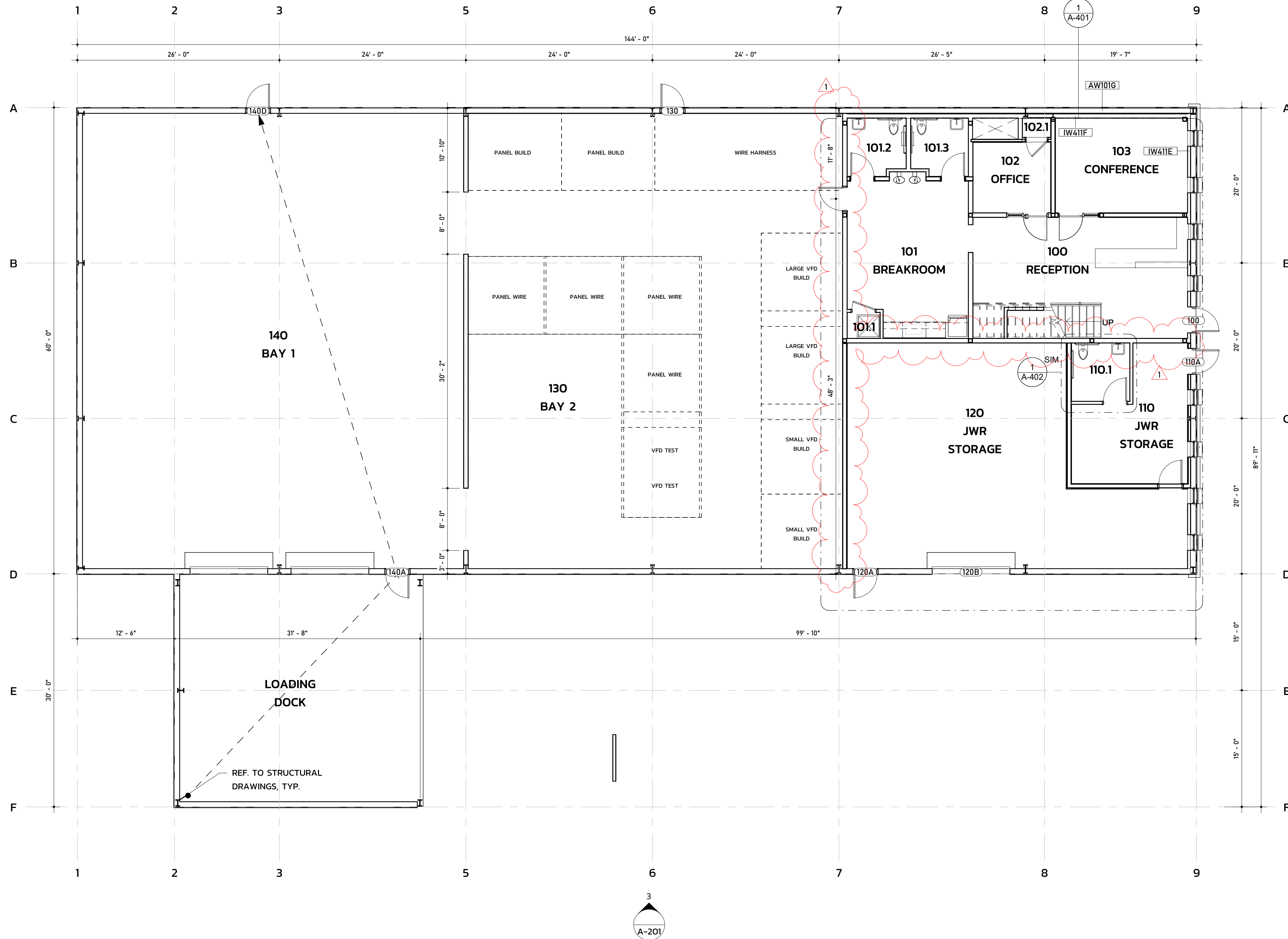


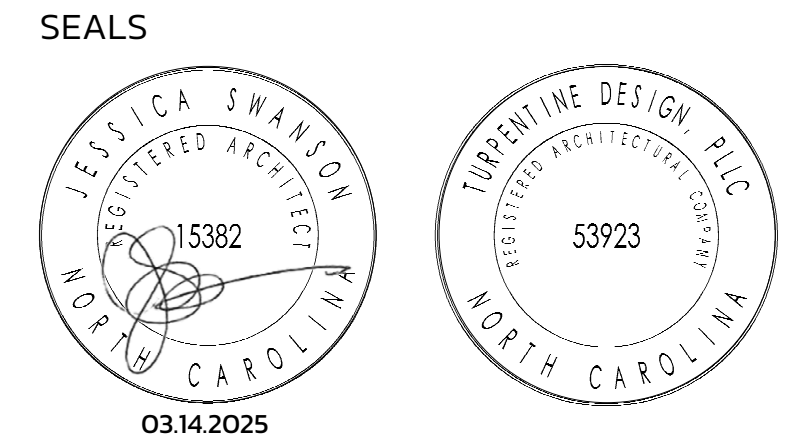
TURPENTINE DESIGN

1007 Procure Street
Fuquay-Varina, NC 27526

919.412.9138
turpentine-design.com



| REVISIONS | | |
|-----------|--------|------------|
| 1 | REV 01 | 04.10.2026 |
| | | |
| | | |
| | | |
| | | |



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER LEE REVIS

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| | |
|--------------|------------|
| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

DRAWING TITLE FIRST FLOOR PLAN

1/A-101 A-FP01-FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- UNO. ALL WALLS WITH SOLID HATCHING ARE NEW. EXISTING WALLS HAVE NO HATCH. 90 DEGREE SWING DOORS ARE NEW OR RELOCATED EXISTING DOORS. 45 DEGREE SWINGS INDICATE EXISTING DOORS.
- GC SHALL COMPLETELY CLEAN ENTIRE LEASED PREMISES IMMEDIATELY PRIOR TO OCCUPANCY.
- GC SHALL FAMILIARIZE THEMSELVES WITH THE PREMISES AND THE CONTRACT DRAWINGS AND SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- GC SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY ARCH. OF ANY CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS. GC AND SUBS SHALL NOT SCALE DRAWINGS.
- GC SHALL COORDINATE WITH THE BUILDING OWNER OR MGMT. ON ALL MATERIAL DELIVERY AND UNLOADING, DOOR ACCESS, AND ANY DISRUPTIONS IN THE NORMAL UTILITIES.
- GC SHALL NOTIFY ARCH. OF ANY REQUIRED MATERIALS THAT ARE NOT READILY AVAILABLE AND THAT MAY DELAY COMPLETION. THIS NOTIFICATION SHALL HAPPEN WITHIN 48 HRS. OF RELEASE.
- PAINTING SUBCONTRACTOR SHALL PROVIDE LOW-VOC PRIMERS AND FINISH-COAT MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH THE SUBSTRATES INDICATED.
- GC SHALL INSTALL AND MAINTAIN REQ'D. PROTECTIVE COVERINGS, TEMPORARY DOORS AND WALLS, DUST BARRIERS, FLOOR PROTECTION, ETC. GC SHALL KEEP ALL COMMON AREAS FREE OF DUST AND DEBRIS.
- GC SHALL MAINTAIN ALL LIFE SAFETY SYSTEMS IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT, INCLUDING EXIT LIGHTING, SPRINKLER SYSTEMS, SMOKE DETECTION, AND EMERGENCY LIGHTING.
- GC SHALL PERFORM ALL WORK THAT CAUSES DISTURBANCES TO THE TENANT AFTER NORMAL BUSINESS HOURS - OR SHALL COORDINATE W/ OWNER WITHIN 48 HRS OF SUCH WORK.
- UNO. ON DRAWINGS, THERE SHALL BE NO SUBSTITUTIONS OF MATERIALS MADE WITHOUT WRITTEN PERMISSION FROM OWNER AND ARCHITECT.
- UNO. ALL SURFACES TO BE PATCHED OR HOLES TO BE FILLED SHALL MATCH THE ADJACENT CONSTRUCTION AND FINISHES.
- PROVIDE FIRE-RETARDANT WOOD BLOCKING AT ALL LOCATIONS OF NEW MILLWORK, TOILET ACCESSORIES, TV MOUNTING, ETC.

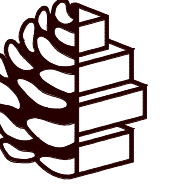
RATED WALL LEGEND

- UL419.2 2 HOUR FIRE BARRIER
- UL419.3 3 HOUR FIRE BARRIER

WALL LEGEND

- IW111D 3" METAL STUD, 5/8" GYP BOTH SIDES
- IW112F 6" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION
- IW112D 3" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION
- IW112H 6" METAL STUD, 5/8" GYP, 1/2" PLYWOOD, BATT INSULATION
- IW411E 5/8" GYP, 3" FURRING WALL, 1/2" PLYWOOD, 5/8" GYP
- IW411F 5/8" GYP ONE SIDE, 6" FURRING WALL
- AW101G 8" GRT WITH 1" METAL PANEL
- AW101Z 3 5/8" MASONRY WALL, 1" AIRSPACE

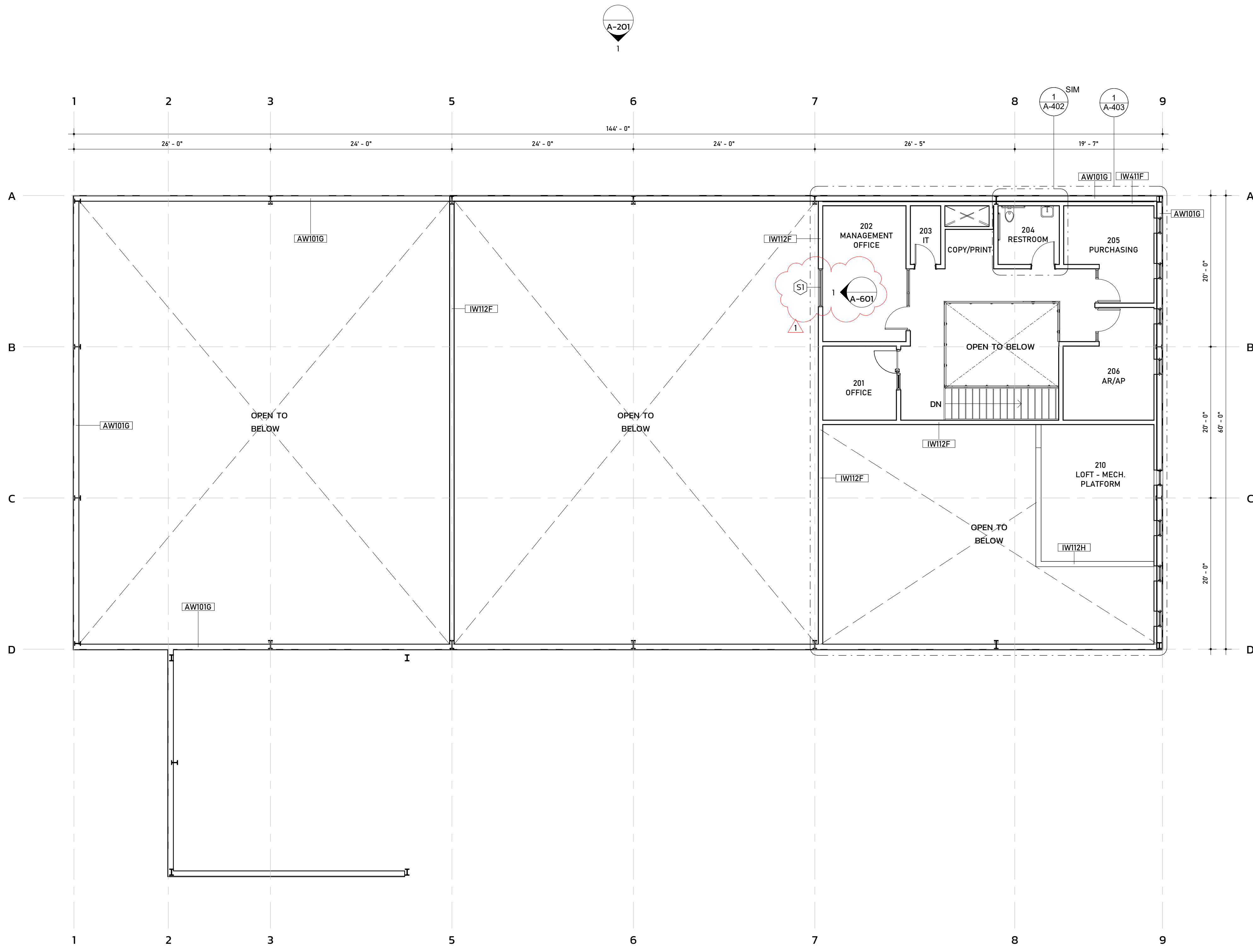
DRAWING NUMBER A-101



TURPENTINE DESIGN

1007 Procure Street
Fuquay-Varina, NC 27526

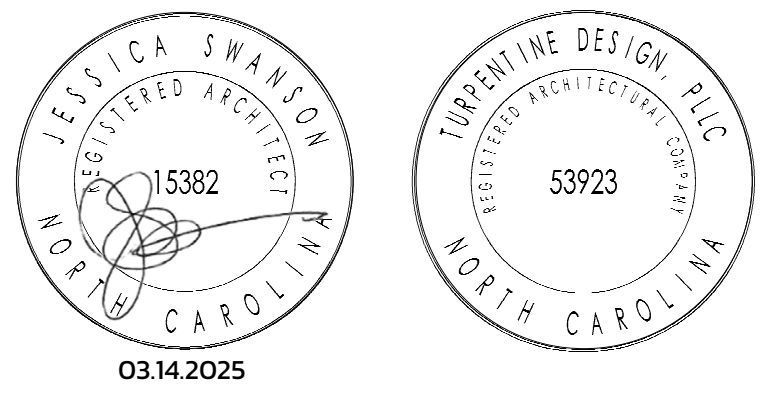
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REVISIONS

| | | |
|---|--------|------------|
| 1 | REV 01 | 04.10.2026 |
|---|--------|------------|

SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

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| | |
|--------------|------------|
| PHASE | PERMIT SET |
| DATE | 03.14.2025 |
| TD PROJECT # | 24-024 |

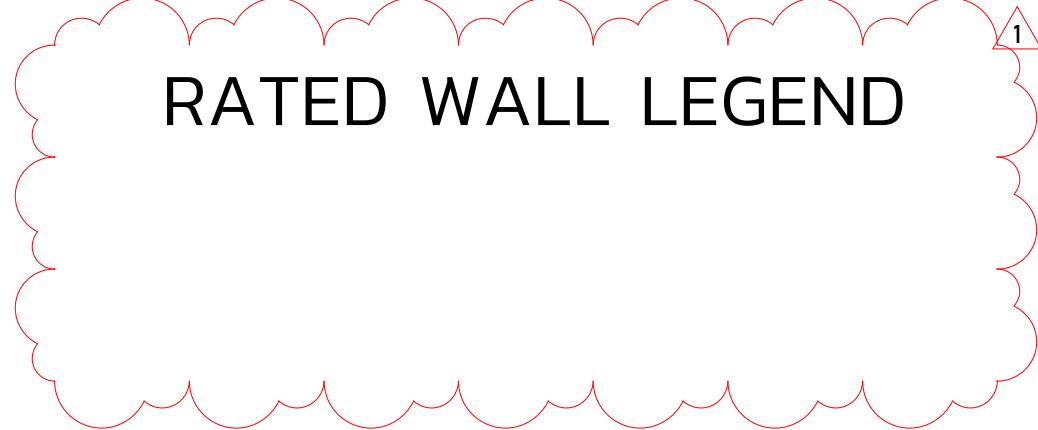
DRAWING TITLE
SECOND FLOOR PLAN

1 / A-102 **A-FP02-SECOND FLOOR PLAN**
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- UNO. ALL WALLS WITH SOLID HATCHING ARE NEW. EXISTING WALLS HAVE NO HATCH. 90 DEGREE SWING DOORS ARE NEW OR RELOCATED EXISTING DOORS. 45 DEGREE SWINGS INDICATE EXISTING DOORS.
- GC SHALL COMPLETELY CLEAN ENTIRE LEASED PREMISES IMMEDIATELY PRIOR TO OCCUPANCY.
- GC SHALL FAMILIARIZE THEMSELV WITH THE PREMISES AND THE CONTRACT DRAWINGS AND SHALL REPORT ANY DISCREPANCIES IN THE FIELD TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
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- GC SHALL PERFORM ALL WORK THAT CAUSES DISTURBANCES TO THE TENANT AFTER NORMAL BUSINESS HOURS - OR SHALL COORDINATE W/ OWNER WIN 48 HRS OF SUCH WORK.
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- UNO. ALL SURFACES TO BE PATCHED OR HOLES TO BE FILLED SHALL MATCH THE ADJACENT CONSTRUCTION AND FINISHES.
- PROVIDE FIRE-RETARDANT WOOD BLOCKING AT ALL LOCATIONS OF NEW MILLWORK, TOILET ACCESSORIES, TV MOUNTING, ETC.

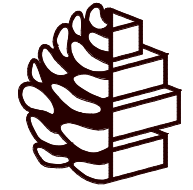
RATED WALL LEGEND



WALL LEGEND

| | | | | | |
|--|---------------|--|--|---------------|------------------------------------|
| | IW111D | 3" METAL STUD, 5/8" GYP BOTH SIDES | | IW411F | 5/8" GYP ONE SIDE, 6" FURRING WALL |
| | IW112F | 6" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION | | AW101G | 8" GRT WITH 1" METAL PANEL |
| | IW112D | 3" METAL STUD, 5/8" GYP BOTH SIDES, BATT INSULATION | | AW101Z | 3 5/8" MASONRY WALL, 1" AIRSPACE |
| | IW112H | 6" METAL STUD, 5/8" GYP, 1/2" PLYWOOD, BATT INSULATION | | | |
| | IW411E | 5/8" GYP, 3" FURRING WALL, 1/2" PLYWOOD, 5/8" GYP | | | |

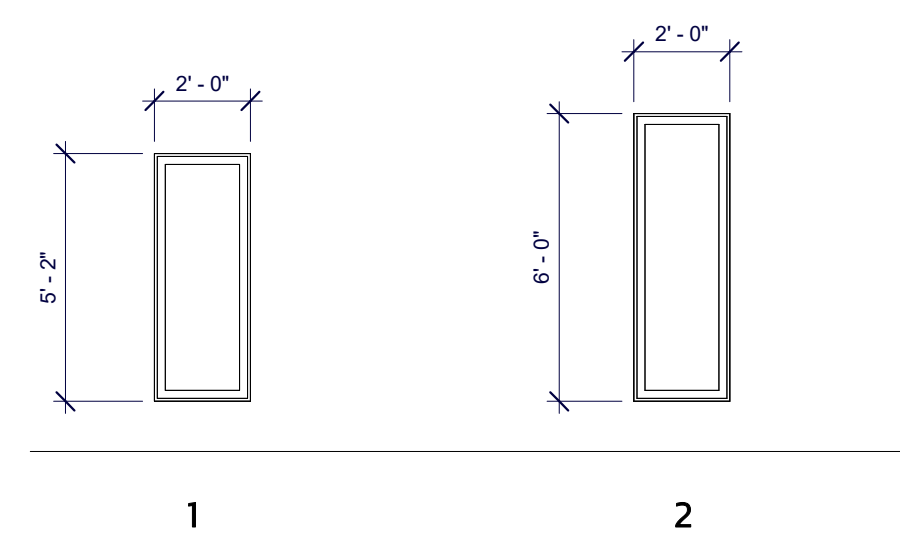
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A-102



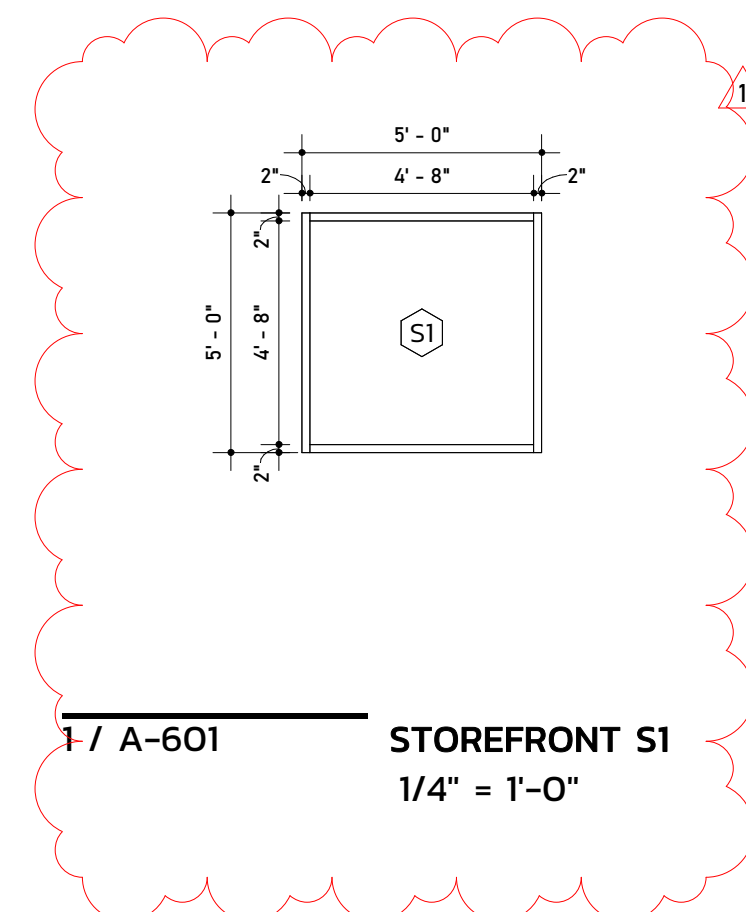
TURPENTINE DESIGN

1007 Procure Street
Fuquay-Varina, NC 27526

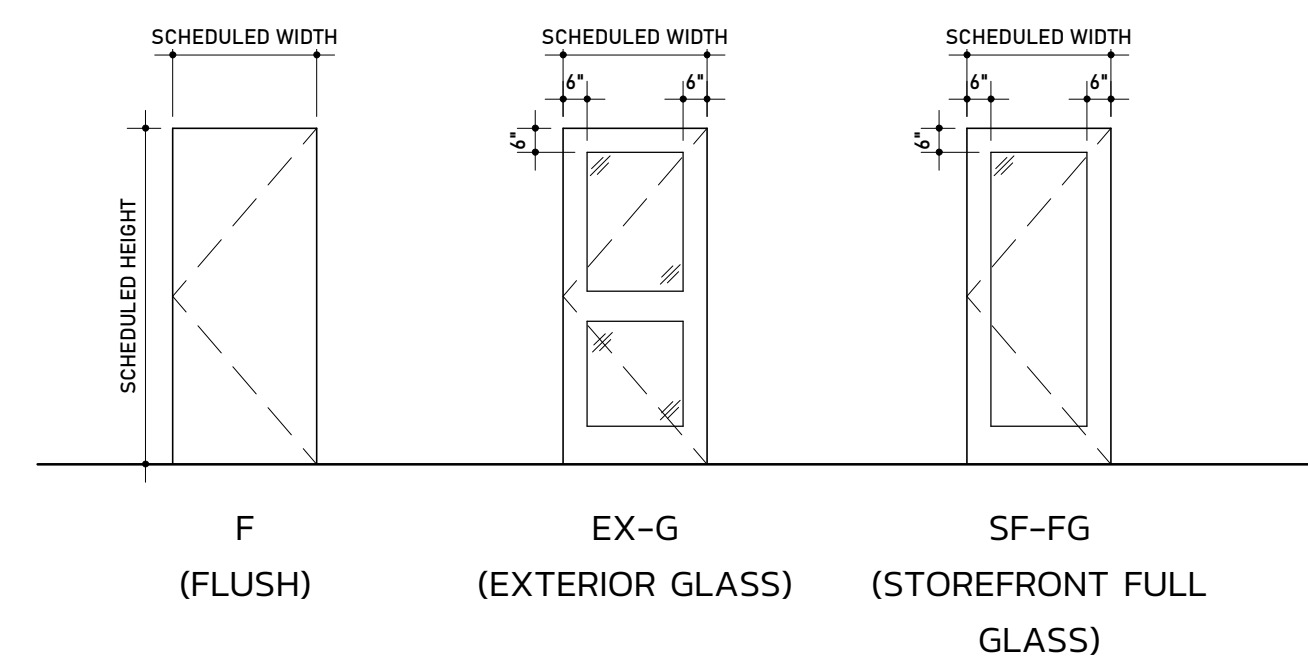
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WINDOW LEGEND
1/4" = 1'-0"

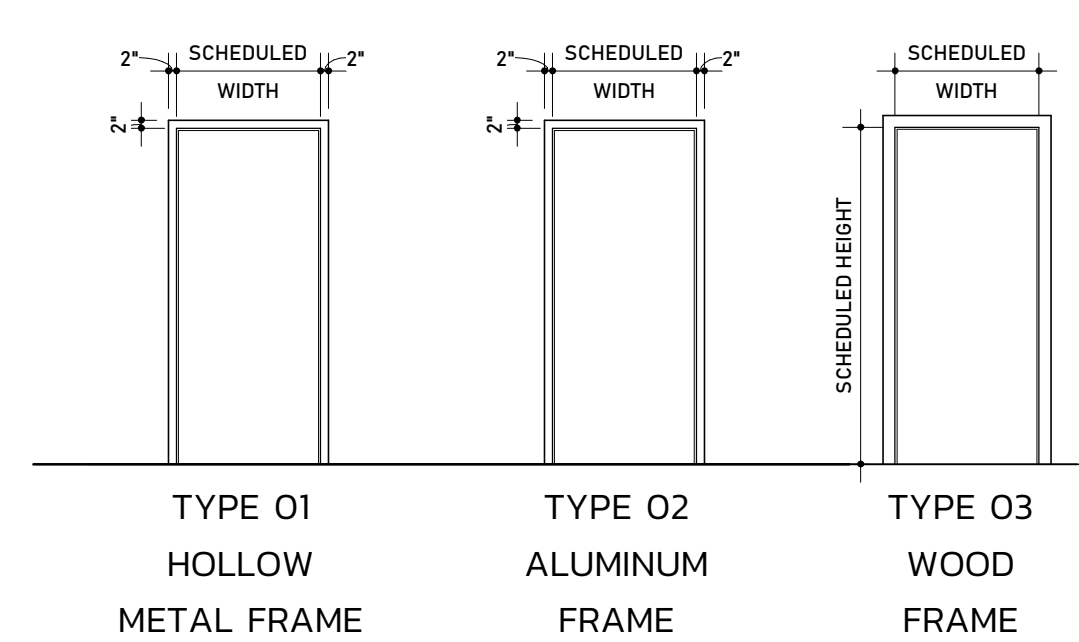


1 / A-601 STOREFRONT S1
1/4" = 1'-0"



COMMERCIAL DOOR TYPE ELEVATIONS

DOOR AND FRAME TYPES
1/4" = 1'-0"



FRAME TYPE ELEVATIONS

| DOOR SCHEDULE | | | | | | | | | | |
|----------------------|-------|----------|----------|-------------|-----------|---------------|------------|-------------|------|---------------|
| Room Name | Mark | Size | | | Door Type | Door Material | Frame Type | Fire Rating | Type | Comments |
| | | Mark | Width | Height | | | | | | |
| RECEPTION | 100 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| BAY 2 | 101 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| BREAKROOM | 101.1 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| RESTROOM | 101.2 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| RESTROOM | 101.3 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| OFFICE | 102 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F-SL | HM | 01 | | | 24" SIDELITE |
| CLOSET | 102.1 | 2' - 8" | 7' - 0" | 0' - 1 3/4" | F | WD | 03 | | | |
| CONFERENCE | 103 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F-SL | HM | 01 | | | 24" SIDELITE |
| JWR STORAGE | 110.1 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| JWR STORAGE | 110A | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| JWR STORAGE | 110B | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| JWR STORAGE | 120A | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| JWR STORAGE | 120B | 10' - 0" | 12' - 0" | 0' - 3" | - | HM | - | | | OVERHEAD DOOR |
| BAY 2 | 130 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| BAY 1 | 140A | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| BAY 1 | 140B | 10' - 0" | 12' - 0" | 0' - 3" | - | HM | - | | | OVERHEAD DOOR |
| BAY 1 | 140C | 10' - 0" | 12' - 0" | 0' - 3" | - | HM | - | | | OVERHEAD DOOR |
| BAY 1 | 140D | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | |
| OFFICE | 201 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | F | HM | 01 | | | 24" SIDELITE |
| SECOND FLOOR LANDING | 202 | 3' - 0" | 6' - 8" | 0' - 2" | SF-FG | AL | 02 | | | STOREFRONT |
| SECOND FLOOR LANDING | 203 | 2' - 8" | 6' - 8" | 0' - 1 3/8" | F | WD | 01 | | | |
| SECOND FLOOR LANDING | 204 | 3' - 0" | 6' - 8" | 0' - 1 3/8" | F | HM | 01 | | | |
| PURCHASING | 205 | 3' - 0" | 6' - 9" | 0' - 2" | SF-FG | AL | 02 | | | STOREFRONT |
| SECOND FLOOR LANDING | 206 | 3' - 0" | 6' - 9" | 0' - 2" | SF-FG | AL | 02 | | | STOREFRONT |

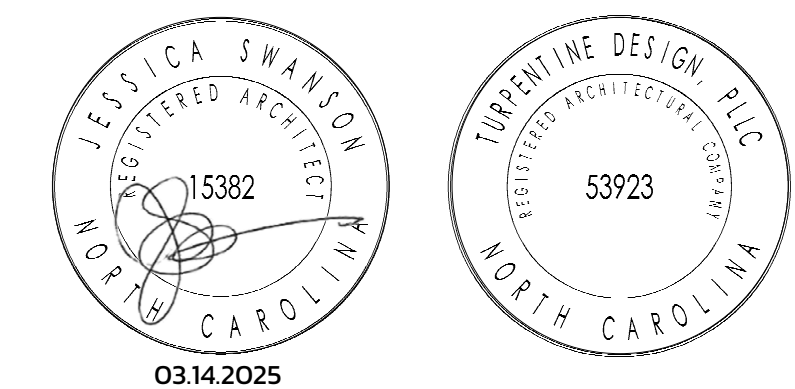
GENERAL DOOR NOTES

- ALL DOORS AND ASSOCIATED HARDWARE WITHIN SCOPE OF WORK AREA ARE TO COMPLY WITH CHAPTER 4 OF ICC ANSII 1171.
- UNO, ALL NEW DOORS INSIDE TENANT SUITE SHALL RECEIVE NEW (MANUF. IF KNOWN) CYLINDRICAL OR MORTISE LOCKSETS TO MATCH BUILDING STANDARD HARDWARE. GC TO SURVEY EXISTING HARDWARE IN FIELD AND COORDINATE WITH BUILDING OWNER. LEVER/ROSE STYLE TO MATCH BUILDING STANDARD HARDWARE (GC TO VERIFY W/ OWNER). ALL HARDWARE TO HAVE 626 (US26D) SATIN CHROME FINISH.
- GC SHALL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ALL BUILDING SYSTEM KEYPAD LOCKS PER BUILDING OWNER KEYING SYSTEM. COORDINATE EXACT REQUIREMENTS WITH BUILDING OWNER/OCCUPANT.
- PROVIDE DOOR SILENCERS TYP. AT ALL DOORS. PRE-DRILL FRAMES FOR (3) JAMB SILENCERS AND (2) HEAD SILENCERS FOR DOORS UNDER 8' TALL. PROVIDE (4) JAMB SILENCERS FOR ANY DOOR OVER 8' TALL.
- COMPLETE MANUFACTURER DOOR AND HARDWARE SCHEDULE SHALL BE PROVIDED BY GC FOR ARCHITECT REVIEW AND APPROVAL. NOTE ANY SUBSTITUTIONS OR CHANGES FROM ORIGINAL INTENT.
- ALL DOORS AND FRAMES SHALL BE PRE-MACHINED FOR FINISH HARDWARE, INCLUDING ELECTRIFIED HARDWARE.
- UNO, PROVIDE FLOOR STOPS AT ALL DOOR LOCATIONS (626 FINISH) W/ GRAY RUBBER BUMPERS. PROVIDE OVERHEAD STOPS AS SPECIFIED IN DOOR SCHEDULE.
- UNO, WHERE NEEDED, CONCEALED OVERHEAD CLOSER SHALL BE EQUAL TO DORMA RTS 88 SERIES. UNO, WHERE NEEDED, SURFACE MOUNTED CLOSERS SHALL BE EQUAL TO LCN400/410.
- ALL LOCKSETS TO BE KEYPAD MUST GO THROUGH LANDLORD'S VENDOR. GC SHALL COORDINATE WITH LANDLORD, AS REQUIRED.
- ALL EXISTING DOORS THAT WILL BE REUSED AND PAINTED MUST BE SANDED TO REMOVE THE SEAL COAT AND PRIMED BEFORE PAINTING.
- ALL SLIDING DOORS SHALL COMPLY WITH SECTION 404 OF ANSII 1171. DOOR OPENING SHALL BE MINIMUM 32" CLEAR WHEN DOOR IS IN THE OPEN POSITION, AND MAXIMUM FORCE FOR PUSHING/PULLING THE DOOR SHALL BE 5.0 POUNDS (222 N).

REVISIONS

| REV | DESCRIPTION | DATE |
|-----|-------------|------------|
| 1 | REV 01 | 04.10.2026 |
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| | | |
| | | |
| | | |

SEALS



JWR VENTURES

NEW BUILDING

JWR VENTURES
192 JARCO DRIVE
FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

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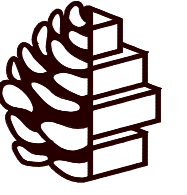
PHASE PERMIT SET
DATE 03.14.2025
TD PROJECT # 24-024

DRAWING TITLE
SCHEDULES

DRAWING NUMBER
A-601

NEW BUILDING

JWR VENTURES
FUQUAY VARINA, NC

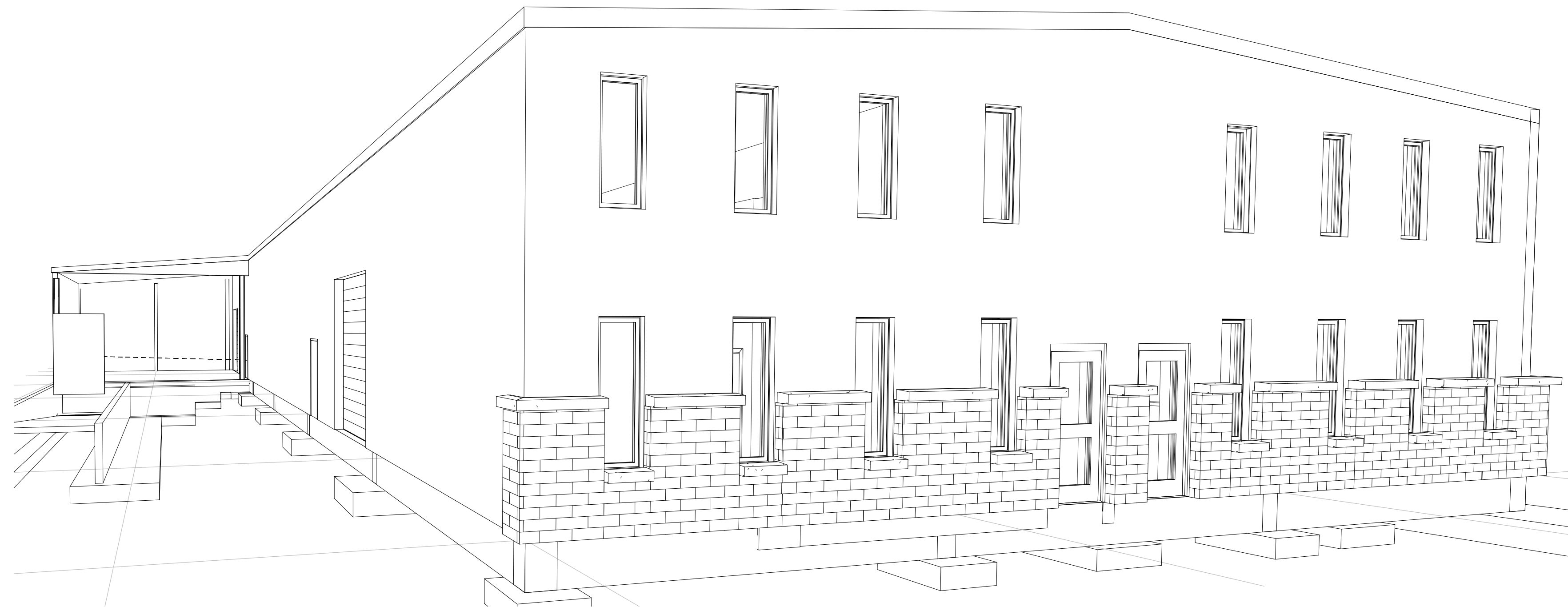


**TURPENTINE
DESIGN**

1007 Procure Street
Fuquay-Varina, NC 27526

919.412.9138
turpentine-design.com

PERMIT SET
MARCH 2025



| Sheet Number | Sheet Name |
|--------------|------------|
|--------------|------------|

| 01_GENERAL | |
|------------|--|
| G-000 | COVER |
| G-001 | SHEET INDEX AND ABBREVIATIONS |
| G-101 | CODE SUMMARY |
| G-102 | TYPICAL MOUNTING HEIGHTS AND TOILET ACCESSORY SCHEDULE |
| G-111 | LIFE SAFETY PLAN - FIRST FLOOR |

| 02_CIVIL | |
|----------|---|
| C2.0 | NOTES |
| C2.1 | NC601 NOTES |
| C3.0 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| C4.0 | EROSION & SEDIMENT CONTROL PLAN |
| C5.0 | SITE LAYOUT, UTILITY & LANDSCAPE PLAN |
| C6.0 | GRADING AND DRAINAGE PLAN |
| C7.0 | ESC DETAILS |
| C7.1 | ESC DETAILS |
| C7.2 | SITE DETAILS |
| C7.3 | SITE DETAILS |

| 03_ARCHITECTURAL | |
|------------------|--|
| A-101 | FIRST FLOOR PLAN |
| A-102 | SECOND FLOOR PLAN |
| A-121 | FIRST FLOOR REFLECTED CEILING PLAN |
| A-122 | SECOND FLOOR REFLECTED CEILING PLAN |
| A-201 | EXTERIOR ELEVATIONS |
| A-211 | INTERIOR ELEVATIONS |
| A-401 | ENLARGED PLANS |
| A-402 | ENLARGED PLANS |
| A-403 | ENLARGED STAIR PLANS, SECTION, AND DETAILS |

| 04_STRUCTURAL | |
|---------------|-------------------------------|
| S0.1 | GENERAL NOTES |
| S0.2 | GENERAL NOTES |
| S2.0 | FOUNDATION PLAN |
| S2.1 | SECOND FLOOR FRAMING PLAN |
| S3.0 | FOUNDATION SECTIONS & DETAILS |
| S3.1 | FOUNDATION SECTIONS |
| S4.0 | FRAMING SECTIONS & DETAILS |
| S4.1 | FRAMING SECTIONS |
| S4.2 | FRAMING SECTIONS |

| 05_PLUMBING | |
|-------------|-------------------------|
| P-101 | FLOOR PLANS - WATER |
| P-102 | FLOOR PLANS - S, W, & V |
| P-201 | PLUMBING RISERS |

| 06_MECHANICAL | |
|---------------|--------------------------------|
| M-001 | MECHANICAL COVER SHEET |
| M-002 | MECHANICAL SCHEDULES |
| M-101 | FIRST FLOOR PLAN - MECHANICAL |
| M-102 | SECOND FLOOR PLAN - MECHANICAL |
| M-201 | MECHANICAL DETAILS |

| 07_ELECTRICAL | |
|---------------|------------------------------|
| E-001 | ELECTRICAL COVER SHEET |
| E-002 | STANDARD ELECTRICAL DETAILS |
| E-101 | FIRST FLOOR PLAN - POWER |
| E-102 | SECOND FLOOR PLAN - POWER |
| E-201 | FIRST FLOOR PLAN - LIGHTING |
| E-202 | SECOND FLOOR PLAN - LIGHTING |
| E-301 | ELECTRICAL DETAILS |
| E-302 | ELECTRICAL DETAILS |

OWNER

LEE REVIS
192 Jarco Drive
Fuquay Varina, NC 27526
T: 919.818.7852

ARCHITECT OF RECORD

TURPENTINE DESIGN PLLC
1007 PROCURE ST
FUQUAY VARINA, NC 27526
T: 919.412.9138

CIVIL ENGINEER

TRC ENGINEERING
114 Edinburgh South Drive, Suite 200
Cary, NC 27511
T: 919.873.1060

LANDSCAPE ARCHITECT

N/A

MEP ENGINEER

ALIGN ENGINEERING
P.O. Box 28313
Raleigh, NC 27611
T: 919.275.1935

STRUCTURAL ENGINEER

TRC ENGINEERING
114 Edinburgh South Drive, Suite 200
Cary, NC 27511
T: 919.873.1060

AUDIO/VISUAL CONSULTANT

N/A

LIGHTING DESIGNER

N/A

**APPENDIX B
2018 BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS**

(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: JWR VENTURES - NEW BUILDING
 Address: 192 JARCO DRIVE FUQUAY-VARINA NC Zip Code: 27526
 Owner / Authorized Agent: LEE RIVAS Phone Number: 919-818-7852
 E-Mail: MRDEEPEAFISHER@GMAIL.COM
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City County HARNETT State

Contact: TURPENTINE DESIGN

| Designer | Firm | Name | License # | Phone # |
|---------------------------|-------------------|---------------------|-----------|----------------|
| Architectural | TURPENTINE DESIGN | JESSICA SWANSON | 15382 | (919) 412-9138 |
| Civil | TRC ENGINEERS INC | TYRUS CLAYTON | 028909 | (919) 873-1060 |
| Electrical | ALIGN ENGINEERING | W. JACOB TAYLOR | 57323 | (919) 275-1935 |
| Fire Alarm | N/A | N/A | N/A | N/A |
| Plumbing | ALIGN ENGINEERING | R. EMMETT WILLIS | 34327 | (919) 275-1935 |
| Mechanical | ALIGN ENGINEERING | NATHAN ROMBLAD | 37491 | (919) 275-1935 |
| Sprinkler-Stdpipe | N/A | N/A | N/A | N/A |
| Structural | TRC ENGINEERS INC | CHRISTOPHER HERNDON | 043810 | (919) 609-0111 |
| Retaining Walls > 5' High | N/A | N/A | N/A | N/A |
| Other | N/A | N/A | N/A | N/A |

2018 NC BUILDING CODE: New Building Shell/Core 1st Time Interior Completions
 Addition Phased Construction - Shell Core
2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED: (date) - _____ **CURRENT USE(S)** (Ch.3) - _____
RENOVATED: (date) - _____ **PROPOSED USE(S)** (Ch.3) - _____

OCCUPANCY CATEGORY: (Table 1604.5): CURRENT: N/A PROPOSED: FACTORY

BASIC BUILDING DATA

Construction Type: (Check all that apply)
 I-A II-A III-A IV V-A
 I-B II-B III-B V-B

Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D

Standpipes: No Class I Class II Class III Wet Dry

Primary Fire District: No Yes **Fire Hazard Area** No Yes

Special Inspection required: No Yes

GROSS BUILDING AREA TABLE

| Floor | Existing (sq ft) | New (sq ft) | Subtotal |
|---------------|------------------|-------------|--------------------|
| 3rd Floor | N/A | N/A | N/A |
| 2nd Floor | N/A | 1508 | 1508 |
| Mezzanine | N/A | N/A | N/A |
| 1st Floor | N/A | 8640 | 8640 |
| Basement | N/A | N/A | N/A |
| TOTAL: | | | 10,148 SQFT |

ENERGY SUMMARY

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)

Exempt Building: Provide code or statutory reference: _____

Climate Zone: 3A 4A 5A

Method of Compliance:
 Energy Code Prescriptive Performance
 ASHRAE 90.1 Prescriptive Performance
 Other: Performance (specify source) _____

ALLOWABLE AREA

Primary Occupancy Classification(s):
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 (Moderate) F-2 (Low)
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 I-2 I-3 I-4
 I-1 Condition: 1 2
 I-2 Condition: 1 2
 I-3 Condition: 1 2 3 4 5
 Mercantile
 Residential: R-1 R-2 R-3 R-4
 Storage: S-1 Moderate S-2 Low High-Piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):
Mixed Occupancy: No Yes Separation: _____ Exception: _____
 Non-separated Use (508.3)
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

| STORY NO. | DESCRIPTION AND USE | (A) BLDG AREA PER STORY (ACTUAL) | (B) TABLE 506.2 ¹ AREA | (C) AREA FOR FRONTAGE INCREASE 1.1 | (D) ALLOWABLE FLOOR AREA PER STORY OR UNLIMITED 1.2 |
|-----------|---------------------|----------------------------------|-----------------------------------|------------------------------------|---|
| 1 | FACTORY F-1 | 5906 SF | 15,500 | N/A | 15,500 |
| 1 | BUSINESS | 1381 SF | 23,000 | N/A | 23,000 |
| 1 | STORAGE S-1 | 1353 SF | 17,500 | N/A | 17,500 |
| 2 | BUSINESS | 1217 SF | 23,000 | N/A | 23,000 |
| 2 | STORAGE S-1 | 291 SF | 17,500 | N/A | 17,500 |

1 Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ ft (F)
 b. Total Building Perimeter = N/A = _____ ft (P)
 c. Ratio (F/P) = _____ = _____ (F/P)
 d. W = Minimum width of public way = _____ (W) = _____ ft (W)

2 Unlimited area applicable under conditions of Sections 507

3 Maximum Building Area = total number of stories in the building x D (506.2)

4 The Maximum area of parking garages must comply with 406.3.5. The maximum area of traffic control towers must comply with 412.1.2.

5 Frontage increase is based on the un sprinklered area value in Table 506.2

ALLOWABLE HEIGHT

| | ALLOWABLE | SHOWN ON PLANS | CODE REFERENCE |
|--|-----------|----------------|-----------------------|
| Building Height in Feet (Table 504.3) | H = 55 ft | H = 23 ft | TYPE IIB, TABLE 504.3 |
| Building Height in Stories (Table 504.4) | S = 2 | S = 2 | TYPE IIB, TABLE 504.4 |

FIRE PROTECTION REQUIREMENTS

THIS SECTION REQUIRED FOR ALL PROJECTS
 Life Safety Plan Sheet #, if Provided: G-111

| BUILDING ELEMENT | FIRE SEPARATION DISTANCE (FEET) | REQ'D ¹ | RATING PROVIDED (W/ "H" REDUCTION) | DETAIL # AND SHEET # | DESIGN # FOR RATED ASSEMBLY | SHEET # FOR RATED PENETRATION | SHEET # FOR RATED JOINTS |
|--|---------------------------------|--------------------|------------------------------------|----------------------|-----------------------------|-------------------------------|--------------------------|
| Structural Frame Including Columns, Girders, Trusses | | 0 HR | 0 HR | | | | |
| Bearing Walls | | | | | | | |
| Exterior | | | | | | | |
| North | > 30' | 0 HR | 0 HR | | | | |
| East | > 30' | 0 HR | 0 HR | | | | |
| West | > 30' | 0 HR | 0 HR | | | | |
| South | > 30' | 0 HR | 0 HR | | | | |
| Interior walls and partitions | | 0 HR | 0 HR | | | | |
| Nonbearing Walls and Partitions | | | | | | | |
| Exterior | | | | | | | |
| North | > 30' | 0 HR | 0 HR | | | | |
| East | > 30' | 0 HR | 0 HR | | | | |
| West | > 30' | 0 HR | 0 HR | | | | |
| South | > 30' | 0 HR | 0 HR | | | | |
| Interior walls and partitions | | 0 HR | 0 HR | | | | |
| Floor Construction Including Supporting Beams and Joists | | 0 HR | 0 HR | | | | |
| Floor Ceiling Assembly | | 0 HR | 0 HR | | | | |
| Columns Supporting Floors | | 0 HR | 0 HR | | | | |
| Roof Construction Including Supporting Beams and Joists | | 0 HR | 0 HR | | | | |
| Roof Ceiling Assembly | | 0 HR | 0 HR | | | | |
| Columns Supporting Roof | | 0 HR | 0 HR | | | | |
| Shaft Enclosures - Exit | | | | | | | |
| Shaft Enclosures - Other | | | | | | | |
| Alia Enclosure | | 0 HR | 0 HR | | | | |
| Duct Shafts | | 0 HR | 0 HR | | | | |
| Corridor Separation | | 0 HR | 0 HR | | | | |
| Occupancy/Fire Barrier Separation | | 0 HR | 0 HR | | | | |
| Party/Fire Wall Separation | | 0 HR | 0 HR | | | | |
| Smoke Barrier Separation | | 0 HR | 0 HR | | | | |
| Smoke Partition | | 0 HR | 0 HR | | | | |
| Tenant/Dwelling Unit/Sleeping Unit Separation | | 0 HR | 0 HR | | | | |
| Incidental Use Separation | | 0 HR | 0 HR | | | | |

PERCENTAGE OF WALL OPENING CALCULATIONS

| Fire Separation Distance (Feet) From Property Lines | Degree of Openings Protection (Table 705.8) | Allowable Area (%) | Actual Shown on Plans (%) |
|---|---|--------------------|---------------------------|
| N - >30' | - | - | - |
| S - >30' | - | - | - |
| E - >30' | - | - | - |
| W - >30' | - | - | - |

LIFE SAFETY SYSTEM

THIS SECTION REQUIRED FOR ALL PROJECTS

Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Yes
 Panic Hardware: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: G-111

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (If not on site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

| TOTAL UNITS | ACCESSIBLE UNITS REQUIRED | ACCESSIBLE UNITS PROVIDED | TYPE A UNITS REQUIRED | TYPE A UNITS PROVIDED | TYPE B UNITS REQUIRED | TYPE B UNITS PROVIDED | TOTAL ACCESSIBLE UNITS PROVIDED |
|-------------|---------------------------|---------------------------|-----------------------|-----------------------|-----------------------|-----------------------|---------------------------------|
| | | | | N/A | | | |

ACCESSIBLE PARKING (SECTION 1106)

| LOT OR PARKING AREA | # OF PARKING SPACES | | # OF ACCESSIBLE SPACES PROVIDED | | | TOTAL # ACCESSIBLE PROVIDED |
|---------------------|---------------------|----------|---------------------------------|-----------------------------|---------------------------|-----------------------------|
| | REQUIRED | PROVIDED | REGULAR WITH 5' ACCESS AISLE | VAN SPACE 132' ACCESS AISLE | VAN SPACE 8' ACCESS AISLE | |
| | 21 | 23 | 1 | | | 1 |
| TOTAL | 21 | 23 | 1 | | | 1 |

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

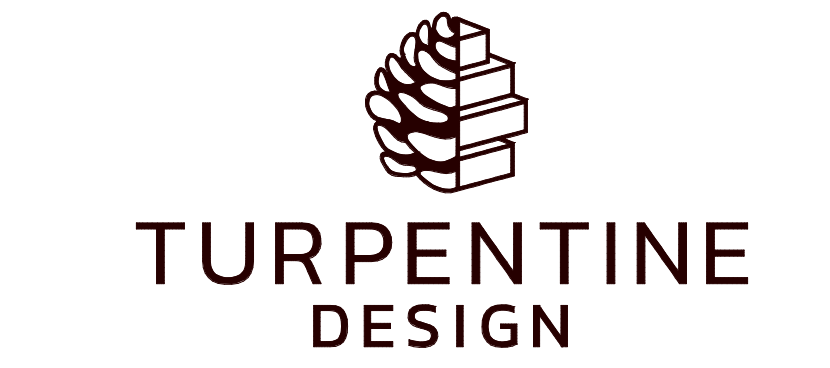
| USE | WATER CLOSETS | | | URINALS | LAVATORIES | | | SHOWERS TUBS MP | DRINKING FOUNTAINS | |
|-----|---------------|-----|-------|---------|------------|--------|-------|-----------------|--------------------|------------|
| | EXIST'G | NEW | REQ'D | | MALE | FEMALE | UNSEX | | REGULAR | ACCESSIBLE |
| | | 0 | 0 | | 0 | 0 | 0 | | 0 | 0 |

SPECIAL APPROVALS

(Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below.)

THERMAL ENVELOPE: (Prescriptive Method Only)

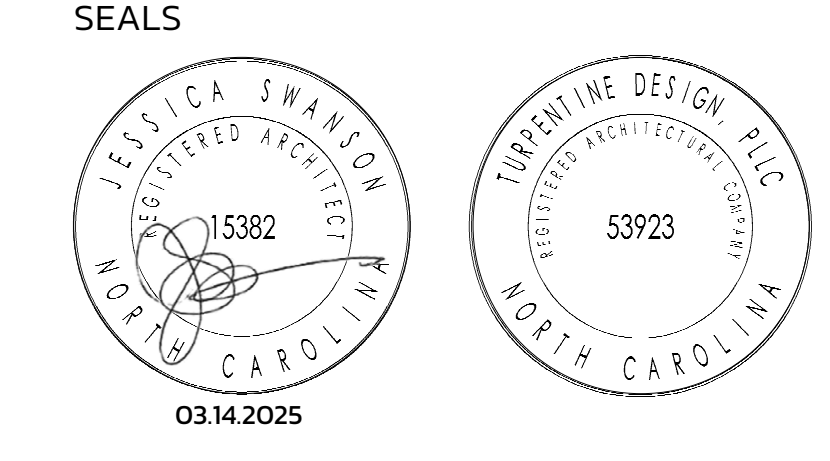
| ROOF/CEILING ASSEMBLIES | WALL ASSEMBLIES | FLOOR ASSEMBLIES |
|---|---|---|
| Roof/Ceiling Assembly (each assembly) Description of assembly _____ U-Value of total assembly _____ R-Value of insulation <u>R-19 + R-11 RIGID</u> Skylights in each assembly <u>N/A</u> U-Value of each skylight <u>N/A</u> Total square footage of skylights in each assembly <u>N/A</u> | Exterior Walls (each assembly) Description of assembly <u>6" METAL STUD, INSULATION, 8" GIRT PEMB, WITH EXTERIOR MASONRY CLADDING</u> U-Value of total assembly _____ R-Value of insulation <u>R-0 + R-15.8 CONTINUOUS</u> Openings (windows, or doors with glazing) _____ U-Value of assembly <u>0.54</u> Solar heat gain coefficient <u>0.67</u> projection factor _____ Door R-Values <u>STEEL, POLYSTYRENE CORE R-2.39</u> | Floors Over Unconditioned Space (each assembly) Description of assembly <u>N/A</u> U-Value of total assembly _____ R-Value of insulation _____ Floor Slab on Grade (each assembly) Description of assembly <u>5" CONCRETE SOG, WITH VAPOR BARRIER OVER CRUSHED STONE</u> U-Value of total assembly _____ R-Value of insulation <u>R-15 FOR 24"</u> Horizontal / Vertical Requirement _____ Slab Heated _____ |
| | Description of assembly <u>6" METAL STUD, INSULATION, 8" GIRT PEMB, WITH EXTERIOR METAL PANEL CLADDING</u> U-Value of total assembly _____ R-Value of insulation <u>R-0 + R-15.8 CONTINUOUS</u> Openings (windows, or doors with glazing) _____ U-Value of assembly <u>N/A</u> Solar heat gain coefficient <u>N/A</u> projection factor _____ Door R-Values <u>STEEL, POLYSTYRENE CORE R-2.39</u> <u>STEEL, ROLLING OVERHEAD R-10</u> | |
| | Walls Below Grade (each assembly) Description of assembly <u>N/A</u> U-Value of total assembly _____ R-Value of insulation _____ | |



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REVISIONS

| REV | DESCRIPTION | DATE |
|-----|-------------|------------|
| 1 | REV 01 | 04.10.2026 |



JWR VENTURES

NEW BUILDING

JWR VENTURES
 192 JARCO DRIVE
 FUQUAY-VARINA, NC 27526

OWNER
LEE REVIS

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PHASE _____ PERMIT SET
 DATE _____ 03.14.2025
 TD PROJECT # _____ 24-024

DRAWING TITLE
CODE SUMMARY

DRAWING NUMBER
G-101