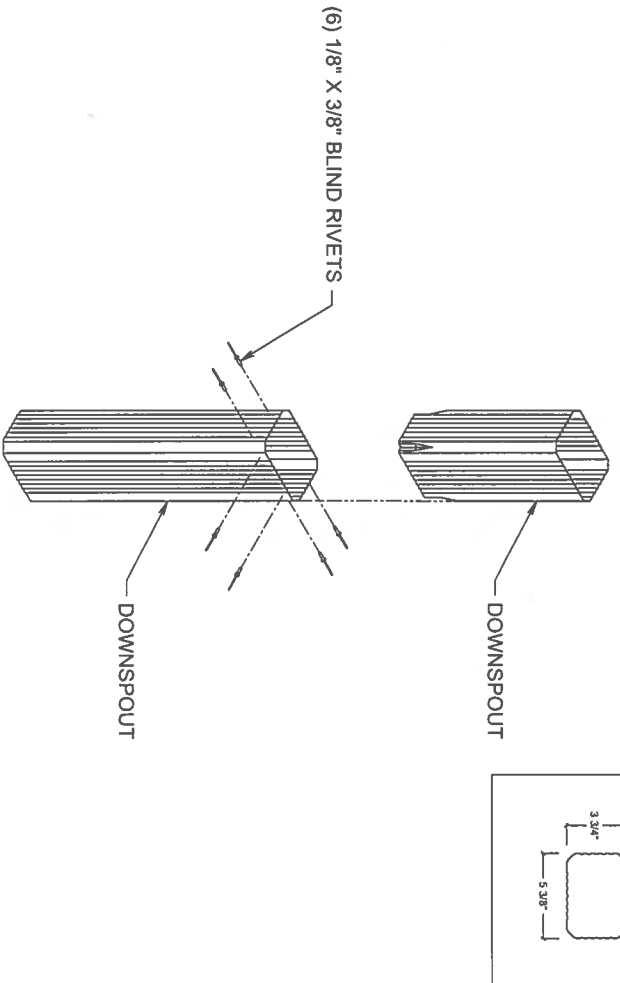
DOWNSPOUT BRACKET WITH STANDARD GUTTER

- Reference notes:
- All sealant is Sikalastomer@511.
 - Lap gutter splice 2".
 - Drill Ø1/8" hole for 1/8" x 3/8" Blind Rivets.



END CAP AND GUTTER SPLICE WITH STANDARD GUTTER
Standing Seam Roof Panel

- Reference notes:
- Lap downspout splice 2".
 - Drill Ø1/8" hole for 1/8" x 3/8" Blind Rivets.
 - Refer to Sidewall drawings for the quantity of downspout drops.

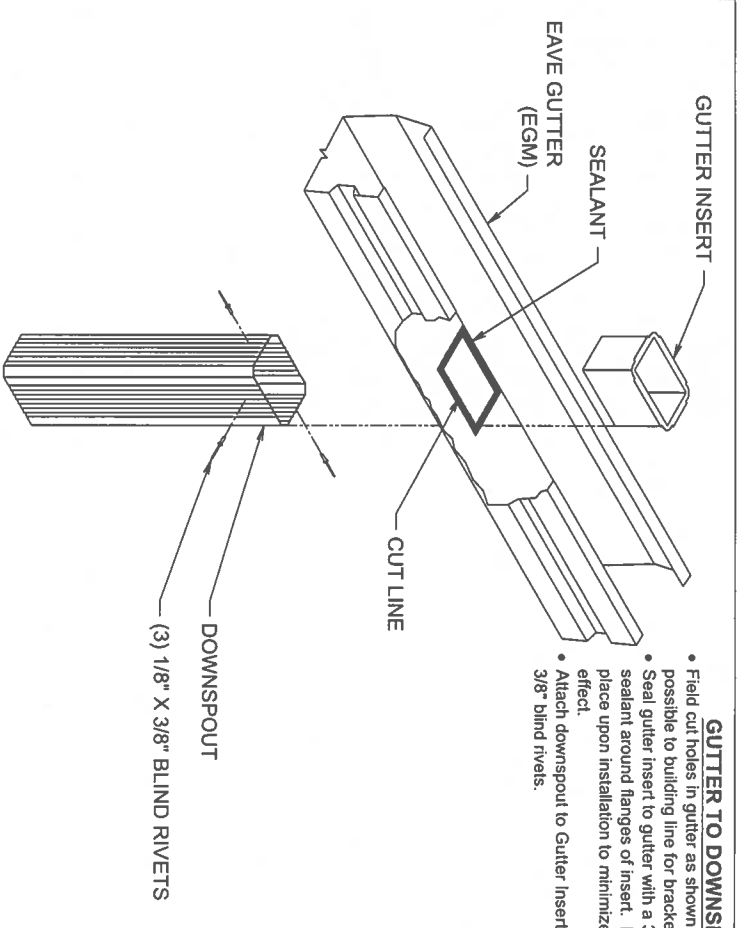


CORRUGATED DOWNSPOUT SPLICE

REVISIONS

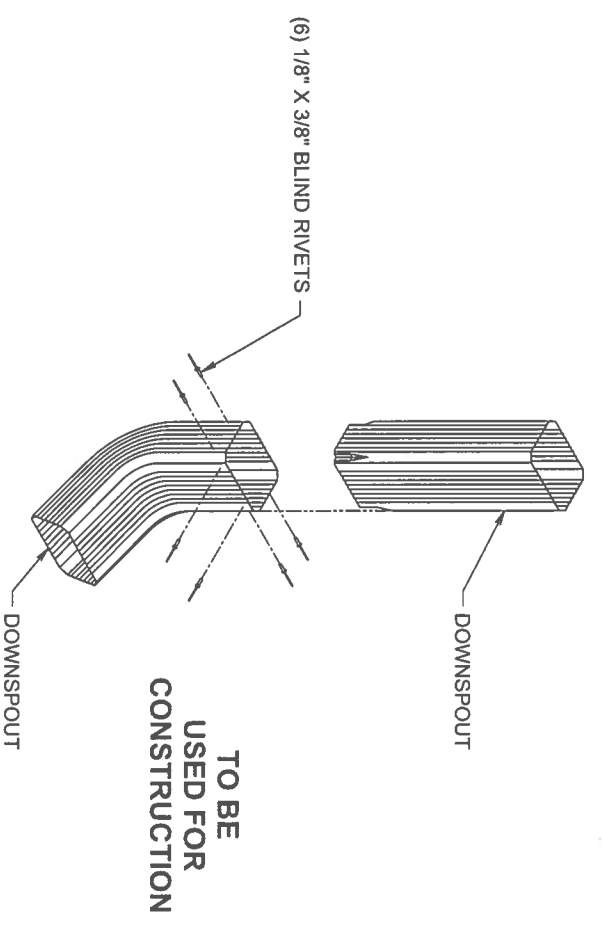
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- GUTTER TO DOWNSPOUT**
- Field cut holes in gutter as shown close as possible to building line for bracket attachment.
 - Seal gutter insert to gutter with a 3/8" bead of sealant around flanges of insert. Hand tool into place upon installation to minimize damming effect.
 - Attach downspout to Gutter Insert with (3) 1/8" X 3/8" blind rivets.



GUTTER TO CORRUGATED DOWNSPOUT
Standing Seam Roof Panel

- Reference notes:
- Lap downspout to elbow splice 2".
 - Drill Ø1/8" hole for 1/8" x 3/8" Blind Rivets.
 - Refer to Sidewall drawings for the quantity of elbows.



CORRUGATED DOWNSPOUT ELBOW

DETAILS

| | | | | | | |
|--------------|-------|-------------------------|----------|----------|-----------|-----|
| Drawing | Buyer | JWR Ventures, LLC | DRAWN | CHECK | ORDER NO. | D9 |
| Customer | | JWR Ventures, LLC | DJAP | JGJ | B3024694 | D12 |
| Project Name | | Fuquay Varina, NC 27526 | 09/10/24 | 09/10/24 | | |
| | | J & L Office | | | | |

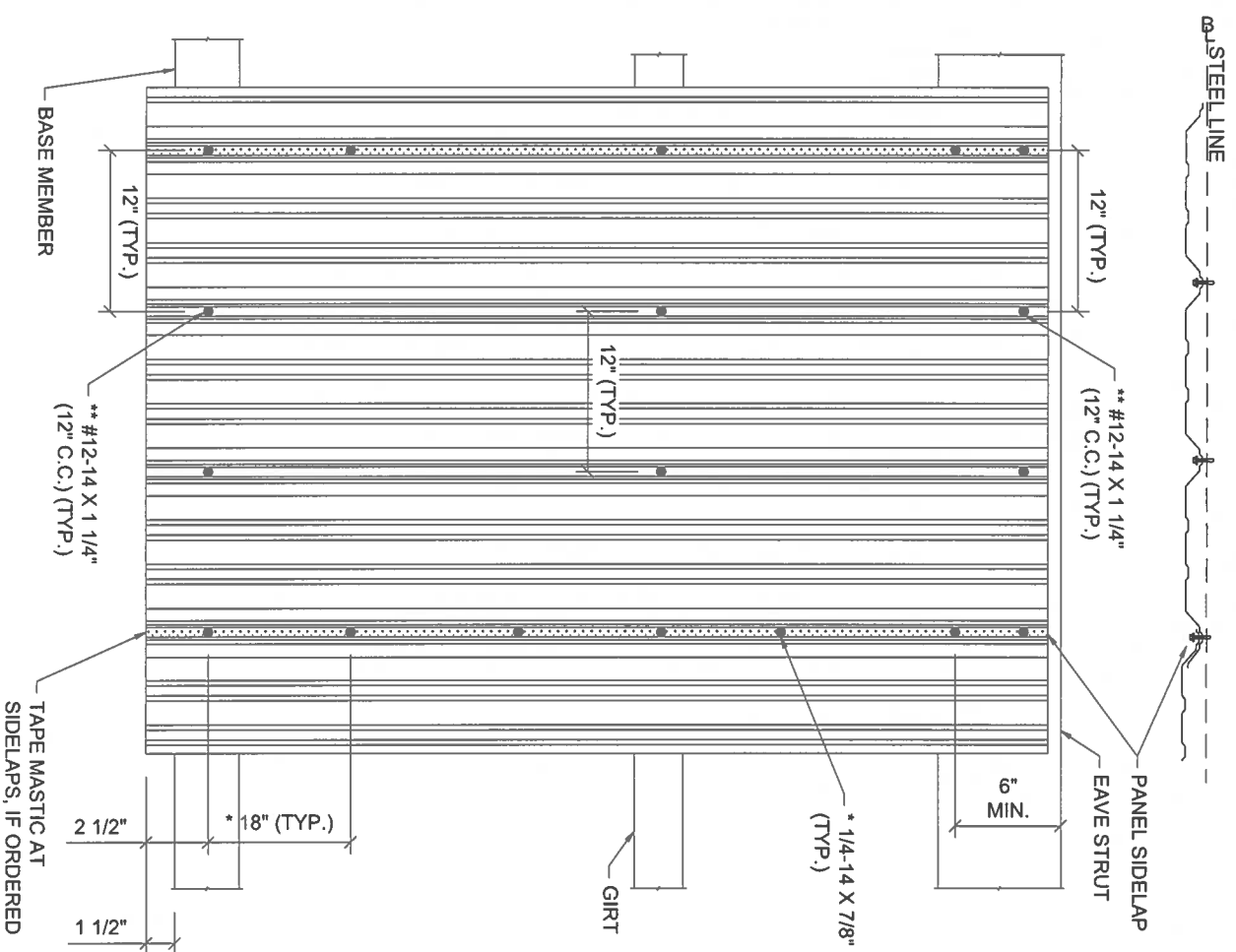
Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

Chief Buildings
P.O. Box 2078, Grand Island, NE 68802-2078
(409) 557-7259 cb@chiefbuild.com

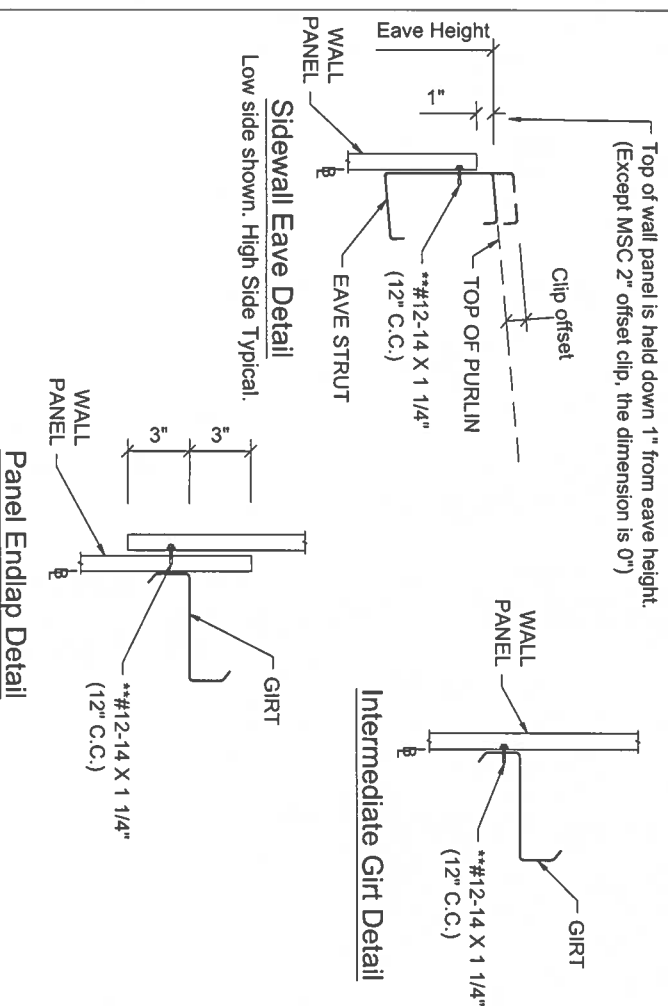


AP WALL PANEL - The details shown below are typical Chief metal building details. Not all details may apply. Specific details for additional features will be provided for complete installation instructions.

- NOTES:**
- The structural system must be plumb and square prior to panel installation.
 - Care must be taken to insure panel modularity due to accessory locations and trim.
 - Insulation has not been shown for clarity.
 - Blanket insulation must be trimmed above the bottom of panel to prevent water from "WICKING" into the insulation.
 - Provide air gap of 1/4" min. at bottom of panel to avoid corrosion.
 - #12-14 X 1 1/4" Fastener spacing is (12" C.C.) unless otherwise noted.
 - ** #12-14 X 1-1/4" Blanket Insulation <=4" thickness
 - ** #12-14 X 2" Blanket Insulation >4" thickness
 - When possible, CHIEF recommends installing panel so that panel lap is away from prevailing weather.

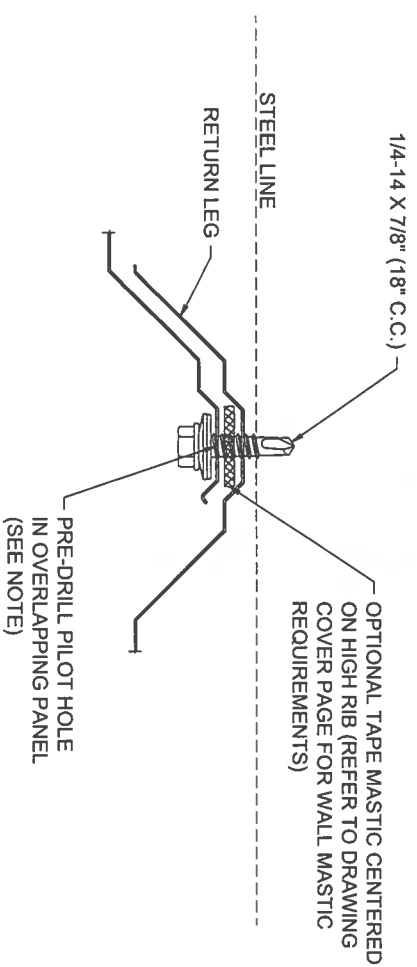


AP PANEL INSTALLATION

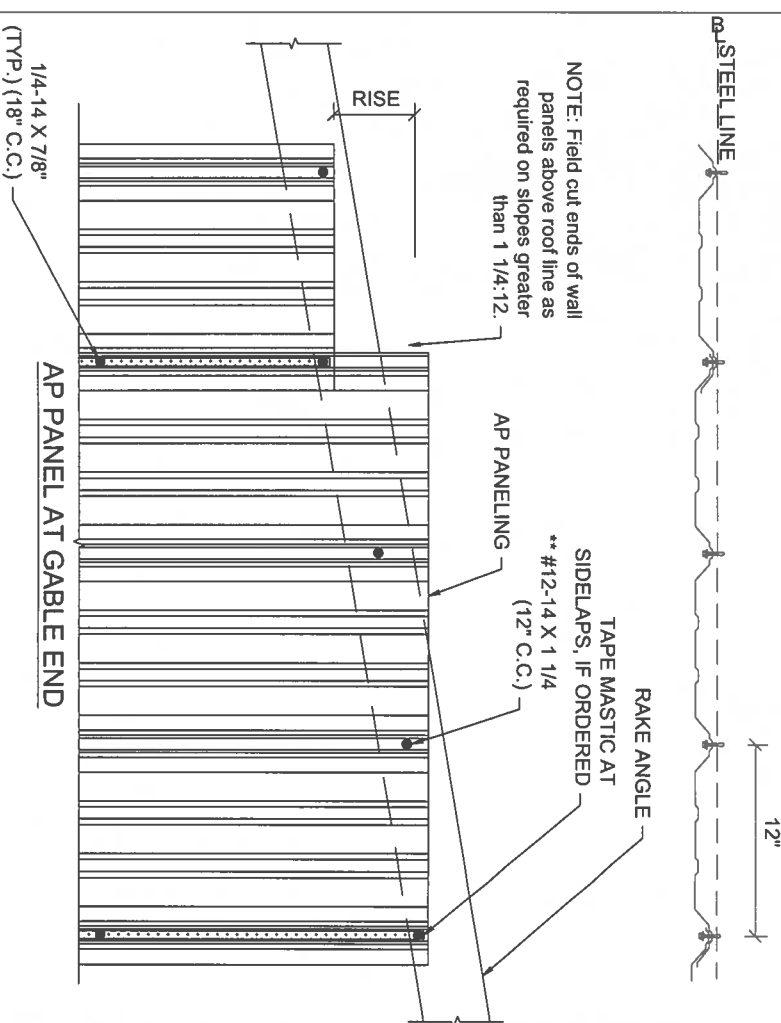


AP PANEL FASTENER INSTALLATION

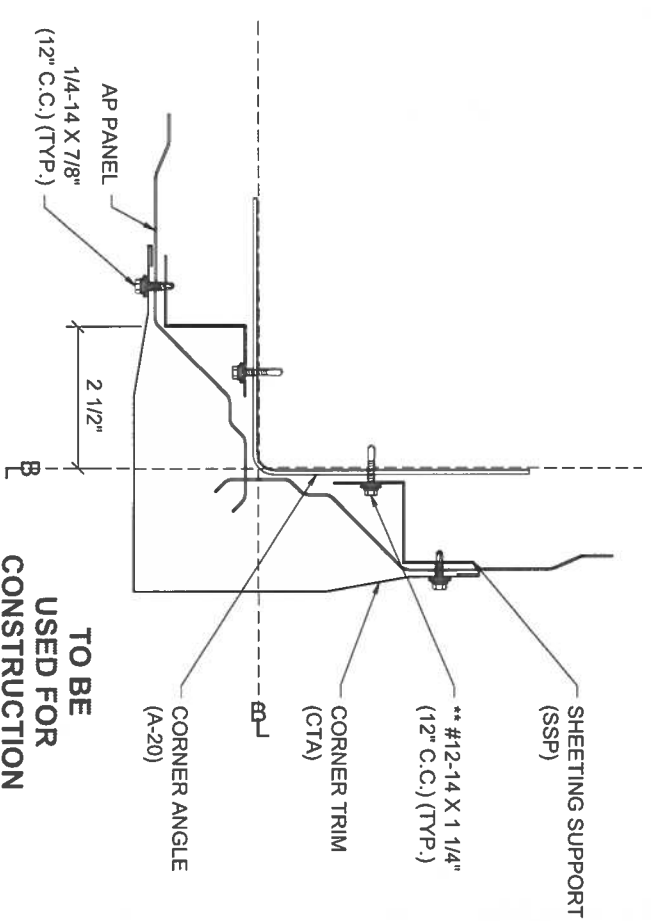
- NOTE:**
- Sidelap holes (7/32" DIA.) must be Pre-drilled in the overlapping corrugation only.
 - The overlapping corrugation does not have the return leg.



AP PANEL SIDE LAPS



- NOTES:**
- Field cut panel if required for corner trim.
 - Corner Angle connection/fasteners, refer to Girt Corner Detail.



AP PANEL STANDARD CORNER CONDITION

REVISIONS

| NO. | DESCRIPTION |
|-----|---|
| 4 | Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings. |
| 3 | Chief Buildings, PO Box 2078, Grand Island, NE 68802-2078 (680) 353-2289, www.chiefbuildings.com |
| 2 | |
| 1 | |

DETAILS

| | |
|--------------|--|
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGI |
| ORDER NO. | B3024694 |
| | D10 |
| | D12 |



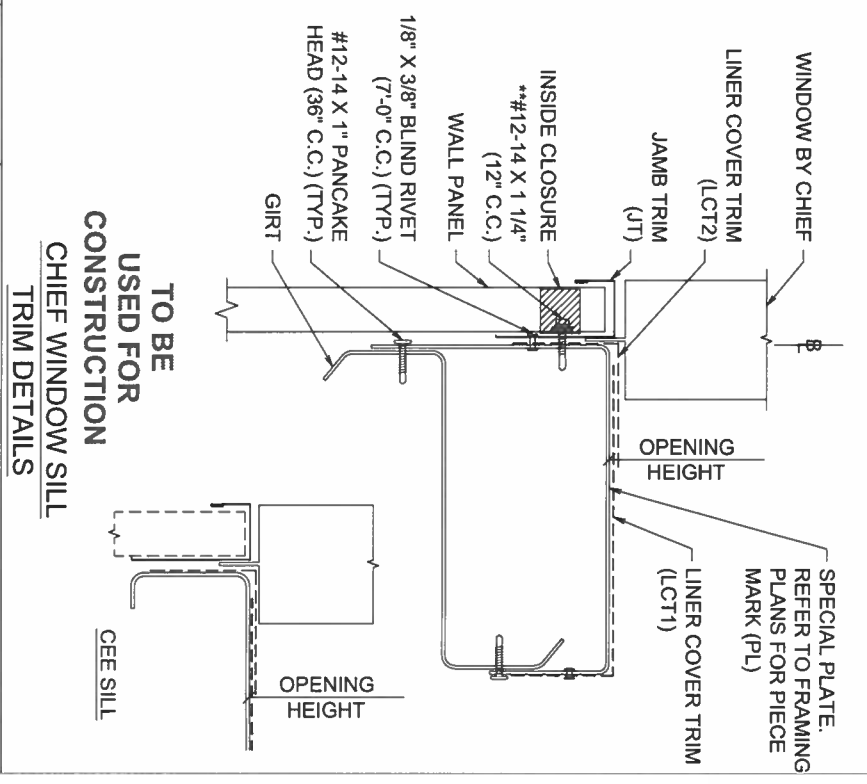
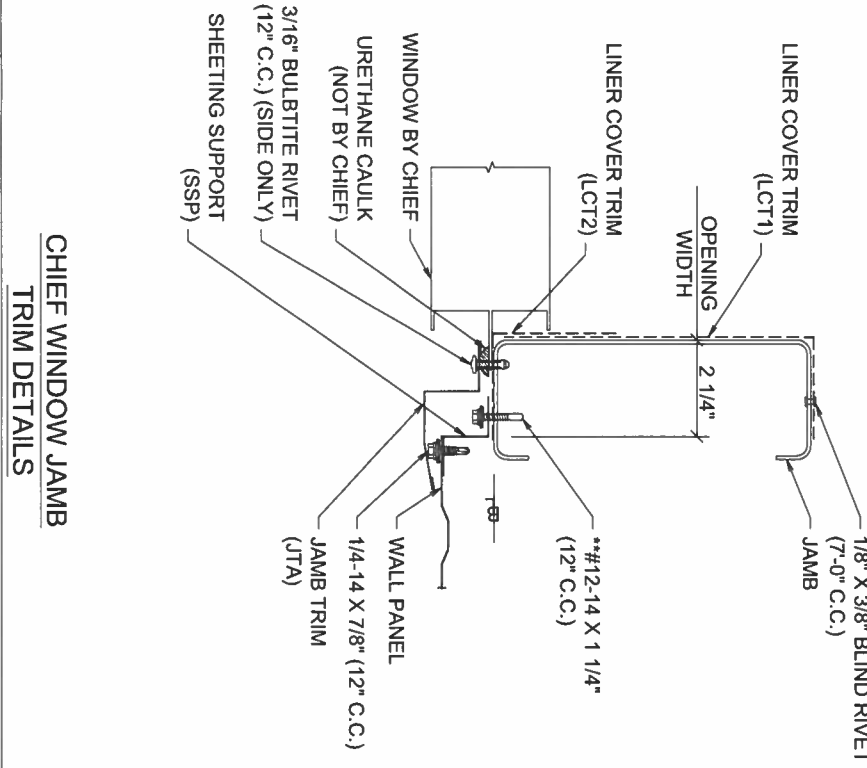
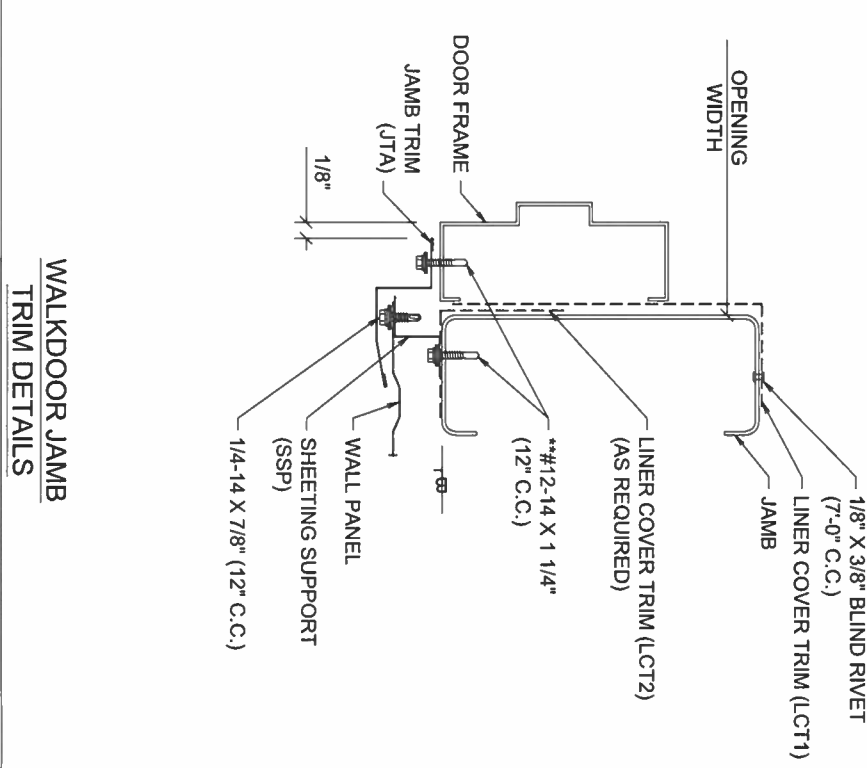
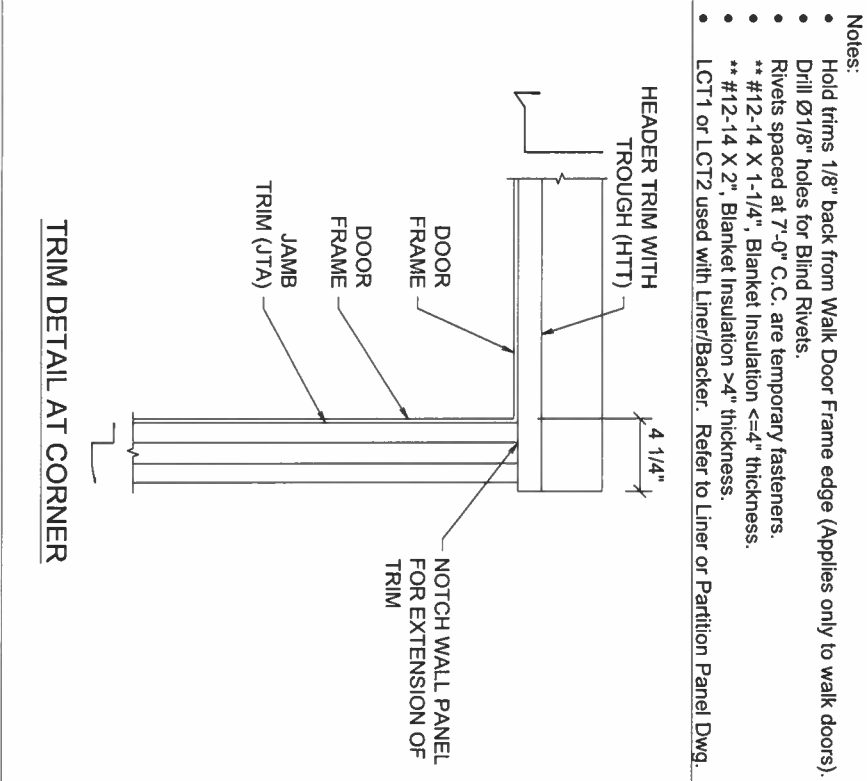
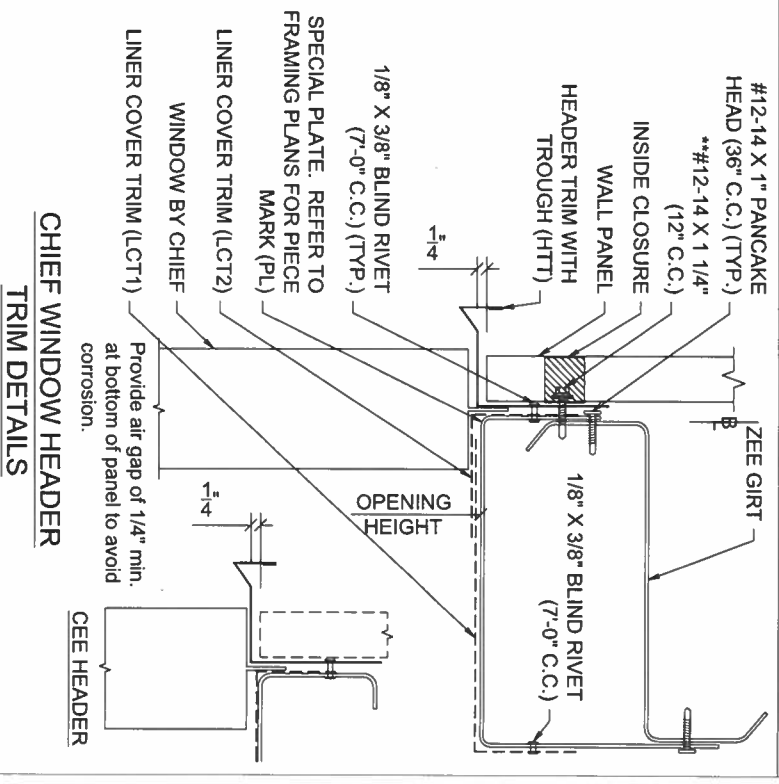
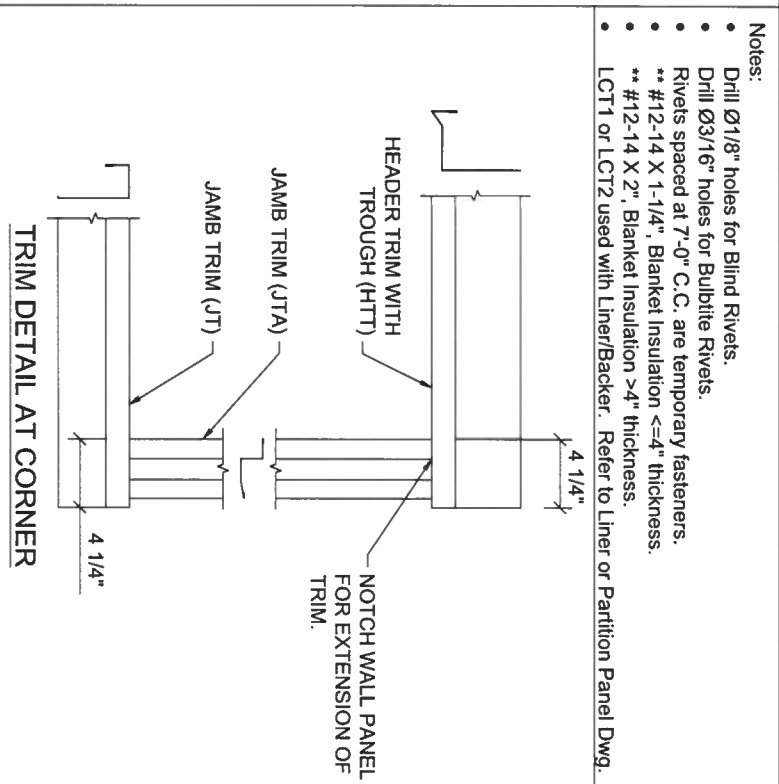
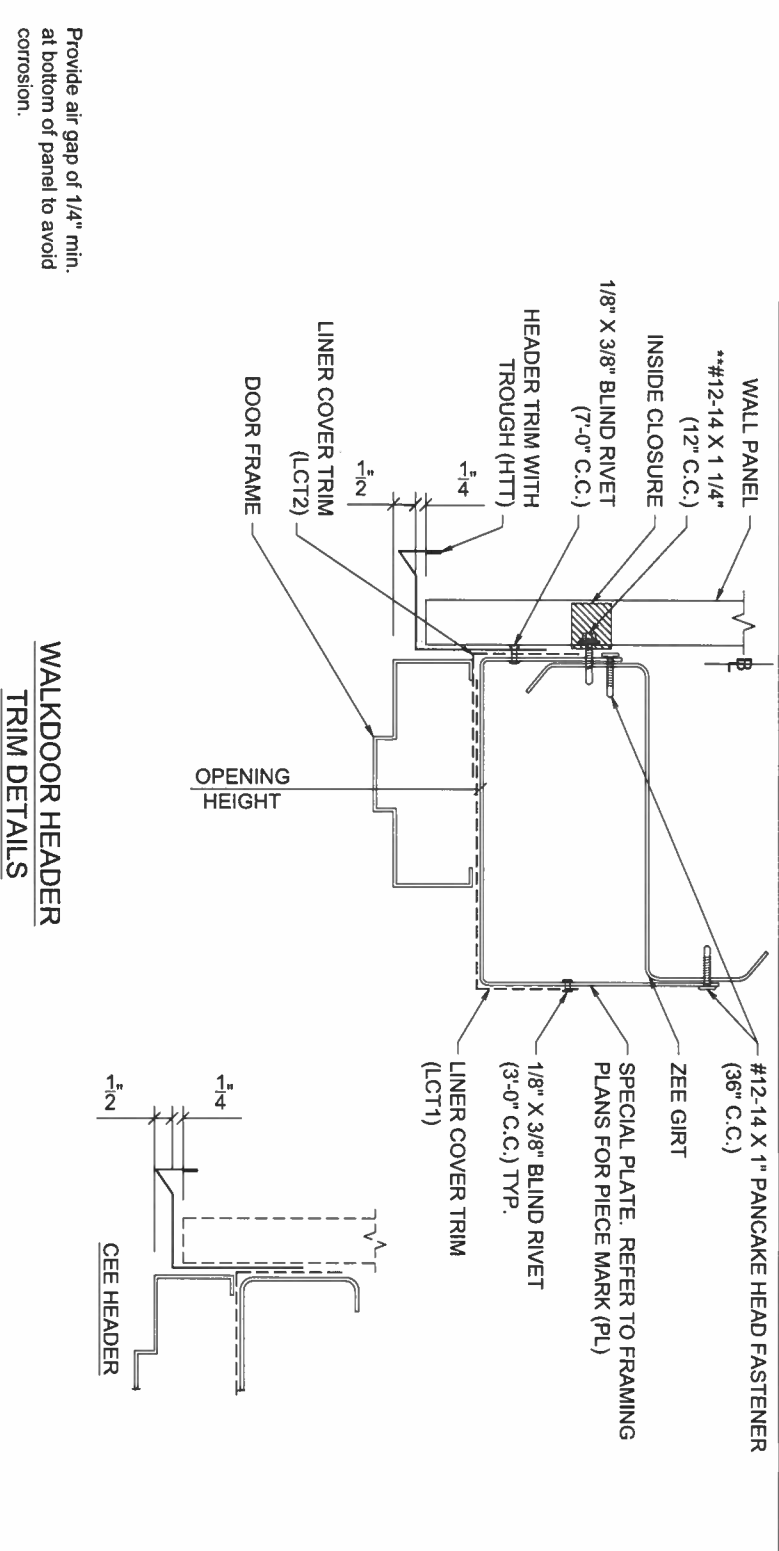
09/09/2024

CHIEF BUILDINGS

AP Panel - Metal Building Walkdoor -- Knocked-Down (by Chief) or Door Not by Chief

Refer to Order Documents for Doors by Chief

AP Panel - Window by Chief



- Notes:
- Hold trims 1/8" back from Walk Door Frame edge (Applies only to walk doors).
 - Drill Ø1/8" holes for Blind Rivets.
 - Rivets spaced at 7'-0" C.C. are temporary fasteners.
 - ** #12-14 X 1-1/4", Blanket Insulation <=4" thickness.
 - ** #12-14 X 2", Blanket Insulation >4" thickness.
 - LCT1 or LCT2 used with Liner/Backer. Refer to Liner or Partition Panel Dwg.

- Notes:
- Drill Ø1/8" holes for Blind Rivets.
 - Drill Ø3/16" holes for Bulbrite Rivets.
 - Rivets spaced at 7'-0" C.C. are temporary fasteners.
 - ** #12-14 X 1-1/4", Blanket Insulation <=4" thickness.
 - ** #12-14 X 2", Blanket Insulation >4" thickness.
 - LCT1 or LCT2 used with Liner/Backer. Refer to Liner or Partition Panel Dwg.

REVISIONS

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| 1 | |

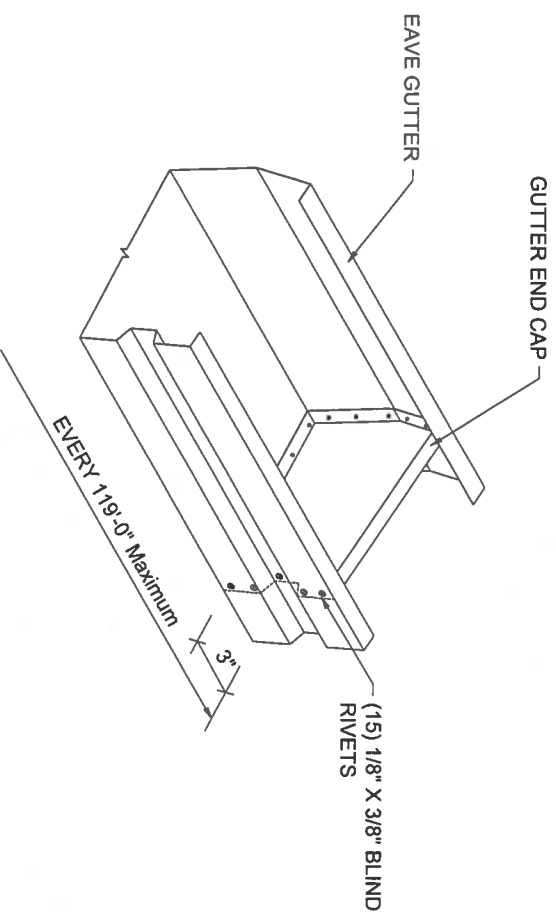
NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.

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 PO Box 2078, Grand Island, NE 68802-2078
 (505) 553-7255 chiefbuild.com

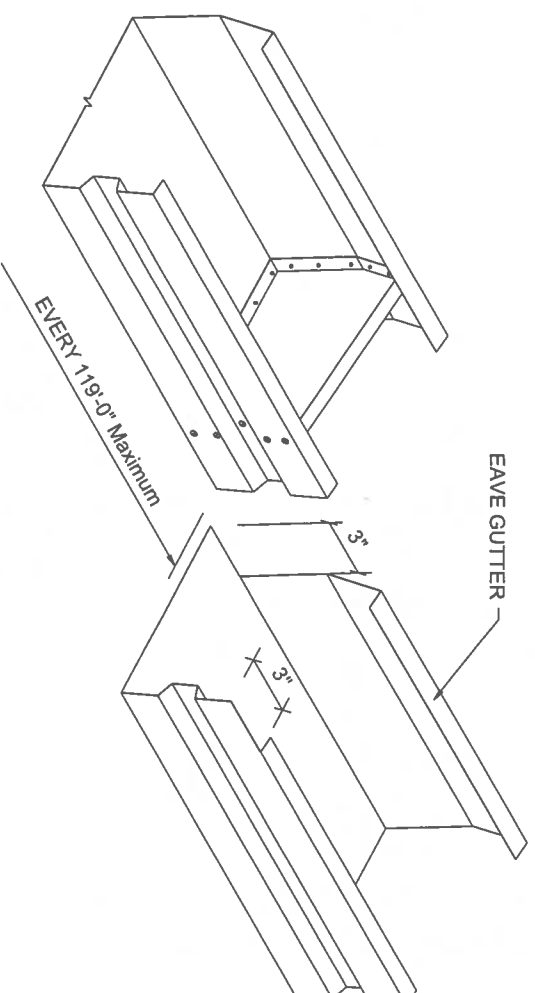


| | |
|--------------|--|
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGJ |
| ORDER NO. | B3024694 |
| | D12 |

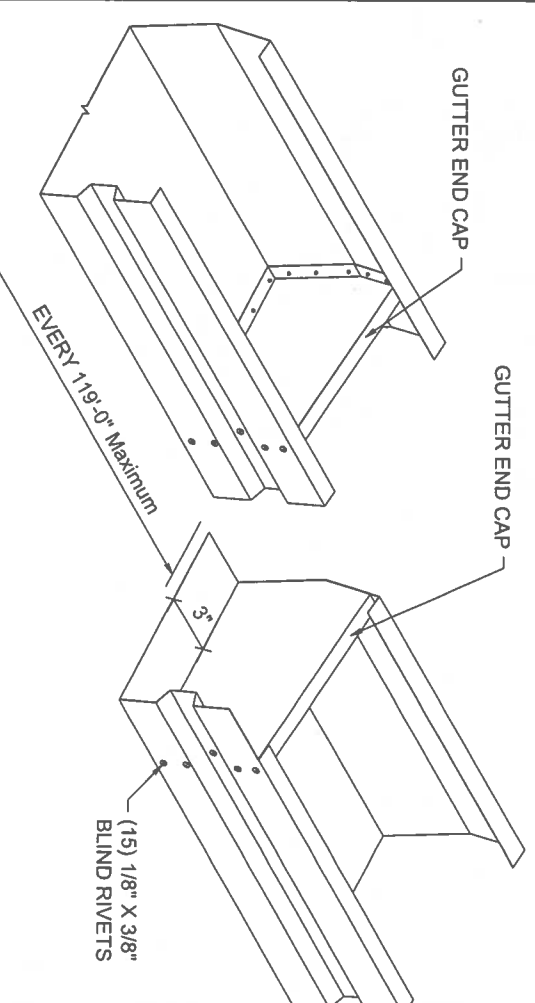
TO BE USED FOR CONSTRUCTION



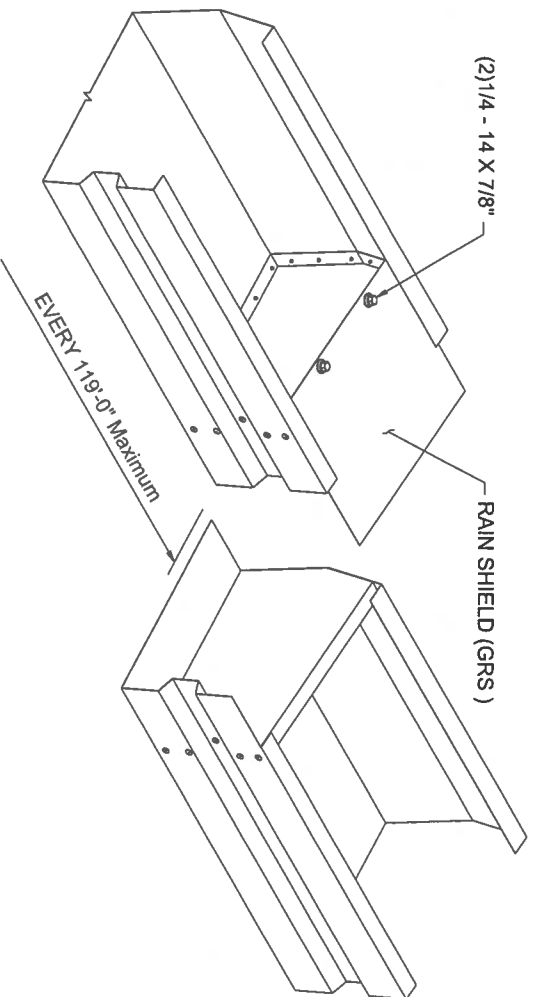
- STEP 1:**
- Install gutter up to point that expansion joint is to be located.
 - Assemble gutter end cap into bead of sealant 3" from gutter end prior to attaching gutter to roof panel.



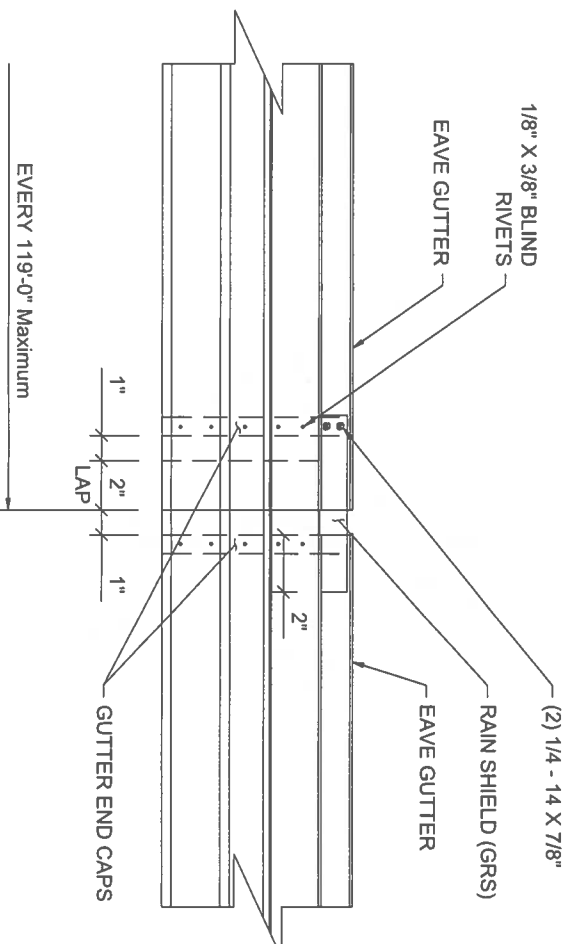
- STEP 2:**
- Remove 3" of material from next piece of gutter as shown.



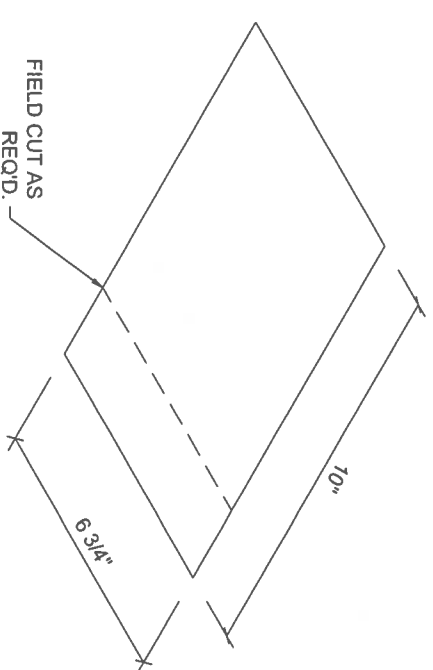
- STEP 3:**
- Assemble gutter end cap into bead of sealant 3" from gutter end.



- STEP 4:**
- Lap the gutters 2". Do **NOT** install any fasteners in the lapped area.
 - Using (2) 1/4 - 14 X 7/8" fasteners, assemble rain shield to only one gutter end cap. Do **NOT** fasten to both end caps.



FRONT VIEW



TO BE USED FOR CONSTRUCTION

RAIN SHIELD (GRS)

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 4 | |
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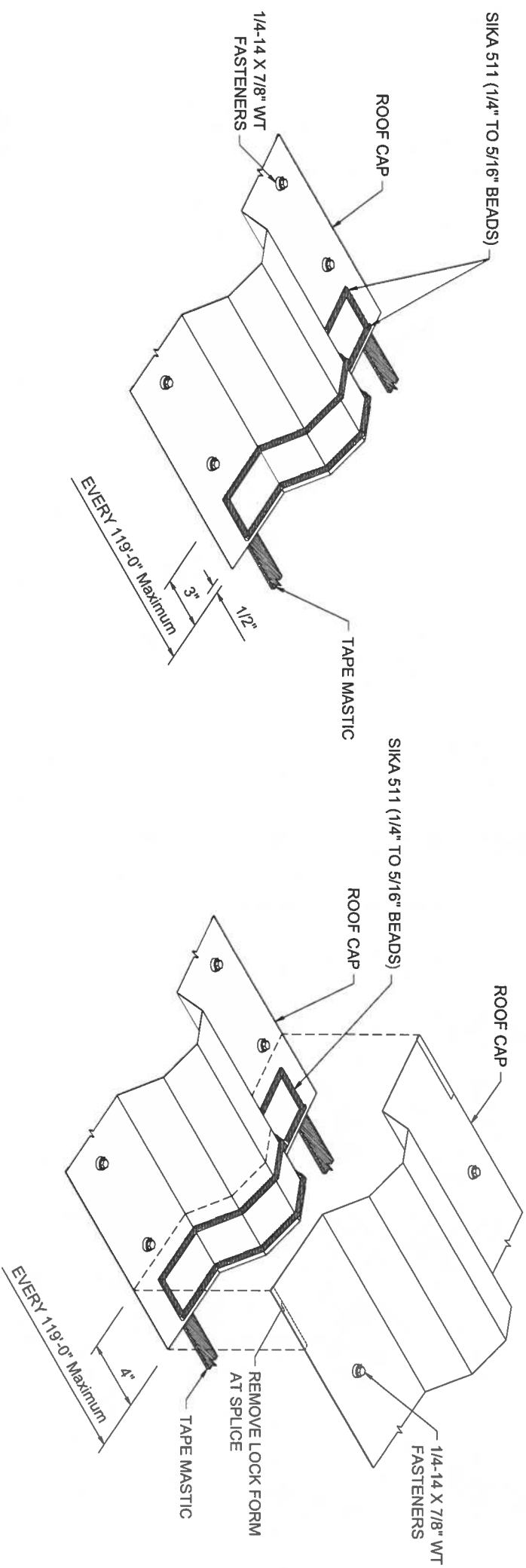
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 (402) 385-7259 www.chiefbuildings.com



| | |
|--------------|--|
| Drawing | GUTTER EXPANSION JOINT |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGJ |
| ORDER NO. | B3024694 |
| | GD1 |
| | GD9 |

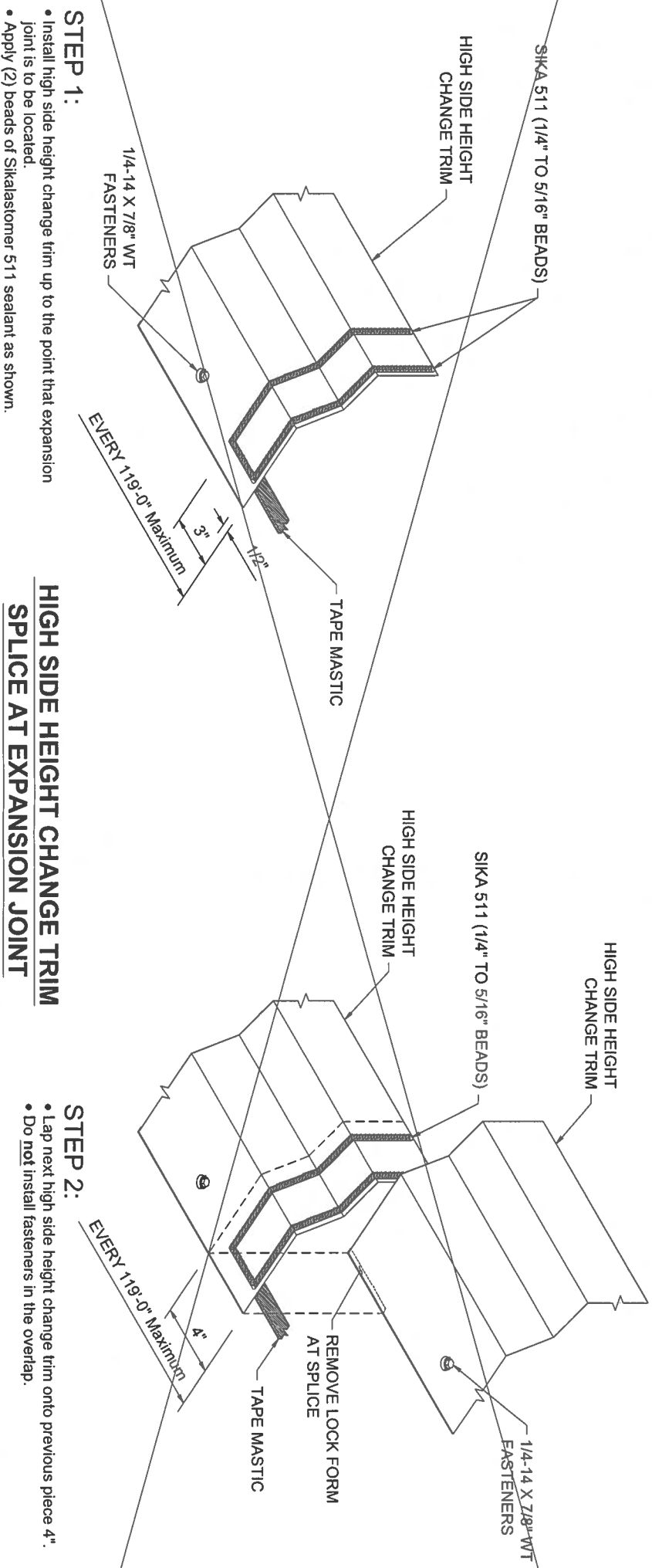
| | |
|------------|----------|
| RELEASED | 10-31-22 |
| SUPERSEDES | 06-29-11 |



- STEP 1:**
- Install roof cap up to the point that expansion joint is to be located.
 - Apply (2) beads of Sikalastomer 511 sealant as shown.

ROOF CAP TRIM SPLICE AT EXPANSION JOINT

- STEP 2:**
- Lap next roof cap piece onto previous piece 4".
 - Do not install fasteners in the overlap.



- STEP 1:**
- Install high side height change trim up to the point that expansion joint is to be located.
 - Apply (2) beads of Sikalastomer 511 sealant as shown.

HIGH SIDE HEIGHT CHANGE TRIM SPLICE AT EXPANSION JOINT

- STEP 2:**
- Lap next high side height change trim onto previous piece 4".
 - Do not install fasteners in the overlap.

TO BE USED FOR CONSTRUCTION

REVISIONS

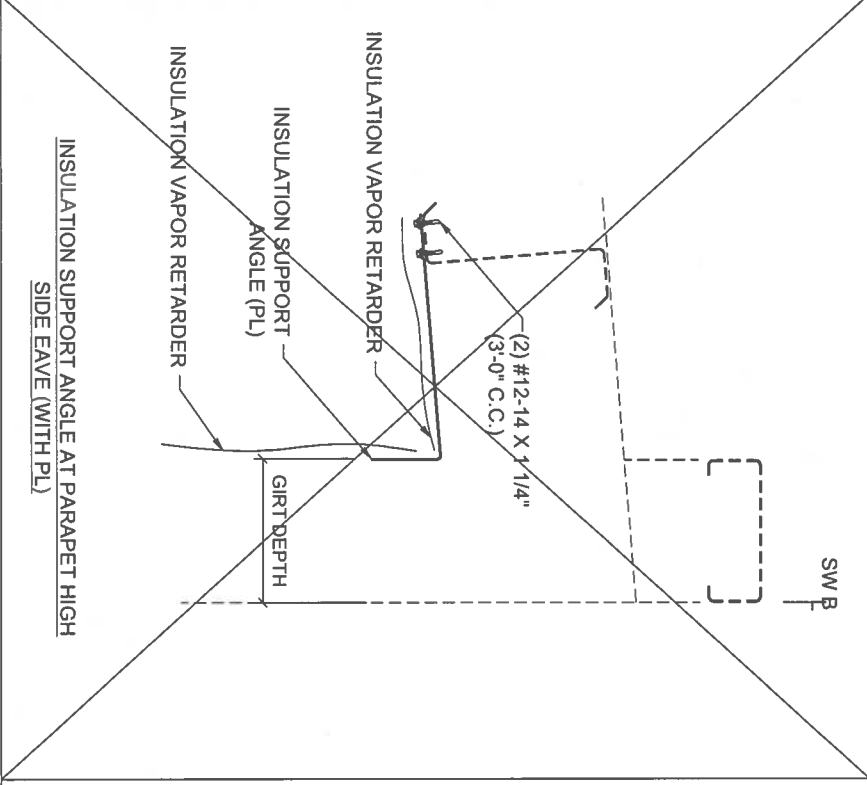
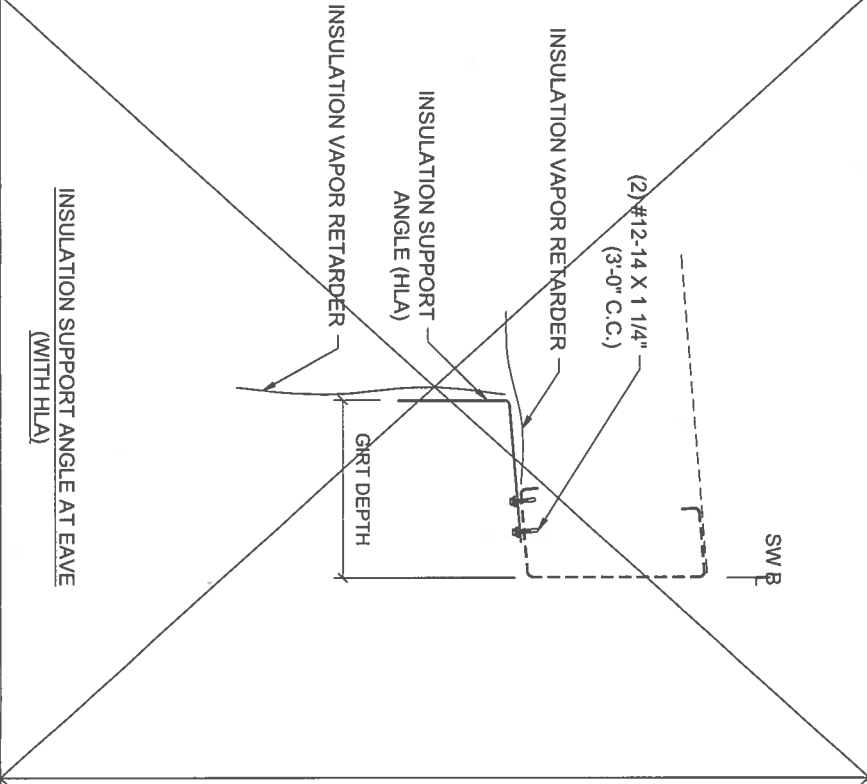
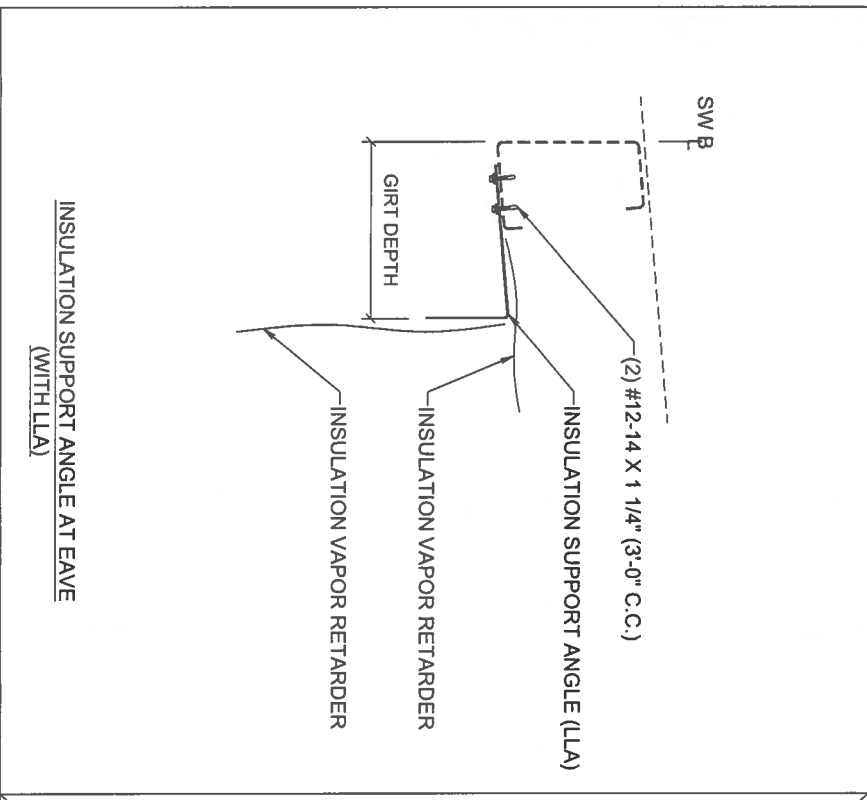
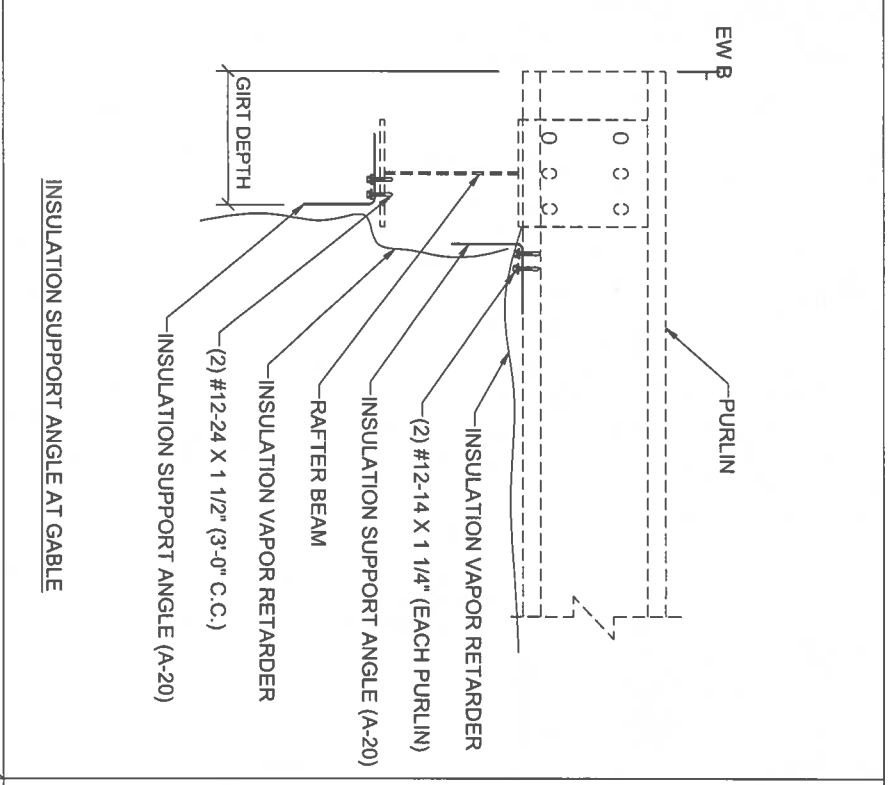
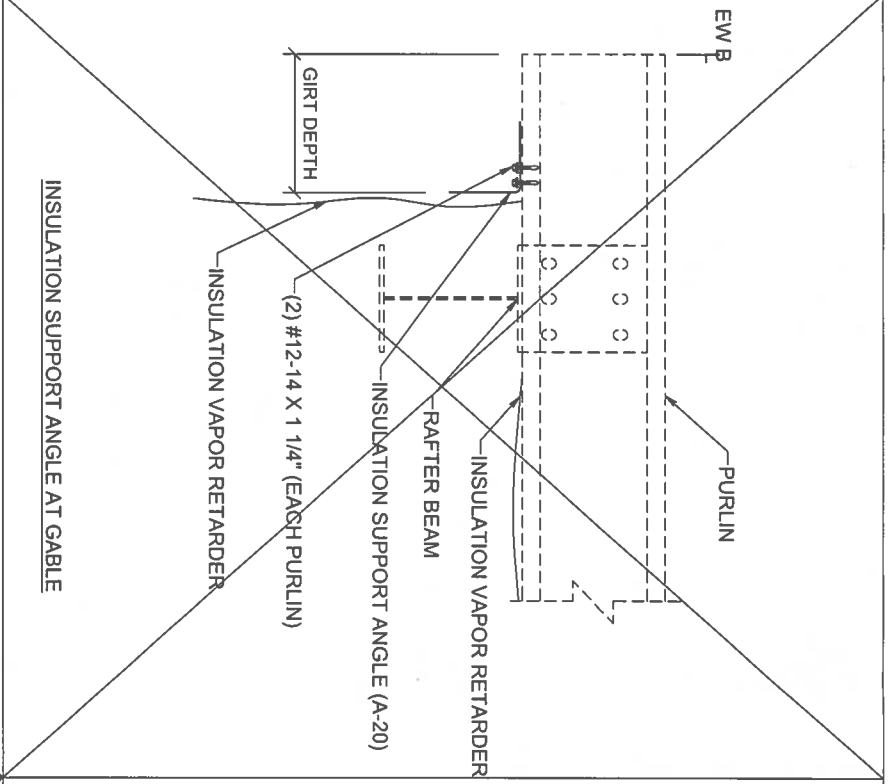
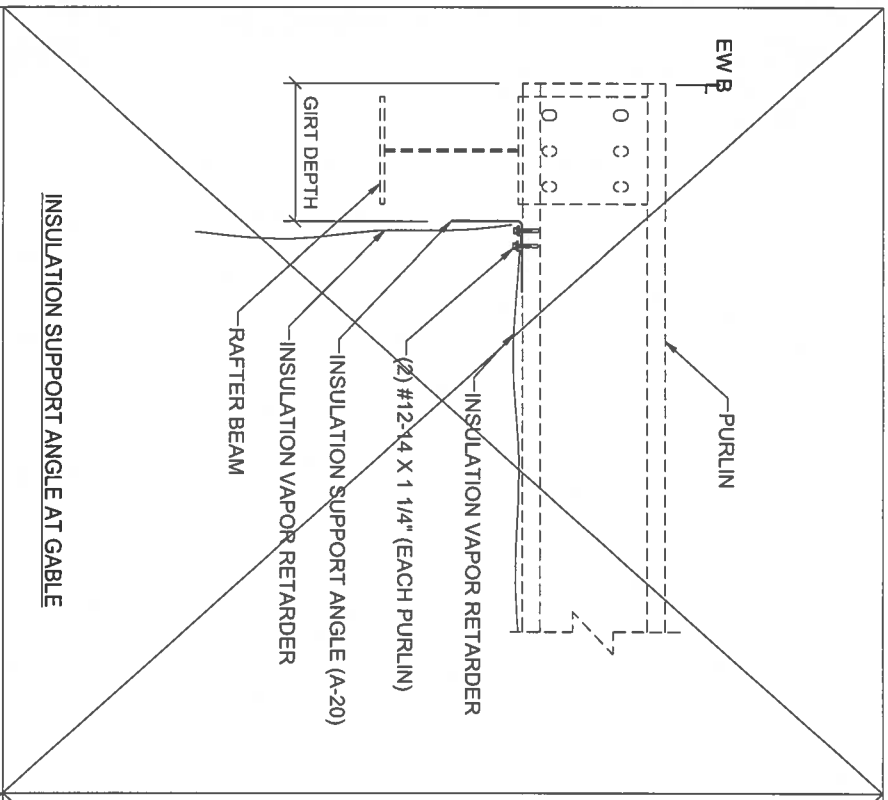
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 (308) 335-7288
 cb@chiefne.com



| | |
|--------------|--|
| Drawing | STANDING SEAM EXPANSION TRIM JOINTS |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| ORDER NO. | B3024694 |
| DRAWN | CHECK |
| DJAP | JGJ |
| 09/10/24 | 09/10/24 |
| G2 | G2 |
| GD9 | GD9 |



**TO BE
USED FOR
CONSTRUCTION**

| | | | |
|--------------|--|---------|----------|
| Drawing | INSULATION SUPPORT ANGLES - EAVE AND GABLES | | |
| Buyer | JWR Ventures, LLC | | |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 | | |
| Project Name | J & L Office | | |
| Drawn | DIAP | Checked | JGU |
| Date | 09/10/24 | Date | 09/10/24 |
| Order No. | B3024694 | | GD3 |
| | | | GD9 |

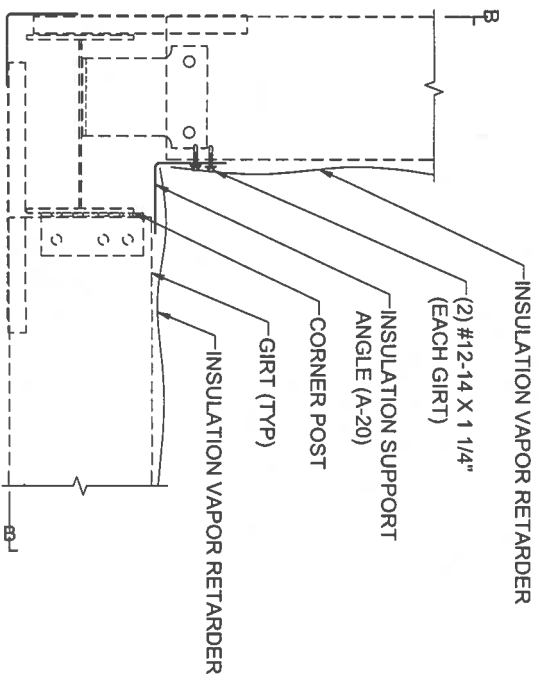
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| RELEASED | 04-04-23 |
| SUPERSEDES | 09-23-19 |

| REVISIONS | |
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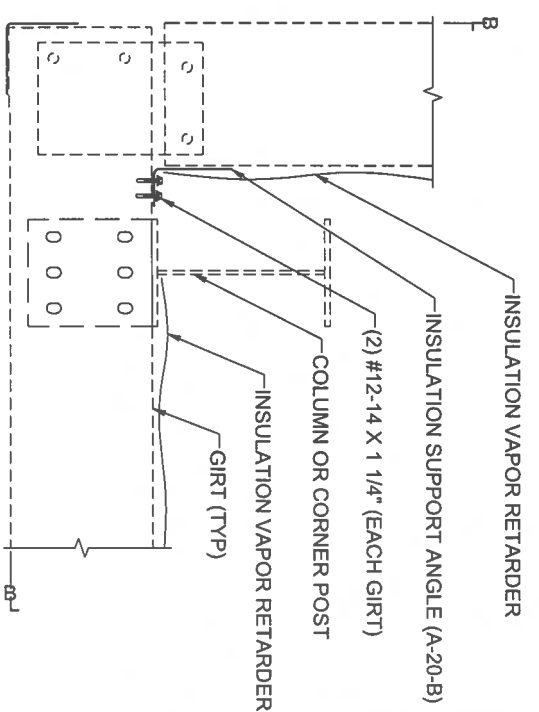
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 (919) 585-7289
 cjb@chiefbuild.com

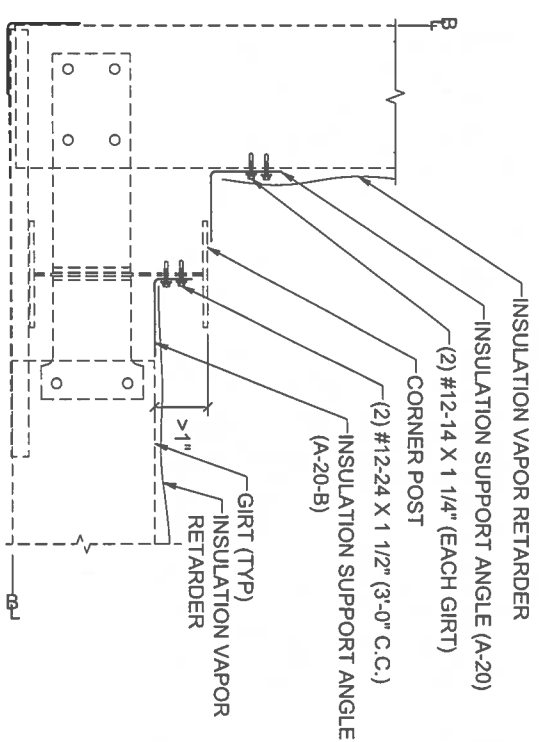
CHIEF BUILDINGS



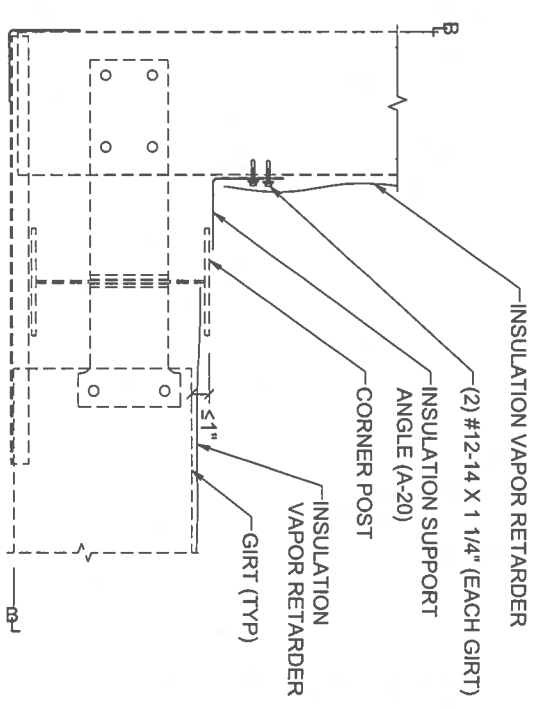
INSULATION SUPPORT ANGLE AT INSIDE OF CORNERS
 (AT CORNER POST)



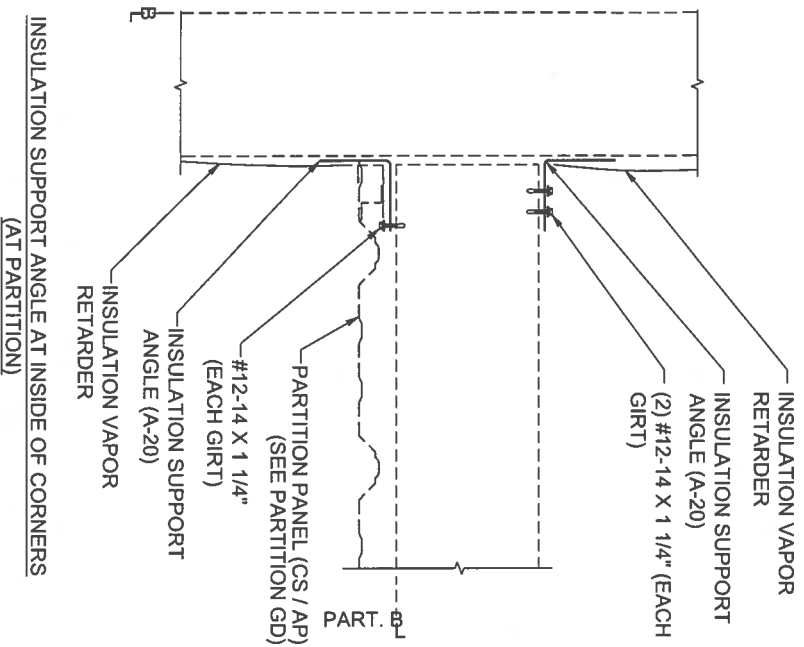
INSULATION SUPPORT ANGLE AT INSIDE OF CORNERS
 (AT COLUMN OR CORNER POST)



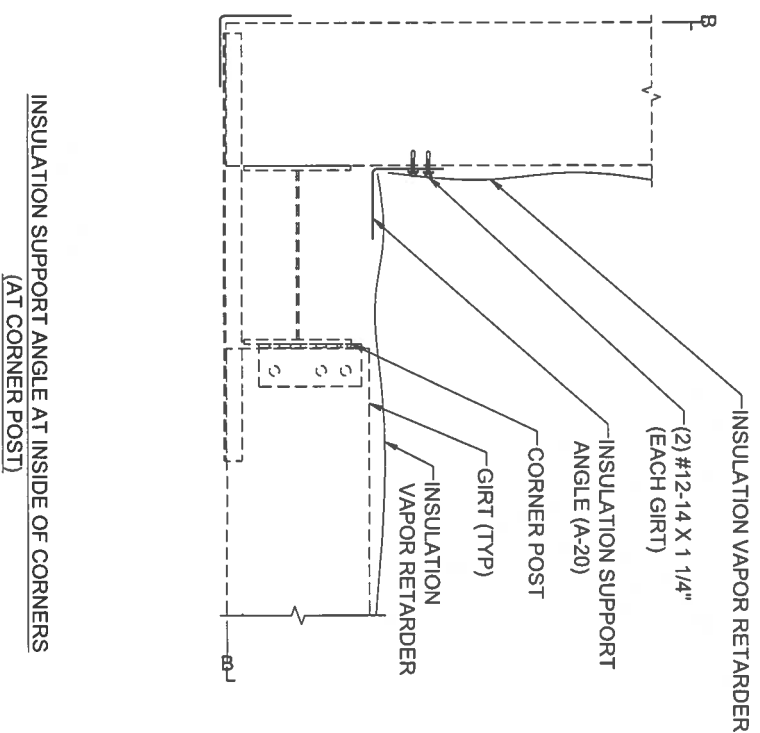
INSULATION SUPPORT ANGLE AT INSIDE OF CORNERS
 (WITH ADDITIONAL SUPPORT ANGLE)



INSULATION SUPPORT ANGLE AT INSIDE OF CORNERS
 (AT CORNER POST)



INSULATION SUPPORT ANGLE AT INSIDE OF CORNERS
 (AT PARTITION)



INSULATION SUPPORT ANGLE AT INSIDE OF CORNERS
 (AT CORNER POST)

REVISIONS

| | |
|---|--|
| 4 | |
| 3 | |
| 2 | |
| 1 | |

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 P.O. Box 2078, Grand Island, NE 68802-2078
 (408) 388-7289 ce@chiefinc.com



TO BE
 USED FOR
 CONSTRUCTION

| | |
|--------------|--|
| Drawing | INSULATION SUPPORT ANGLES - INSIDE CORNERS |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuguay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGL |
| ORDER NO. | B3024694 |
| DATE | 09/10/24 |
| DATE | 09/10/24 |
| | GD4 |
| | GD9 |

RELEASED 04-04-23
 SUPERSEDES 01-26-23

STEP 1

LIGHT TRANSMITTING PANEL (LTP)

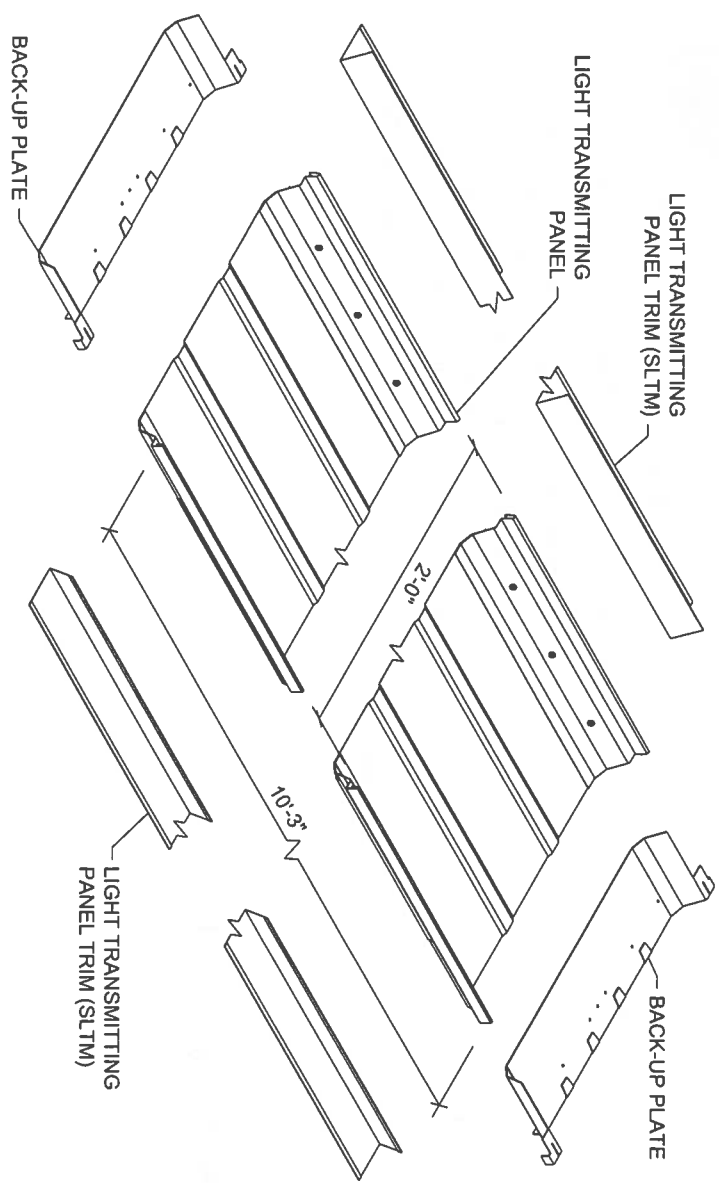
The Light Transmitting Panels are designed to be installed in a manner similar to a panel application, utilizing the same panel lap 3"

LIGHT TRANSMITTING PANEL TRIM (SLTM)

Light transmitting panel trim is supplied to cover the exposed insulation at the sides of the light transmitting panel opening. Two pieces of 2 1/4" x 3 1/4" x 10'-3" trim are provided per Light Transmitting Panel. This trim is designed to work with either the low or the high system. **THE 2 1/4" LEG IS TURNED UP FOR THE LOW SYSTEM AND THE 3 1/4" LEG IS TURNED UP FOR THE HIGH SYSTEM.**

LTP INSTALLATION PROCEDURE

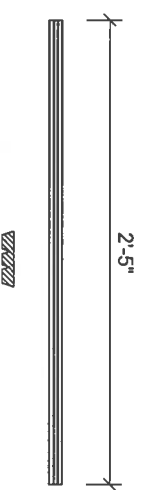
- Install panels up to light transmitting panel area.
- Cut and remove insulation where light transmitting panel is to be located. Do not remove the facing.
- Cut and fold the facing as shown.



SIKA-511



(18) 1/4-14 X 1 1/4" WT FASTENERS



CUT (4) STRIPS OF TRI-BEAD TAPE MASTIC FROM ROLL AS SHOWN ABOVE



(5) #14 X 1 1/8" BONDED WASHERS

PARTS SUPPLIED PER LIGHT TRANSMITTING PANEL

REFERENCE NOTE:

- **WARNING:** Light transmitting panels are not designed or intended to bear the weight of any person walking, stepping, standing or resting on them. **CHIEF DISCLAIMS ANY WARRANTY OR REPRESENTATION, EXPRESS OR IMPLIED, that any person can safely walk, step, stand or rest on or near these light transmitting panels or that they comply with any OSHA regulation.**

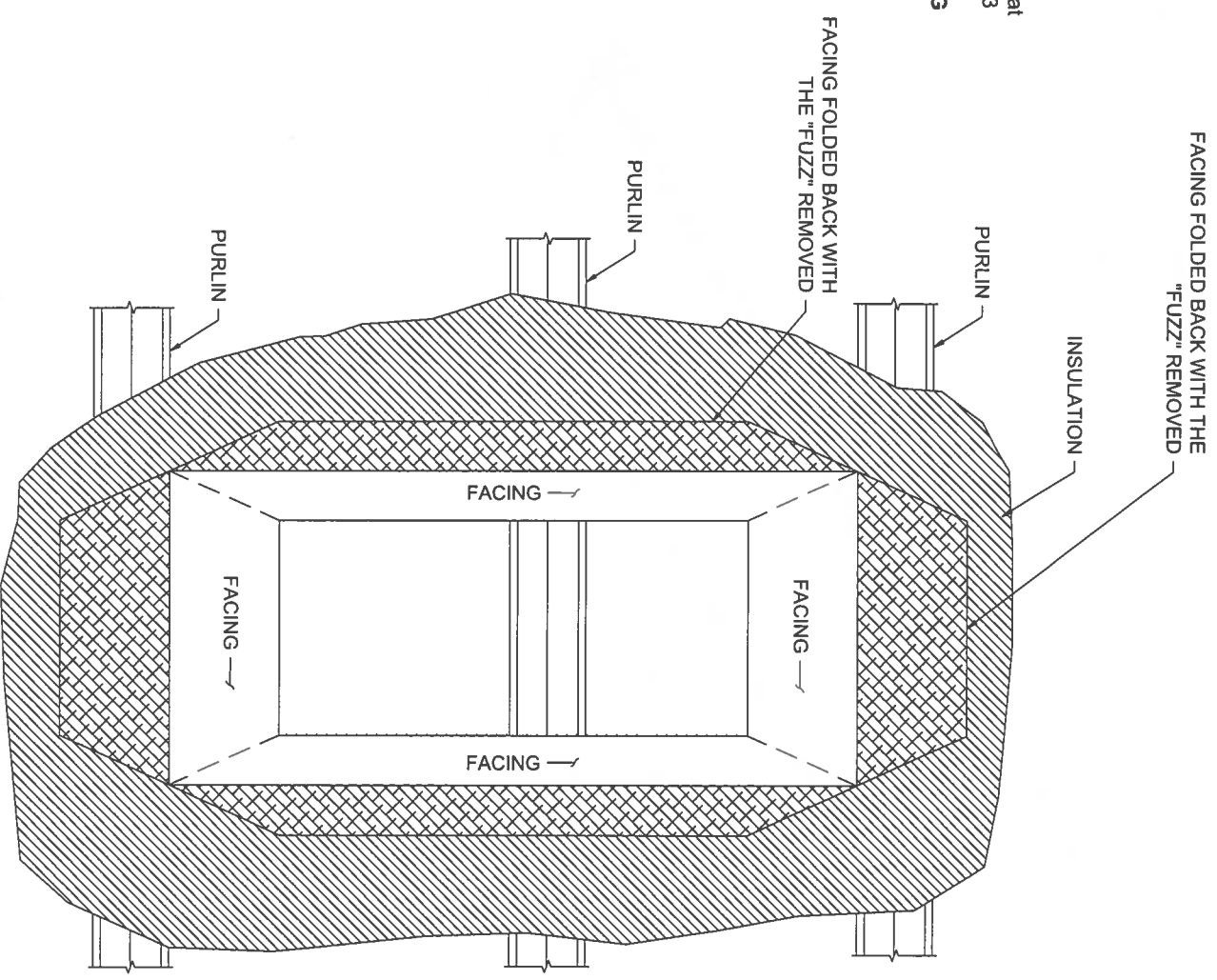
- Faced over the purlin insulation is shown. Field adjustments will be required if other insulation systems are used.

| | |
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| RELEASED | 01-13-22 |
| SUPERSEDES | 09-23-19 |

| REVISIONS | |
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INSULATION CUT OUT TO BE USED FOR CONSTRUCTION

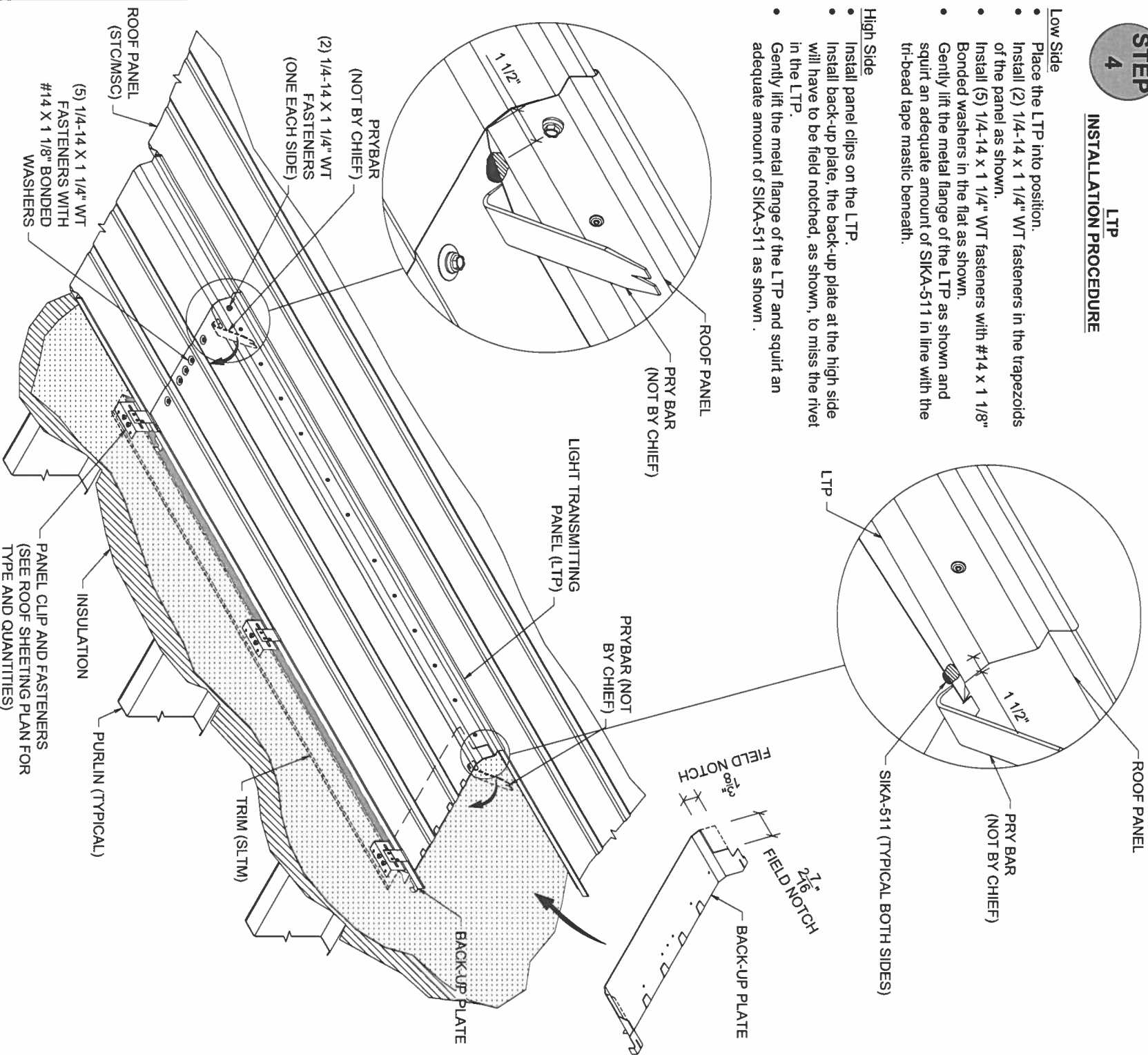
09/09/2024

| | |
|--------------|--|
| Drawing | STC / MSC LIGHT TRANSMITTING PANEL DETAILS |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| DRAWN | DJAP |
| CHECK | JGJ |
| ORDER NO. | B3024694 |
| GDS | GD9 |

STEP 4

**LTP
INSTALLATION PROCEDURE**

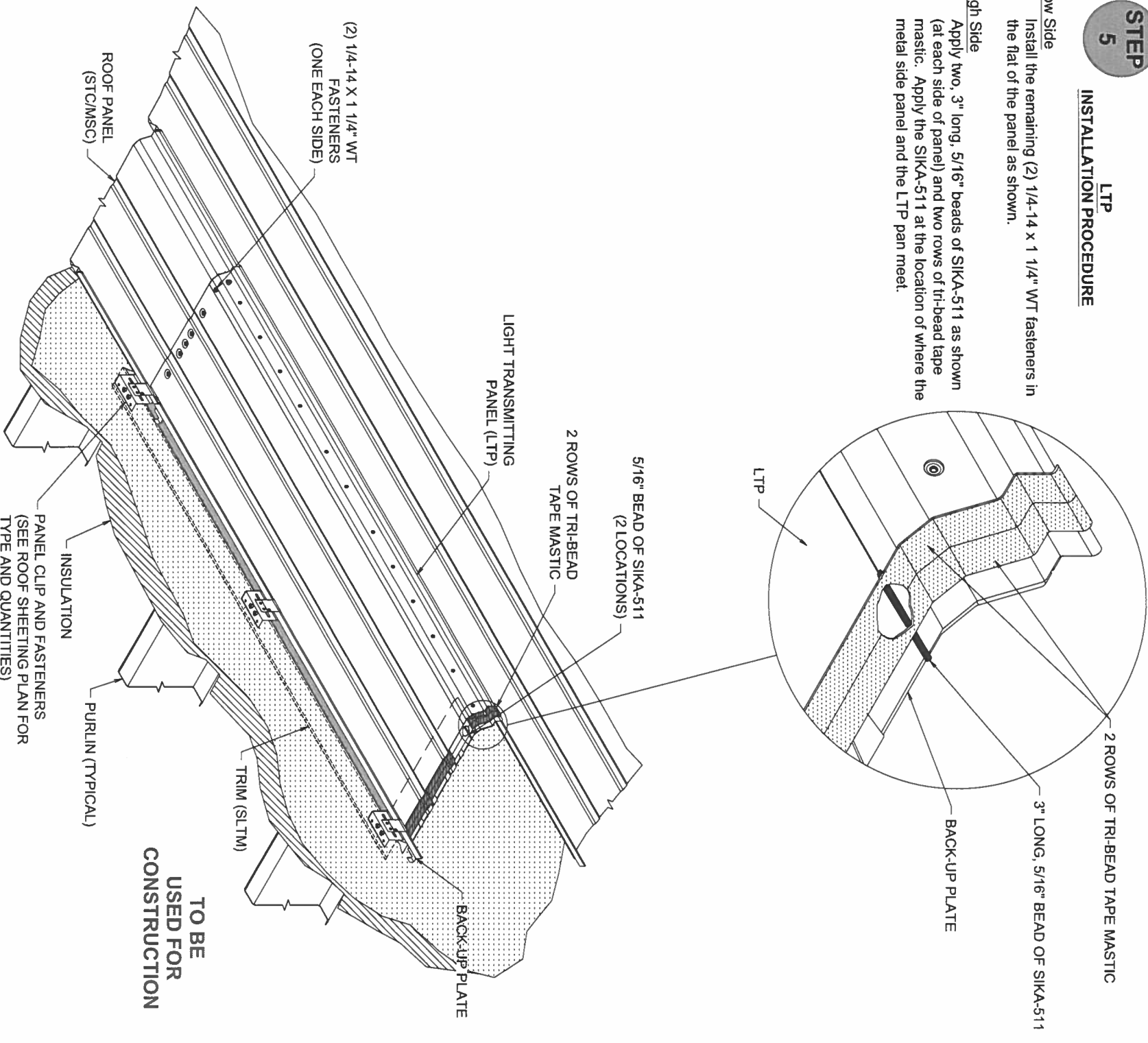
- **Low Side**
- Place the LTP into position.
- Install (2) 1/4-14 x 1 1/4" WT fasteners in the trapezoids of the panel as shown.
- Install (5) 1/4-14 x 1 1/4" WT fasteners with #14 x 1 1/8" Bonded washers in the flat as shown.
- Gently lift the metal flange of the LTP as shown and squirt an adequate amount of SIKA-511 in line with the tri-bead tape mastic beneath.
- **High Side**
- Install panel clips on the LTP.
- Install back-up plate, the back-up plate at the high side will have to be field notched, as shown, to miss the rivet in the LTP.
- Gently lift the metal flange of the LTP and squirt an adequate amount of SIKA-511 as shown.



STEP 5

**LTP
INSTALLATION PROCEDURE**

- **Low Side**
- Install the remaining (2) 1/4-14 x 1 1/4" WT fasteners in the flat of the panel as shown.
- **High Side**
- Apply two, 3" long, 5/16" beads of SIKA-511 as shown (at each side of panel) and two rows of tri-bead tape mastic. Apply the SIKA-511 at the location of where the metal side panel and the LTP pan meet.



**TO BE
USED FOR
CONSTRUCTION**

REFERENCE NOTE:

- **WARNING:** Light transmitting panels are not designed or intended to bear the weight of any person walking, stepping, standing or resting on them. **CHIEF DISCLAIMS ANY WARRANTY OR REPRESENTATION, EXPRESS OR IMPLIED, that any person can safely walk, step, stand or rest on or near these light transmitting panels or that they comply with any OSHA regulation.**

- Faced over the purlin insulation is shown. Field adjustments will be required if other insulation systems are used.

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
| 1 | |
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| 3 | |
| 4 | |

NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.

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(505) 585-7289 info@chiefbuild.com



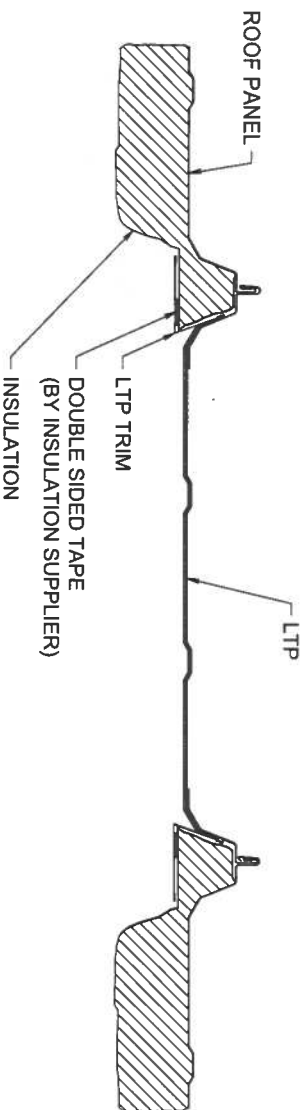
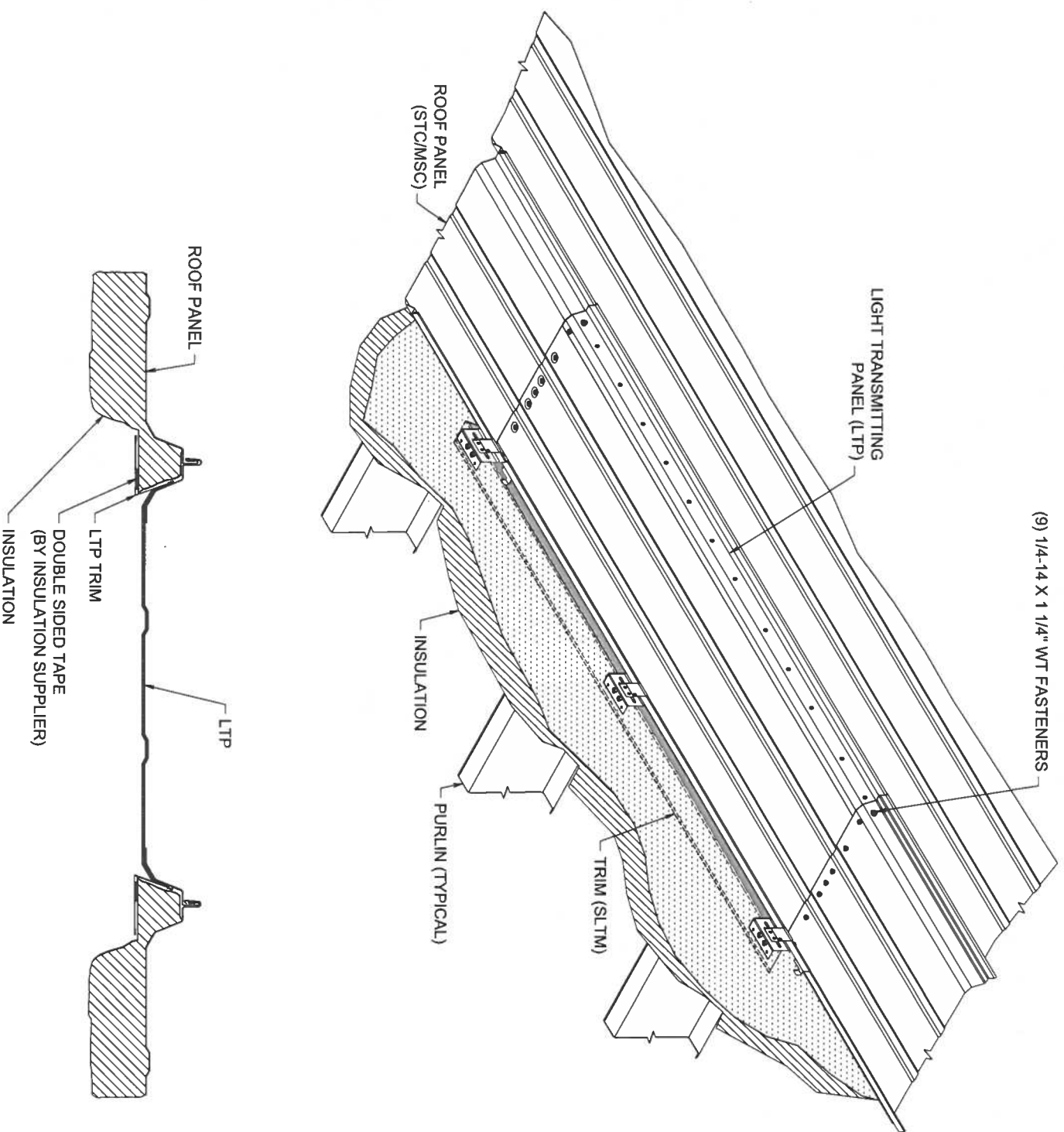
Drawing STC / MSC LIGHT TRANSMITTING PANEL DETAILS

| | |
|--------------|--|
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Drawn | DJAP |
| Checked | JGJ |
| Order No. | B3024694 |
| Scale | GD7 |
| Date | 09/10/24 |
| Revision | GD9 |

STEP 6

LTP INSTALLATION PROCEDURE

- Install upper panel typical to roof panels.
- Continue roofing.



SIDE VIEW OF LTP

REFERENCE NOTE:

- **WARNING:** Light transmitting panels are not designed or intended to bear the weight of any person walking, stepping, standing or resting on them. **CHIEF DISCLAIMS ANY WARRANTY OR REPRESENTATION, EXPRESS OR IMPLIED, that any person can safely walk, step, stand or rest on or near these light transmitting panels or that they comply with any OSHA regulation.**

- Faced over the purlin insulation is shown. Field adjustments will be required if other insulation systems are used.

| | |
|------------|----------|
| RELEASED | 01-13-22 |
| SUPERSEDES | 09-23-19 |

| REVISIONS | |
|-----------|--|
| 4 | |
| 3 | |
| 2 | |
| 1 | |

Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the structural performance of the pre-engineered components designed by Chief Buildings.

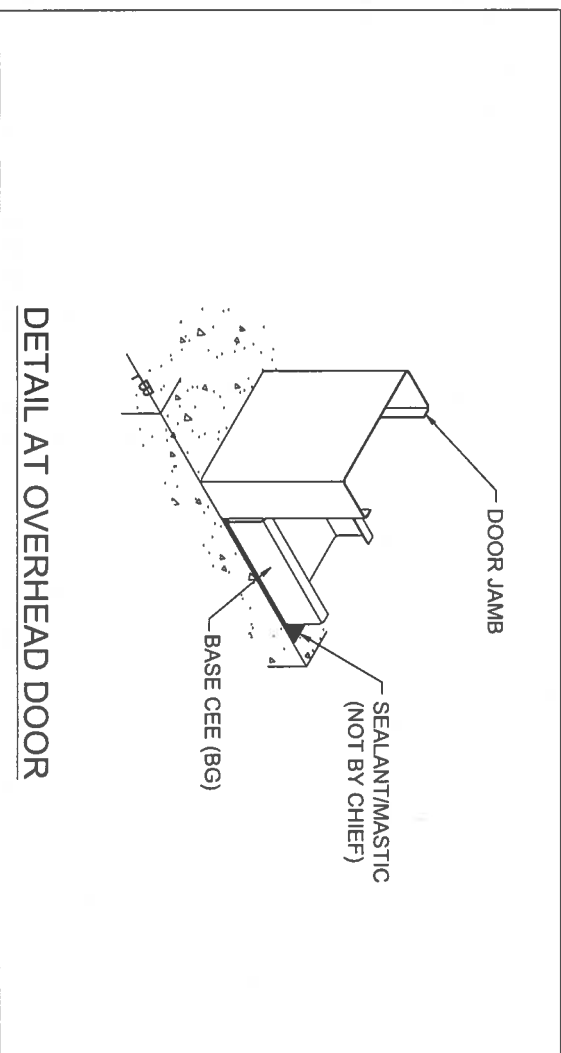
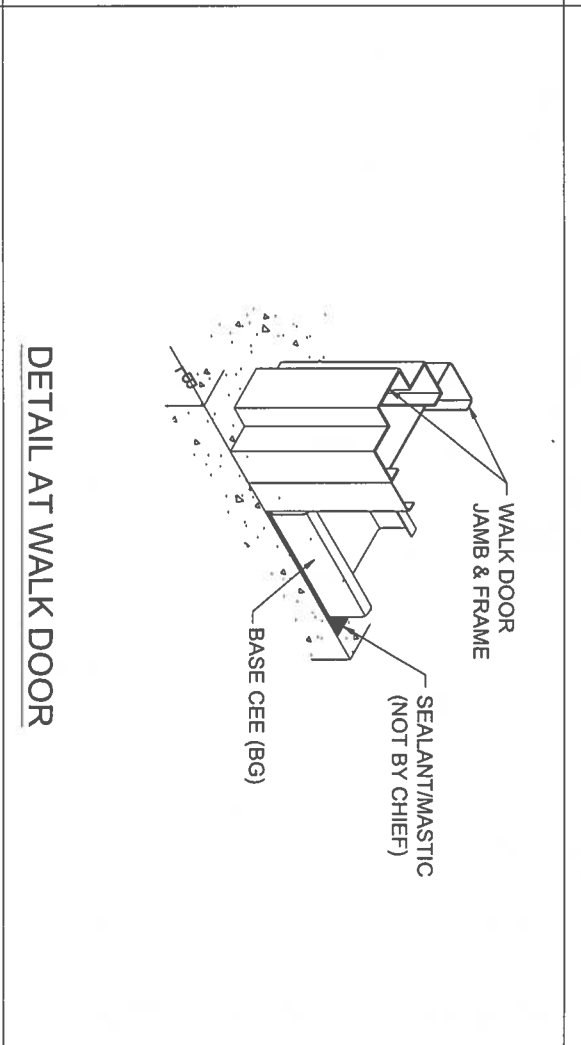
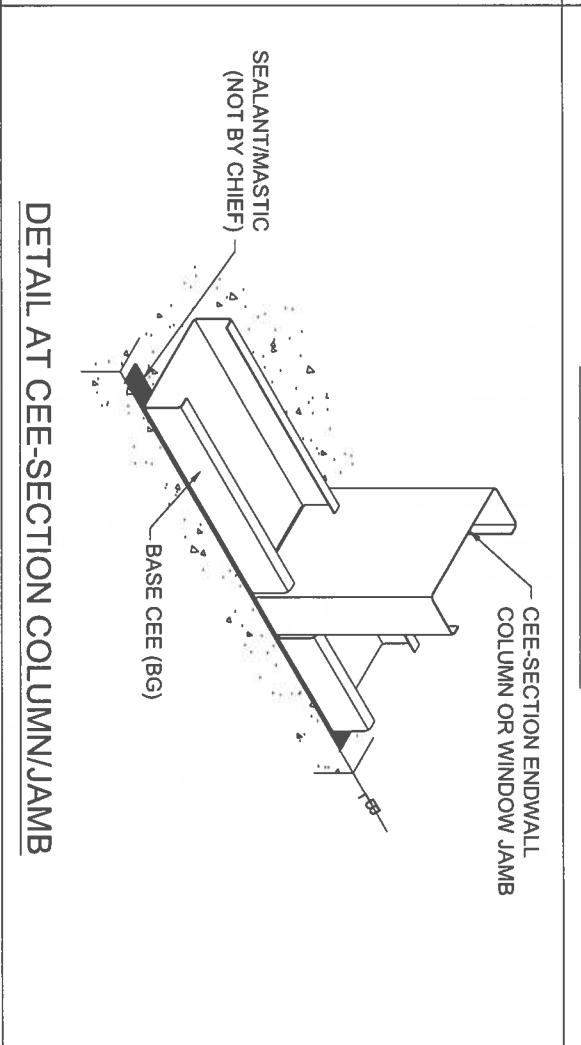
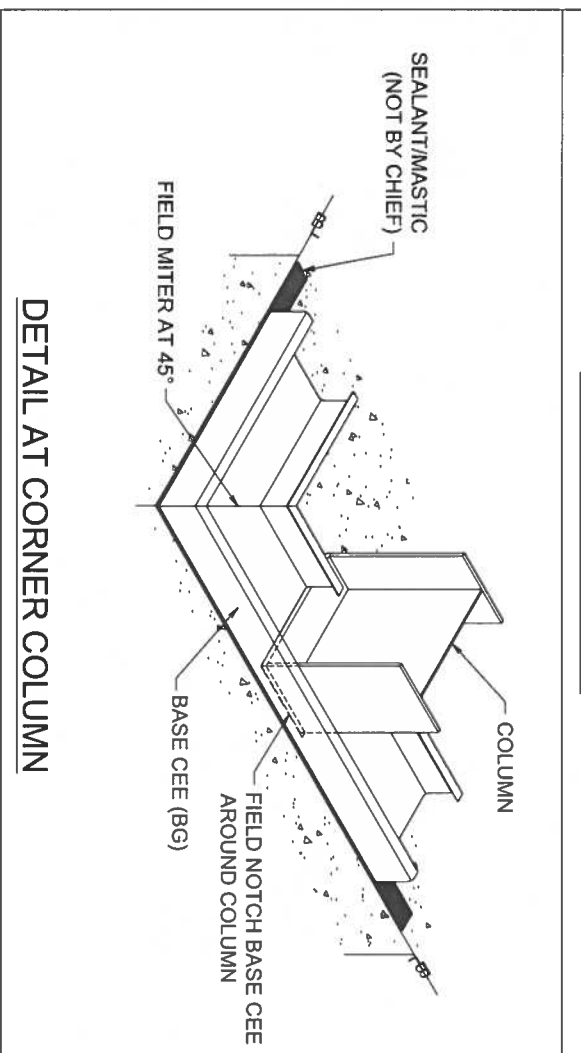
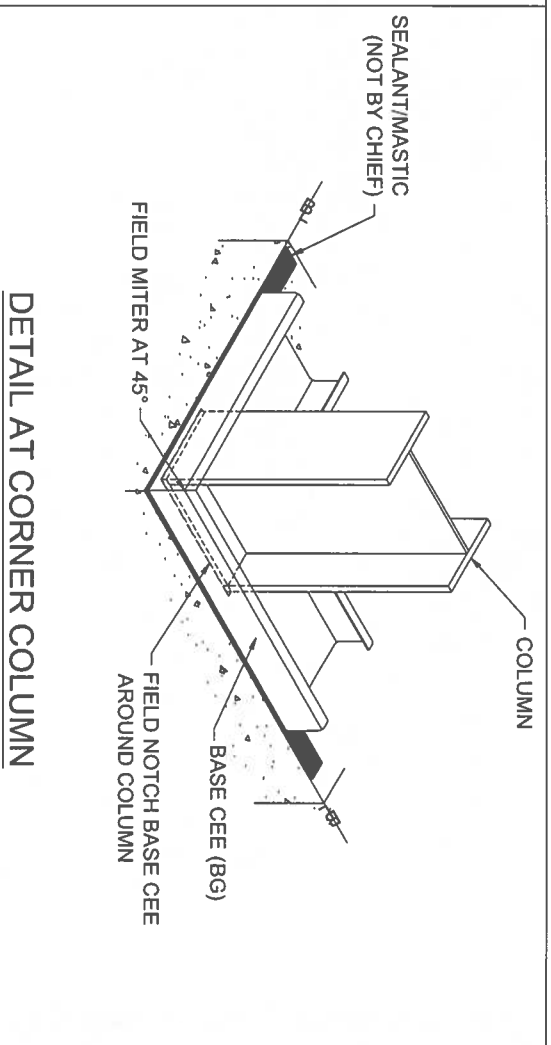
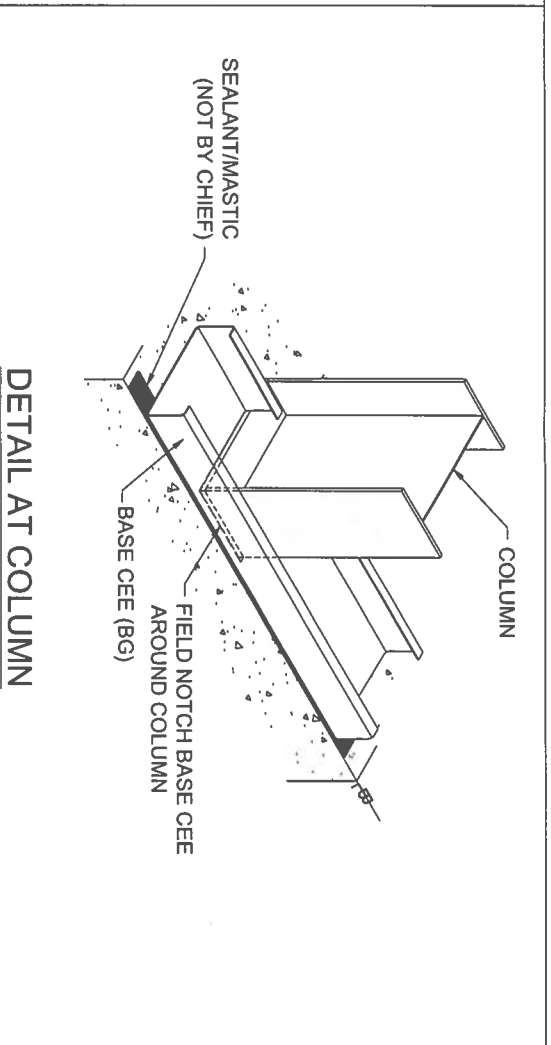
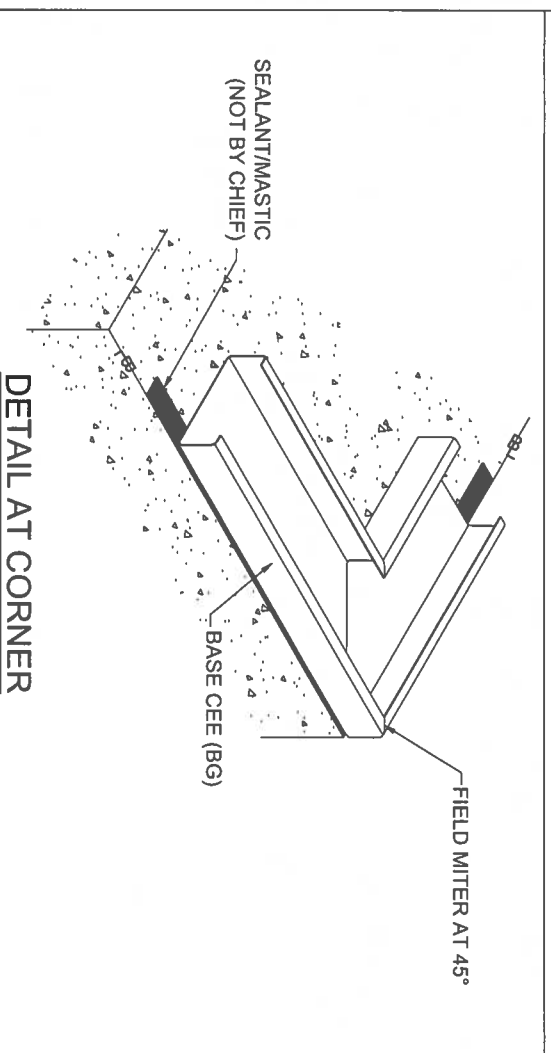
Chief Buildings
P.O. Box 2078, Grand Island, NE 68802-2078
(408) 388-7289 ca@chiefind.com



TO BE USED FOR CONSTRUCTION

| | | | | | | |
|--------------|--|-------|----------|-----------|----------|-----|
| Drawing | STC / MSC LIGHT TRANSMITTING PANEL DETAILS | | | | | |
| Buyer | JWR Ventures, LLC | | | | | |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 | | | | | |
| Project Name | J & L Office | | | | | |
| DRAWN | DJAP | CHECK | JGJ | ORDER NO. | B3024694 | GD8 |
| | 09/10/24 | | 09/10/24 | | | GD9 |

BASE CEE - The details shown below are typical Chief metal building details. Not all details may apply.



REVISIONS

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| 4 | | |
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TO BE USED FOR CONSTRUCTION

| | |
|--------------|--|
| Drawing | BASE CEE DETAILS (BG-8/BG-10) |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |

BASE MEMBER NOTES:

- Base Cees are supplied in 20' lengths. Pre-punched 5/16 x 1-1/8" slots are provided for convenience. Anchors are not required in all holes, nor must the pre-punched spacing be used.
- Refer to Anchor Rod Drawing, "Fastener Spacing Chart" for fastener types and spacing requirements.
- Refer to Wall Framing Drawings for locations of BGs.
- Apply a continuous bead of sealant or mastic (Not by Chief) between the Base Cee and concrete.
- Field cut, notch, and miter at corners where required.





Notwithstanding the adjacent seal, neither the Engineer named nor Chief Buildings is acting as The Engineer of Record. The Engineer named and Chief Buildings responsibility is limited to the pre-engineered components designed by Chief Buildings.

Chief Buildings
 P.O. Box 2078, Grand Island, NE 68802-2078
 (308) 385-7289 cbs@chiefne.com





| | | |
|-----------------|-----------|----------|
| CHIEF BUILDINGS | ORDER NO. | B3024694 |
| DRAWN | CHECK | GD9 |
| DJAP | JGJ | GD9 |
| 09/10/24 | 09/10/24 | GD9 |

Commonly Used Parts: Not all parts shown will be required on all projects.





#12 Fasteners

| | | | |
|---|--|--|--|
|  <p>#12 - 14 X 1 1/4"</p> <p>WALL PANEL TO STEEL CORNER JOINT PANEL TO STEEL CORNER JOINT PANEL TO WOOD ROOF</p> |  <p>#12 - 14 X 2"</p> <p>FASTENERS USED IN ROOFING WITH SHEET INSULATION OVER WALL GIRT GREATER THAN 4" FASTENERS USED IN THE SECTION ROOF AND SECTIONS</p> |  <p>#12 - 24 X 1 1/2"</p> <p>WALL PANEL TO STEEL GREATER THAN 1" GIRT TRIAL TO STEEL GREATER THAN 1" GIRT FASTENERS USED IN THE SECTION ROOF AND SECTIONS</p> |  <p>#12 - 24 X 2"</p> <p>WALL PANEL TO STEEL GREATER THAN 1" GIRT INSULATION OVER WALL GIRT GREATER THAN 4" FASTENERS USED IN THE SECTION ROOF AND SECTIONS</p> |
|---|--|--|--|





#12 W/O Fasteners

| | | | |
|---|--|--|--|
|  <p>#12 - 14 X 1 1/2" W/O</p> <p>WALL PANEL TO STEEL CORNER JOINT PANEL TO STEEL CORNER JOINT PANEL TO WOOD ROOF</p> |  <p>#12 - 14 X 1 1/2" W/O</p> <p>WALL PANEL TO STEEL GREATER THAN 1" GIRT TRIAL TO STEEL GREATER THAN 1" GIRT FASTENERS USED IN THE SECTION ROOF AND SECTIONS</p> |  <p>#12 - 24 X 1 1/4" W/O</p> <p>WALL PANEL TO STEEL GREATER THAN 1" GIRT TRIAL TO STEEL GREATER THAN 1" GIRT FASTENERS USED IN THE SECTION ROOF AND SECTIONS</p> |  <p>#12 - 24 X 1 1/2" W/O</p> <p>WALL PANEL TO STEEL GREATER THAN 1" GIRT TRIAL TO STEEL GREATER THAN 1" GIRT FASTENERS USED IN THE SECTION ROOF AND SECTIONS</p> |
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#1/4"-14 Fasteners

| | | | |
|--|--|--|---|
|  <p>#1/4 - 14 X 7/8"</p> <p>WALL ON SOFTY PANEL: TRIAL TO PANEL ON PANEL MEZZANINE EXPOSED AT ROOF LIPS WALL ON SOFTY PANEL: TRIAL TO TRIAL</p> |  <p>#1/4 - 14 X 1"</p> <p>MEZZANINE CLIP TO PURLIN (WHEN UP TO 4" THICK) EAVE PLATE TO PURLIN SUPPORT PLATE TO PURLIN AT W/O VALLEY CONDITIONS - MEZZANINE ROOF</p> |  <p>#1/4 - 14 X 1 1/2"</p> <p>MEZZANINE CLIP TO PURLIN (WHEN UP TO 4" THICK) EAVE PLATE TO PURLIN SUPPORT PLATE TO PURLIN AT W/O VALLEY CONDITIONS - MEZZANINE ROOF</p> |  <p>#1/4 - 14 X 1 1/4" SHOULDER</p> <p>MEZZANINE CLIP TO PURLIN (WHEN UP TO 4" THICK) EAVE PLATE TO PURLIN SUPPORT PLATE TO PURLIN AT W/O VALLEY CONDITIONS - MEZZANINE ROOF</p> |
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Wood Fasteners

| | | | |
|--|---|---|---|
|  <p>#14 X 1 1/2" TYPE A MILLED POINT</p> <p>STANDING SEAM ROOF CLIP TO WOOD TRIAL TO WOOD</p> |  <p>#1/4 - 14 X 1 1/2" WT TYPE AB MILLED POINT</p> <p>STANDING SEAM ROOF AT EAVE TO WOOD TRIAL TO WOOD</p> |  <p>#12 - 8 X 2" XG PANCAKE HEAD</p> <p>WALL PANEL TO STEEL GREATER THAN 1" GIRT TRIAL TO STEEL GREATER THAN 1" GIRT</p> |  <p>#12 - 8 X 2" XG PANCAKE HEAD</p> <p>WALL PANEL TO STEEL GREATER THAN 1" GIRT TRIAL TO STEEL GREATER THAN 1" GIRT</p> |
|--|---|---|---|



Tamperproof

| | | | |
|---|---|--|--|
|  <p>#12 - 14 X 1 1/4" TAMPERPROOF</p> <p>PANEL TO STEEL TRIAL TO STEEL</p> |  <p>#12 - 14 X 2" TAMPERPROOF</p> <p>PANEL TO STEEL TRIAL TO STEEL</p> |  <p>#12 - 24 X 1 1/2" TORX DRIVE</p> <p>PANEL TO STEEL GREATER THAN 1" GIRT TRIAL TO STEEL GREATER THAN 1" GIRT</p> |  <p>#1/4 - 14 X 7/8" TAMPERPROOF</p> <p>TRIAL TO TRIAL TRIAL TO PANEL</p> |
|---|---|--|--|



Miscellaneous Fasteners

| | | | |
|---|--|---|---|
|  <p>#17 X 1" WT</p> <p>STAINLESS STEEL W/ALUMINUM BACKUP SEALS AND WASHERS</p> |  <p>1/2" X 1" SELF-TAPPING</p> <p>UP TO 4" STUDS CONNECTING WITH 1/4" DIA. PUNCHING HOLES</p> |  <p>1/8" X 3/8" BLIND RIVET</p> <p>TRIAL TO TRIAL MEZZANINE CLIP TO PURLIN AT W/O VALLEY ANGLE AT W/O VALLEY</p> |  <p>3/16" BULBRITE RIVET AND WASHER</p> <p>ALUMINUM SEALING WASHER ALUMINUM SEALING WASHER ALUMINUM SEALING WASHER ALUMINUM SEALING WASHER ALUMINUM SEALING WASHER ALUMINUM SEALING WASHER</p> |
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PANCAKE HEAD

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|  <p>#12-14 X 1" PANCAKE HEAD</p> <p>ROOF PANEL TO ROOF PANEL TRIAL TO ROOF PANEL OR CORNER ROOF CLIP ON FLASHING TO CLIMBERS</p> |  <p>#12-24 X 1 1/2" PANCAKE HEAD</p> <p>ROOF PANEL TO STEEL TRIAL TO STEEL ROOF PANEL TO STEEL</p> |
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#1/4"-14 WT Fasteners

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|--|--|
|  <p>#1/4 - 14 X 7/8" WT</p> <p>ROOF PANEL TO ROOF PANEL TRIAL TO ROOF PANEL OR CORNER ROOF CLIP ON FLASHING TO CLIMBERS</p> |  <p>#1/4 - 14 X 1 1/4" WT</p> <p>ROOF PANEL TO STEEL TRIAL TO STEEL ROOF PANEL TO STEEL</p> |
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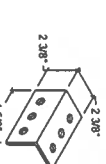

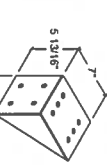
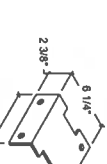





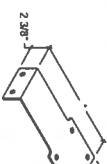
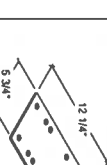


Sealant

| | | |
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|  <p>TAPE MASTIC 50' ROLL</p> <p>3/16"</p> |  <p>DOUBLE BEAD TAPE MASTIC 40' ROLL</p> <p>3/16"</p> |  <p>TRIPLE BEAD TAPE MASTIC 20' ROLL</p> <p>3/16"</p> |
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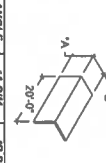











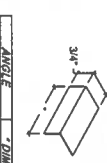
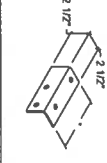
Closures

| | | |
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|  <p>INSIDE CS CLOSURE OUTSIDE AP CLOSURE</p> |  <p>INSIDE AP CLOSURE OUTSIDE CS CLOSURE</p> |  <p>2" OUTSIDE CS HEIGHT CHANGE FOAM CLOSURE</p> |
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Bolting Clips (XBC)

| | | |
|---|--|---|
|  <p>XBC-1</p> |  <p>XBC-2</p> |  <p>XBC-3</p> |
|  <p>XBC-9</p> |  <p>XBC-33</p> |  <p>XBC-73</p> |
|  <p>XBC-52</p> |  <p>XBC-65</p> |  <p>XBC-82</p> |
|  <p>XBC-84 & -95</p> |  <p>XBC-95</p> |  <p>XBC-91</p> |
|  <p>XBC-94</p> |  <p>XBC-101</p> | |

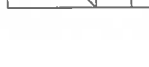
Miscellaneous

| | | |
|--|---|--|
|  <p>XCLTA-1</p> |  <p>XCLTA-1</p> |  <p>XCLTA-1</p> |
|  <p>XCLTA-2</p> |  <p>XFA-3</p> |  <p>XFB-1</p> |
|  <p>XFBP-10 & -11</p> |  <p>XFBP-13</p> | |
|  <p>XPSB-3</p> |  <p>XHRS-1</p> |  <p>XIGA-1</p> |
|  <p>XPSB-4</p> |  <p>XPE-1 & -2</p> | |
|  <p>XSST-1</p> | | |

TO BE USED FOR CONSTRUCTION

| | | | | | |
|------------|----------|-------|-----|-----------|-----|
| Released | 03-08-24 | Drawn | CHK | Order No. | SP1 |
| Supersedes | 12-18-23 | DWP | JGI | B3024694 | SP2 |

| | |
|--------------|--|
| Drawing | STANDARD PARTS |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |



Commonly Used Parts: Not all parts shown will be required on all projects.

| Standing Seam Roof Panel Trim | | |
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| Standing Seam Roof Panel Trim Continued | | |
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| AP / CS Wall Panel Trim | | |
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| Roof Extension Trim | | |
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TO BE USED FOR CONSTRUCTION

| | |
|--------------|--|
| Drawing | STANDARD PARTS |
| Buyer | JWR Ventures, LLC |
| Customer | JWR Ventures, LLC Fuquay Varina, NC 27526 |
| Project Name | J & L Office |
| Released | 12-18-23 |
| Supersedes | |

| | | | | |
|-----------------|----------|----------|-----------|-----|
| CHIEF BUILDINGS | DRAWN | CHECK | ORDER NO. | SP2 |
| | DJAP | JGJ | B3024694 | |
| | 09/10/24 | 09/10/24 | | |