

Drawing File: H:\2025\Jenkins Barronominium PID 2025-08-05\DWG\Jackson Building-2025-12-08-wrth.dwg
 Plotted Date: Dec 08, 2025 - 9:08am
 Scale: 1/8" = 1'-0"

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- P1 PLUMBING NOTES & SCHEDULE
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PROJECT:

CONSTRUCTION PLANS for: JACKSON OFFICE BUILDING

308 SAINT MATTHEWS ROAD
ERWIN, NC 28339



PROJECT TEAM:

BUILDING OWNER:
 JACKSON FAMILY ENTERPRISES, LLC
 111 DENIM DRIVE
 ERWIN, NC 28339

CONSTRUCTION MANAGEMENT COMPANY:
 STE GENERAL CONTRACTORS
 PHONE: 910-891-5465
 EMAIL: stegc.tommy@gmail.com
 WEBSITE: stegeneralcontractors.com

PROJECT DESIGNER:
 JENKINS CONSULTING ENGINEERS, PA
 1606 MCARTHUR ROAD
 FAYETTEVILLE, NC 28311
 DOUGLAS L. JENKINS, PE
 KELLY J. DODSON, PE
 (910) 822-1724

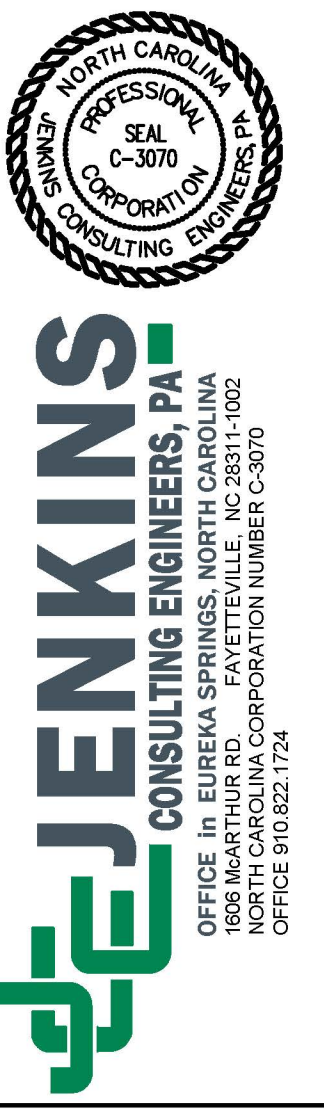
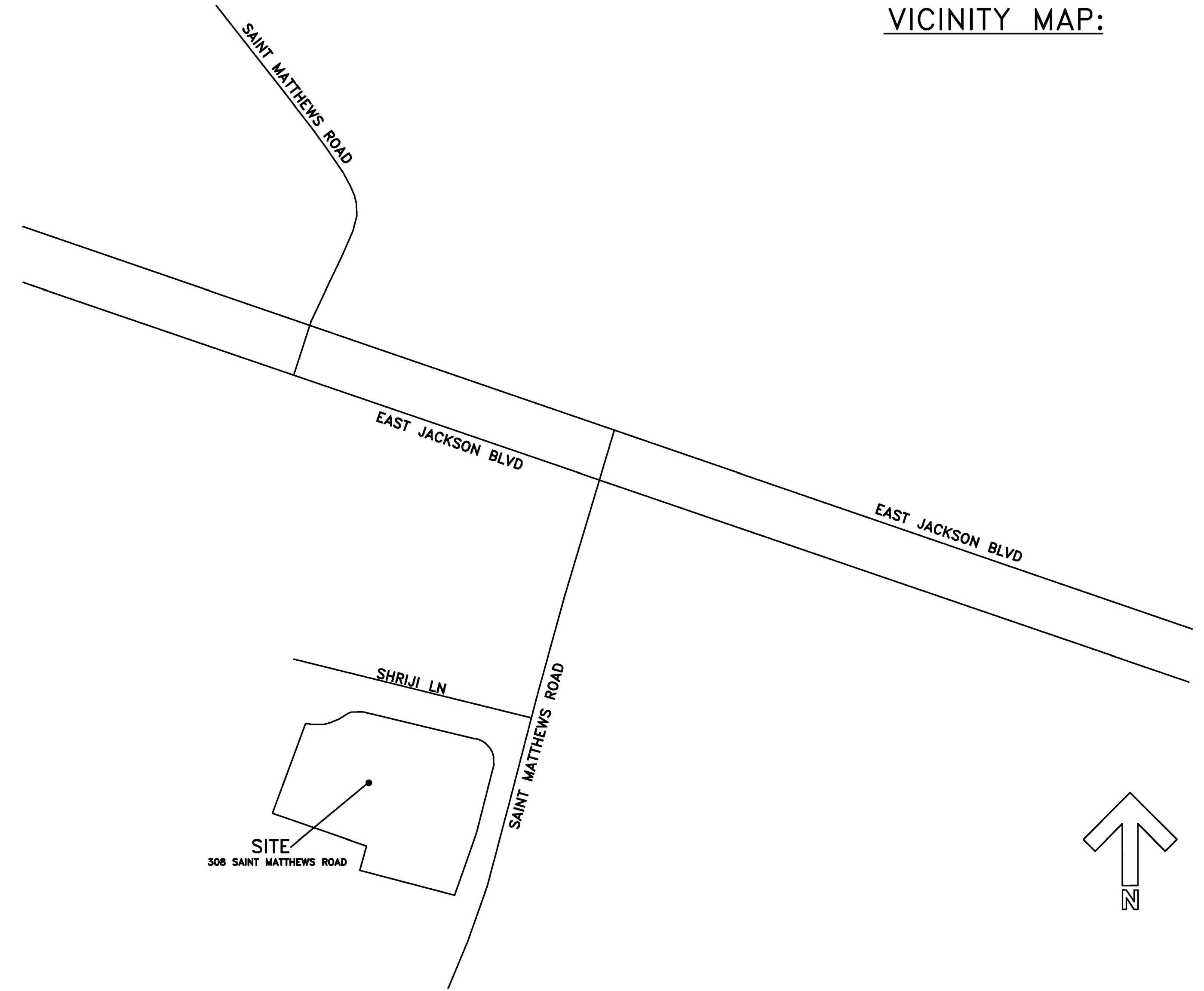
BUILDING DEPARTMENT:

HARNETT COUNTY
 INSPECTION DEPARTMENT
 420 MCKINNEY PARKWAY
 LILLINGTON, NC 27546
 910-893-7525

CODE REVIEW:

BUILDING	2018 NC BUILDING CODE
PLUMBING	2018 NC PLUMBING CODE
MECHANICAL	2018 NC MECHANICAL CODE
ELECTRICAL	2020 NATIONAL ELECTRICAL CODE (NFPA-70)
FIRE PREVENTION	2018 NC FIRE CODE
ENERGY	2018 NC ENERGY CONSERVATION CODE
ACCESSIBILITY	ICC A117.1-2009 AND THE AMERICANS WITH DISABILITIES ACT (ADAAG)

VICINITY MAP:



DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT #: 2025-08-05
 DATE: 8 DEC 2025

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION

OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 DATE: 8 DEC 2025

NO.	REVISION	DATE	BY

PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: COVER SHEET

2018 NC BUILDING CODE SUMMARY: APPENDIX B

Name of Project: JACOBSON OFFICE BUILDING PH: 1507-33-9087.000
 Address: 308 SAINT MATTHEWS ROAD ERWIN, NC Zip Code: 28339
 Proposed Use: BUSINESS (B) STORAGE (S-2)
 Owner or Authorized Agent: JACOBSON FAMILY ENTERPRISES, LLC Phone: 910-890-4298 E-Mail: michaj@jacobson.com
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City ERWIN County HARNETT State NORTH CAROLINA

CONTACT: DOUGLAS L. JENKINS

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	N/A	N/A	N/A		
Civil	N/A	N/A	N/A		
Electrical	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkins.com
Fire Alarm	N/A	N/A	N/A		
Plumbing	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkins.com
Mechanical	JCE	DOUGLAS L. JENKINS	NC PE 28803	(910) 822-1724	buddy@jenkins.com
Sprinkler-Standpipe	N/A	N/A	N/A	N/A	N/A
Structural	N/A	N/A	N/A	N/A	N/A
INTERIOR WALLS	JCE	KELLY J. DOZSON	NC PE 42009	(910) 822-1724	kelly@jenkins.com
Handing Walls >5' High	N/A	N/A	N/A	N/A	N/A
Building	JCE	KELLY J. DOZSON	NC PE 42009	(910) 822-1724	kelly@jenkins.com

2018 NC BUILDING CODE: New Building Shall / Core First Time Interior Completions
 Addition Phased Construction - Shell Core
 2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III
 CONSTRUCTED (date) _____ CURRENT USE (S) (Ch. 3): _____
 RENOVATED (date) _____ PROPOSED USE (S) (Ch. 3): BUSINESS (B) STORAGE (S-2)
 OCCUPANCY RISK CATEGORY (Table 1604.5): Current: _____ Proposed: _____

BASIC BUILDING DATA
 Construction Type: I-A I-B I-C I-D I-E I-F I-G I-H I-I
 Sprinklers: No Partial NFPA 13 NFPA 13R NFPA 13D
 Standpipes: No Class I Class II Class III Wet Dry
 Primary Fire District: No Yes (APPENDIX D) Flood Hazard Area: No Yes
 Special Inspections Required: No Yes

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (sq ft)	NEW (sq ft)	SUBTOTAL
1st Floor	-	5353	
TOTAL		5353	

Primary Occupancy Classification(s):
 Assembly: A-1 A-2 A-3 A-4 A-5
 Business: B
 Educational: E
 Factory: F-1 Moderate F-2 Low
 Hazardous: H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional: I-1 I-2 I-3 I-4
 I-1 Condition: 1 2
 I-2 Condition: 1 2
 I-3 Condition: 1 2 3 4 5
 Maroonette: M
 Residential: R-1 R-2 R-3 R-4
 Storage: S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous: U
 Accessory Occupancy Classification(s): NONE
 Incidental Uses (Table 509):
 This separation is not exempt as a Non-separated Use (see exceptions).
 Special Uses (Chapter 4): 402 403 404 405 406 407 408 409 410 411 412 413
 414 415 416 417 418 419 420 421 422 423 424 425
 426 427 428 429 430
 Special Provisions (Chapter 5): 510.2 510.3 510.4 510.5 510.6 510.7 510.8 510.9
 Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____
 Non-separated Use (508.3)
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area of each use shall not exceed 1.

Separated Use Formula 508.4.2: $\frac{Actual\ Area\ of\ Occupancy\ A}{Allowable\ Area\ of\ Occupancy\ A} + \frac{Actual\ Area\ of\ Occupancy\ B}{Allowable\ Area\ of\ Occupancy\ B} \leq 1$
 $\frac{2745}{9000} + \frac{2608}{13500} = 0.305 + 0.193 = 0.498 \leq 1.00$

STORY NUMBER	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 508.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1, 5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2, 3}
1	OFFICE SPACE (B)	2745	9000	N/A	9000
1	STORAGE (S-2)	2608	13500	N/A	13500

¹ Frontage area increases from Section 506.3 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = (P)
 b. Total Building Perimeter = (P)
 c. Ratio (P/P) = (P/P)
 d. W = Minimum width (weighted average) of public way = (W) where W = (L₁ X W₁ + L₂ X W₂) / P (Equation 5-4)
 e. Percent of frontage increase = (P/P) [(P/P) - 0.25] / W/20 = (P/P) (Equation 5-5)

FRONTAGE INCREASE WORKSHEET FOR CALCULATIONS:

EXTERIOR WALL	(P) OPEN LENGTH (feet)	(P) TOTAL LENGTH (feet)	(W) (weighted average) WIDTH OF PUBLIC WAY OR OPEN SPACE (feet)	(W) FROM CALC. ABOVE	(W) FROM TABLE ABOVE	AREA INCREASE FOR COLUMN (C) ABOVE (X * TABLE AREA)
North						
South						
East						
West						
TOTAL						
EXAMPLE	75	100	25	42	23,500	(42*23,500 = 9,870)

² Unlimited area applicable under conditions of Sections 507
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (Section 506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1
⁵ Frontage Increase is based on the unspinklered area value in Table 506.2.

BUILDING CODE SUMMARY (continued)

ALLOWABLE HEIGHT

BUILDING HEIGHT IN FEET (Table 504.3)	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
4	1	22	
10	1	1	

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (feet)	RATING ** (TABLE 601)		DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (w/ REDUCTION)				
Structural Frame, including columns, girders, trusses	0	0	0				
Bearing Walls	0	0	0				
Exterior	0	0	0				
North	0	0	0				
East	0	0	0				
West	0	0	0				
South	0	0	0				
Interior	0	0	0				
Nonbearing walls and partitions	0	0	0				
Exterior walls	0	0	0				
North	0	0	0				
East	0	0	0				
West	0	0	0				
South	0	0	0				
Interior Non-Bearing Walls	0	0	0				
Floor construction	0	0	0				
Including supporting beams and joists	0	0	0				
Floor Ceiling Assembly	0	0	0				
Columns Supporting Floors	0	0	0				
Roof construction	0	0	0				
Including supporting beams and joists	0	0	0				
Roof Ceiling Assembly	0	0	0				
Columns Supporting Roof	0	0	0				
Shaft Enclosures - Exit	0	0	0				
Shaft Enclosures - Other	0	0	0				
Corridor Separation	0	0	0				
Occupancy / Fire Barrier Separation	0	0	0				
Party/Fire Wall Separation	0	0	0				
Smoke Barrier Separation	0	0	0				
Smoke Partition	0	0	0				
Tenant/Dwelling Unit/ Sleeping Unit Separation	0	0	0				
Incidental Use Separation	0	0	0				

PERCENTAGE OF WALL OPENING CALCULATIONS

EXTERIOR WALL	FIRE SEPARATION DISTANCE (feet) FROM PROPERTY LINE	DEGREE OF OPENINGS PROTECTION (TABLE 705.5)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
North	-	-	-	-
South	-	-	-	-
East	-	-	-	-
West	-	-	-	-

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Yes No
 Exit Signs: Yes No
 Fire Alarm: Yes No
 Smoke Detection Systems: Yes No Partial Duct Detectors
 Carbon Monoxide Detection: Yes No
 Life Safety Systems Generator: Yes No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: LS-1

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1010.7)
 Common path of travel distances [1008.2.1 & 1008.3.2(1)]
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.8)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (903)
 The square footage of each smoke compartment for Occupancy Classification I-II (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
NONE REQUIRED							

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
			REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 13' ACCESS AISLE	
EXISTING					
NEW	SITE PLAN BY OTHERS				
TOTAL					

BUILDING CODE SUMMARY (continued)

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATER CLOSETS MALE/FEMALE	URINALS	LAVATORIES MALE/FEMALE	SHOWERS/ TUBS	DRINKING FOUNTAINS REGULAR/ACCESSIBLE	SERVICE SINK
BUSINESS (B), STORAGE (S-2)	1			1	1	
NEW FIXTURES PROVIDED	1	1	1	1	1	1

SPECIAL APPROVALS:
 Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)
 NONE REQUIRED

ENERGY SUMMARY

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.
 Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)
 Exempt Building: Provide code or statutory reference: _____
 Climate Zone: 3A 4A 5A HARNETT COUNTY
 Method of Compliance: Performance Prescriptive
 ASHRAE 90.1: Performance Prescriptive
 Other: Performance (specify source) _____ Value of total assembly: _____

THERMAL ENVELOPE: (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
 Description of assembly: STANDING SEAM METAL PANEL ROOF, W/ THERMAL BLOCK, 2 LAYER BATT INSULATION, FABRIC LINER, STEEL PURLIN
 U-Value of total assembly: U=0.035
 R-Value of insulation: R19+R11
 Skylights in each assembly: _____
 U-Value of skylight: _____
 Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly)
 Description of assembly: METAL WALL PANEL, STEEL CURTS, BATT INSULATION, THERMAL BREAK TAPE, FABRIC LINER
 U-Value of total assembly: U=0.059 (MAX U=0.060 PER NCCEC 2018 TABLE C402.1.4)
 R-Value of insulation: R25
 Openings (windows or doors with glazing)
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 Projection factor: _____
 Door R-Value: _____

Walls below grade (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____


Floors over unconditioned space (each assembly)
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors slab on grade
 Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____
 slab heated: UNHEATED SLAB

MECHANICAL SUMMARY (SEE DRAWING SHEET ME _____)
 ELECTRICAL SUMMARY (SEE DRAWING SHEET E1 _____)

Harnett County
BUILDING CODE SUMMARY
for:
JACKSON OFFICE BUILDING
308 SAINT MATTHEWS ROAD
ERWIN, NC 28339

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JACKSON OFFICE BUILDING

308 SAINT MATTHEWS ROAD ERWIN, NC 28339

PROJECT: JACKSON OFFICE BUILDING

DATE: 8 DEC 2025

DESIGNED/CHECKED BY: KJD

DRAWN BY: MJ

PROJECT # 2025-08-05

DATE: 8 DEC 2025

OWNER: JACKSON FAMILY ENTERPRISES LLC

CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS

SYMBOL: _____

DESCRIPTION: _____

PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 42009
 EXPIRES 01/01/2026

PROJECT: JACKSON OFFICE BUILDING

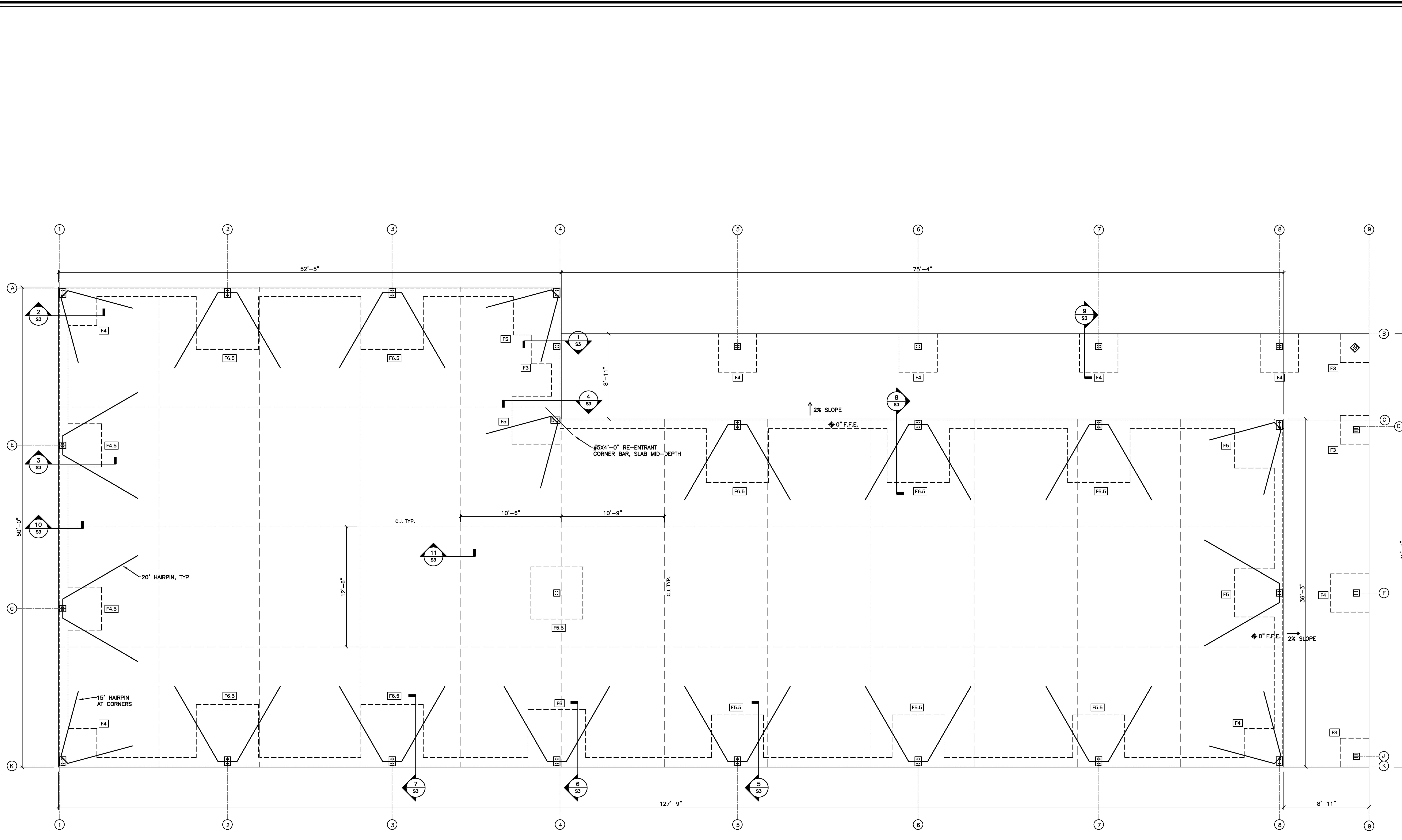
308 SAINT MATTHEWS ROAD ERWIN, NC 28339

SHEET: _____

BUILDING CODE SUMMARY

BCS

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 SCALE: 12" = 1'-0"



1 FOUNDATION PLAN
 S2
 SCALE: 1/4" = 1'-0"

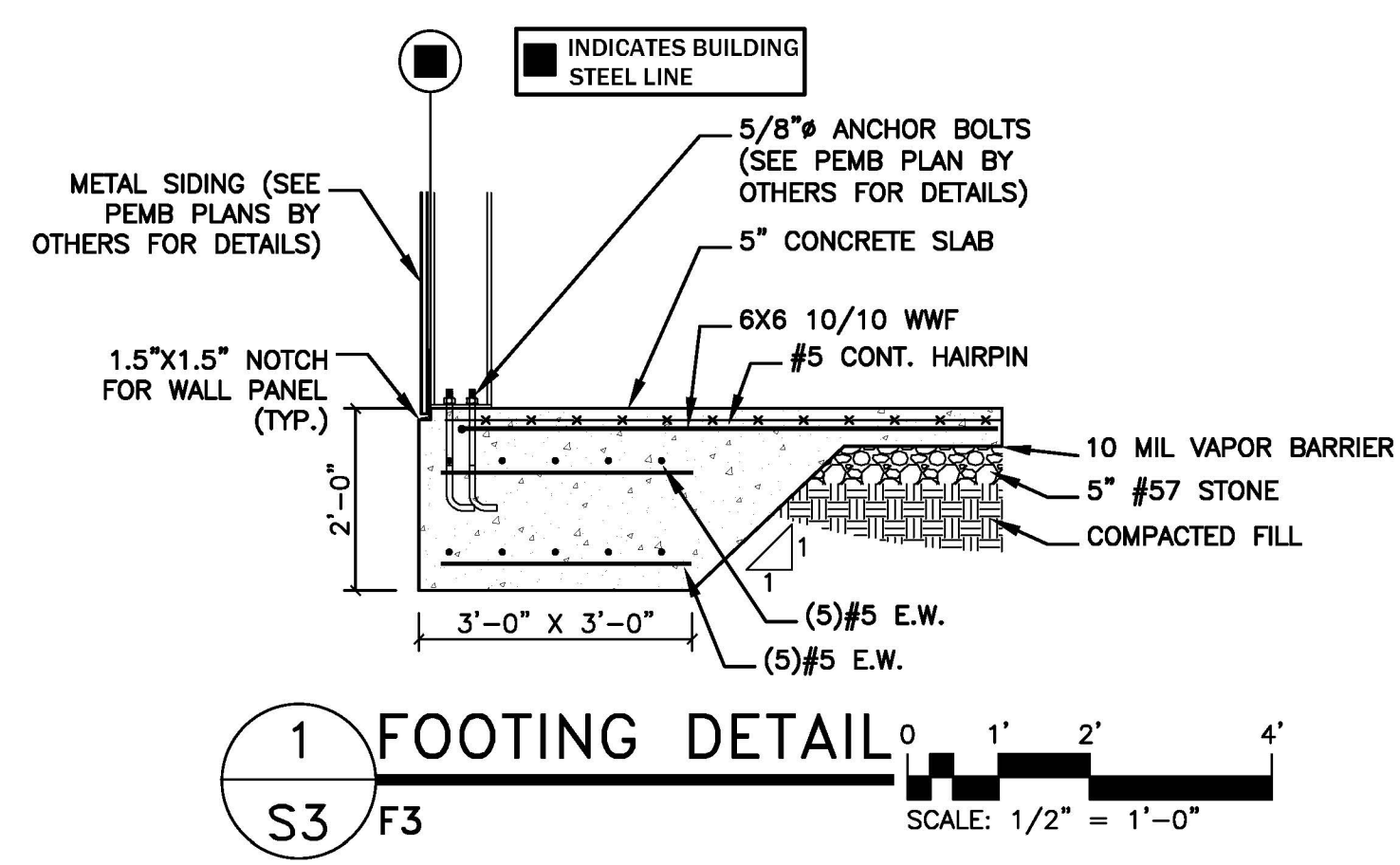


DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT #: 2025-08-05
 DATE: 8 DEC 2025

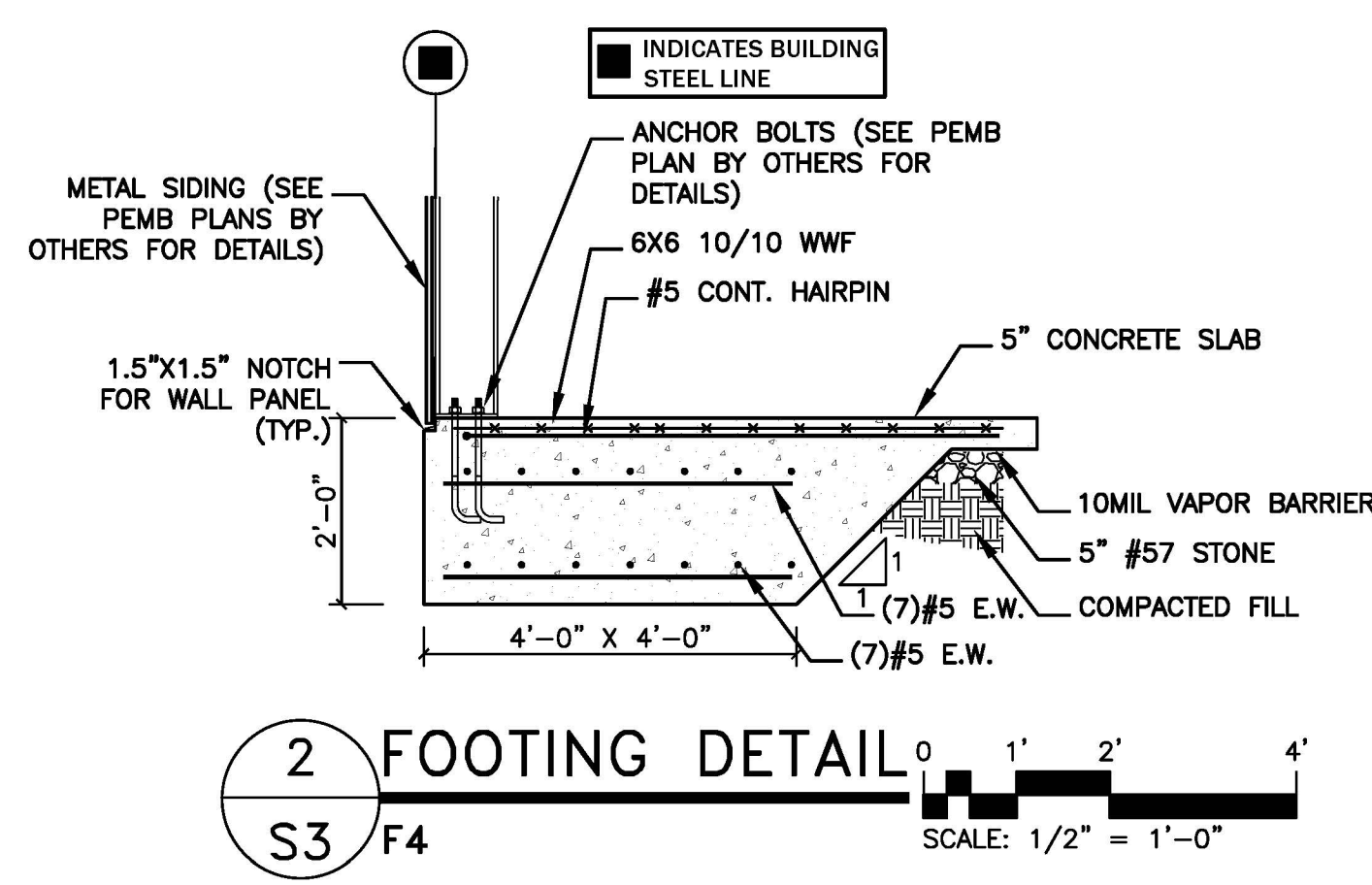
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PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: FOUNDATION PLAN
 S2

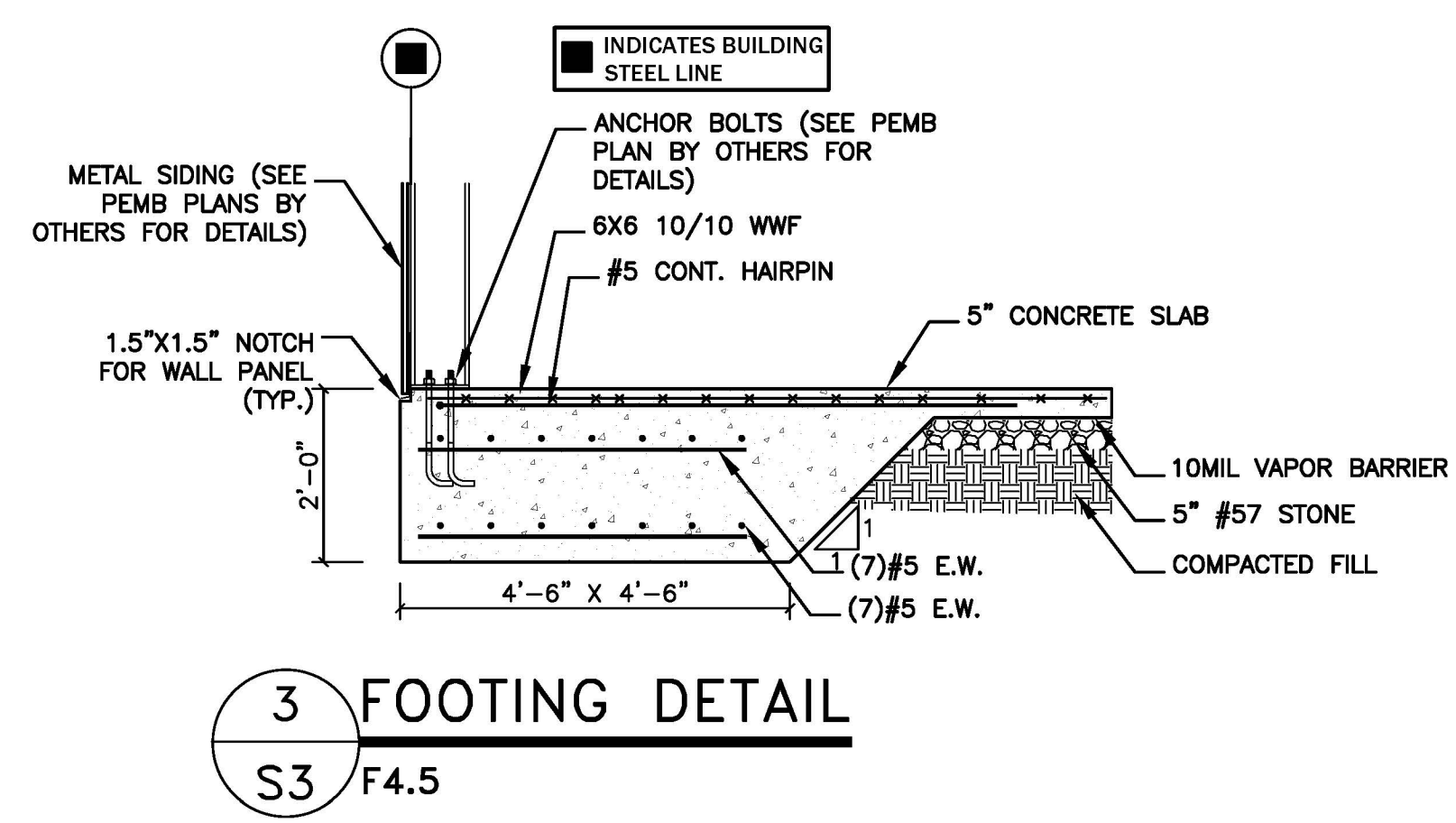
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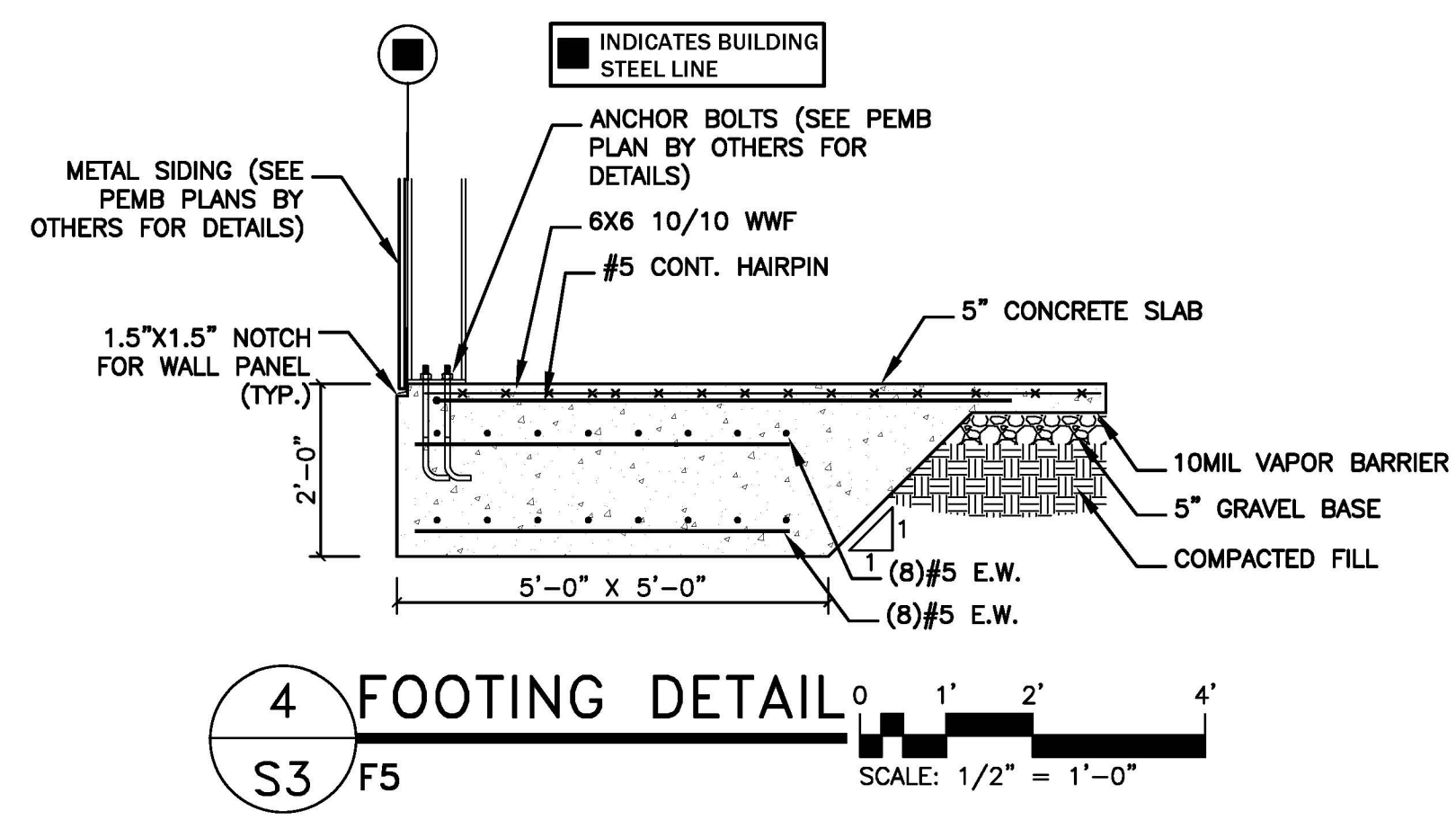
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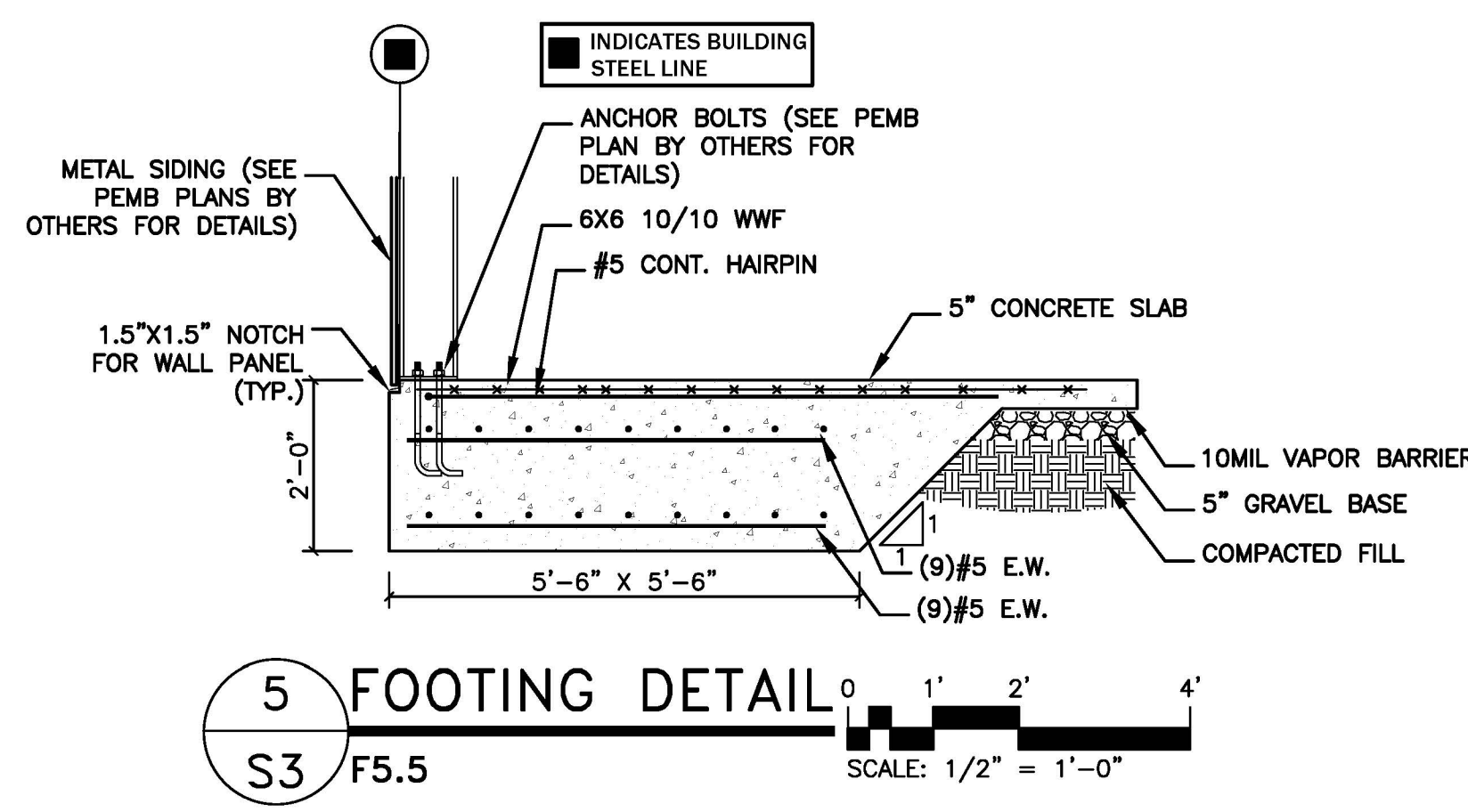
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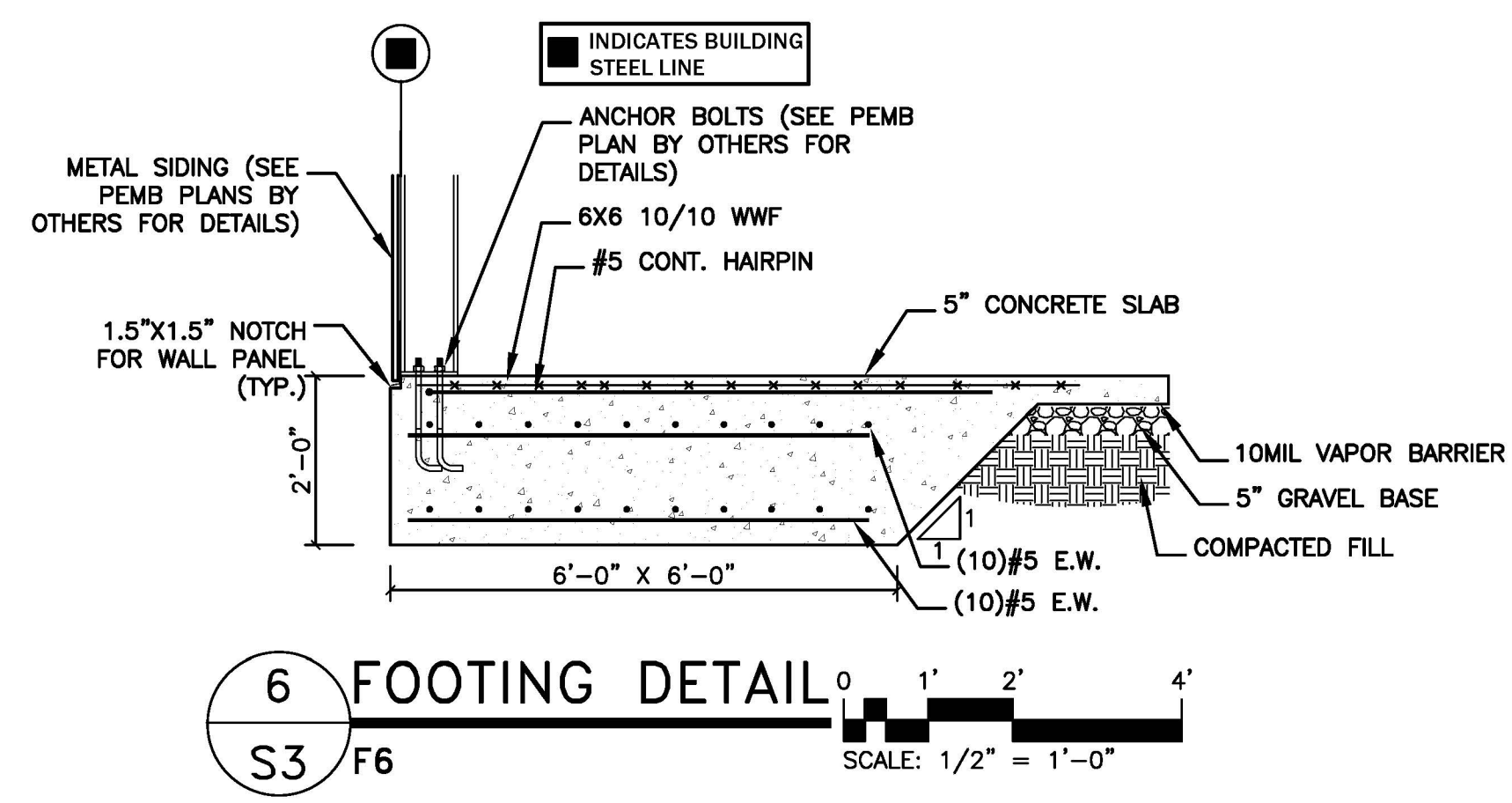
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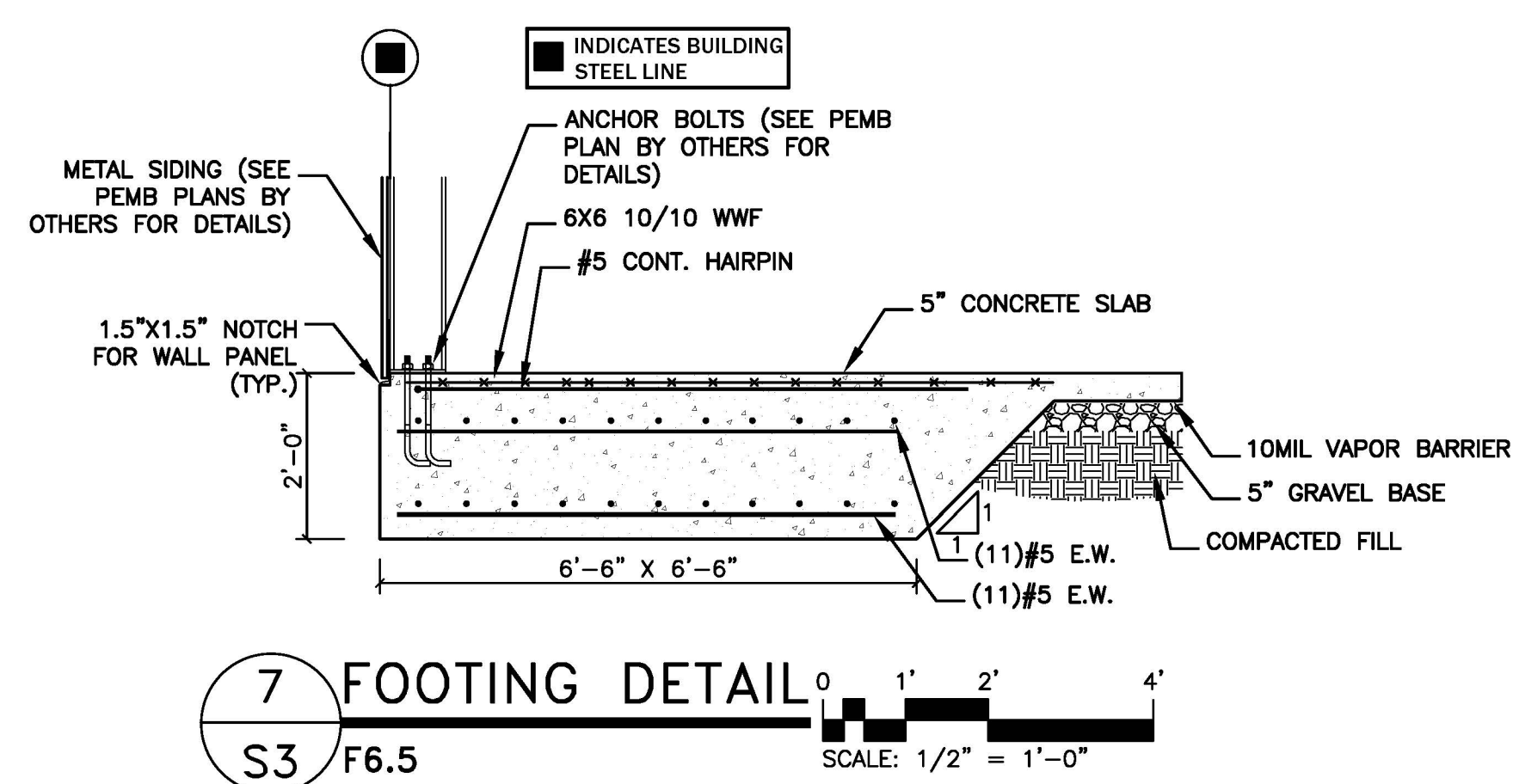
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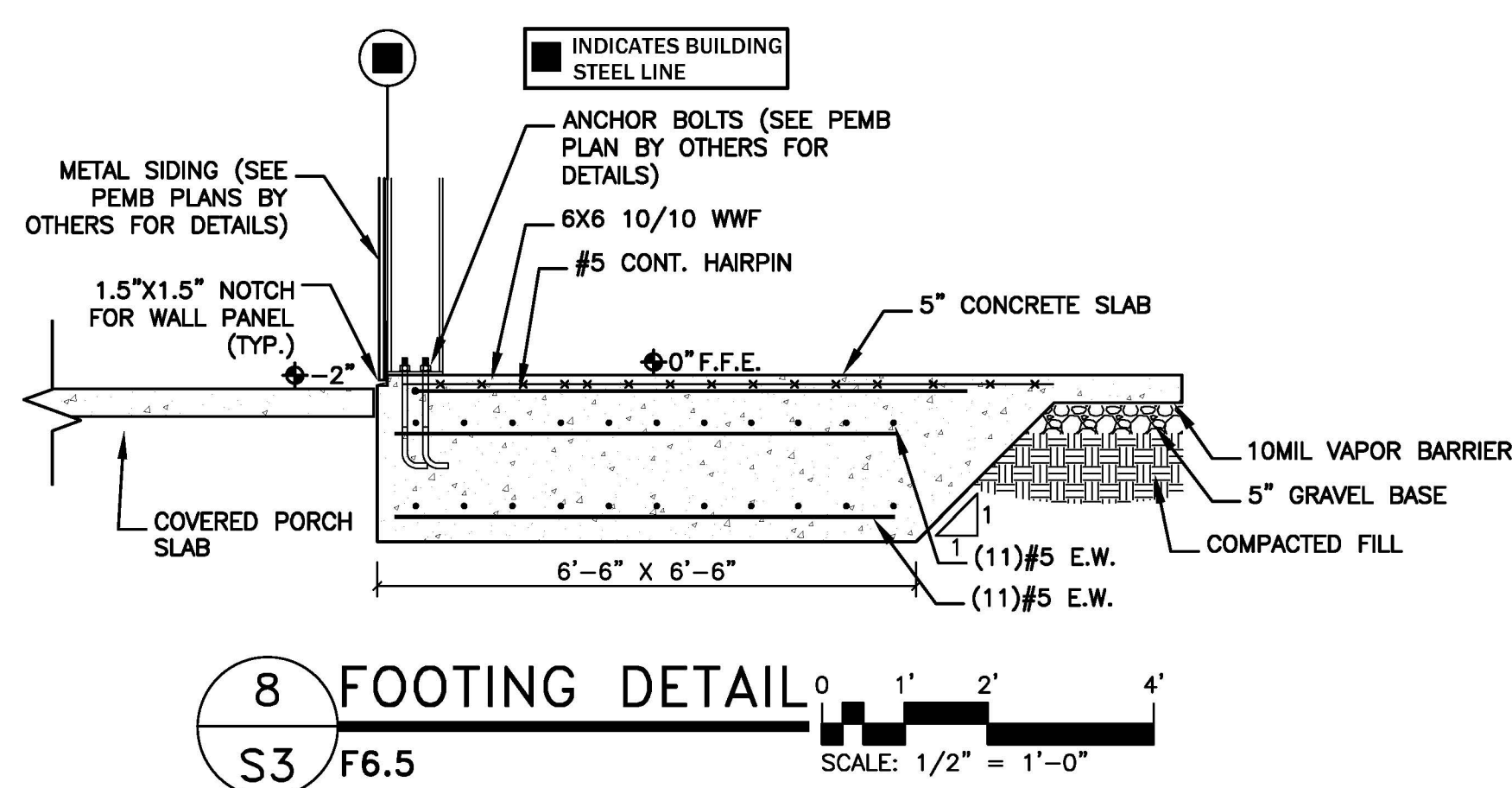
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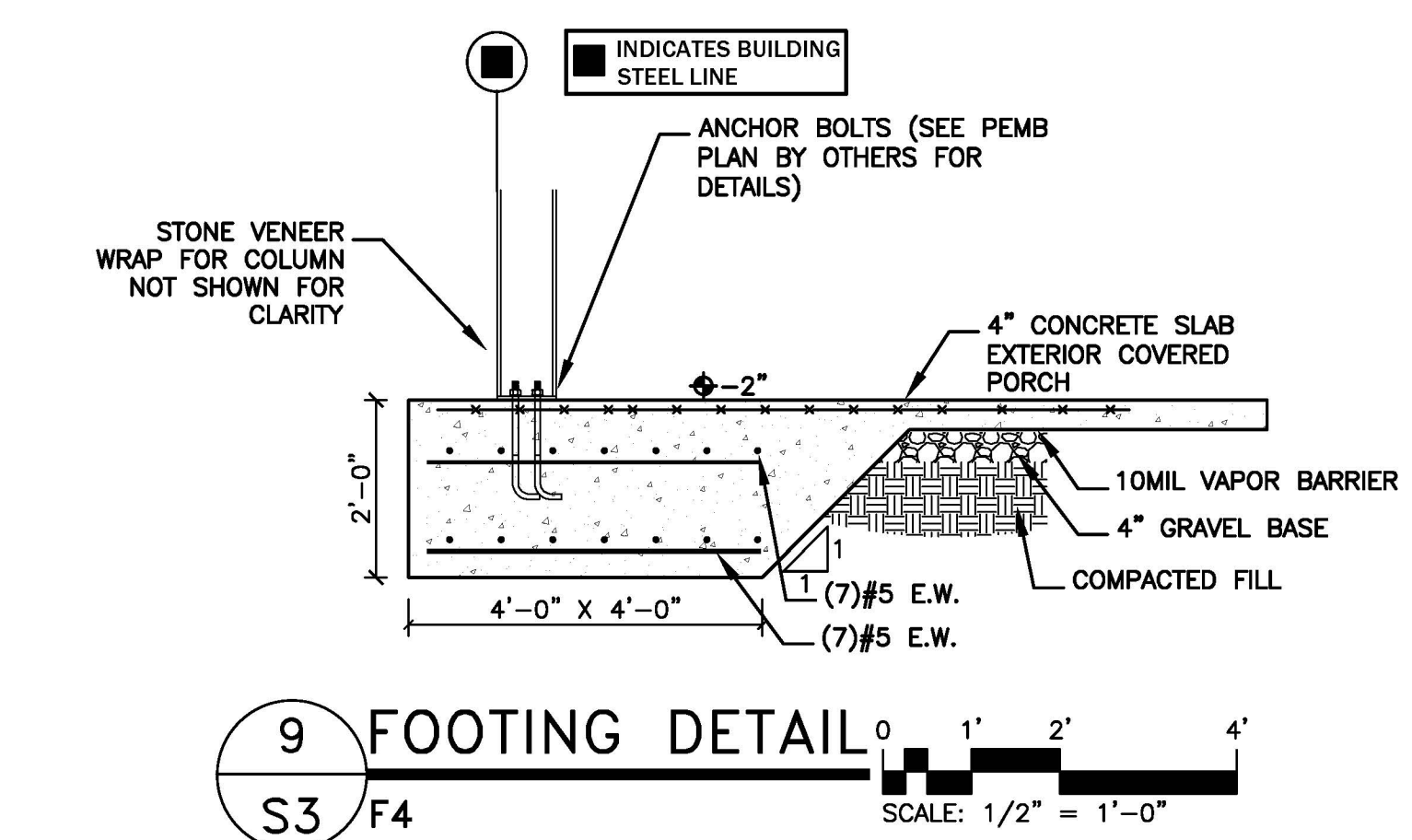
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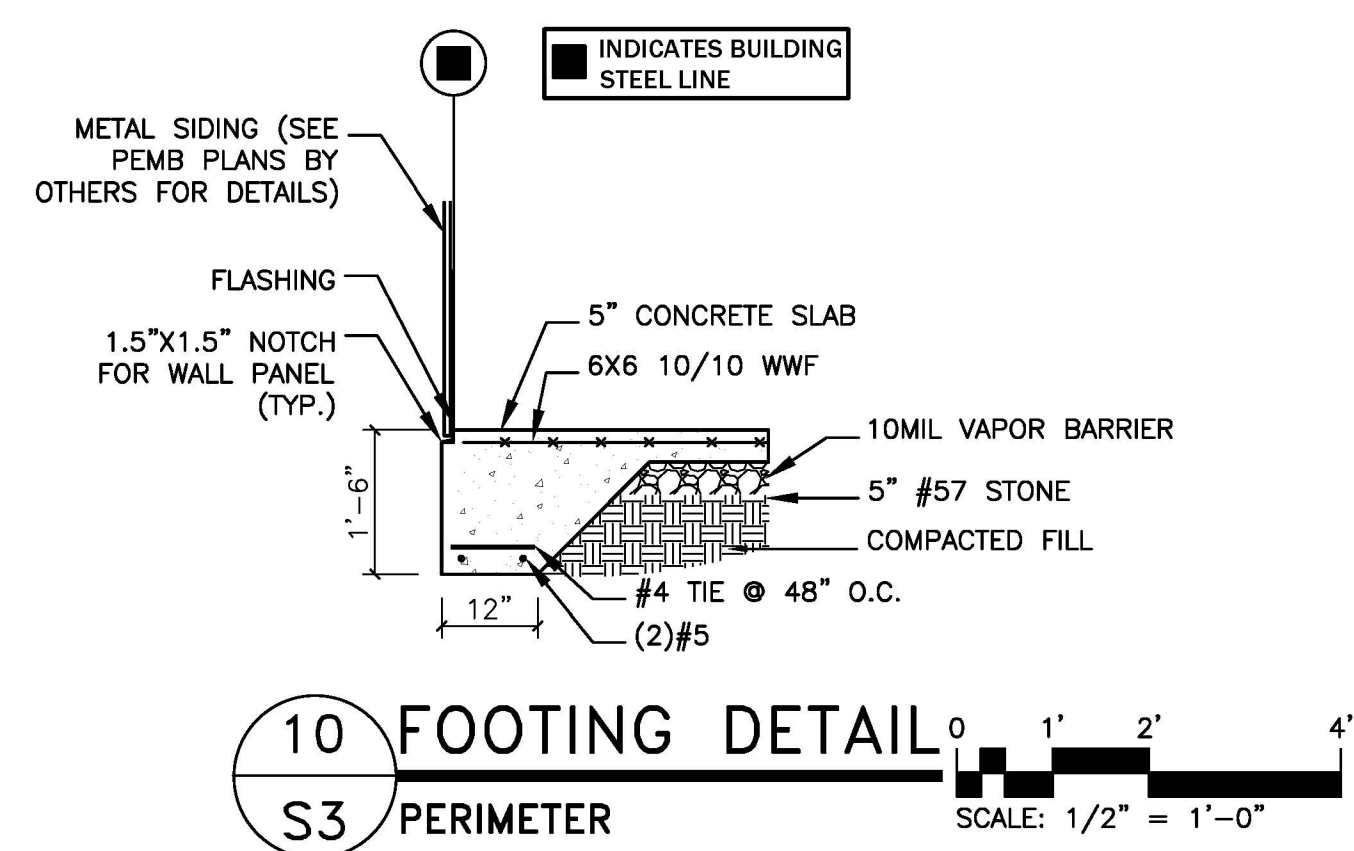
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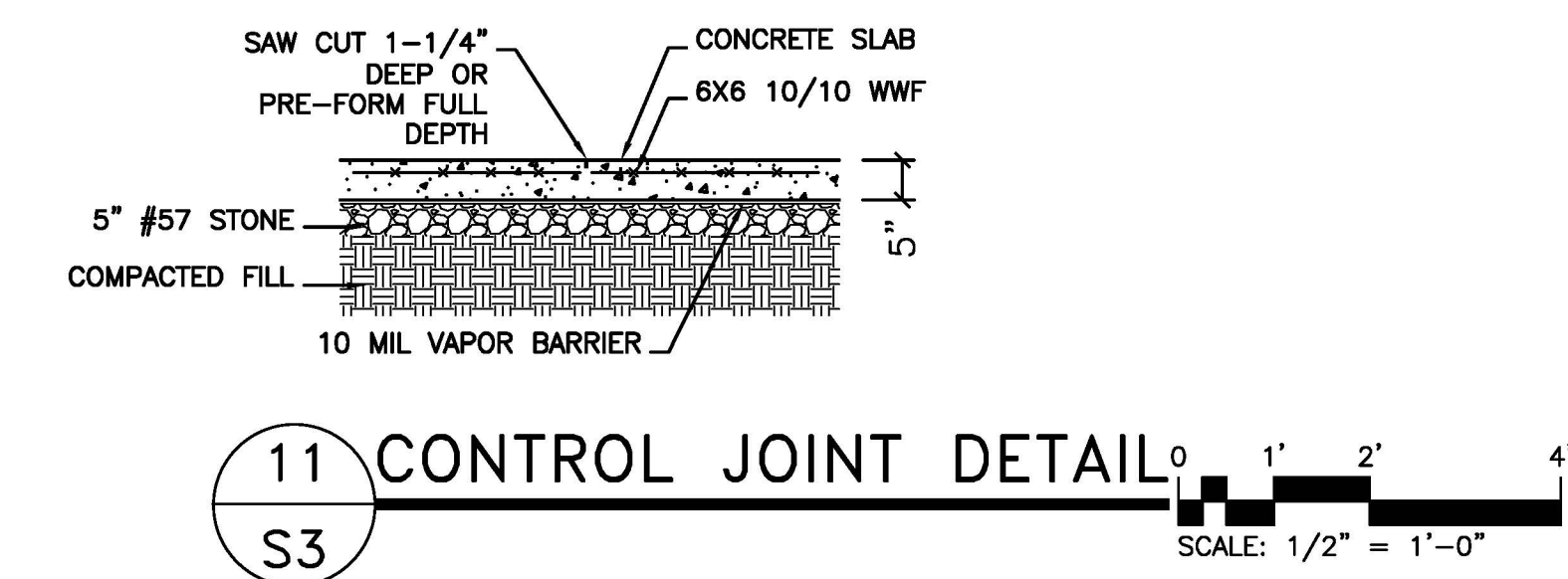
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S3 F6.5
SCALE: 1/2" = 1'-0"



9 FOOTING DETAIL
S3 F4
SCALE: 1/2" = 1'-0"



10 FOOTING DETAIL
S3 PERIMETER
SCALE: 1/2" = 1'-0"



11 CONTROL JOINT DETAIL
S3
SCALE: 1/2" = 1'-0"



8 DEC 2025

DESIGNED/CHECKED BY: KJD
DRAWN BY: MJ
PROJECT #: 2025-08-05
DATE: 8 DEC 2025

OWNER: JACKSON FAMILY ENTERPRISES LLC
CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
TOMMY McLOOZ

NO.	SYMBOL	DATE	BY	DESCRIPTION

PROJECT: JACKSON OFFICE BUILDING
308 SAINT MATTHEWS ROAD ERWIN, NC 28339
SHEET: FOUNDATION DETAILS

S3

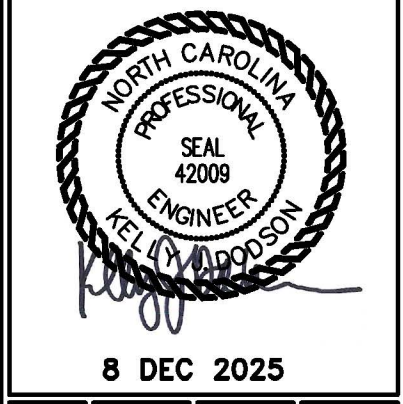
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SCOPE OF WORK OUTLINE:

- SITE PREPARATION**
-SEE SITE PLANS BY OTHERS
- LANDSCAPING**
-SEE SITE PLANS BY OTHERS
- CONCRETE**
COMPACT STRUCTURAL FILL AND GRADING
POURING & CASTING OF CONCRETE SLAB (SHEET S2)
POURING & CASTING OF CONCRETE CURBS & GUTTERS
- PRE-ENGINEERED METAL BUILDING**
ERECTION OF PRE-ENGINEERED METAL BUILDING FRAME (DRAWINGS BY OTHERS)
- MASONRY**
CONSTRUCTION OF STONE VENEER-WRAPPED COLUMNS
- FRAMING**
INTERIOR PARTITION WALLS: 3-5/8" & 6" 20 GA METAL STUD (SHEET G4.2)
BLOCKING FOR WALL MOUNTED ACCESSORIES (SHEET G8.1, G8.2)
- THERMAL & MOISTURE PROTECTION**
THERMAL INSULATION OF ROOF W/ R-VALUE R-11 + R-19 FC INSULATION WITH R-5 THERMAL SPACER BLOCK (SHEET G4.1)
THERMAL INSULATION OF EXTERIOR WALLS W/ R-VALUE 25 BATT, THERMAL BREAK TAPE, FABRIC LINER
- PLUMBING**
ROUGH IN WATER SUPPLY LINES W/ INSULATION (SHEET P3)
ROUGH IN SANITATION LINES & VENT PIPING (SHEET P2)
INSTALLATION OF WATER CLOSETS, LAVATORIES, SHOWER, BACKFLOW PREVENTER, & ELECTRIC DOMESTIC WATER HEATER. (SHEET P1)
- MECHANICAL**
ROUGH IN INSULATED HVAC DUCTWORK W/ SUPPORTS & NOISE/VIBRATION CONTROL
INSTALLATION OF FANS/CASINGS, GRILLES/RETURNS, INDOOR AIR-HANDLING UNITS, & AIR-SOURCE UNITARY HEAT PUMPS.
TESTING, ADJUSTING, & BALANCING OF HVAC SYSTEM (SHEETS M1, M2, M3)
- ELECTRICAL**
ROUGH IN MEDIUM-VOLTAGE CABLES, & CONTROL/COMMUNICATION/SIGNAL WIRING
INSTALLATION OF RACEWAY & BOXES FOR ELECTRICAL/COMMUNICATION SYSTEMS, LIGHTING CONTROLS, PANELBOARDS, WIRING DEVICES, ENCLOSED SWITCHES & CIRCUIT BREAKERS, & INTERIOR/EXTERIOR LIGHTING
GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS (SHEETS E1-E3)
- OPENINGS**
INSTALLATION OF HOLLOW METAL DOORS & FRAMES, INTERIOR WOOD DOORS, EXTERIOR METAL DOOR, ALUMINUM-FRAMED ENTRANCES & STOREFRONTS, DOOR HARDWARE (SHEET G7.1, G7.2)
- FINISHES**
APPLICATION OF GYPSUM BOARD, VINYL BASE, FRP, WALL COVERING, WALL PAINTING, & MULTICOLOR INTERIOR FINISHING (SHEET G7.2)
- CABINETRY**
INSTALLATION OF MANUFACTURED WOOD CASEWORK & COUNTERTOPS (SHEET G8.1, G8.2)
- LIFE SAFETY**
INSTALLATION OF LIFE SAFETY DIRECTORIES/SIGNAGE & FIRE EXTINGUISHER BRACKETS (SHEET LS1)
- ADA COMPLIANT ACCESSORIES**
INSTALLATION OF WALL-MOUNTED RESTROOM MIRRORS, DISPENSERS, HANDRAILS, & BRAILLE SIGNAGE. (SHEET G5)

BUILDING CONSTRUCTION GENERAL NOTES:

1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED TO COMPLETE THE CONSTRUCTION. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO CONSTRUCT THE NEW BUILDING AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE PLANS DO INCLUDE FINISH MATERIALS SELECTIONS BUT SHALL BE COORDINATED WITH THE OWNER.
2. ALL CONSTRUCTION MATERIALS SHALL BE COORDINATED WITH THE DRAWINGS AND INTERIOR FINISH PACKAGE PROVIDED BY OWNER.
3. DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL COORDINATE ALL WORK AND ADJUST TO THE ACTUAL CONDITIONS ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
7. THE CONTRACTOR SHALL COORDINATE WORK, TRADES, AND SHALL VERIFY DIMENSIONS, MEANS AND METHODS OF CONSTRUCTION, EXISTING CONDITIONS AND PROPOSED NEW CONSTRUCTION PRIOR TO COMMENCING ANY WORK, MATERIAL ORDERING, OR FABRICATION.
8. WORK SHALL BE FIRST CLASS TO THE ENTIRE SATISFACTION OF THE OWNER.
9. COORDINATE ALL ELECTRICAL/PLUMBING ROUGH-INS FOR OWNER SUPPLIED EQUIPMENT WITH THE OWNER AND MANUFACTURER.
10. PATCH & REPAIR: THE CONTRACTOR SHALL PATCH AND/OR REPAIR WITH NEW, ANY WORK DAMAGED OR DISTURBED CAUSED BY THE SUB-CONTRACTORS AS A RESULT OF PROVIDING FOR OR INSTALLING NEW WORK SHOWN ON THE CONTRACT DOCUMENTS
11. CAULK ALL PENETRATIONS, OUTLETS, ETC. ON ALL PARTITIONS. LEAVE ALL WORK COMPLETE AND READY FOR THE INTENDED USE.
12. ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE REMOVED FROM THE SITE UPON COMPLETION. THE CONTRACTOR SHALL PROVIDE CLEANING SERVICES FOR THE RENOVATED SPACES AND DELIVER THE PROJECT COMPLETED.
13. PROVIDE BLOCKING IN WALLS AT MILLWORK, HARDWARE & ACCESSORIES LOCATIONS. BLOCKING SHALL BE WOOD.
14. CONSTRUCTION TO COMPLY WITH ALL STATE AND LOCAL CODES.



DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT #: 2025-08-05
 DATE: 8 DEC 2025

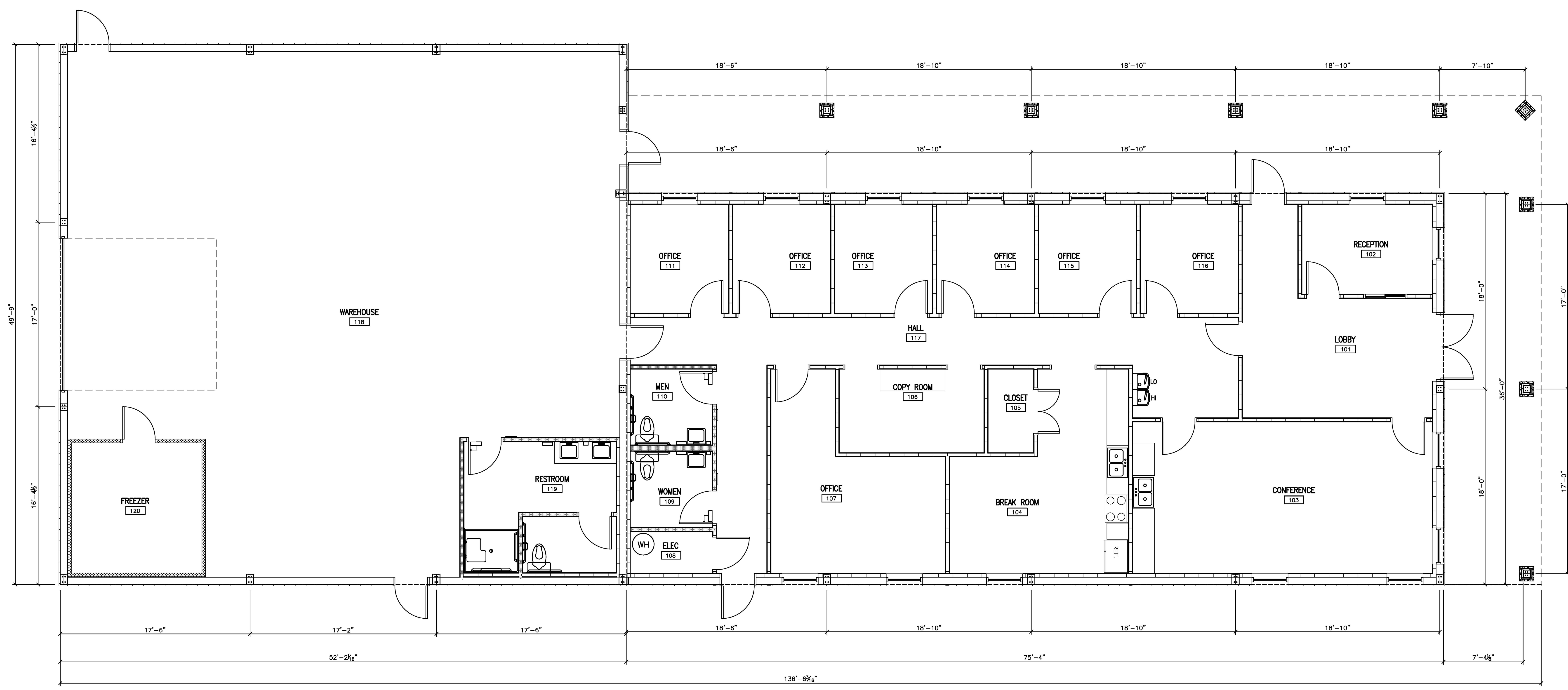
FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION

OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 TONY MCLEOD

NO.	REVISION	DATE	BY

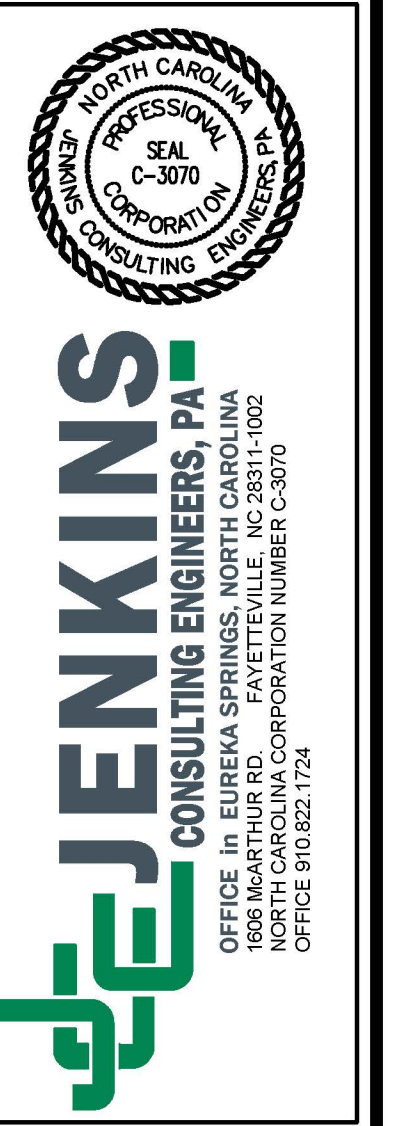
PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: GENERAL NOTES & SCOPE OF WORK
 GO

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1 DIMENSIONED FLOOR PLAN
G2.3/PEMB
SCALE: 1/4" = 1'-0"

NOTE: THESE DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY.
REFER TO FINAL DRAWINGS BY PEMB MANUFACTURER.



8 DEC 2025

DESIGNED/CHECKED BY: KJD
DRAWN BY: MJ
PROJECT #: 2025-08-05
DATE: 8 DEC 2025

FINAL DRAWING FOR REVIEW PURPOSES ONLY
PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING FOR CONSTRUCTION

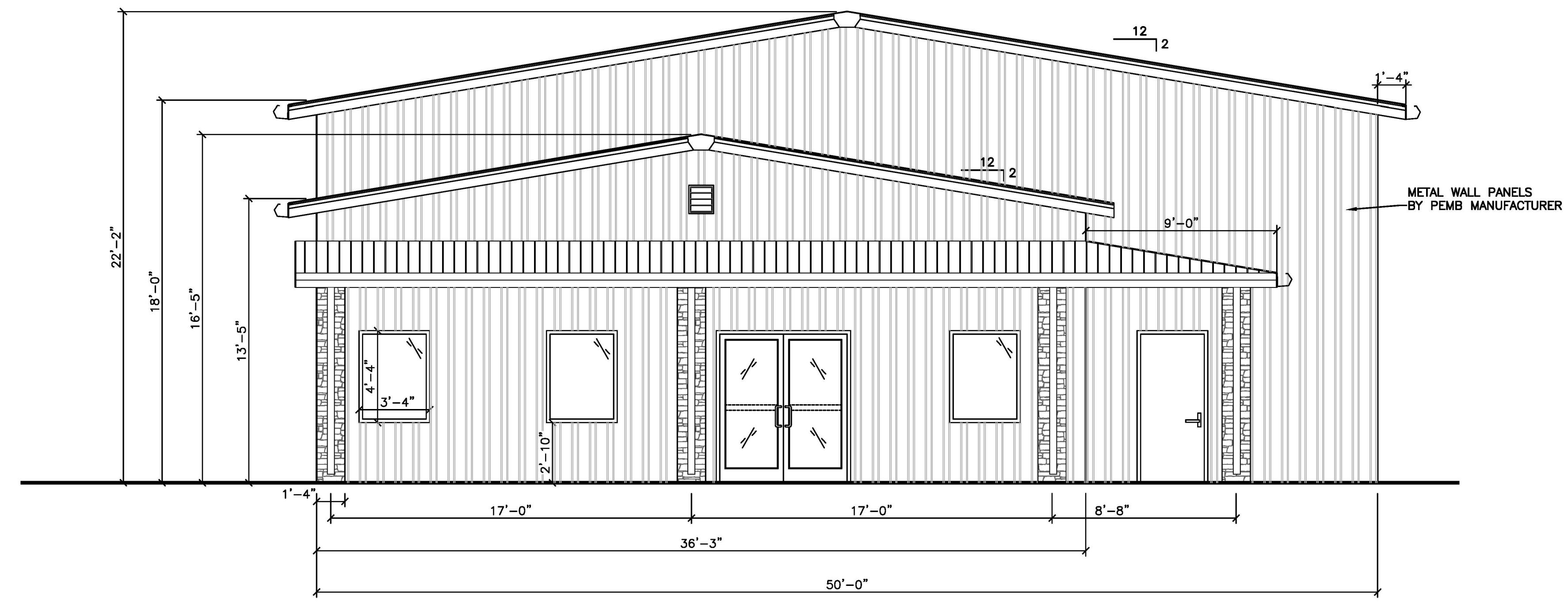
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CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
DATE: BY: DATE: BY: DESCRIPTION:

NO.	SYMBOL	DATE	BY	DESCRIPTION
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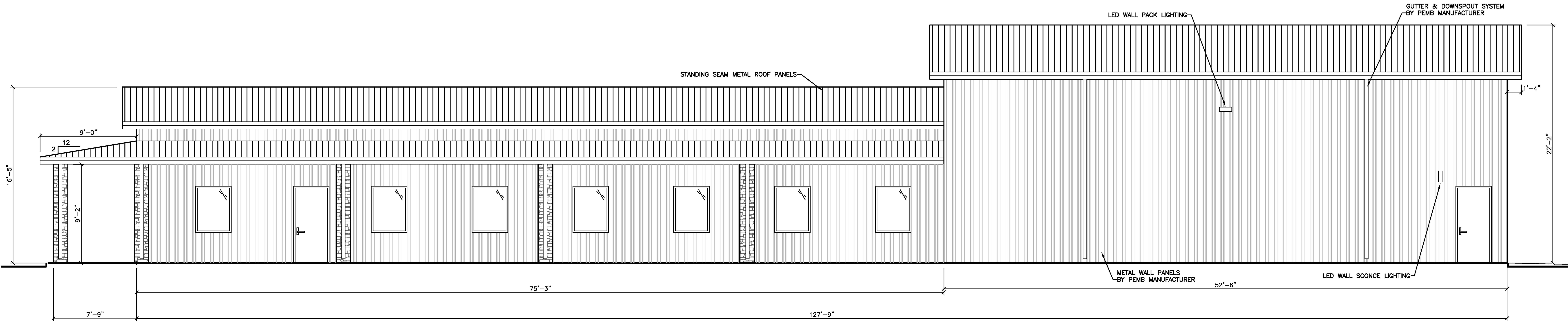
PROJECT: JACKSON OFFICE BUILDING
308 SAINT MATTHEWS ROAD ERWIN, NC 28339
SHEET: DIMENSIONED FLOOR PLAN-PEMB

G2.3

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1 FRONT ELEVATION
 G3.1 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
 G3.1 SCALE: 1/4" = 1'-0"



PROJECT: 2025-08-05
 DRAWN BY: MJ
 DESIGNED/CHECKED BY: KJD
 DATE: 8 DEC 2025

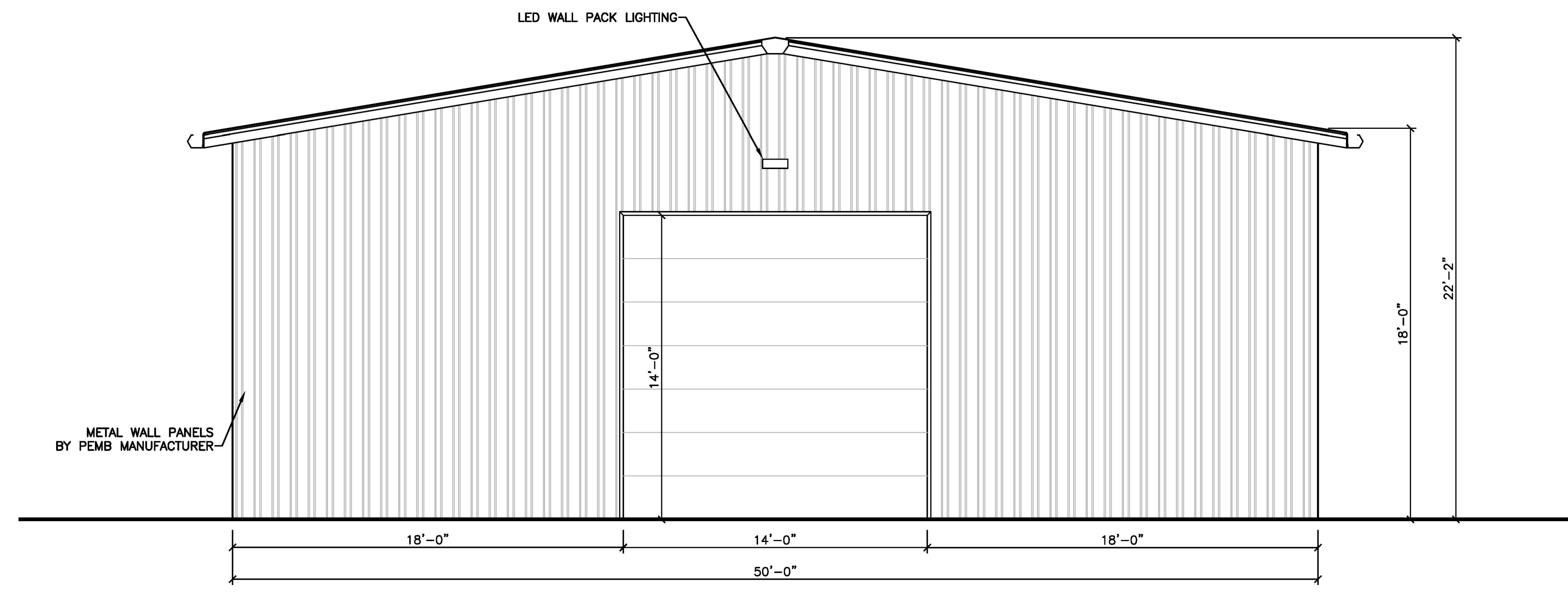
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 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 TONY MCLEOD

NO.	SYMBOL	DATE	BY	DESCRIPTION

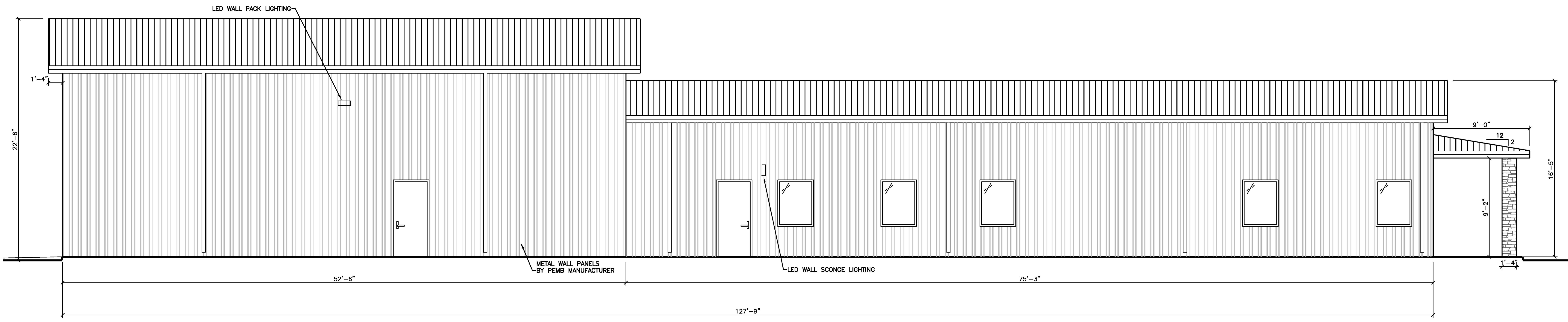
PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: BUILDING ELEVATIONS

G3.1

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 Plot Date: Dec 08, 2025 - 9:37am
 Scale: 1/8" = 1'-0"



1 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



8 DEC 2025
 DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT #: 2025-08-05
 DATE: 8 DEC 2025

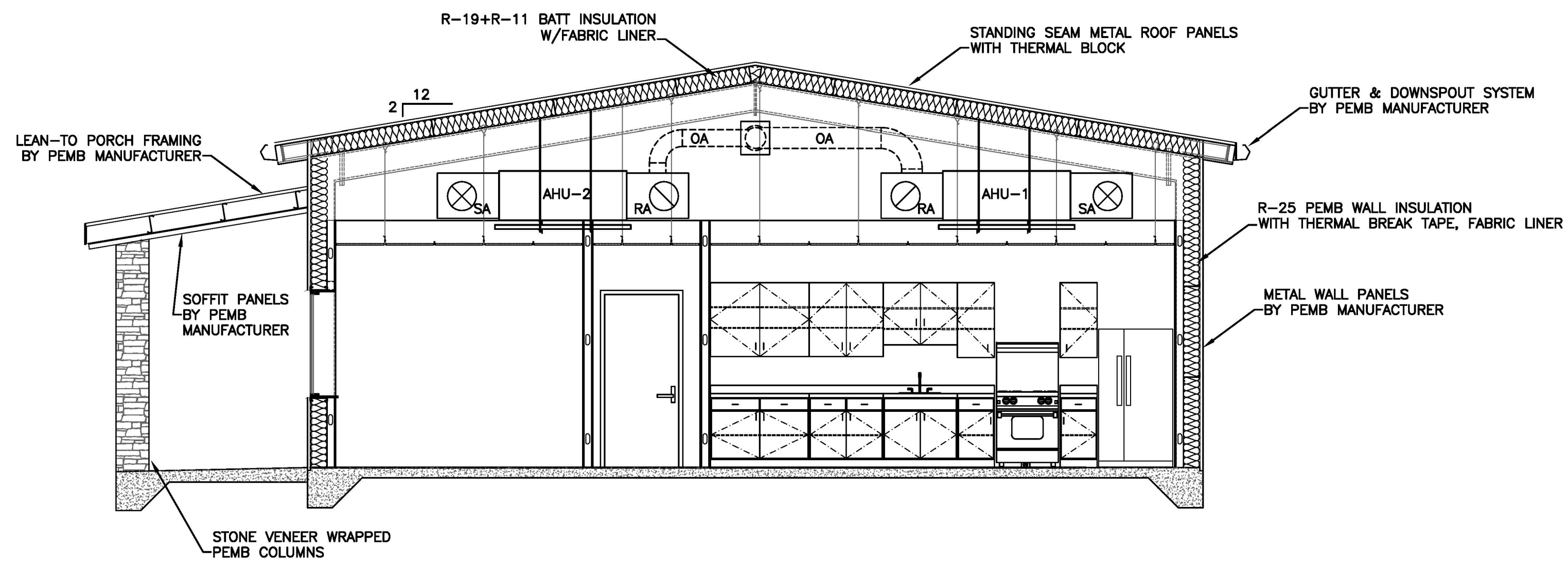
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 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 TONY MCLEOD

NO.	SYMBOL	DESCRIPTION	DATE	BY
1				

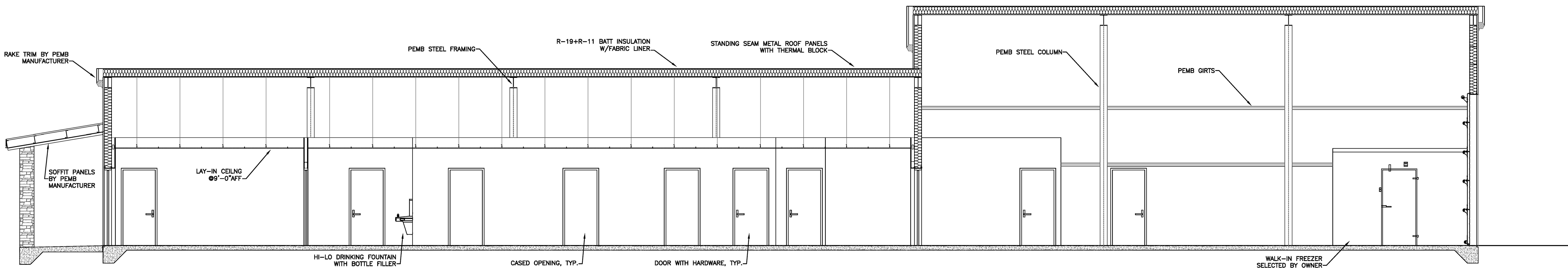
PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: BUILDING ELEVATIONS

G3.2

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 Scale: 1 1/2" = 1'-0"
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 Scale: 2" = 1'-0"
 Scale: 2 1/2" = 1'-0"
 Scale: 3" = 1'-0"
 Scale: 4" = 1'-0"
 Scale: 6" = 1'-0"
 Scale: 12" = 1'-0"



1 CROSS SECTION
 G4.1 SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION
 G4.1 SCALE: 1/4" = 1'-0"



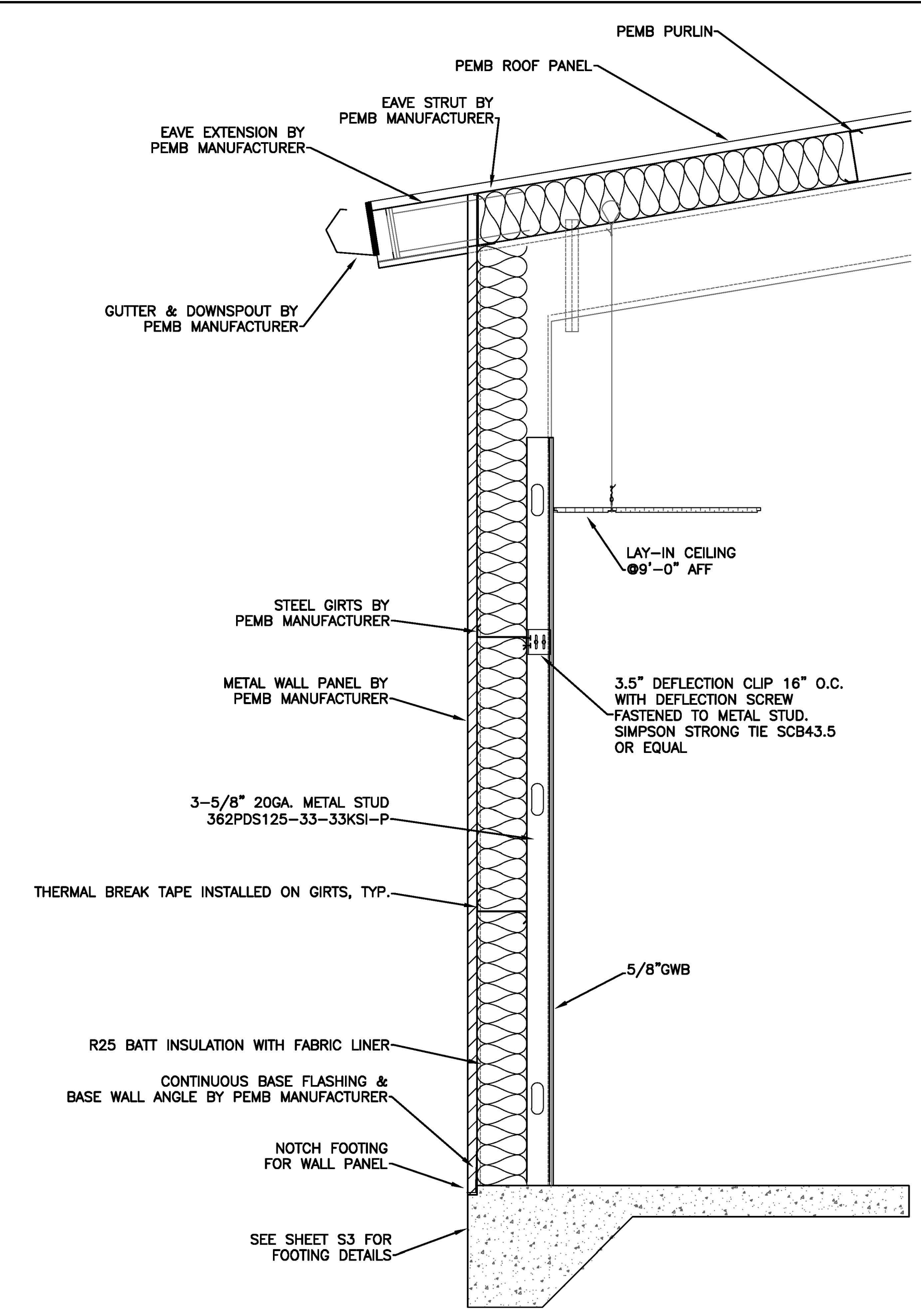
8 DEC 2025
 DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT # 2025-08-05
 DATE: 8 DEC 2025

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 TONY McLOOZ

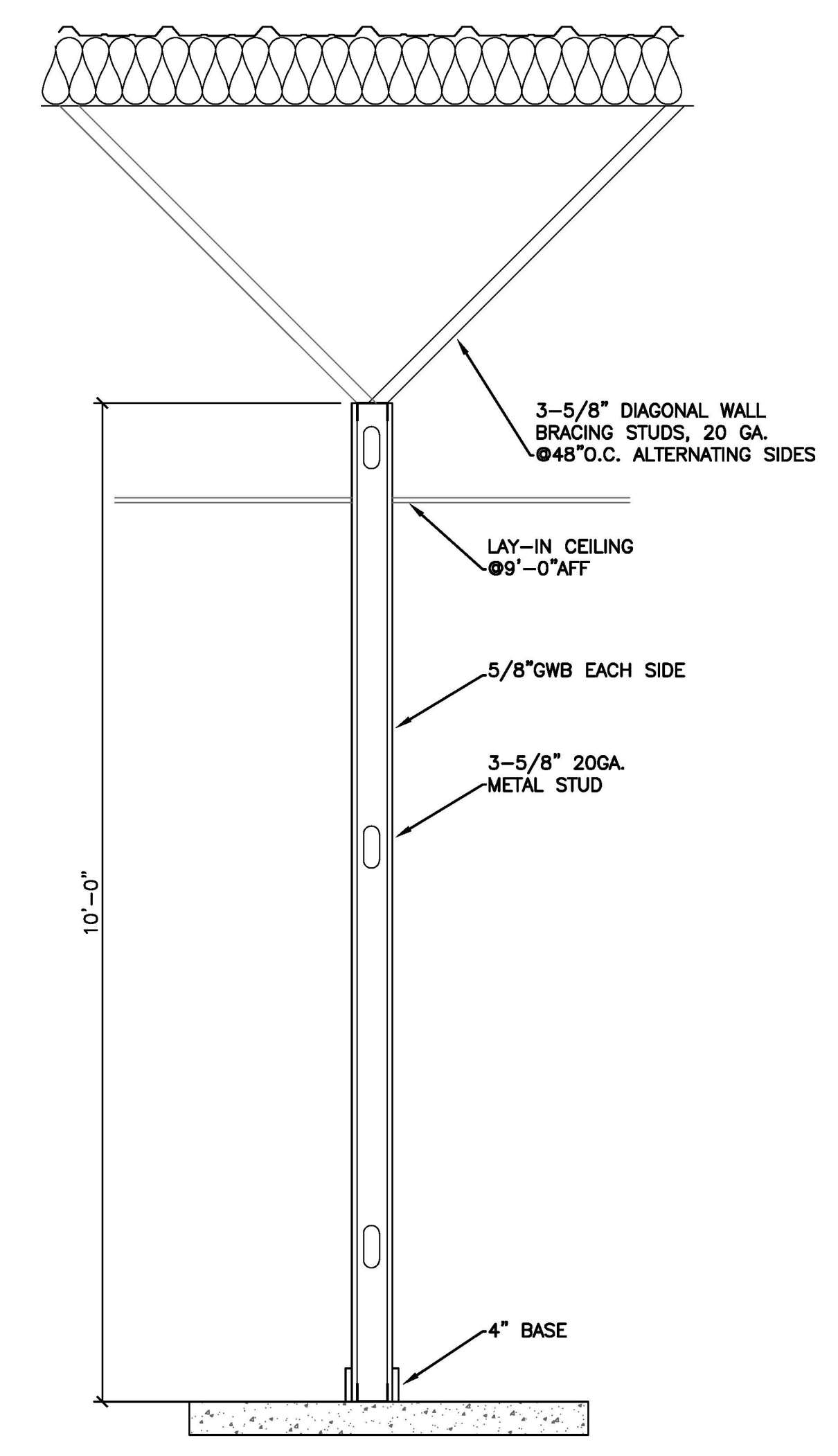
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PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: BUILDING SECTIONS

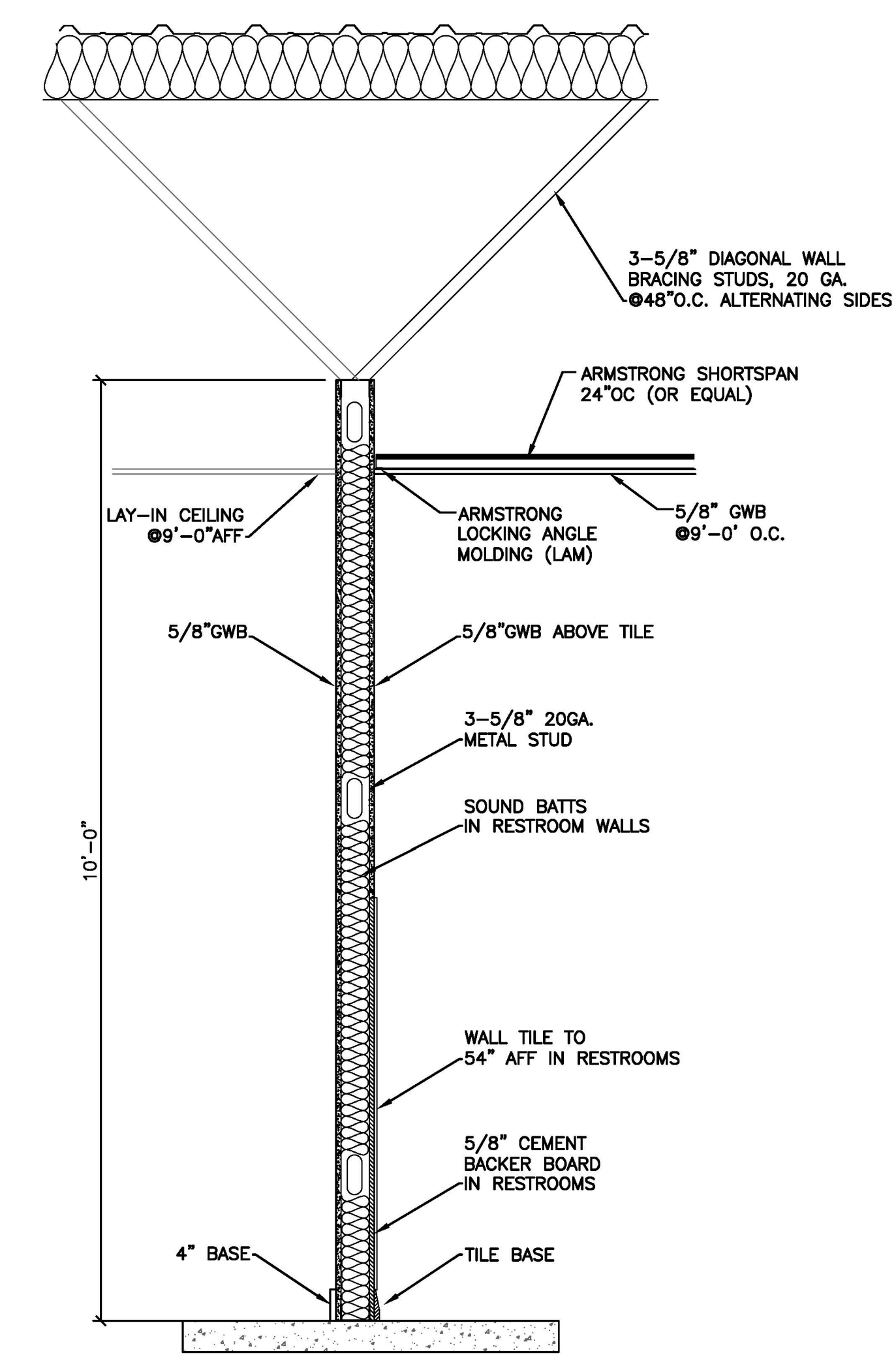
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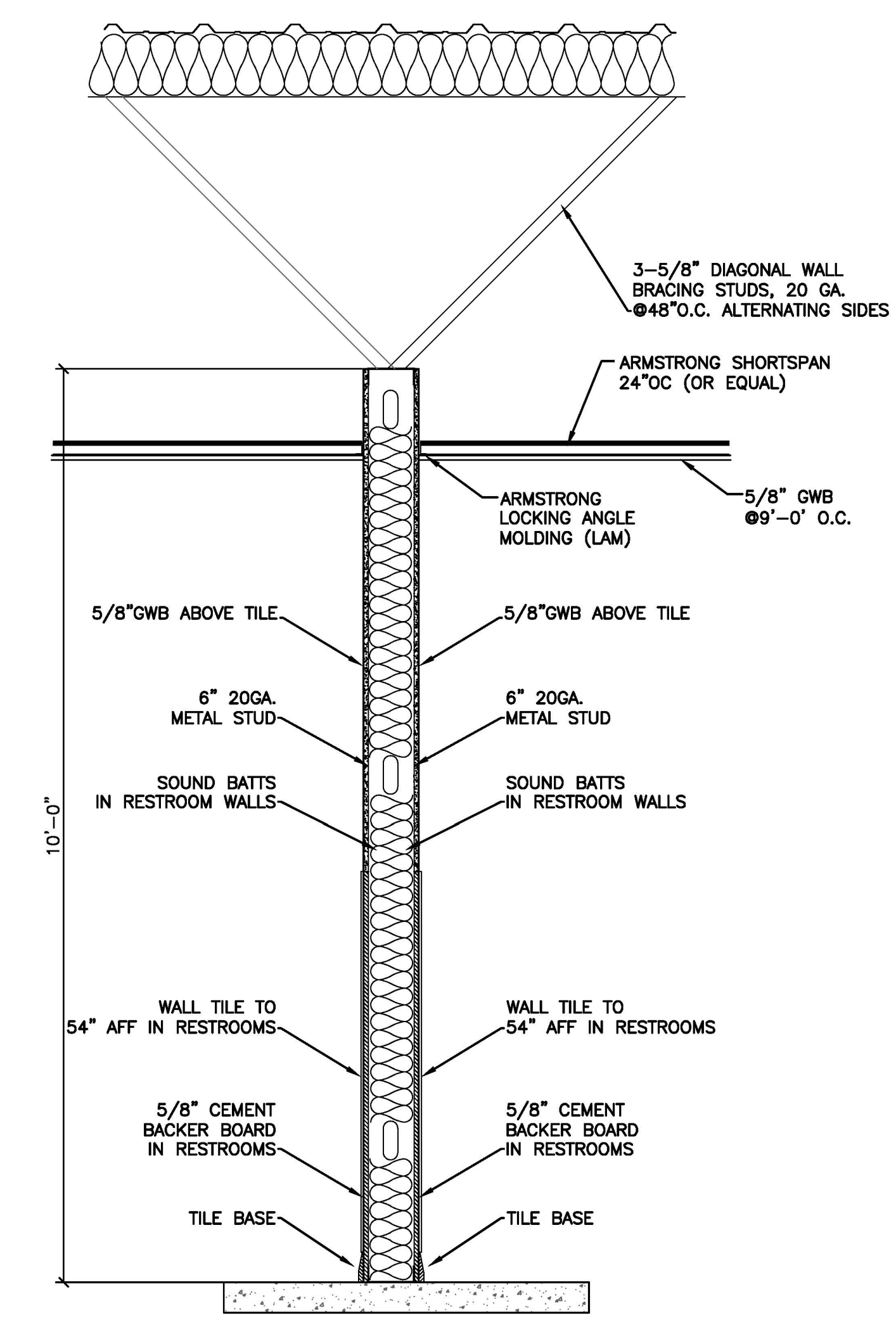
1 WALL SECTION
 G4.2 TYPE 1
 SCALE: 3/4" = 1'-0"



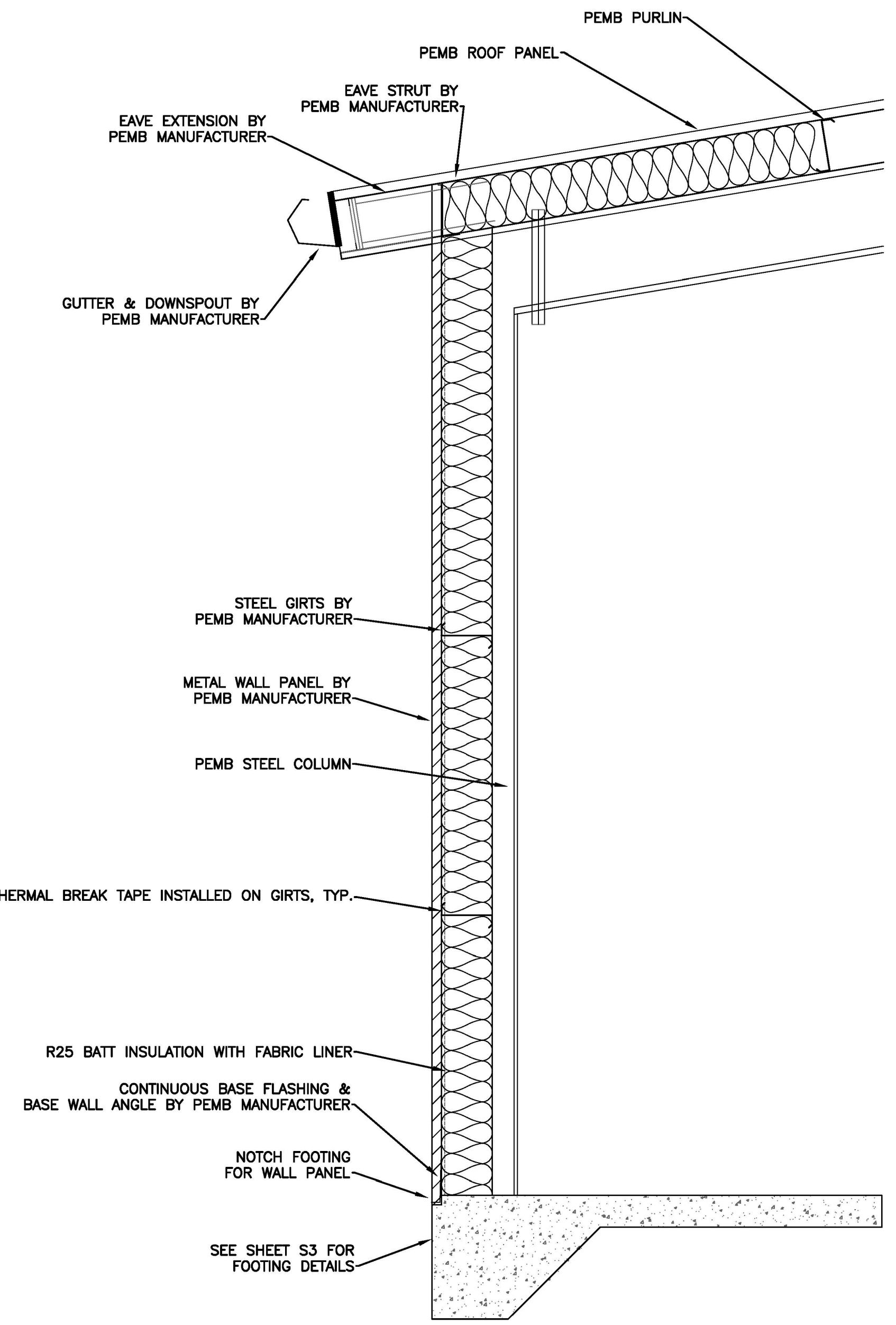
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 G4.2 TYPE 2
 SCALE: 3/4" = 1'-0"



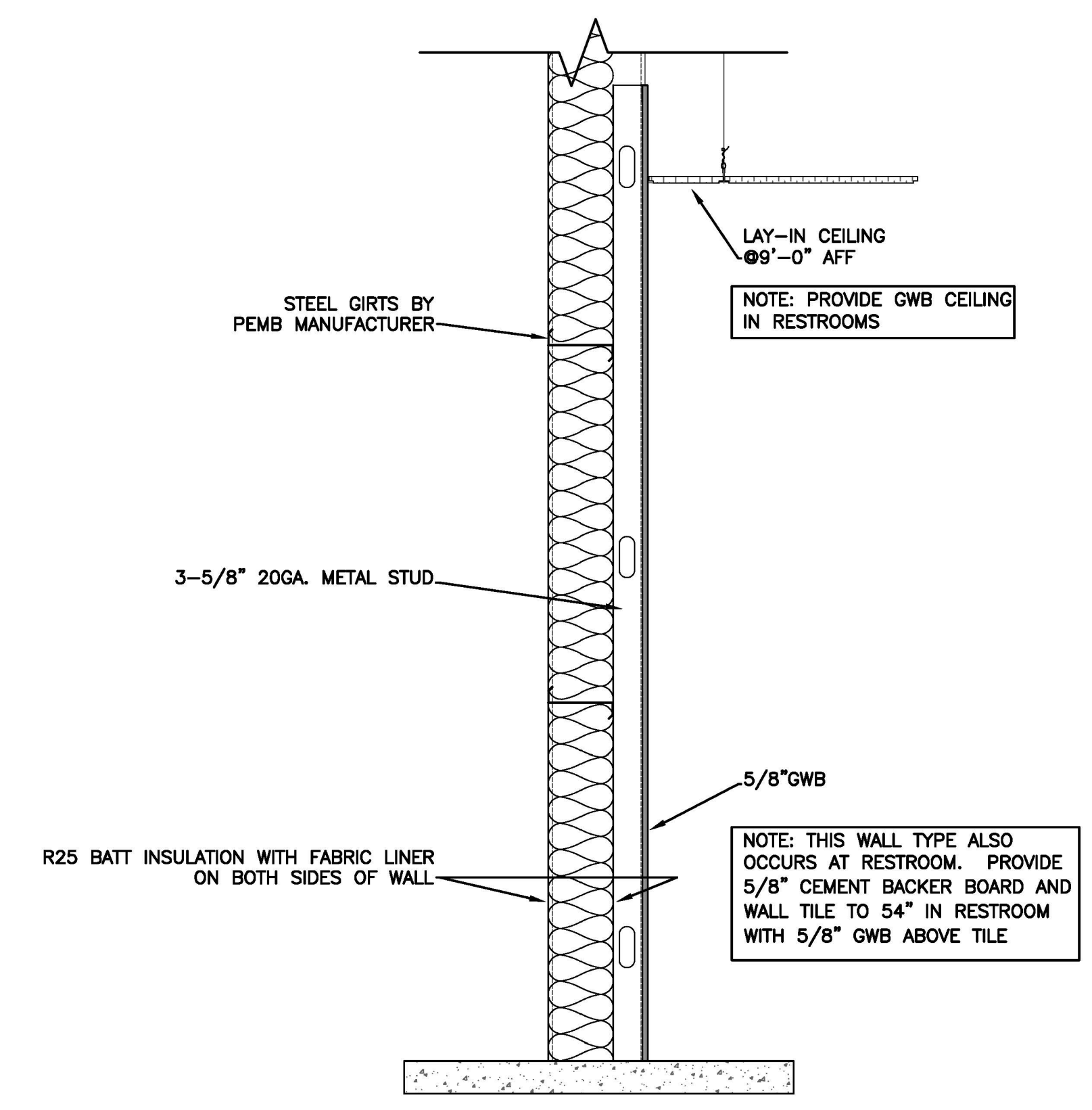
3 WALL SECTION
 G4.2 TYPE 3
 SCALE: 3/4" = 1'-0"



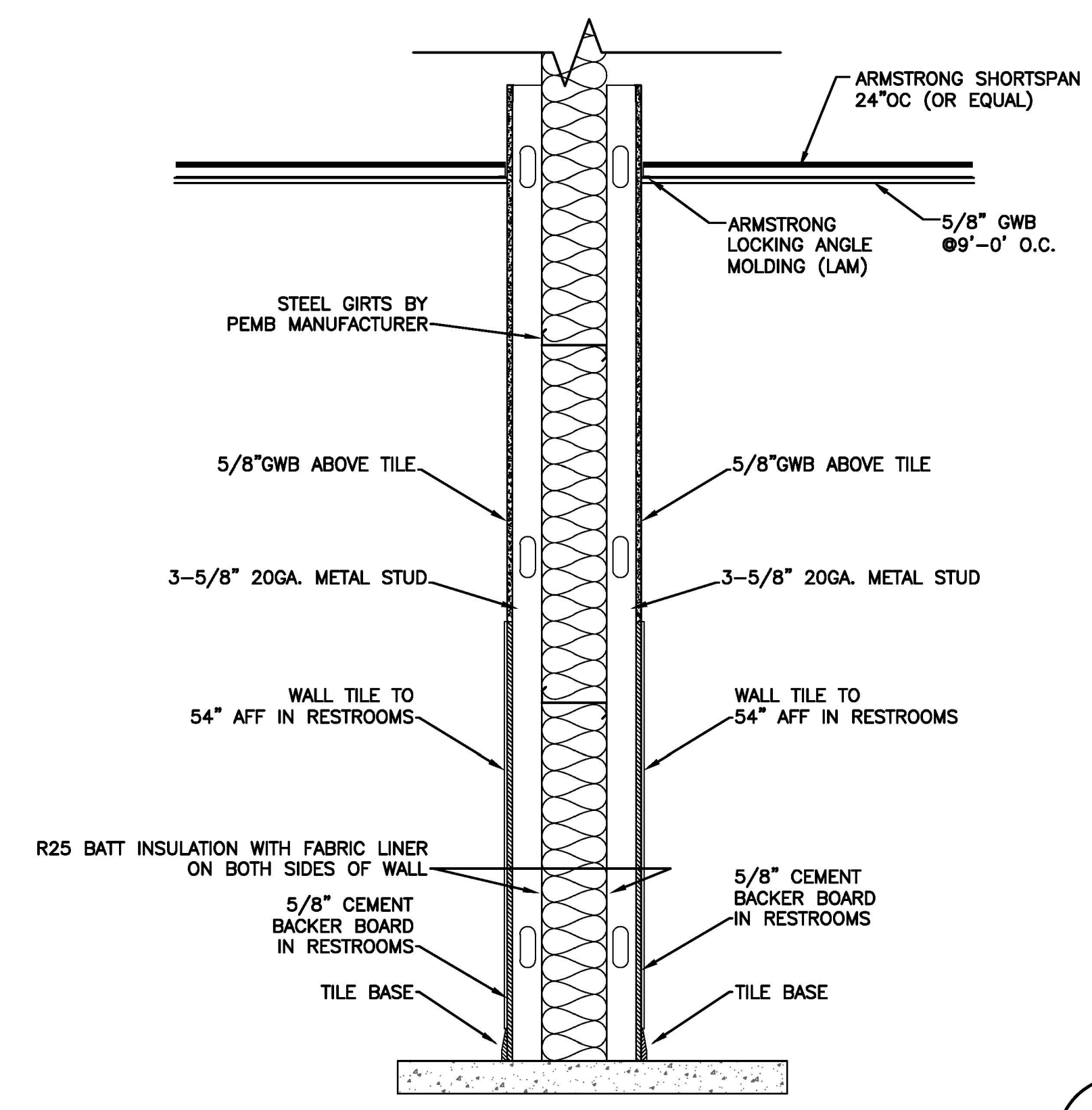
4 WALL SECTION
 G4.2 TYPE 4
 SCALE: 3/4" = 1'-0"



5 WALL SECTION
 G4.2 TYPE 5
 SCALE: 3/4" = 1'-0"



6 WALL SECTION
 G4.2 TYPE 6
 SCALE: 3/4" = 1'-0"



7 WALL SECTION
 G4.2 TYPE 7
 SCALE: 3/4" = 1'-0"

FINAL DRAWING	FOR REVIEW PURPOSES ONLY
PRELIMINARY DRAWING	FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING	FOR CONSTRUCTION
OWNER:	JACKSON FAMILY ENTERPRISES LLC
CONTRACTOR/BUILDER:	STE GENERAL CONTRACTORS
DATE:	8 DEC 2025

NO.	DATE	BY	DESCRIPTION

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 Project: Jackson Office Building, 308 Saint Matthews Road, Erwin, NC 28339
 Date: Dec 08, 2025 9:44am
 Scale: 1/8" = 1'-0"

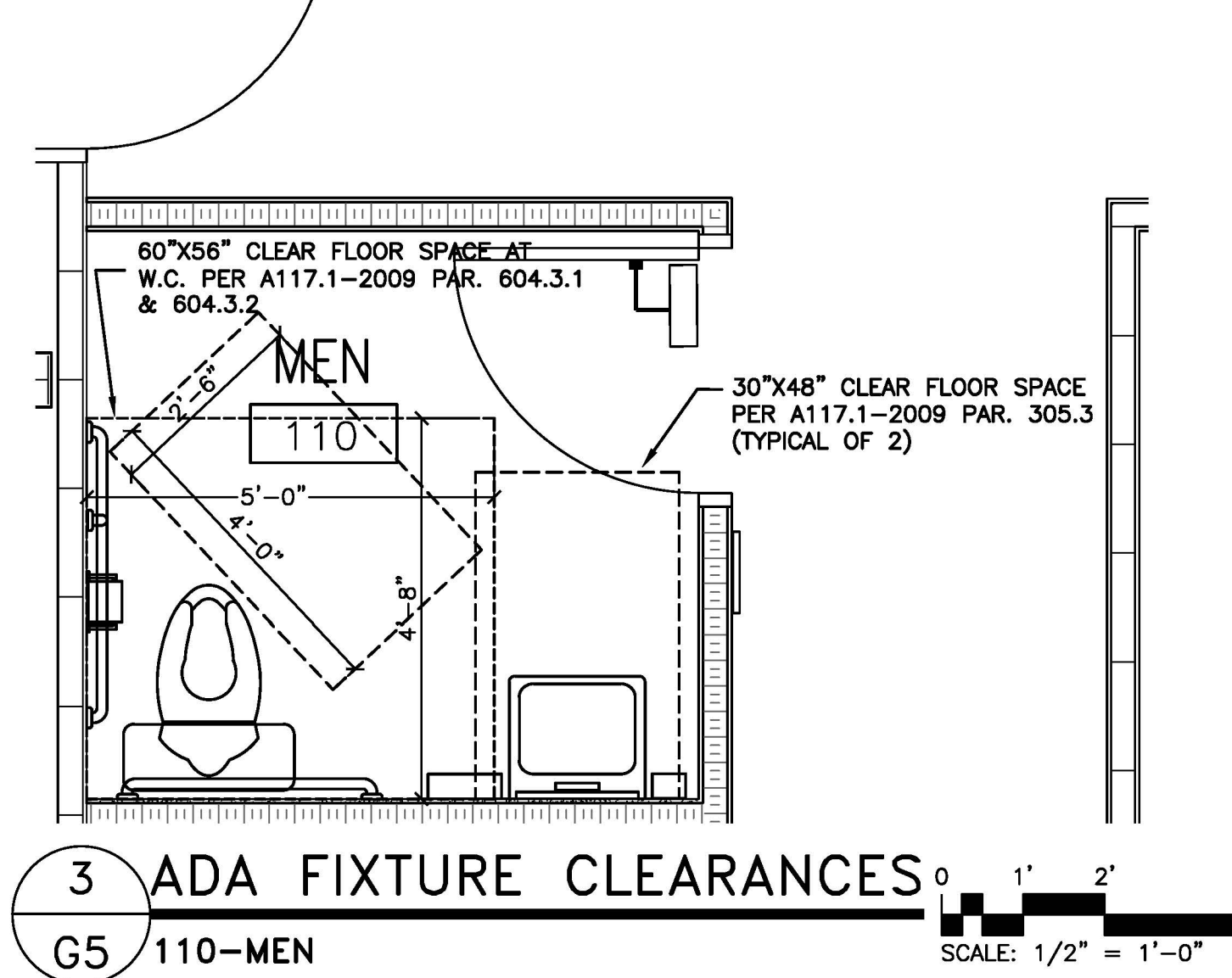
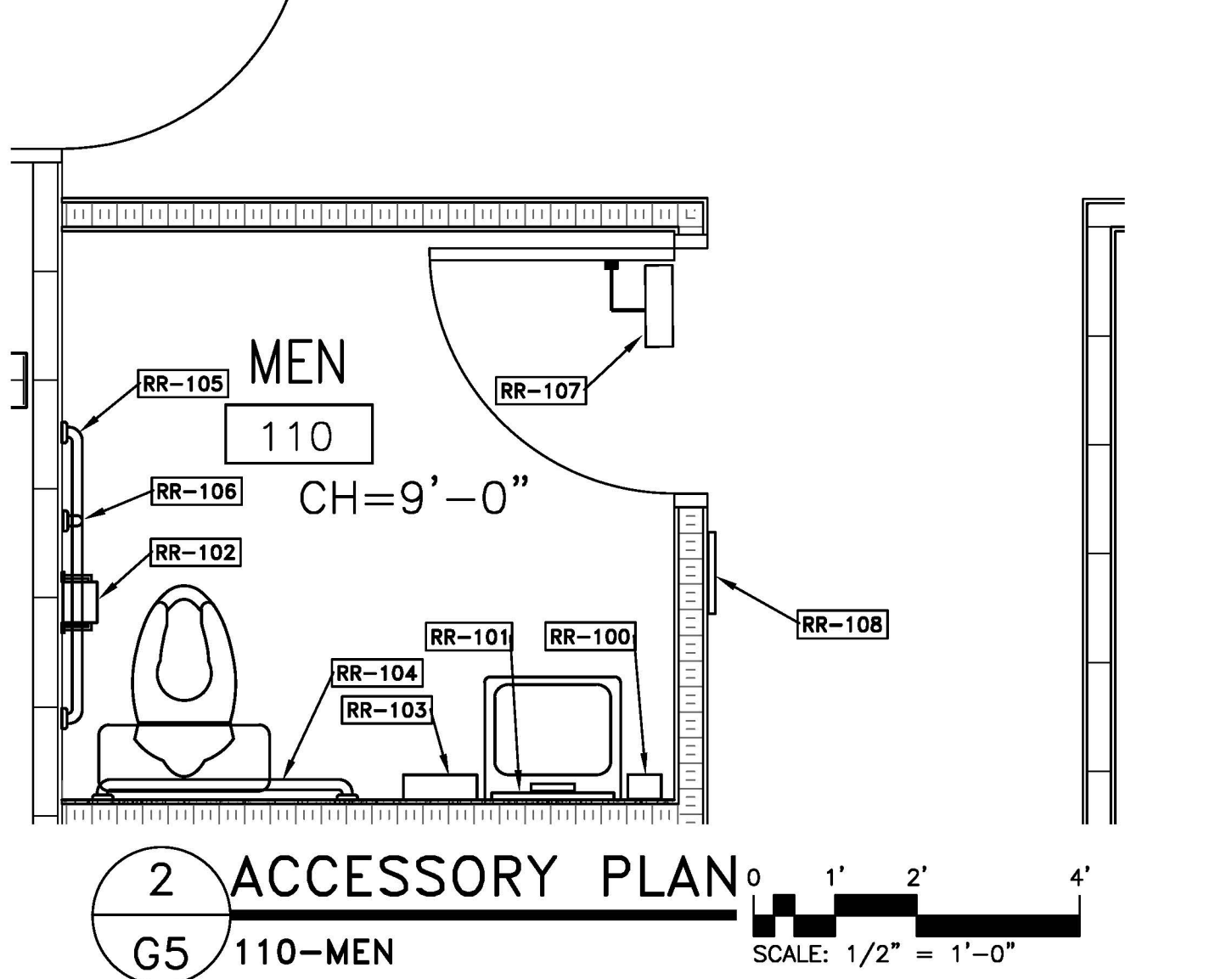
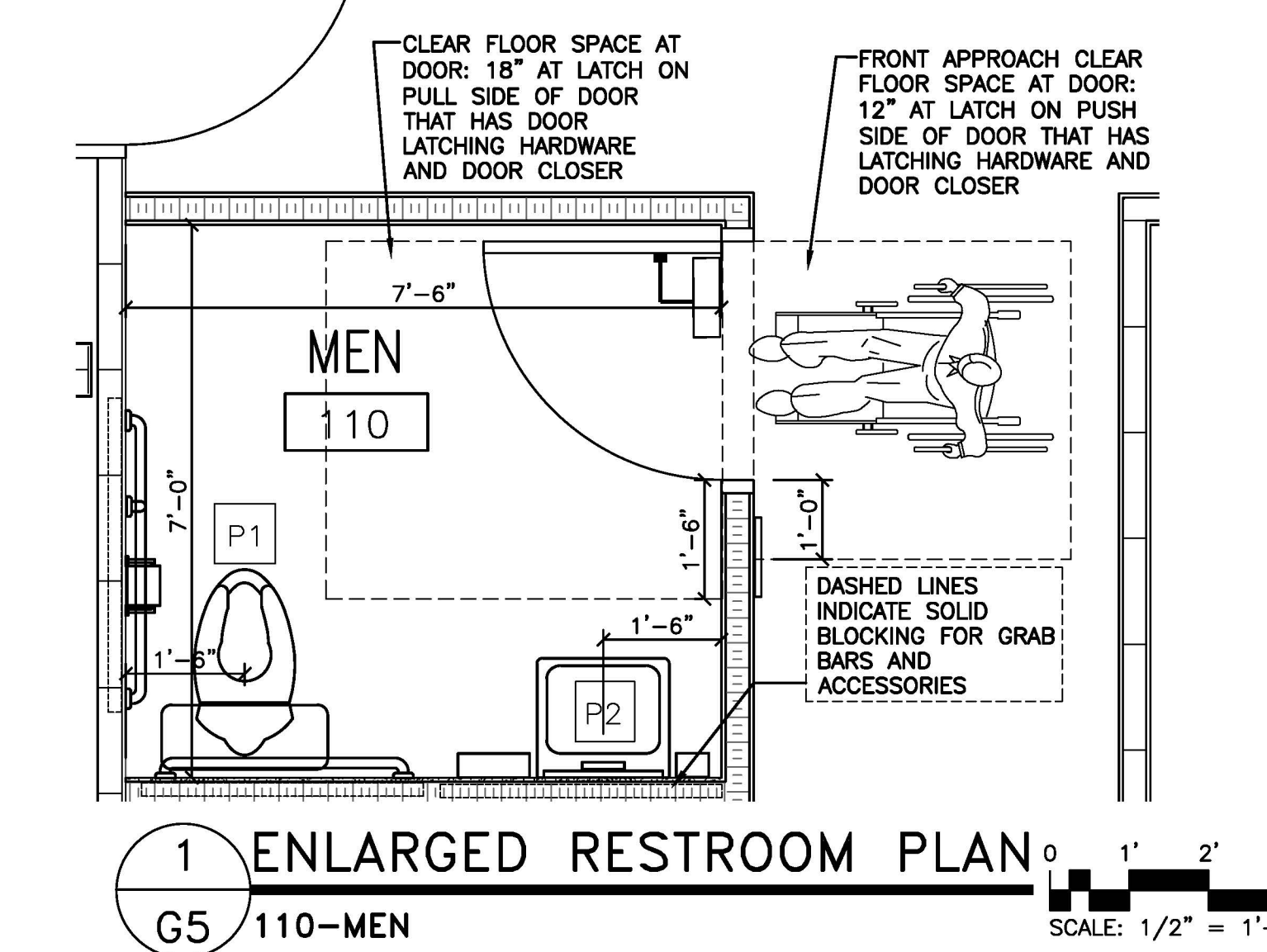
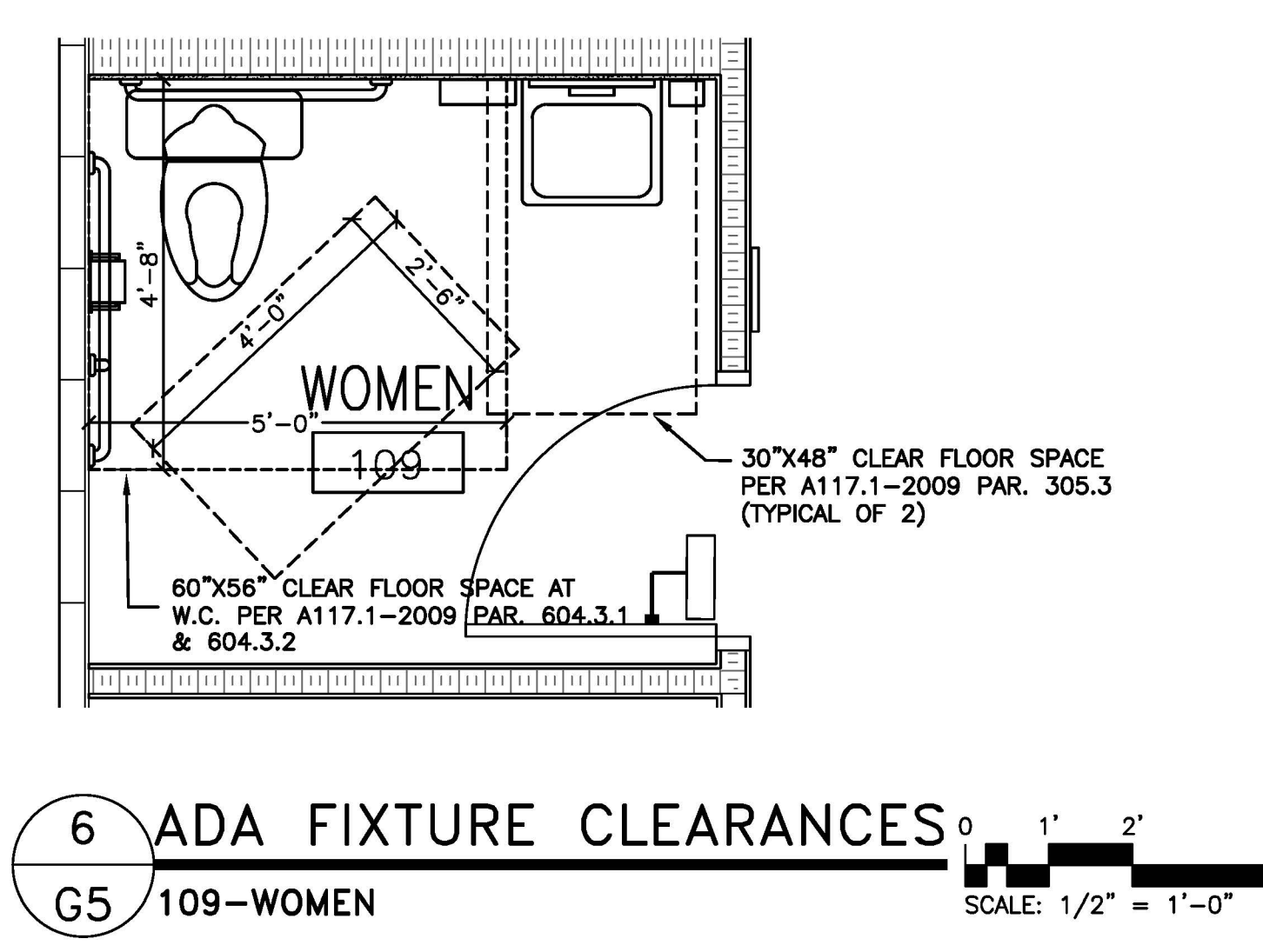
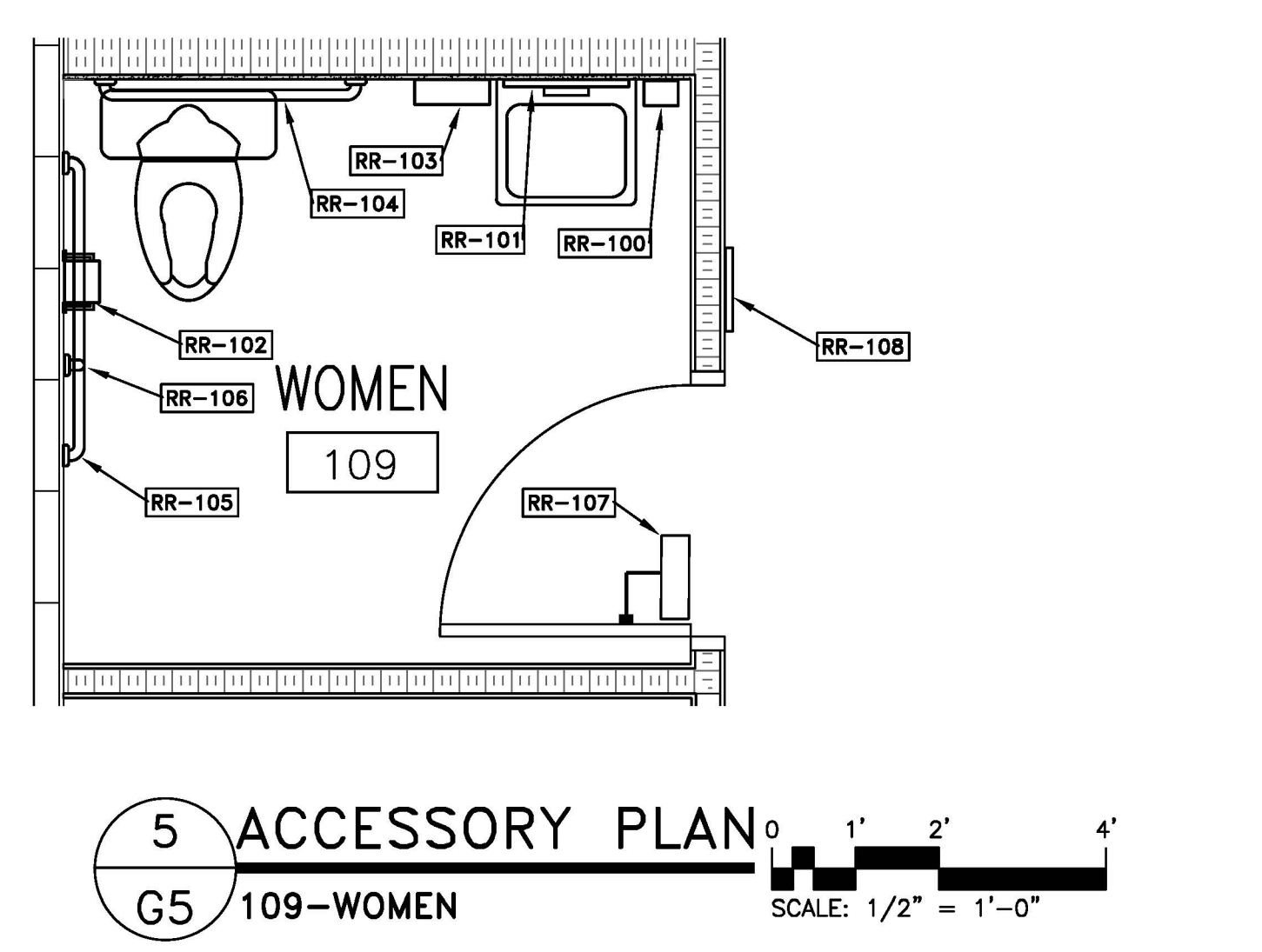
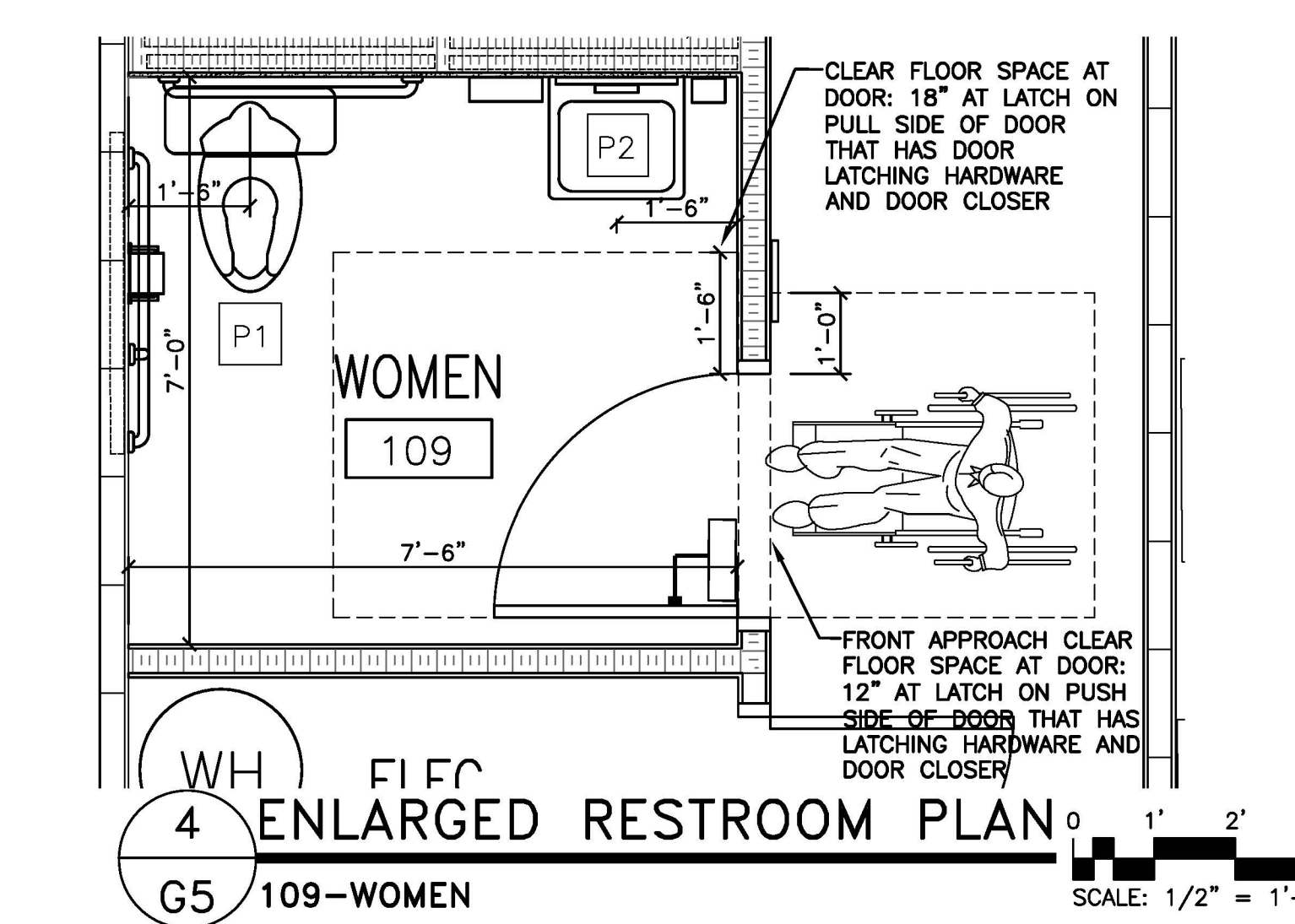
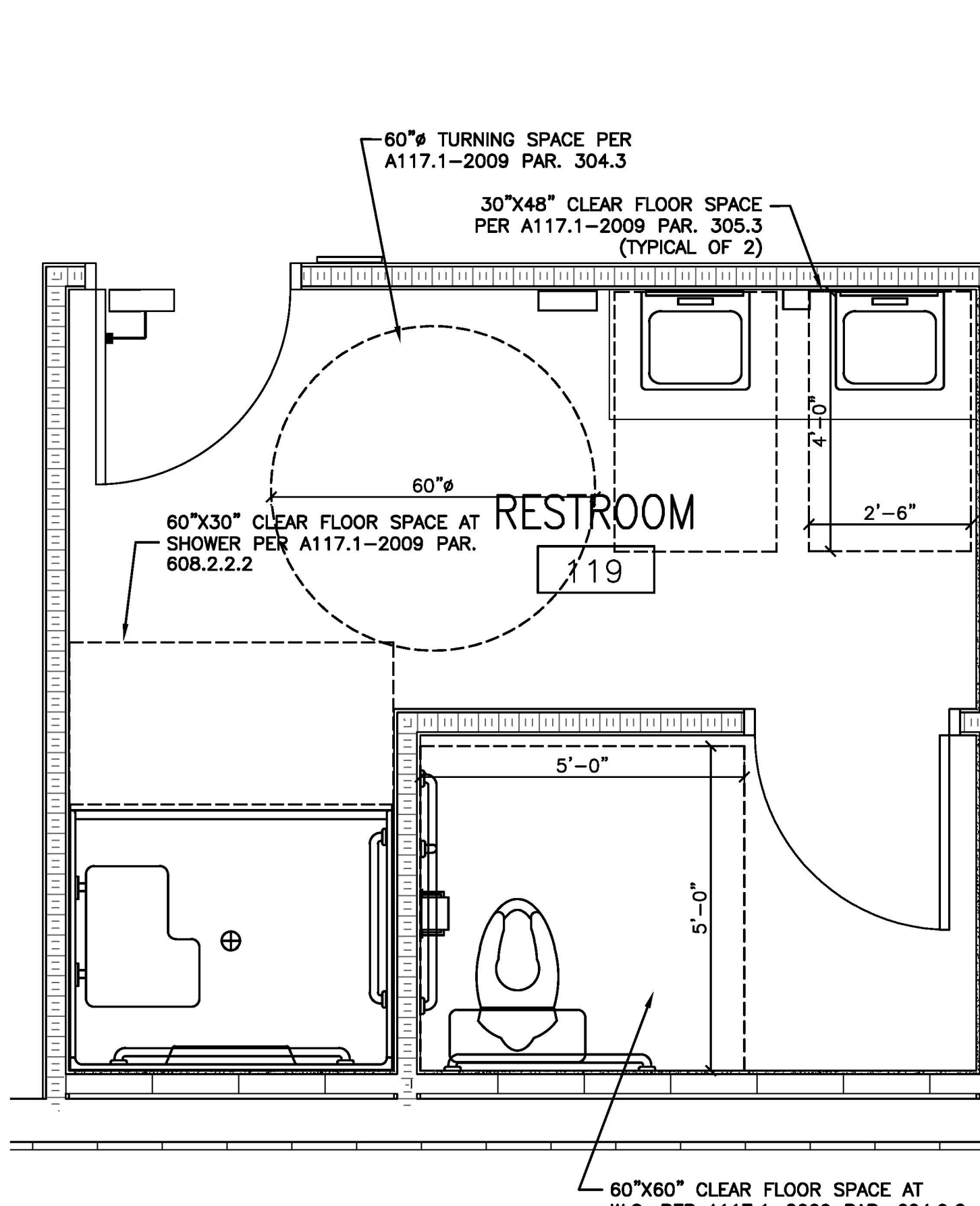
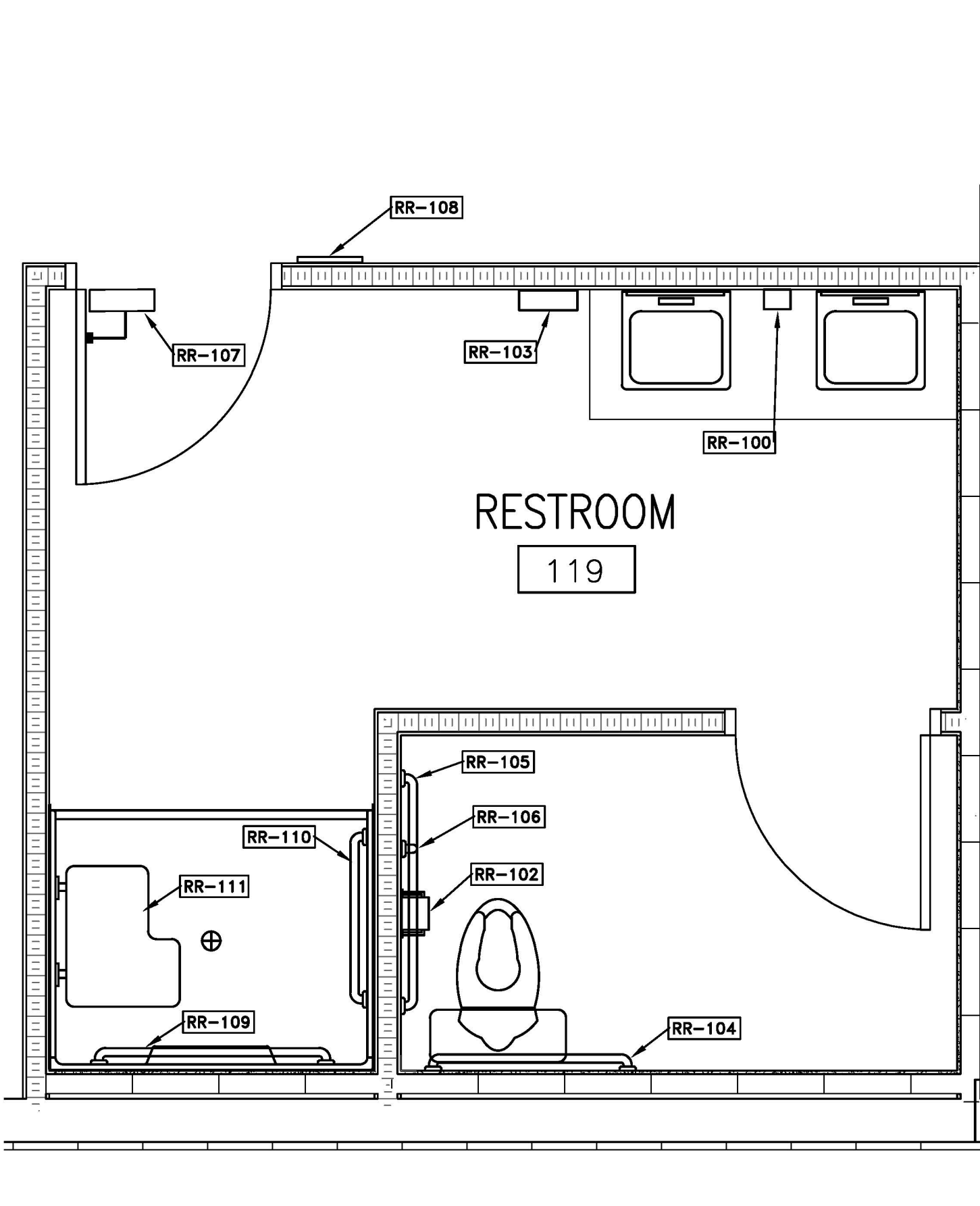
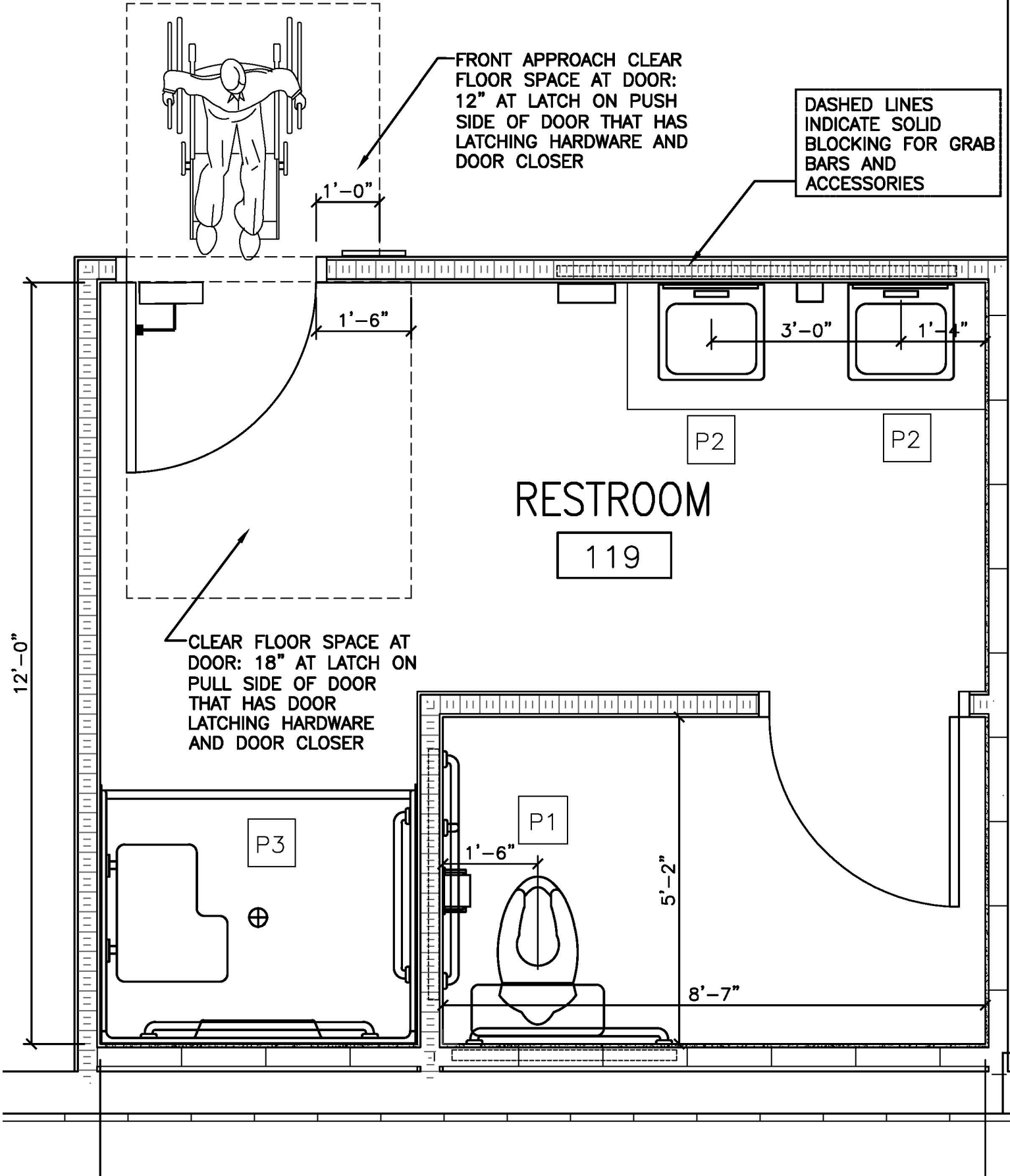
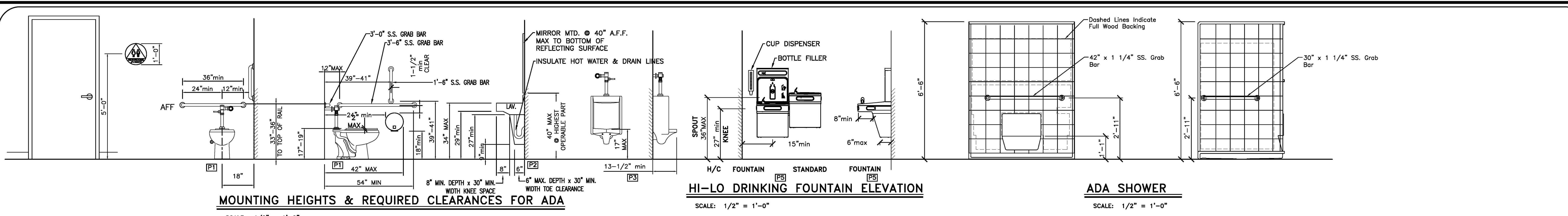
NO.	QTY	G.C.INST.	ITEM DESCRIPTION	MODEL #	MANUFACTURER
RR-100	1	X	SOAP DISPENSER (WALL MOUNT)	B-2111	BOBRICK
RR-101	1	X	MIRROR, 18" X 36"	B-165 1836	BOBRICK
RR-102	1	X	TOILET PAPER DISPENSER	B-273	BOBRICK
RR-103	1	X	PAPER TOWEL DISPENSER	B-2620	BOBRICK
RR-104	1	X	GRAB BAR 1-1/2"DIA X 36" S.S. FIN.	B-5806 X 36	BOBRICK
RR-105	1	X	GRAB BAR 1-1/2"DIA X 42" S.S. FIN.	B-5806 X 42	BOBRICK
RR-106	1	X	GRAB BAR 1-1/2"DIA X 18" S.S. FIN.	B-5806 X 18	BOBRICK
RR-107	1	X	DOOR CLOSER	UH4031	UNIVERSAL HARDWARE
RR-108	1	X	RESTROOM SIGNAGE	RR-120-DCTS	COMPLIANCE SIGNS
RR-109	1	X	GRAB BAR 1-1/2"DIA X 42" S.S. FIN.		FREEDOM SHOWERS
RR-110	1	X	GRAB BAR 1-1/2"DIA X 30" S.S. FIN.		FREEDOM SHOWERS
RR-111	1	X	ADA SHOWER SEAT		FREEDOM SHOWERS

ACCESSORY LEGEND

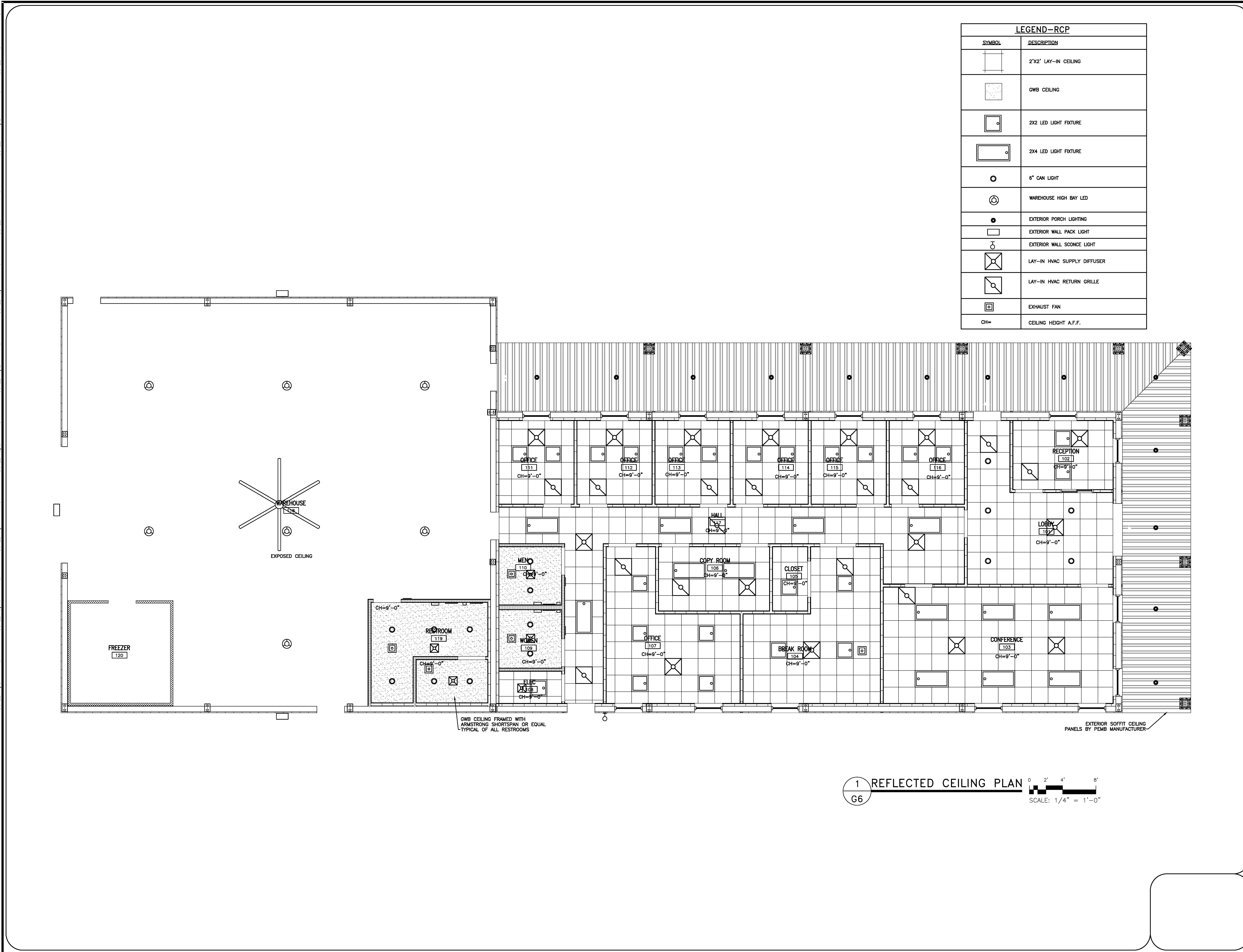
NO.	QTY	G.C.INST.	ITEM DESCRIPTION	MODEL #	MANUFACTURER
RR-100	1	X	SOAP DISPENSER (WALL MOUNT)	B-2111	BOBRICK
RR-101	1	X	MIRROR, 18" X 36"	B-165 1836	BOBRICK
RR-102	1	X	TOILET PAPER DISPENSER	B-273	BOBRICK
RR-103	1	X	PAPER TOWEL DISPENSER	B-2620	BOBRICK
RR-104	1	X	GRAB BAR 1-1/2"DIA X 36" S.S. FIN.	B-5806 X 36	BOBRICK
RR-105	1	X	GRAB BAR 1-1/2"DIA X 42" S.S. FIN.	B-5806 X 42	BOBRICK
RR-106	1	X	GRAB BAR 1-1/2"DIA X 18" S.S. FIN.	B-5806 X 18	BOBRICK
RR-107	1	X	DOOR CLOSER	UH4031	UNIVERSAL HARDWARE
RR-108	1	X	RESTROOM SIGNAGE	RR-120-DCTS	COMPLIANCE SIGNS
RR-109	1	X	GRAB BAR 1-1/2"DIA X 42" S.S. FIN.		FREEDOM SHOWERS
RR-110	1	X	GRAB BAR 1-1/2"DIA X 30" S.S. FIN.		FREEDOM SHOWERS
RR-111	1	X	ADA SHOWER SEAT		FREEDOM SHOWERS

ACCESSORY NOTES:

- PROVIDE BLOCKING AT ALL WALL MOUNTED ACCESSORIES.
- GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS.
- INSTALL AT LOCATIONS REQUIRED AND AS SHOWN ON DRAWINGS.
- ALL TOILET ACCESSORIES TO BE SELECTED BY OWNER
- ALL TOILET ACCESSORIES TO BE INSTALLED BY CONTRACTOR
- ALL LAVATORIES & SINKS SHALL HAVE PROTECTIVE COVERING ATTACHED TO THE SUPPLY & DRAIN LINES BELOW THE FIXTURES.



Drawing File: H:\2025\Jackson Barronidium PID 2025-08-05\DWG\Jackson Building-2025-12-08-WIP.dwg
 Plotted Date: Dec 08, 2025 - 9:45am
 Scale: 1/8" = 1'-0"



LEGEND-RCP	
SYMBOL	DESCRIPTION
[Symbol: 2'x2' Lay-in Ceiling]	2'X2' LAY-IN CEILING
[Symbol: GWB Ceiling]	GWB CEILING
[Symbol: 2x2 LED Light Fixture]	2X2 LED LIGHT FIXTURE
[Symbol: 2x4 LED Light Fixture]	2X4 LED LIGHT FIXTURE
[Symbol: 6" Can Light]	6" CAN LIGHT
[Symbol: Warehouse High Bay LED]	WAREHOUSE HIGH BAY LED
[Symbol: Exterior Porch Lighting]	EXTERIOR PORCH LIGHTING
[Symbol: Exterior Wall Pack Light]	EXTERIOR WALL PACK LIGHT
[Symbol: Exterior Wall Sconce Light]	EXTERIOR WALL SCONCE LIGHT
[Symbol: Lay-in HVAC Supply Diffuser]	LAY-IN HVAC SUPPLY DIFFUSER
[Symbol: Lay-in HVAC Return Grille]	LAY-IN HVAC RETURN GRILLE
[Symbol: Exhaust Fan]	EXHAUST FAN
CH=	CEILING HEIGHT A.F.F.

1 REFLECTED CEILING PLAN
 G6 SCALE: 1/4" = 1'-0"



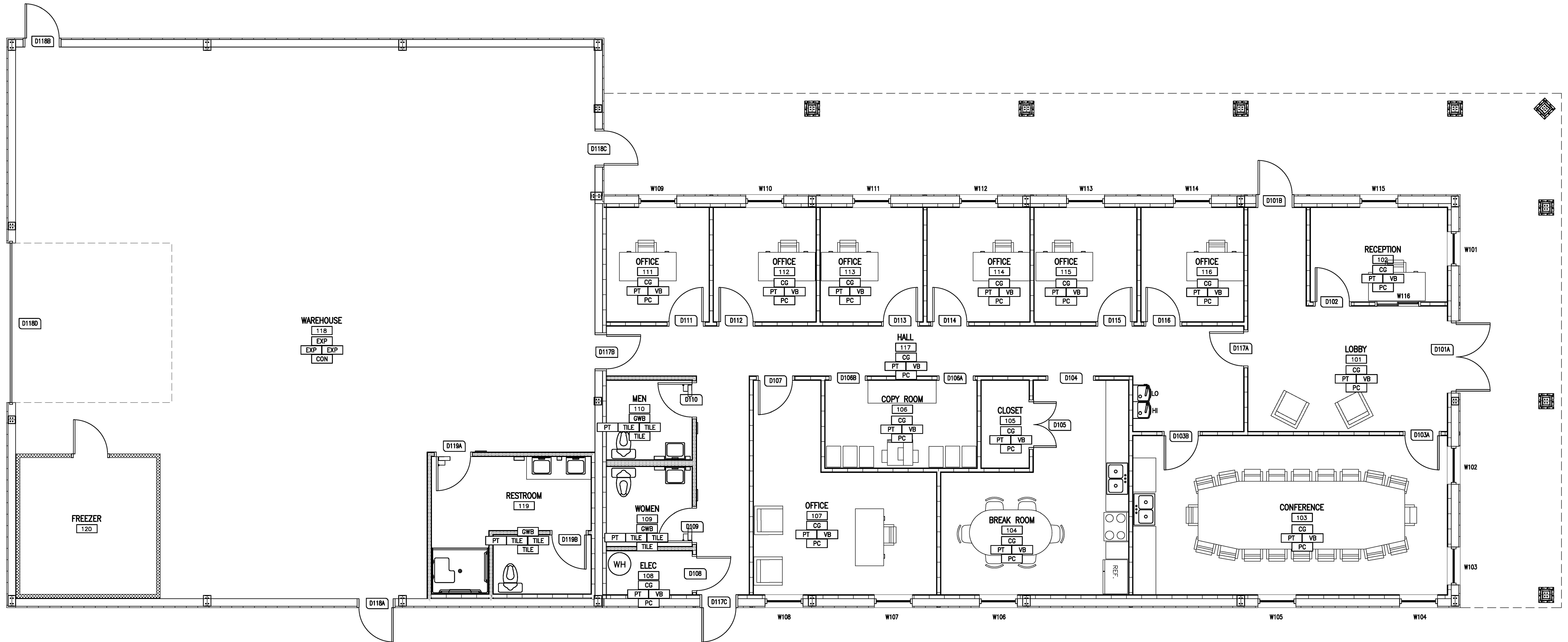
DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT #: 2025-08-05
 DATE: 8 DEC 2025

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OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 DATE: 8 DEC 2025

PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: REFLECTED CEILING PLAN
 G6

Drawing File: H:\2025\Jackson Barronidium PID 2025-08-05\DWG\Jackson Building-2025-12-08-wr18.dwg
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 Scale: 1-1/2" = 1'-0"
 Scale: 2" = 1'-0"
 Scale: 3" = 1'-0"
 Scale: 4" = 1'-0"
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 Scale: 12" = 1'-0"



1 DOOR/WINDOW/FINISH PLAN
 G7.1
 SCALE: 1/4" = 1'-0"



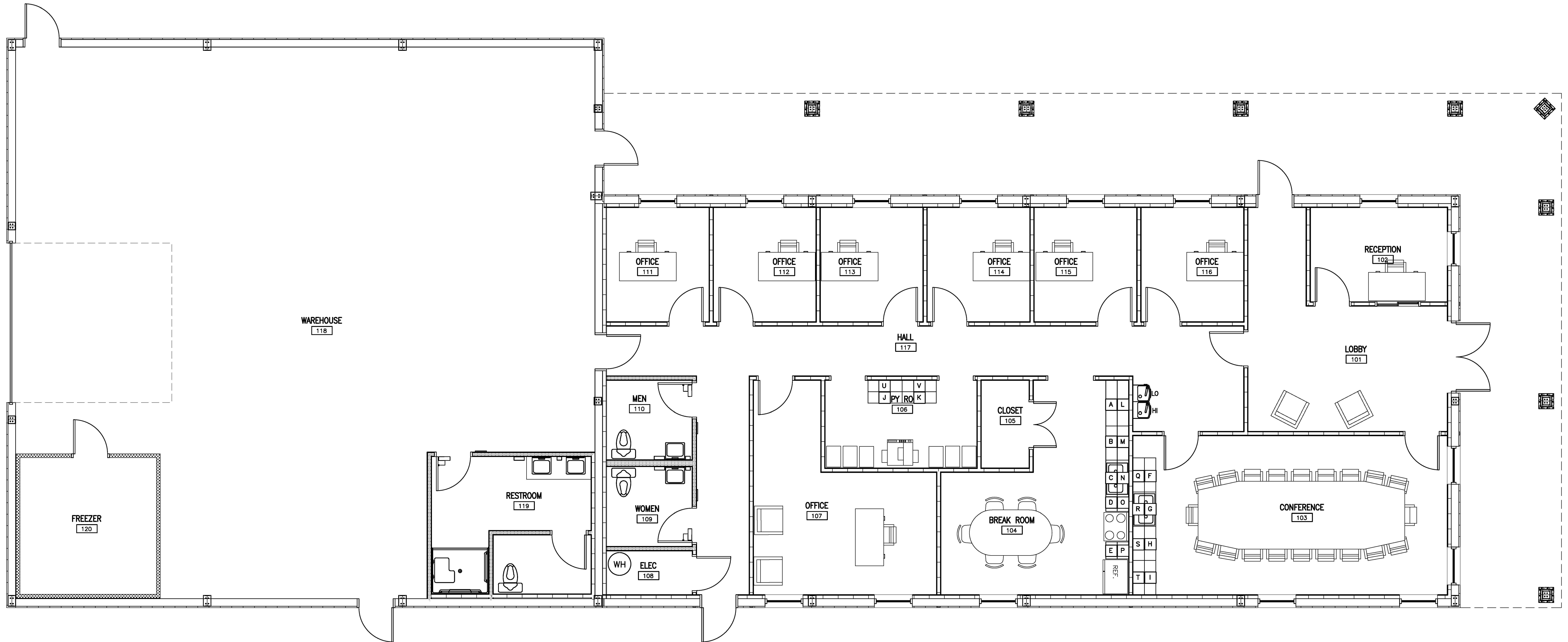
8 DEC 2025
 DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT #: 2025-08-05
 DATE: 8 DEC 2025

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION

OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 DATE: _____ BY: _____
 CHECKED BY: _____
 DATE: _____

PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28539
 SHEET: DOOR/WINDOW/FINISH PLAN
 G7.1

Drawing File: H:\2025\Jackson Barronominium PID 2025-08-05\DWG\Jackson Building-2025-12-08-wr11.dwg
Plotted Date: Dec 08, 2025 9:47am
SCALE: 1/8" = 1'-0"
SCALE: 3/16" = 1'-0"
SCALE: 1/4" = 1'-0"
SCALE: 3/8" = 1'-0"
SCALE: 1/2" = 1'-0"
SCALE: 5/8" = 1'-0"
SCALE: 3/4" = 1'-0"
SCALE: 1-1/2" = 1'-0"
SCALE: 2" = 1'-0"
SCALE: 3" = 1'-0"
SCALE: 4" = 1'-0"
SCALE: 6" = 1'-0"
SCALE: 8" = 1'-0"
SCALE: 12" = 1'-0"



1 CASEWORK PLAN
G8.1 SCALE: 1/4" = 1'-0"



DESIGNED/CHECKED BY: KJD
DRAWN BY: MJJ
PROJECT #: 2025-08-05
DATE: 8 DEC 2025

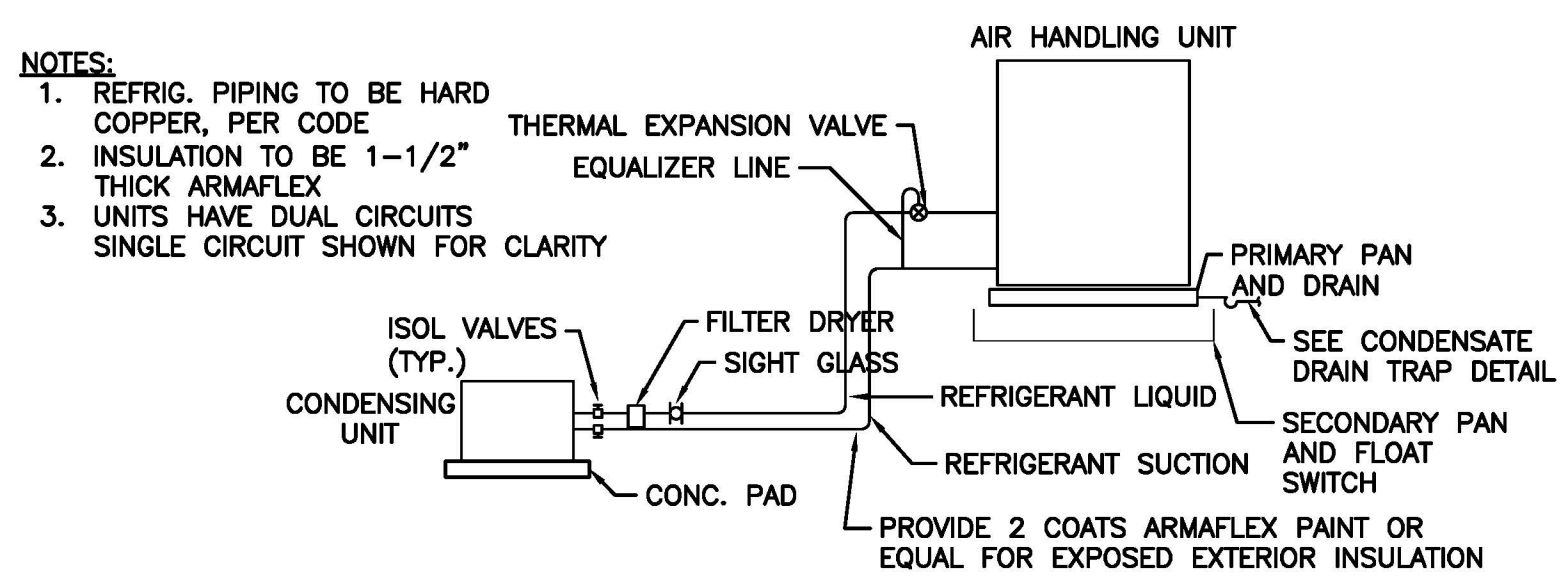
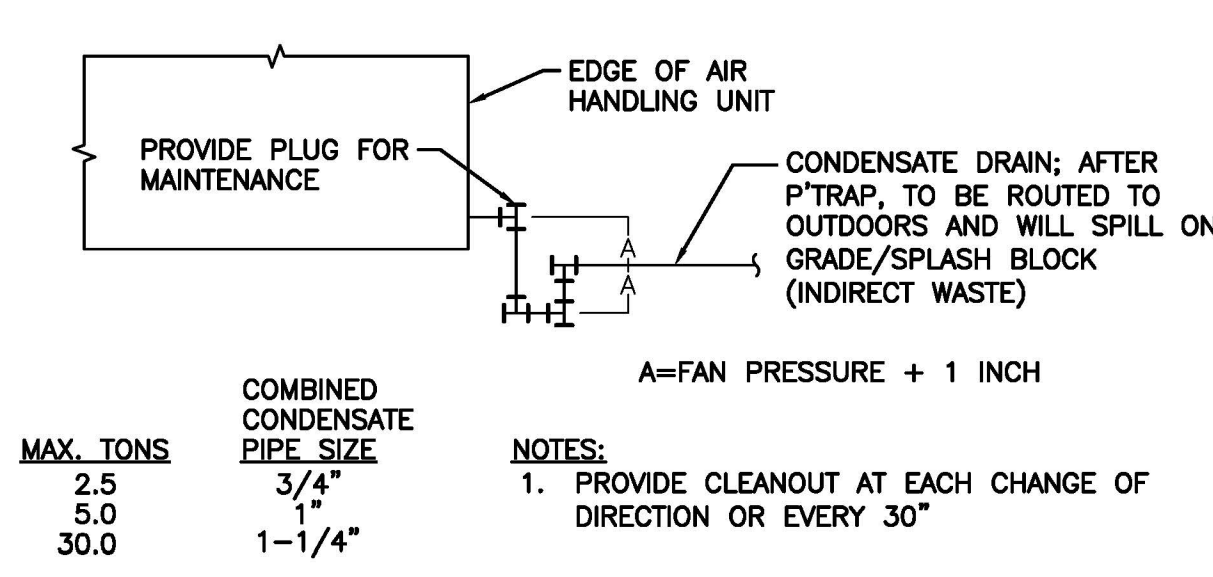
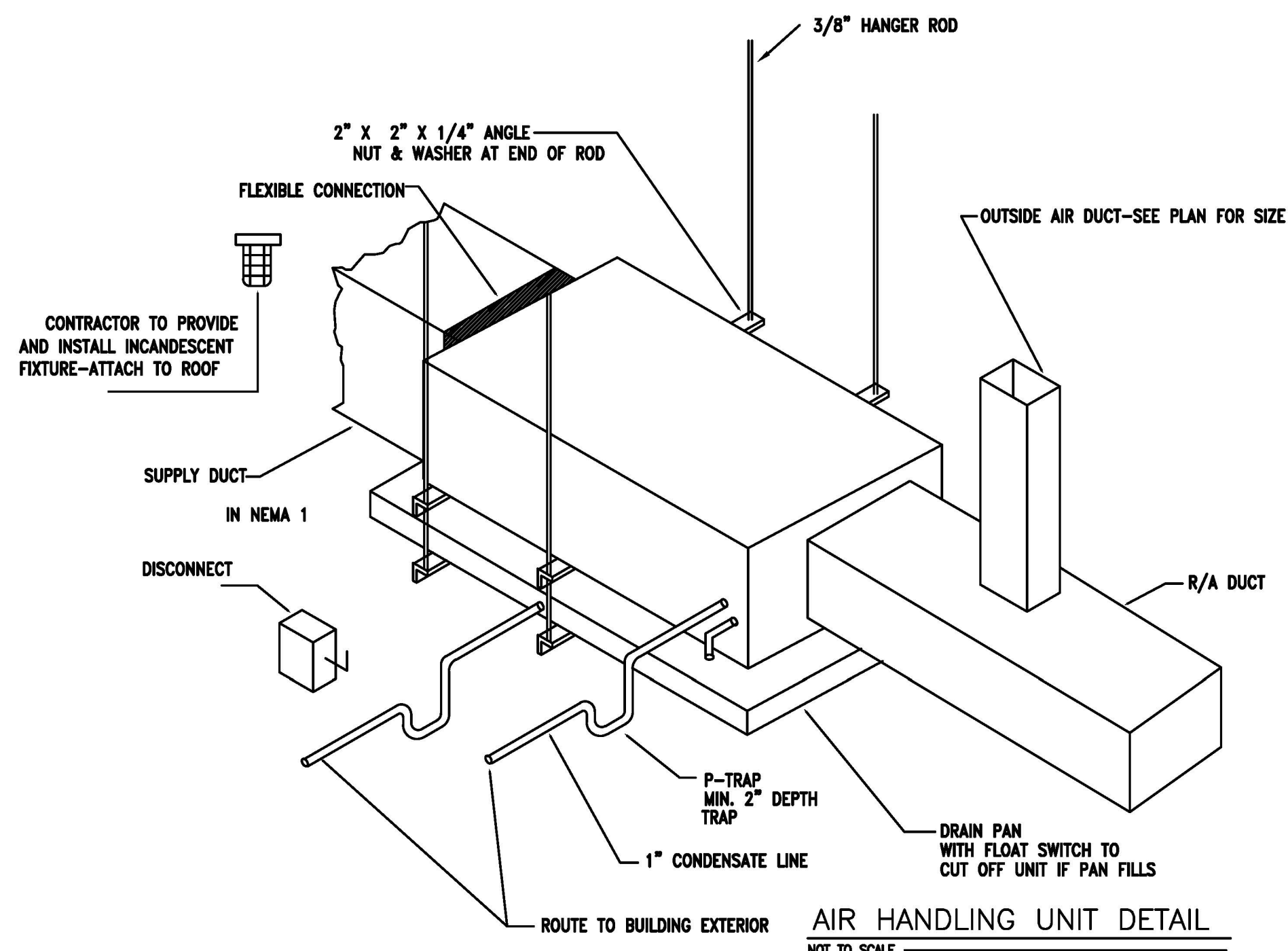
FINAL DRAWING FOR REVIEW PURPOSES ONLY
PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING FOR CONSTRUCTION
OWNER: JACKSON FAMILY ENTERPRISES LLC
CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
DATE: 8 DEC 2025

NO.	DATE	BY	DESCRIPTION

PROJECT: JACKSON OFFICE BUILDING
308 SAINT MATTHEWS ROAD ERWIN, NC 28339
SHEET: CASEWORK PLAN
G8.1

Drawing File: H:\2025\Jackson Barron\Barron\Barron\2025-08-05\DWG\Jackson Building-2025-12-08-w/18.dwg
 Project: Jackson Office Building, 308 Saint Matthews Road, Erwin, NC 28339
 Date: Dec 18, 2025 9:48am
 Scale: 1/8" = 1'-0"

HVAC LEGEND	
	SUPPLY/MAKEUP DUCTWORK WITH INSIDE SIZE NOTED
	RETURN/EXHAUST DUCTWORK WITH INSIDE SIZE NOTED
	SQUARE/RECTANGULAR SUPPLY/RETURN/EXHAUST TRANSITION
	ROUND/OVAL SUPPLY/RETURN/EXHAUST TRANSITION
	RADIUS TYPE SUPPLY/RETURN/EXHAUST DUCTWORK ELBOW
	SQUARE TYPE SUPPLY/RETURN/EXHAUST DUCTWORK ELBOW WITH TURNING VANES
	INCREASED AREA TAKEOFF WITH/WITHOUT VOLUME DAMPER
	LAY-IN/SURFACE SUPPLY DIFFUSER WITH TAG AND CFM NOTED
	SIDEWALL SUPPLY/RETURN/EXHAUST DIFFUSER WITH TAG AND CFM NOTED
	LAY-IN/SURFACE RETURN GRILLE WITH TAG
	ROUND DUCTWORK TURN UP/DOWN
	FLEXIBLE/RIGID AIR DUCT CONNECTOR WITH/WITHOUT VOLUME DAMPER
	HVAC EQUIPMENT WITH TAG; SEE EQUIPMENT SCHEDULE FOR MORE INFORMATION



GENERAL NOTES:

ALL WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA MECHANICAL CODE 2018 EDITION, ASHRAE, SMACNA, AND NFPA. STRUCTURAL MEMBERS OF THE BUILDING SHALL NOT BE CUT IN ANY MANNER FOR THE INSTALLATION OF ANY EQUIPMENT UNLESS PRIOR APPROVAL IS OBTAINED.

THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS AND ROUTING OF ALL DUCTWORK, PIPING, AND EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICT.

THE MECHANICAL CONTRACTOR SHALL MAKE A COMPLETE REVIEW OF THE MECHANICAL PLANS, SCHEDULES, AND DETAILS PRIOR TO INSTALLATION OF THE MECHANICAL SYSTEMS AND REVIEW ANY CONFLICTS WITH THE GENERAL CONTRACTOR.

THE MECHANICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE.

ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:

- STORM AND SANITARY SEWER LINES
- DUCTWORK AND HVAC SYSTEMS
- HOT AND COLD WATER LINES
- RIGID CONDUIT
- CABLE

THE MECHANICAL CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF ALL PENETRATIONS (PERTAINING TO HIS WORK) THROUGH THE ROOF, WALLS, FLOORS WITH THE GENERAL CONTRACTOR. ANY WATERPROOFING AROUND THE OPENINGS TO BE COMPLETED BY THE GENERAL CONTRACTOR.

THE MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL HIS OWN SUPPORT DEVICES. ALL LOCATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS PRIOR TO INSTALLATION. ALL PLATFORMS AND WALKWAYS IN ATTIC SPACES ARE PROVIDED BY THE GENERAL CONTRACTOR. THE MECHANICAL CONTRACTOR TO COORDINATE THE LOCATION AND DIMENSIONS OF ALL PLATFORMS WITH THE GENERAL CONTRACTOR.

ALL EQUIPMENT HAVING ROTATING OR MOVING PARTS SHALL HAVE VIBRATION ISOLATORS TO ELIMINATE TRANSMISSION OF OBJECTIONABLE NOISE TO OTHER MATERIAL OR EQUIPMENT.

WHERE OUTSIDE AIR INTAKE DUCTWORK CONNECTS TO OUTSIDE AIR LOUVER, THE INSIDE FACE OF THE DUCTWORK SHALL BE PRIMED AND PAINTED WITH (2) TWO COATS OF FLAT BLACK TO PREVENT DUCTWORK FROM BEING VISIBLE.

THE MECHANICAL CONTRACTOR SHALL PROVIDE NAMEPLATES FOR IDENTIFICATION OF ALL EQUIPMENT. THE NAMEPLATES SHALL BE LAMINATED PHENOLIC PLASTIC, BLACK FRONT AND BACK WITH WHITE CORE, WHITE ENGRAVED LETTERS (1/4 INCH MINIMUM) ETCHED INTO THE WHITE CORE. NAME TAGS TO BE MOUNTED WITH SELF-TAPPING SHEET METAL SCREWS.

ALL EQUIPMENT MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK OR IN ACCORDANCE WITH THE PARTICULAR MANUFACTURER'S STANDARD GUARANTEE IF LONGER. ANY FAULTY MATERIAL OR WORKMANSHIP OR FAILURE OF ANY PART OF THE SYSTEM DURING NORMAL OPERATIONS UNDER THIS GUARANTEE SHALL BE CORRECTED WITHOUT COST TO THE OWNER.

THE MECHANICAL CONTRACTOR SHALL CLEAN ALL OF HIS EQUIPMENT PRIOR TO FINAL CLOSE OUT OF THIS PROJECT TO BE FREE OF ANY DIRT OR DEBRIS IN DRAIN PANS, CONDENSATE DRAINS, CONDENSING UNIT COILS, AND ETC.

ALL EQUIPMENT SHALL BE LOCATED AND INSTALLED TO PROVIDE MAXIMUM SPACE FOR MAINTENANCE AND SERVICE. PROVIDE EQUIPMENT SUPPORT PAD FOR ALL BASE MOUNTED EQUIPMENT. PAD SHALL BE 4" HIGH OR PREFABRICATED CONCRETE PAD FOR ALL CONDENSING UNITS, AND PACKAGE UNITS, 4" MINIMUM FROM EQUIPMENT EDGE TO END OF PAD ON ALL SIDES.

THE MECHANICAL CONTRACTOR SHALL CONFIRM ALL BREAKER AND DISCONNECT SIZES OF HIS EQUIPMENT WITH THE ELECTRICAL CONTRACTOR PRIOR TO ORDERING ANY EQUIPMENT FOR THIS PROJECT.

CONDENSATE DRAINS SHALL BE A MINIMUM OF 3/4" Ø PVC PIPE. A P-TRAP SHALL BE INSTALLED IN PIPE AT THE UNIT. ALL CONDENSATE LINES SHALL BE ROUTED AS INDICATED ON PLANS.

INSTALL FLEXIBLE DUCT CONNECTION AT SUPPLY AND RETURN DUCTWORK CONNECTIONS TO ALL AIR HANDLING UNITS, FAN BOXES, ETC.

DESIGN CRITERIA NOTES:

ALL SUPPLY, RETURN, EXHAUST AND OUTDOOR AIR DUCTWORK (WITH THE EXCEPTION OF COMMERCIAL KITCHEN DUCTWORK) SHALL BE SIZED AT 0.08" PER 100'-0" OF DUCT FOR EXTERNAL STATIC PRESSURE. ALL DUCTWORK SHALL BE TWO PRESSURE CLASS.

ECONOMIZERS ARE REQUIRED FOR ANY HVAC SYSTEM WITH A COOLING CAPACITY OF 65,000 BTU/HR OR GREATER (NCECC C403.1)

CORRIDORS SHALL NOT SERVE AS SUPPLY, RETURN, EXHAUST, RELIEF OR VENTILATION AIR DUCTS; CORRIDORS MAY BE USED FOR MAKEUP AIR PROVIDED TO TOILET AREAS FOR EXHAUST MAKEUP PROVIDING THE CORRIDOR IS PROVIDED WITH AN OUTSIDE AIR RATE GREATER THAN THE MAKEUP REQUIRED FOR EXHAUST, WHERE LOCATED IN TENANT SPACES OF LESS THAN 1000 SQ/FT THE USE OF CORRIDORS FOR RETURN AIR IS PERMITTED. (NCECC 601.2.1 & 601.2.3)

HVAC SYSTEM SHALL HAVE PROGRAMMABLE THERMOSTAT CAPABLE OF OFF HOUR CONTROLS (NIGHT SETBACK) TO MAINTAIN NO MORE THAN 85°F OR NO LESS THAN 55°F (NCECC C403.2.4.2.1, C403.2.4.2.3 & C403.2.4.2.3)

THE MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL A DUCT MOUNTED SMOKE DETECTOR IN THE RETURN AIR DUCT AT EACH UNIT IN ACCORDANCE WITH NORTH CAROLINA BUILDING CODE EDITION 2012. THE MECHANICAL CONTRACTOR TO WIRE FROM THE DETECTOR TO EACH UNIT.

DUCTWORK NOTES:

ALL DUCTWORK, PIPING, EQUIPMENT, ETC. SHALL BE SUPPORTED FROM THE BUILDING SUPPORT STRUCTURE AND NOT THE ROOF.

ALL DUCT LAYOUT AND LOCATIONS ARE SHOWN DIAGRAMMATIC. THE MECHANICAL CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE BUILDING CONDITIONS AND COORDINATE THE DUCT LAYOUT WITH ALL CONTRACTORS PRIOR TO INSTALLATION.

ALL DUCTWORK SHALL BE CONSTRUCTED OF SHEET METAL IN ACCORDANCE WITH ASHRAE & SMACNA. DUCT SIZES SHOWN ARE NET FREE AREA REQUIRED.

VOLUME OR SPLITTER DAMPERS SHALL BE INSTALLED WHERE NECESSARY TO GUIDE AND CONTROL THE AIR FLOW. TURNING VANES ARE REQUIRED IN ALL ELBOWS AND AIR DEFLECTION DEVICES WILL BE INSTALLED WHERE REQUIRED FOR A BALANCED SYSTEM. PROVIDE SHEET METAL SLEEVES AND COLLARS WHERE DUCTS PASS THRU WALLS.

ALL DUCTS SHALL BE AIR TIGHT, RIGID AND FREE FROM VIBRATION AND NOISE. ALL LAP JOINTS SHALL BE IN THE DIRECTION OF FLOW AND SEALED WITH DUCT SEALER. ALL TAPES AND MASTICS USED SHALL LISTED WITH UL181A AND SHALL BE MARKED. (NCECC (603.9) & NCECC (C403.2.9))

FLEXIBLE DUCT RUNS SHALL NOT EXCEED 12'-0" IN LENGTH. FLEXIBLE DUCT SHALL BE SUPPORTED EVERY 5'-0". MAXIMUM SAG IS 1/2 INCH PER FOOT OF SPACING BETWEEN SUPPORTS. SADDLE MATERIAL IN CONTACT WITH THE FLEXIBLE DUCT SHALL BE WIDE ENOUGH SO THAT IT DOES NOT REDUCE THE INTERNAL DIAMETER OF THE DUCT. THE SADDLE MUST COVER ONE-HALF THE CIRCUMFERENCE OF THE OUTSIDE DIAMETER OF THE FLEXIBLE DUCT AND FIT NEATLY AROUND THE LOWER HALF OF THE DUCT'S OUTER CIRCUMFERENCE.

PROVIDE PERMANENT MANUAL DAMPERS IN ALL SUPPLY AND RETURN AIR DUCTS AT THE MAIN TRUNK LINE FOR SYSTEM BALANCING. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR BALANCING THE AIR DISTRIBUTION SYSTEM AFTER THE SYSTEM HAS BEEN INSTALLED AND EQUIPMENT IS OPERATING. MANUAL DAMPERS ARE REQUIRED TO BE INSTALLED IN THE RETURN AIR DUCT IF THE DUCT IS RETURNING AIR FROM INDIVIDUAL ROOMS. MANUAL DAMPERS ARE NOT REQUIRED IF THE DUCT IS RETURNING AIR FROM CENTRALLY LOCATED FILTER/RETURN GRILLES.

THE OUTSIDE AIR INTAKE DUCTWORK SHALL BE HARD ROUND DUCT, FLEXIBLE DUCT WILL NOT BE ACCEPTED. SEE PLAN FOR DUCT SIZE.

ALL OUTSIDE AIR INTAKE DUCTS SHALL HAVE A FILTER BOX TO HOUSE A MINIMUM OF 16 IN. X 20 IN. X 2 IN. THICK FILTER, U.N.O. AT EACH AIR HANDLING UNIT EITHER IN THE ATTIC OR CRAWL SPACE. THE FILTER BOX SHALL HAVE A HINGED DOOR THAT IS GASKETED TO MAINTAIN AN AIRTIGHT SEAL WITH A THUMBSCREW TO ACCESS THE FILTER.

THE OUTSIDE AIR FILTER SHALL BE THE HI-E 40 AS MANUFACTURED BY PUROLATOR PRODUCTS AIR FILTRATION COMPANY, OR APPROVED EQUAL. AIR FILTER SHALL BE (2) TWO INCHES DEEP, MEDIUM EFFICIENCY, PLEATED MEDIA, DISPOSABLE PANEL TYPE. THE FILTER MEDIA SHALL BE SELF-EXTINGUISHING NON-WOVEN COTTON AND SYNTHETIC FIBERS. THE FILTER MEDIA SHALL BE BONDED TO A 28-GAUGE CORROSION RESISTANT, EXPANDED METAL SUPPORT GRID WITH A 95% OPEN FACE AREA.

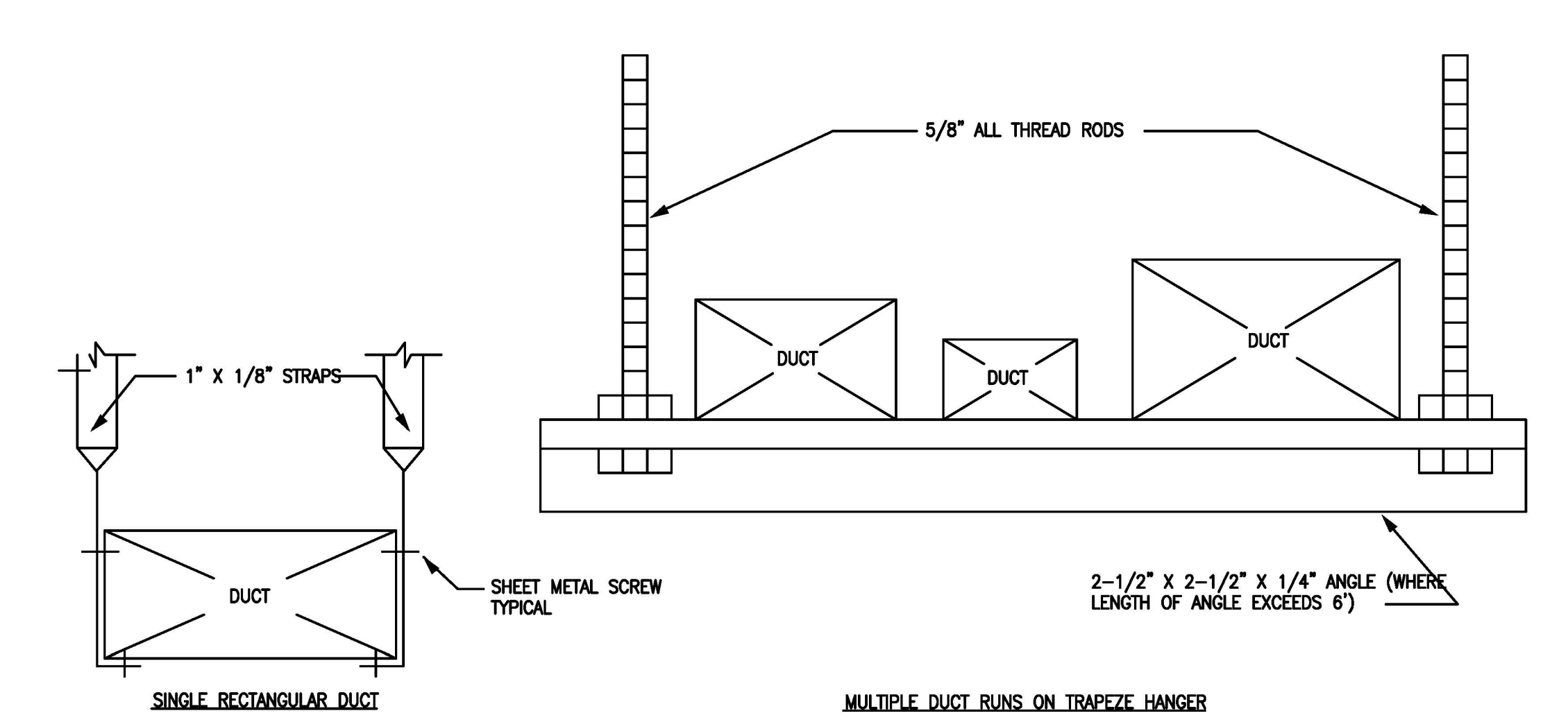
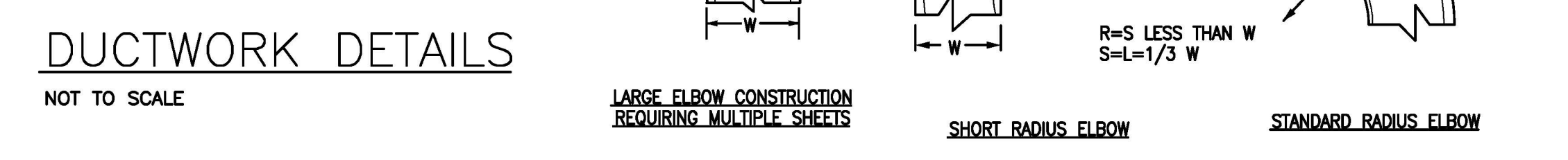
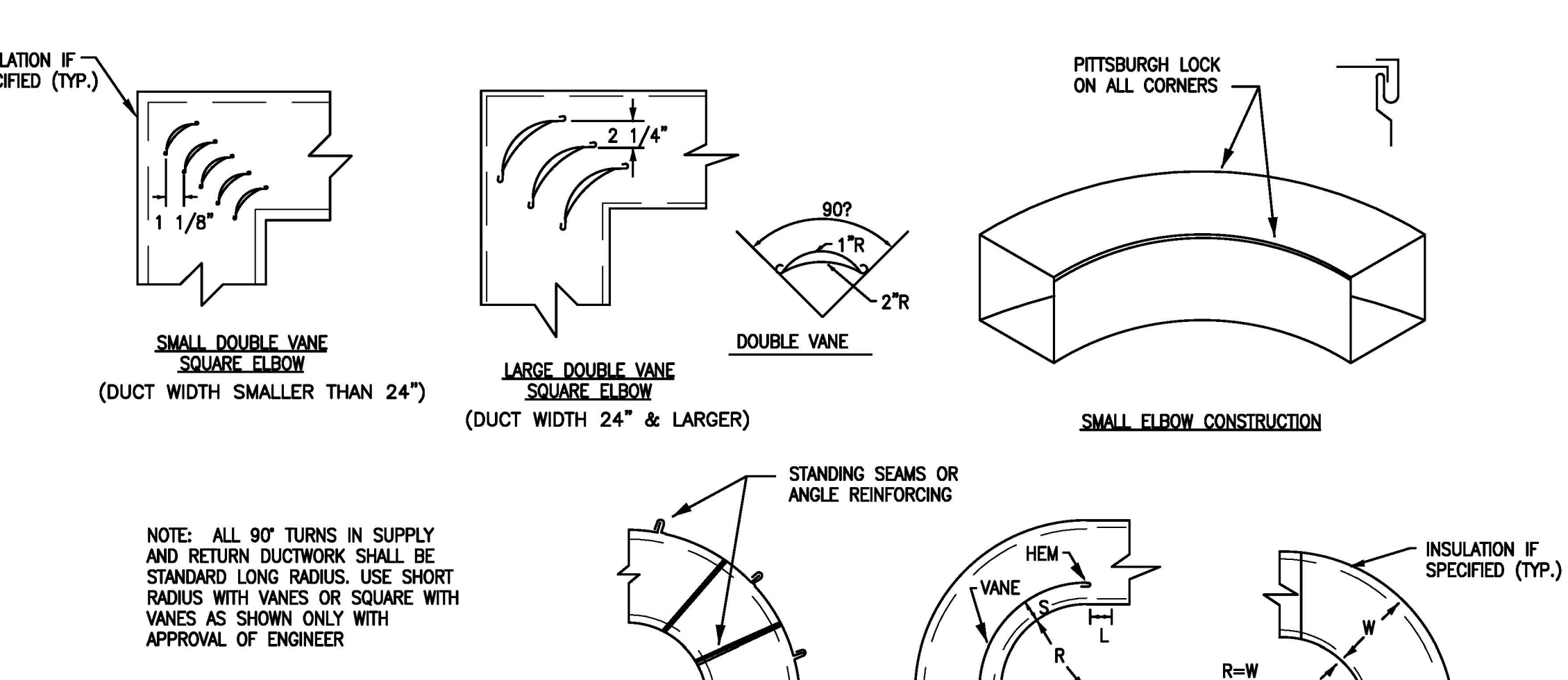
DUCT/PIPING INSULATION NOTES:

ALL SUPPLY AND RETURN AIR DUCTS SHALL BE INSULATED WITH MIN. R-6.0 INSULATION UNLESS NOTED OTHERWISE IN THE DRAWING. NCECC (C403.2.9) ACCEPTABLE MANUFACTURERS ARE JOHNSON MANVILLE.

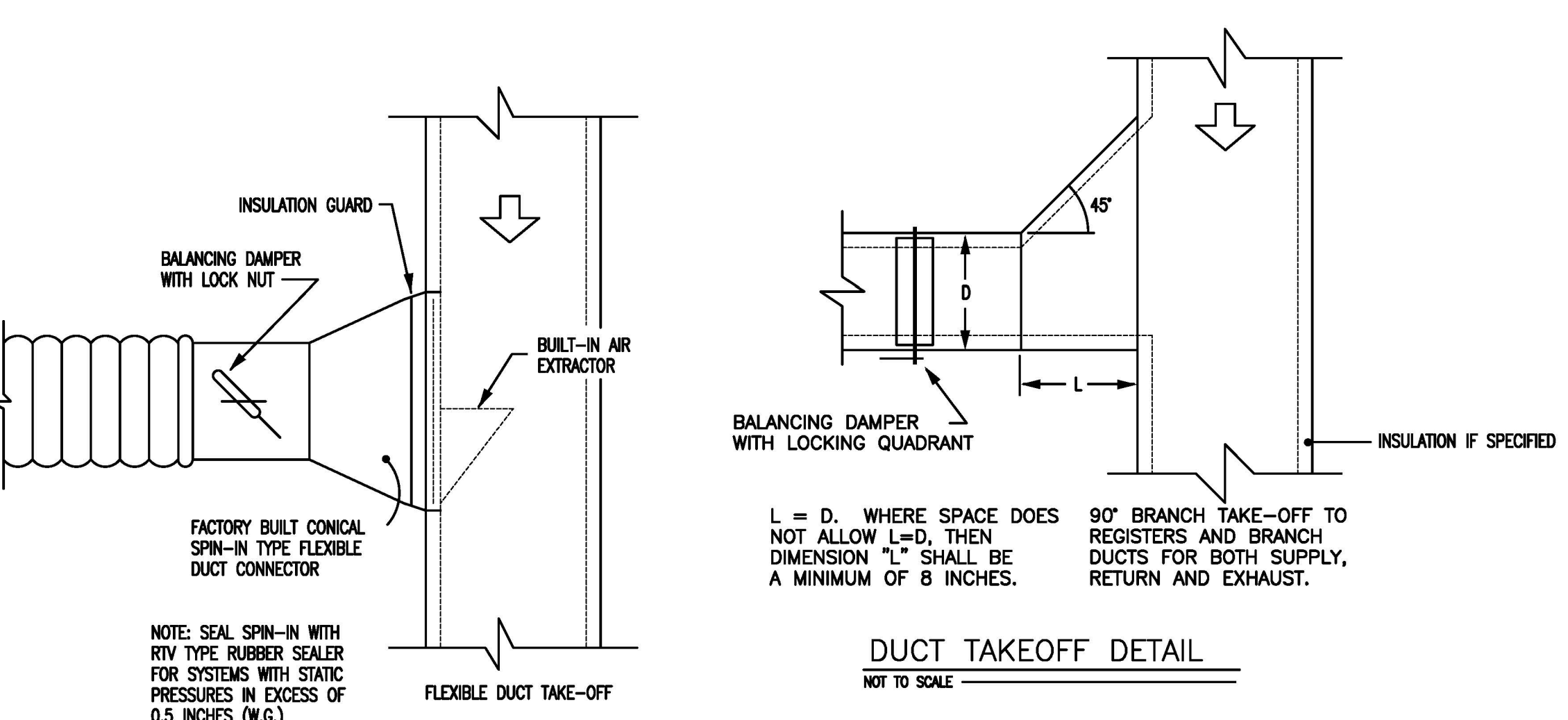
LIQUID AND SUCTION PIPING TO AND FROM AIR HANDLING UNITS SHALL BE INSULATED WITH 1-1/2" THICK PIPE INSULATION IN ACCORDANCE WITH NCECC TABLE (C403.2.10).

ALL FLEXIBLE DUCT REQUIRING INSULATION SHALL HAVE A VALUE OF AT LEAST R-5.0. THE FLEXIBLE DUCT SHALL BE ATCO RUBBER PRODUCTS, INC. UPO NO. 036 OR APPROVED EQUAL WITH A REINFORCED METALLIZED POLYESTER JACKET. THE INNER CORE IS AIRTIGHT AND IS DESIGNED FOR LOW TO MEDIUM OPERATING PRESSURES IN HVAC SYSTEMS. AIR DUCT CONNECTIONS AND JOINTS SHALL BE MADE PER INSTALLATION INSTRUCTIONS OUTLINED BY ATCO.

OUTSIDE AIR INTAKE DUCTWORK AND EXHAUST DUCTWORK IS TO BE UNINSULATED.



DUCTWORK SUPPORT DETAILS



JENKINS
 CONSULTING ENGINEERS, PA.
 1000 MARKET STREET, FAYETTEVILLE, NC 28404
 NORTH CAROLINA CORPORATION NUMBER C-3070
 OFFICE LICENSE NO. 174

8 DEC 2025

DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT # 2025-08-05
 DATE: 8 DEC 2025

FINAL DRAWING [] FOR REVIEW PURPOSES ONLY
 PRELIMINARY [] FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING [X] FOR CONSTRUCTION

OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 TONY MCELROY

NO.	SYMBOL	DATE	BY	DESCRIPTION

PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339

SHEET: MECHANICAL NOTES

M1

APPENDIX B MECHANICAL DESIGN
2018 BUILDING CODE SUMMARY

JACKSON OFFICE BUILDING

PROJECT NAME: JACKSON OFFICE BUILDING

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
METHOD OF COMPLIANCE
PRESCRIPTIVE (X) ENERGY COST BUDGET ()

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

THERMAL ZONE: ZONE 4 NORTH CAROLINA
WINTER DRY BULB: 22.0 F
SUMMER DRY BULB: 87.0 F

INTERIOR DESIGN CONDITIONS
WINTER DRY BULB: 70 F
SUMMER DRY BULB: 75 F
RELATIVE HUMIDITY: 50%

BUILDING HEATING LOAD: 40,100 BTUH
BUILDING COOLING LOAD: 72,200 BTUH

MECHANICAL SPACING CONDITIONING SYSTEM

UNITARY
DESCRIPTION OF UNIT: SPLIT SYSTEM HEAT PUMPS: (1) 4-TON, (1) 2-TON

HEATING EFFICIENCY: 78% AFUE (78% AFUE MINIMUM EFFICIENCY, TABLE C403.2.3 (4))

COOLING EFFICIENCY: 14.0 SEER (14 SEER MINIMUM EFFICIENCY, TABLE C403.2.3 (1))

SIZE CATEGORY OF UNIT: 5.0 TON (< 65,000 BTU/H)

BOILER
SIZE CATEGORY, IF OVERSIZED, STATE REASON: _____

CHILLER
SIZE CATEGORY, IF OVERSIZED, STATE REASON: _____

LIST EQUIPMENT EFFICIENCIES: _____

DESIGNER STATEMENT: TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT REQUIREMENTS OF THE INTERNATIONAL ENERGY CODE. THE HVAC UNIT QUALIFIES AS MORE EFFICIENT MECHANICAL EQUIPMENT DESCRIBED IN THE CODE.

SIGNED: *Buddy Jenkins*
NAME: BUDDY JENKINS
TITLE: ENGINEER

DESCRIPTION AND SEQUENCE OF OPERATION OF HVAC SYSTEM

THE HVAC SYSTEM CONSISTS OF:
(1) 4-TON & (1) 2-TON SPLIT SYSTEM HEAT PUMP UNITS WHICH PROVIDE HEATING/COOLING/VENTILATION TO ALL SPACES.

OCCUPIED OPERATION
THE SUPPLY FANS SHALL RUN CONTINUOUSLY TO PROVIDE THE REQUIRED VENTILATION RATE. IN THE COOLING MODE, A RISE IN TEMPERATURE BEYOND SET POINT OF PROGRAMMABLE T-STAT WILL RESULT IN ACTIVATION OF DX COOLING CYCLE UNTIL DESIRED TEMPERATURE IS REACHED. IN HEATING MODE, A SIGNAL FROM T-STAT WILL ACTIVATE THE HEAT PUMP TO DELIVER HEATING TO SPACES.

UNOCCUPIED OPERATION
THE SUPPLY FAN SHALL BE INDEXED OFF AND MOTORIZED OUTSIDE AIR DAMPER SHALL BE CLOSED. PROGRAMMABLE THERMOSTATS SHALL PROVIDE CONTROL OF EACH UNIT.

EXHAUST FAN OPERATION
THE TOILET EXHAUST FANS AND COPY ROOM EXHAUST FANS SHALL BE SWITCHED WITH LIGHTING TO PROVIDE CONTINUOUS EXHAUST WHILE RESTROOM IS OCCUPIED.
THE BREAKROOM AND SHOWER EXHAUST FANS SHALL BE INDIVIDUALLY SWITCHED TO PROVIDE EXHAUST WHEN NEEDED.

HEAT PUMP SCHEDULE																									
EQUIPMENT INFO			COOLING CAPACITIES				HEATING CAPACITIES				COMPRESSOR/CONDENSER SECTION				ELECTRICAL INFORMATION				MISCELLANEOUS INFORMATION						
TAG	TYPE	LOCATION	NOM. TONS	TOTAL COOLING	NET COOLING	MIN. IEER	MIN. EER	MIN. SEER	MIN. COP	UNIT CAPACITY	MIN. HSPF	NO. OF COMP.	COMPRESSOR AMPS	CONDENSER FLA	FAN FLA	NO. OF FANS	FAN HP	UNIT VOLTS	UNIT PHASE	MCA	MOCP	WIRE SIZE (CU. 75 C)	MANUFACTURER/MODEL	DIMENSIONS (HxWxD (in))	WEIGHT GROSS (LB)
HP-1	SPLIT-SYSTEM HEATPUMP	GROUND	4.0	48000	44982	N/A	11.7	14.3	3.80	42000	7.5	1	12.2	2.8		1	1/3	208	3	18	30	#10	TRANE / 5TWA40483000A	50X35X38	301 LBS
HP-2	SPLIT-SYSTEM HEATPUMP	GROUND	2.0	24000	23500	N/A	11.7	14.3	3.60	22000	7.5	1	9.1	0.77		1	1/8	208	1	13	20	#12	TRANE / 5TWR4024A1000A	38X30X33	208 LBS

AIR HANDLING UNIT SCHEDULE																								
EQUIPMENT INFO			INDOOR FAN SECTION				ELECTRICAL HEAT STRIP INFORMATION				MISCELLANEOUS INFORMATION													
TAG	TYPE	LOCATION	NOM. TONS	SUPPLY CFM	OA CFM	ESP INCHES	FAN TYPE	FAN HP	FAN RPM	FAN FLA	UNIT VOLTS	UNIT PHASE	MCA	MOCP	HEAT STRIPS	UNIT VOLTS	UNIT PHASE	MCA	MOCP	WIRE SIZE (DU. 75 C)	MANUFACTURER/MODEL	DIMS (UNCRATED) HxWxD (in)	WEIGHT GROSS (LB)	REMARKS
AHU-1	SPLIT-SYSTEM AIR HANDLER	ATTIC	4.0	1600	300	0.5	DIRECT	-	1050	5.4	208	1	7	15	7.20 KW	208	3	31	35	#8	TRANE 5TAM5006AC41SB HEAT: BAYEA13AC10LG3	62X24X22	175 LBS	①②③④⑤
AHU-2	SPLIT-SYSTEM AIR HANDLER	ATTIC	2.0	800	150	0.5	DIRECT	-	1050	2.6	208	1	3	15	3.60 KW	208	1	25	25	#8	TRANE 5TAM5001AC21SB HEAT: BAYEA13AC05LG1	50X18X22	125 LBS	①②③④⑤

① PROVIDE SINGLE POINT WIRING KIT FOR ELECTRIC HEAT ② PROVIDE OUTDOOR THERMOSTAT FOR HEAT STRIP LOCKOUT ③ EQUAL EQUIPMENT MAY BE PROVIDED
④ PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT ⑤ PROVIDE MOTORIZED OUTSIDE AIR DAMPER & MANUAL RETURN AIR DAMPER

EXHAUST FAN SCHEDULE																
EQUIPMENT INFO			FAN INFORMATION				SOUND DATA (INLET)				MFG & MODEL		REMARKS			
TAG	TYPE	LOCATION	EXHAUST CFM	FAN RPM	ESP INCHES	FAN DRIVE	AMPS	WATTS	UNIT VOLTS	UNIT PHASE	WIRE SIZE (CU. 75 C)	SONES	MFG & MODEL		REMARKS	
EF-1,2,3,4,5	BATHROOM, BREAKROOM, COPY ROOM EXHAUST	CEILING	50	850	.25	DIRECT	.14	13	115	1	#12	0.3	GREENHECK SP-A70 OR EQUAL		-	
EF-6	SHOWER EXHAUST	CEILING	100	939	.25	DIRECT	0.29	19	115	1	#12	2.5	GREENHECK SP-LP0511-1		-	

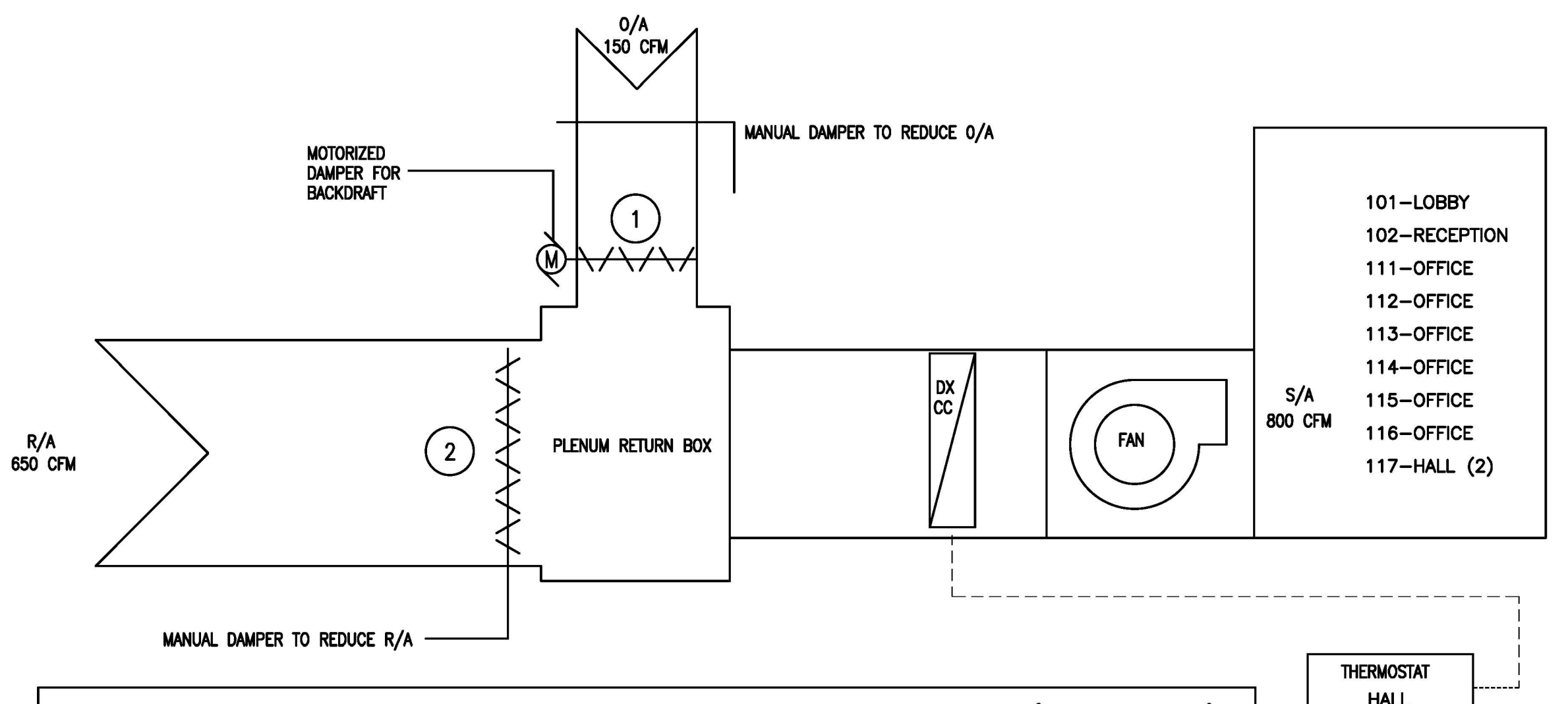
AIR CHANGES AND OUTSIDE AIR CALCULATION																				
AIR CHANGES											OUTSIDE AIR									
UNIT	SPACE DESCRIPTION	NET SF (Az)	CEILING HEIGHT (CigHt)	VOLUME (CF) (Az*CigHt)	SUPPLY AIR (CFM)	AIR CHANGES PER HOUR (ACH75)	OCCUPANT DENSITY #/1000	OCCUPANTS (Pz)	O.A. CFM PER PERSON (Rp)	O.A. CFM PER SF (Ra)	(RpPz)	(RaAz)	O.A. CFM REQUIRED (Vbz) (RpPz + RaAz)	ZONE O.A. AIR FLOW (Ez) ²	ADJUSTED O.A. Voz = $\frac{Vbz}{Ez}$	EXHAUST CFM REQUIRED				
AHU-1	103-CONFERENCE	385	9'	3465	500	8.5	50	20	5	0.06	100	23	123	N/A	154					
	104-BREAKROOM	244	9'	2196	250	7.0	5	2	5	0.06	10	15	25	N/A	31	OPTIONAL BREAK ROOM EXHAUST 50				
	105-CLOSET	32	9'	288	0	0	N/A	N/A	N/A	0.12	N/A	4	4	N/A	5					
	106-COPY ROOM	102	9'	918	150	10.0	5	1	5	N/A	5	6	11	N/A	14	COPY ROOM X 0.5CFM/SF 50				
	107-OFFICE	220	9'	1980	250	7.5	5	2	5	N/A	10	13	23	N/A	29					
	108-ELECTRICAL	29	9'	261	50	11.5	N/A	N/A	N/A	0.12	N/A	3	3	N/A	4					
	109-WOMEN RR	53	9'	477	75	9.5	N/A	N/A	N/A	N/A	N/A	5	5	N/A	N/A	1 FLUSHING FIXTURE X 50 CFM 50				
	110-MEN RR	53	9'	477	75	9.5	N/A	N/A	N/A	N/A	N/A	5	5	N/A	N/A	1 FLUSHING FIXTURE X 50 CFM 50				
	117-HALL (1)	88	9'	792	100	7.5	N/A	N/A	N/A	0.06	N/A	5	5	N/A	7	1 FLUSHING FIXTURE X 50 CFM 50				
	119-RESTROOM	175	9'	1575	150	5.5	N/A	N/A	N/A	N/A	N/A	5	5	N/A	N/A	SHOWER EXHAUST X 100 CFM 100				
TOTAL OUTSIDE AIR CFM REQUIRED															244					
TOTAL OUTSIDE AIR CFM PROVIDED															300	TOTAL EXHAUST CFM REQUIRED 300				
AHU-1 (OUTSIDE AIR TOTAL)															300	TOTAL EXHAUST CFM PROVIDED 350				

AIR CHANGES AND OUTSIDE AIR CALCULATION																				
AIR CHANGES											OUTSIDE AIR									
UNIT	SPACE DESCRIPTION	NET SF (Az)	CEILING HEIGHT (CigHt)	VOLUME (CF) (Az*CigHt)	SUPPLY AIR (CFM)	AIR CHANGES PER HOUR (ACH75)	OCCUPANT DENSITY #/1000	OCCUPANTS (Pz)	O.A. CFM PER PERSON (Rp)	O.A. CFM PER SF (Ra)	(RpPz)	(RaAz)	O.A. CFM REQUIRED (Vbz) (RpPz + RaAz)	ZONE O.A. AIR FLOW (Ez) ²	ADJUSTED O.A. Voz = $\frac{Vbz}{Ez}$	EXHAUST CFM REQUIRED				
AHU-2	101-LOBBY	236	9'	2124	175	5.0	10	3	5	0.06	20	14	34	N/A	43					
	102-RECEPTION	99	9'	891	80	5.5	5	1	5	0.06	5	6	11	N/A	14					
	111-OFFICE	90	9'	810	80	6.0	5	1	5	0.06	5	5	10	N/A	13					
	112-OFFICE	90	9'	810	80	6.0	5	1	5	0.06	5	5	10	N/A	13					
	113-OFFICE	90	9'	810	80	6.0	5	1	5	0.06	5	5	10	N/A	13					
	114-OFFICE	90	9'	810	80	6.0	5	1	5	0.06	5	5	10	N/A	13					
	115-OFFICE	90	9'	810	80	6.0	5	1	5	0.06	5	5	10	N/A	13					
	116-OFFICE	90	9'	810	80	6.0	5	1	5	0.06	5	5	10	N/A	13					
	117-HALL (2)	186	9'	1674	65	2.5	N/A	N/A	N/A	0.06	N/A	11	11	N/A	14					
TOTAL OUTSIDE AIR CFM REQUIRED															148					
TOTAL OUTSIDE AIR CFM PROVIDED															150	TOTAL EXHAUST CFM REQUIRED 0				
AHU-2 (OUTSIDE AIR TOTAL)															150	TOTAL EXHAUST CFM PROVIDED 0				

GRILLE/RETURN SCHEDULE							
TAG	CFM	AIR PATTERN	FACE SIZE	NECK SIZE	SERVICE	MFG & MODEL	REMARKS
A	65-250	THREE-CONE	24X24	SEE PLAN	SUPPLY	TITUS TMS OR EQUAL	LAY-IN; OFF WHITE
B	200-800	EGG CRATE	24X24	SEE PLAN	RETURN	TRUaire 4051FG-20B	LAY-IN; FILTER GRILLE; OFF WHITE
C	50-100	THREE-CONE	12X12	SEE PLAN	SUPPLY	TITUS TMS OR EQUAL	PROVIDE PF MOUNTING FRAME FOR RECESSED MOUNTING INTO GWB CEILING
D	50	THREE-CONE	12X12	SEE PLAN	SUPPLY	TITUS TMS OR EQUAL	LAY-IN; OFF WHITE

LOUVER SCHEDULE										
TAG	TYPE	LOCATION	DESIGN CFM	MIN FREE AREA (SQ.FT.)	FREE AREA %	LOUVER DIMS (WxH)	DRAINABLE	DAMPER	SCREEN	MFG & MODEL
LV-1	INTAKE	WALL	450	0.60	38	14x16	YES	GRAVITY	YES	RUSKIN GFL800D OR EQUAL

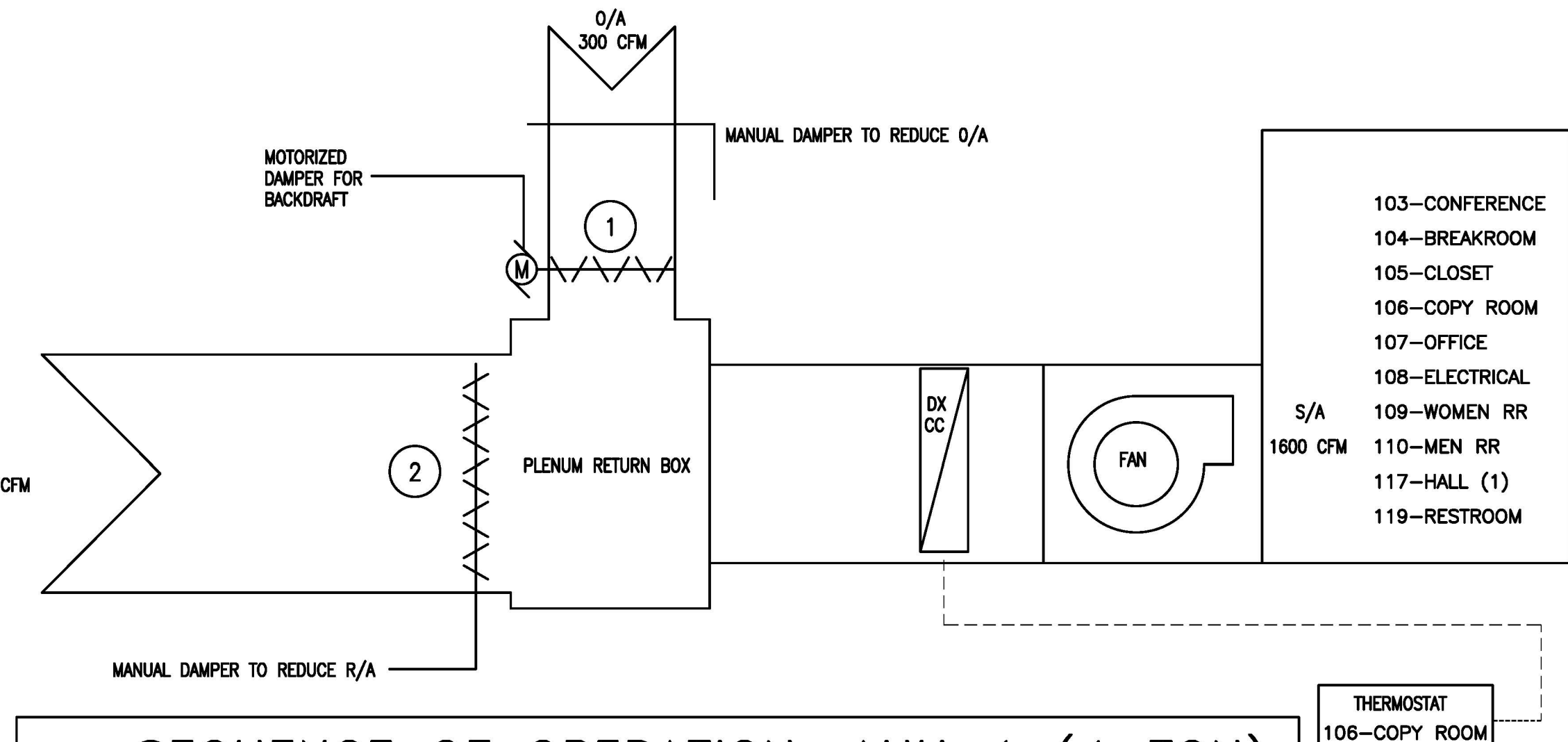
***NOTE: PROVIDE KYNAR FINISH. SUBMIT COLOR CHART TO OWNER FOR SELECTION.



SEQUENCE OF OPERATION: AHU-2 (2-TON)

TYPICAL OPERATION:
① MODULATE TO ALLOW 150 CFM OF OUTSIDE AIR
② FIXED AT 650 CFM OF RETURN AIR

UNOCCUPIED MODE:
① IN CLOSED POSITION.
② N/A



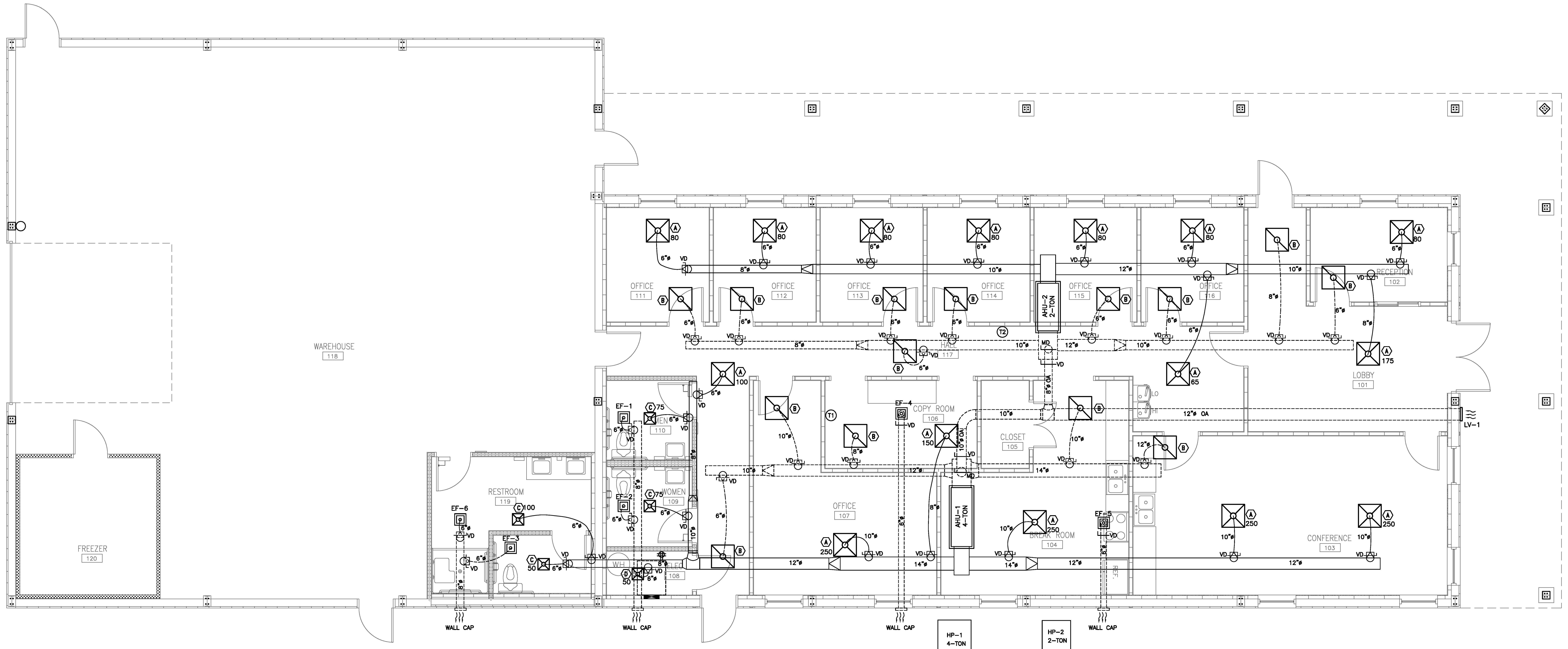
SEQUENCE OF OPERATION: AHU-1 (4-TON)

TYPICAL OPERATION:
① MODULATE TO ALLOW 300 CFM OF OUTSIDE AIR
② FIXED AT 1300 CFM OF RETURN AIR

UNOCCUPIED MODE:
① IN CLOSED POSITION.
② N/A

Drawing File: H:\2025\Jackson_Barronidinium_PID_2025-08-05\DWG\Jackson_Building-2025-12-08-w/11...
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Drawing File: H:\2025\Jackson Barrondinium PID 2025-08-05\DWG\Jackson Building-2025-12-08-WP1 3D.dwg
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 SCALE: 2" = 1'-0"
 SCALE: 3" = 1'-0"
 SCALE: 4" = 1'-0"
 SCALE: 6" = 1'-0"
 SCALE: 8" = 1'-0"
 SCALE: 12" = 1'-0"



1 MECHANICAL PLAN
 M3.1 W/O CEILING
 SCALE: 1/4" = 1'-0"



DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT #: 2025-08-05
 DATE: 8 DEC 2025

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION

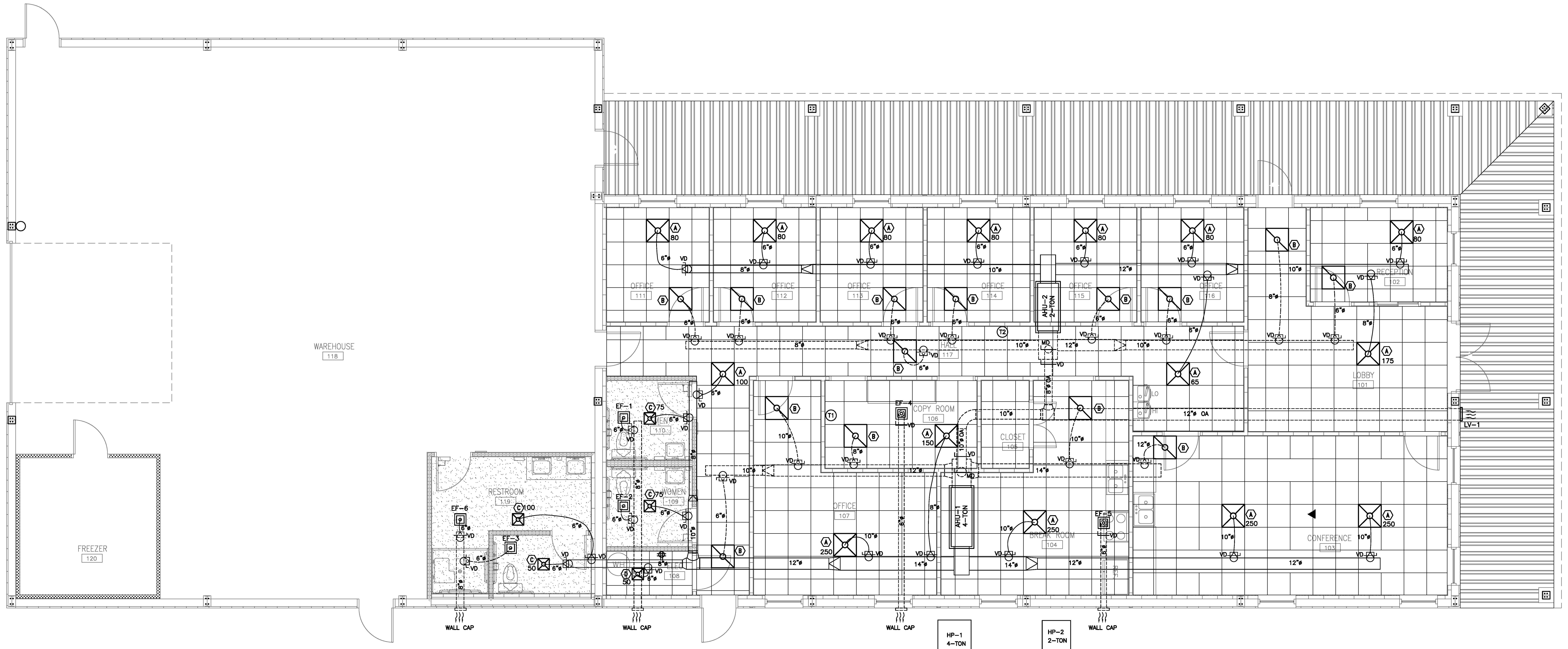
OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 DATE BY: TOMMY MCCOY

NO.	REVISION	DATE	BY

PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28539
 SHEET: MECHANICAL PLAN W/O CEILING

M3.1

Drawing File: H:\2025\Jackson Barronidium P10 2025-08-05\DWG\Jackson Building-2025-12-08-wr11.dwg
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1 MECHANICAL PLAN
 M3.2 W/CEILING
 SCALE: 1/4" = 1'-0"



8 DEC 2025

DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT #: 2025-08-05
 DATE: 8 DEC 2025

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION
 OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 TONY MCLEOD

NO.	DATE	DESCRIPTION

PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28539
 SHEET: MECHANICAL PLAN W/CEILING

M3.2

Drawing File: H:\2025\Jenkins Barronidium PID 2025-08-05\DWG\Jackson Building-2025-12-08-wrt.rvt
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APPENDIX B ELECTRICAL DESIGN 2018 BUILDING CODE SUMMARY

PROJECT NAME: **JACKSON OFFICE BUILDING**

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT
 METHOD OF COMPLIANCE: X PRESCRIPTIVE PERFORMANCE
 ENERGY CODE: ASHRAE 90.1 PRESCRIPTIVE PERFORMANCE

LIGHTING SCHEDULE (EACH FIXTURE TYPE)

LAMP TYPE REQUIRED IN FIXTURE LED
 NUMBER OF LAMPS IN FIXTURE (SEE FIXTURE SCHEDULE)
 BALLAST TYPE USED IN THE FIXTURE ELECTRONIC
 NUMBER OF BALLASTS IN FIXTURE 1
 TOTAL WATTAGE PER FIXTURE (SEE FIXTURE SCHEDULE)
 TOTAL INTERIOR WATTAGE SPECIFIED VERSUS ALLOWED (WHOLE BUILDING) **4390 ALLOWED - 2450 SPECIFIED**
 TOTAL EXTERIOR WATTAGE SPECIFIED VERSUS ALLOWED **N/A**

SECTION C406 ADDITIONAL EFFICIENCY PACKAGE OPTIONS

C406.1 BUILDINGS SHALL HAVE AT LEAST ONE OF THE FOLLOWING PRESCRIPTIVE COMPLIANCE (REQUIRED FOR NEW BUILDINGS, OPTIONAL FOR EXISTING BUILDINGS)

- MORE EFFICIENT MECHANICAL EQUIPMENT PER C406.2
- REDUCED LIGHTING POWER DENSITY PER C406.3
- ENHANCED LIGHTING CONTROL SYSTEMS PER C406.4
- ON-SITE SUPPLY OF RENEWABLE ENERGY PER C406.5
- DEDICATED OUTDOOR AIR SYSTEM PER C406.6
- HIGHER EFFICIENCY SERVICE WATER HEATING PER C406.7

DESIGNER STATEMENT:
 TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE ELECTRICAL SYSTEM AND EQUIPMENT REQUIREMENTS OF THE 2018 NC ENERGY CONSERVATION CODE.

SIGNED: *Buddy Jenkins*
 NAME: BUDDY JENKINS
 TITLE: PROFESSIONAL ENGINEER

PANEL "A"

PHASE 3 WIRE 4 VOLTS 120/208 MAIN 400 MLO
 TYPE NEMA 1 MOUNTING SURFACE ENCLOSURE TYPE 1
 SHORT CKT. RATING 22,000 RMS SYM.
 GROUND TERMINAL BAR NEUTRAL TERMINAL BAR

PHASE	LOADING			DESCRIPTION	CKT. NO.	CKT. TYPE	LOADING					
	A	B	C				A	B	C			
1.26				CONFERENCE RECEPTACLES	R	20/1	1					
0.54				CONFERENCE GFCI RECEPTACLES	R	20/1	3					
	1.08			OFFICE 111-112 RECEPTACLES	R	20/1	5			0.85		
		1.08		OFFICE 113-114 RECEPTACLES	R	20/1	7					
			1.08	OFFICE 115-116 RECEPTACLES	R	20/1	9					
	0.54			RECEPTION RECEPTACLES	R	20/1	11			0.22		
		0.90		LOBBY/HALL GFCI RECEPTACLES	R	20/1	13			9.61		
			0.36	COPY ROOM/BREAK ROOM RECEPTS	R	20/1	15			9.61		
				BREAKROOM GFCI RECEPTACLES	R	20/1	17					
	0.90			OFFICE 107 RECEPTACLES	R	20/1	19			0.99		
		1.08		WAREHOUSE RECEPTACLES	R	20/1	21			0.99		
			0.54	EXTERIOR WP GFCI RECEPTACLES	R	20/1	23			2.28		
		0.36		REFRIGERATOR RECEPTACLES	R	20/1	25			2.28		
		1.00		GARAGE DOOR OPENER	N	20/1	27			3.33		
			3.00				29			3.33		
	3.00			WATER HEATER	-	35/3	31			3.73		
							33			3.73		
		2.60		AHU-2	H	25/2	35			2.16		
							37			2.16		
		1.35		HP-2	H	20/2	39			2.16		
							41			2.16		
9.74	8.95	9.47		SUB-TOTAL (KVA)						20.70	20.45	21.98
				C CONTINUOUS LOAD	E ESTIMATED LOAD	N NON-CONTINUOUS LOAD						
				H HVAC LOAD	K KITCHEN LOAD	R RECEPTACLE LOAD						
				TOTAL CONNECTED LOAD =			91.29	KVA	AMPS =	253	TOTAL OF 42 SPACES	

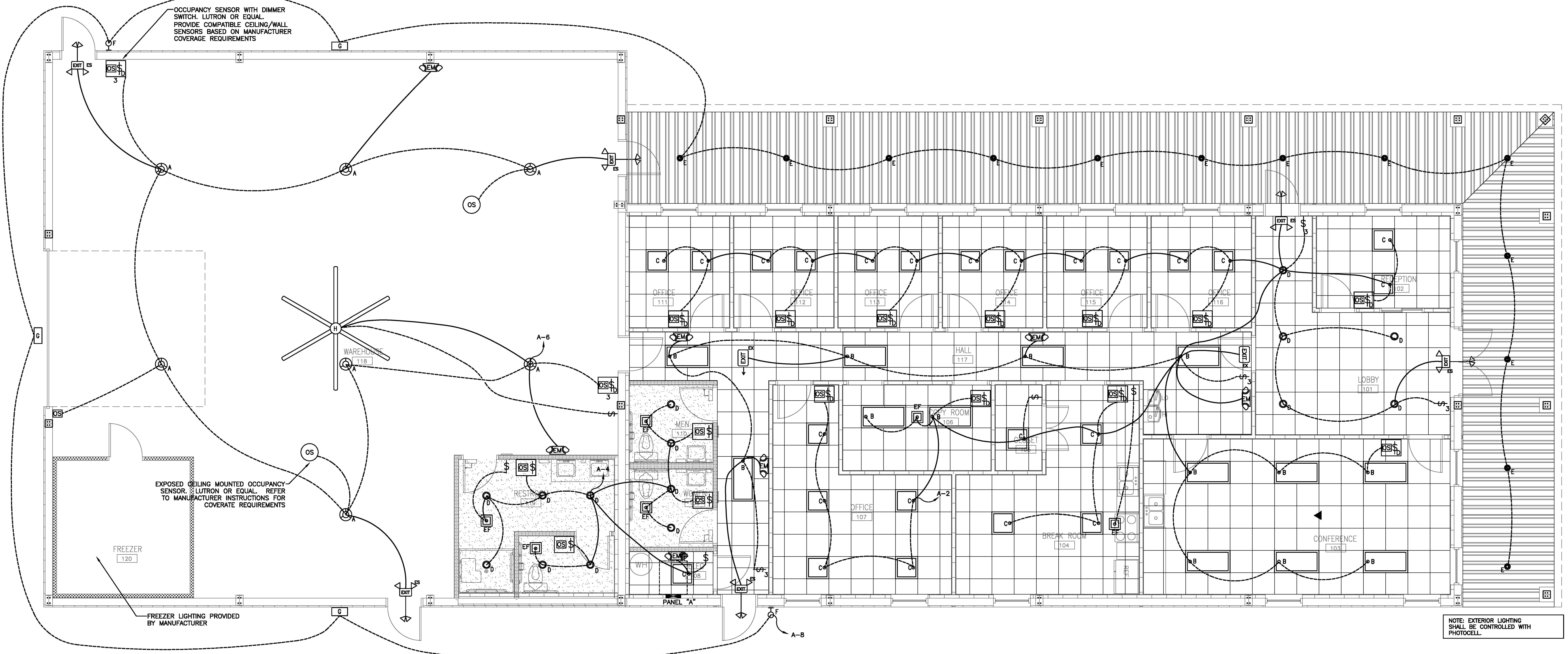
CONTRACTOR SHALL PROVIDE TYPE-WRITTEN PANEL SCHEDULE.
 HAND-WRITTEN PANEL SCHEDULE SHALL NOT BE ACCEPTED.

ITEM	CONNECTED LOAD (KVA)	ESTIMATED LOAD (KVA)
HVAC	32.11 @ 100% = 32.11	
LIGHTING	2.85 @ 125% = 3.56	
RECEPTACLES	10.62 ((11-10.00)*60)+10.00 = 10.37	
MISC. EQUIPMENT	45.71 @ 100% = 45.71	
TOTAL CONNECTED	91.29	253
ESTIMATED DEMAND	91.29	253

ELECTRICAL SYMBOL LEGEND

	SINGLE POLE POWER/LIGHTING HOME RUN
	DIMMER SWITCH
	SWITCH, RECEPTACLE
	OCCUPANCY SENSOR WITH MANUAL SWITCH
	OCCUPANCY SENSOR WITH DIMMER SWITCH SWITCH
	QUAD RECEPTACLE, GROUND FAULT CIRCUIT INTERRUPTER
	LAY-IN LIGHT FIXTURE
	OCCUPANCY SENSOR
	ILLUMINATED EXIT SIGN</

Drawing File: H:\2025\Jackson Barrondinium PID 2025-08-05\DWG\Jackson Building-2025-12-08-wr13.dwg
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 Scale: 1/8" = 1'-0" SCALE: 3/8" = 1'-0" SCALE: 1/4" = 1'-0" SCALE: 3/16" = 1'-0" SCALE: 1/2" = 1'-0" SCALE: 5/8" = 1'-0" SCALE: 1" = 1'-0" SCALE: 1-1/2" = 1'-0" SCALE: 2" = 1'-0" SCALE: 3" = 1'-0" SCALE: 4" = 1'-0" SCALE: 6" = 1'-0" SCALE: 12" = 1'-0"



1 ELECTRICAL PLAN-LIGHTING
E2



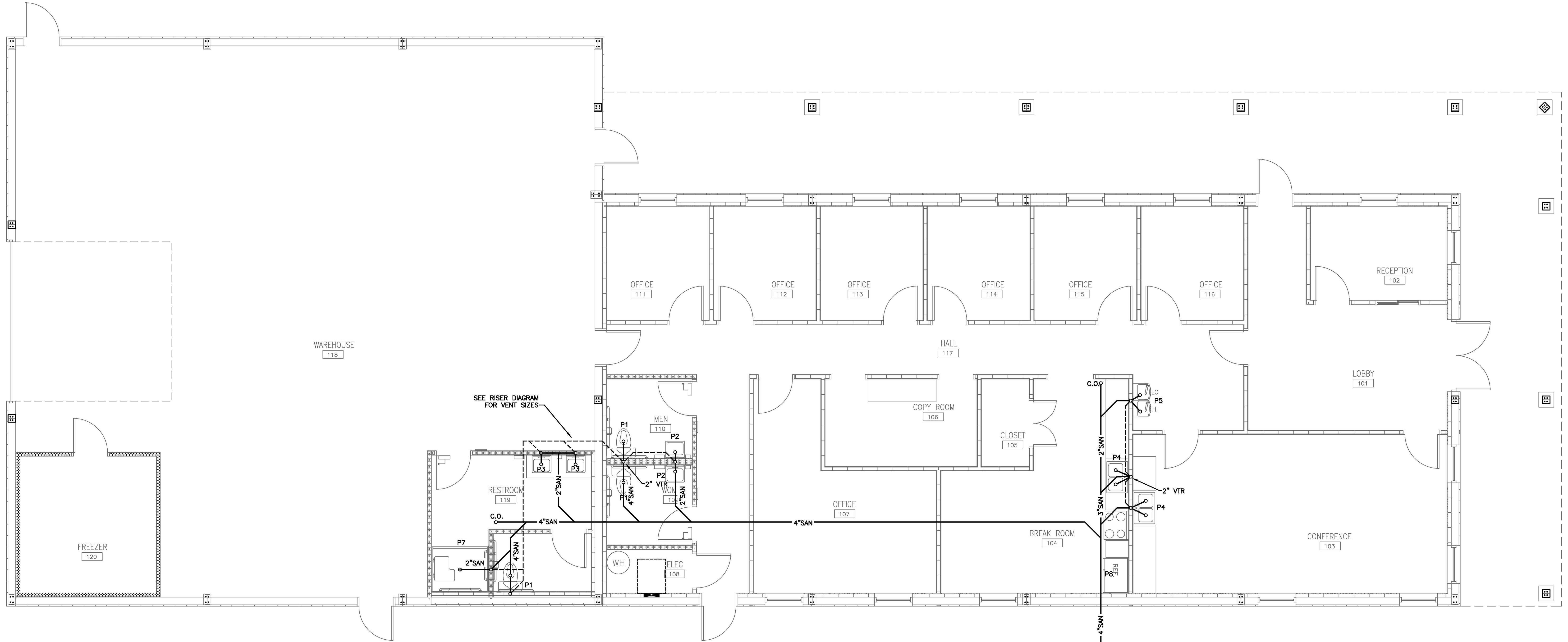
8 DEC 2025
 DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT # 2025-08-05
 DATE: 8 DEC 2025

FINAL DRAWING	FOR REVIEW PURPOSES ONLY
PRELIMINARY	FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING	FOR CONSTRUCTION
OWNER:	JACKSON FAMILY ENTERPRISES LLC
CONTRACTOR/BUILDER:	SIE GENERAL CONTRACTORS
DATE:	
BY:	TMW/MC/02
DATE:	
DESCRIPTION:	

PROJECT: **JACKSON OFFICE BUILDING**
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: **ELECTRICAL PLAN - LIGHTING**

E3

Drawing File: H:\2025\Jackson Barronidinium PID 2025-08-05\DWG\Jackson Building-2025-12-08-WP1.dwg
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1 PLUMBING PLAN—WASTE
 P2
 SCALE: 1/4" = 1'-0"



DESIGNED/CHECKED BY: KJD
 DRAWN BY: MJ
 PROJECT # 2025-08-05
 DATE: 8 DEC 2025

FINAL DRAWING FOR REVIEW PURPOSES ONLY
 PRELIMINARY FOR DESIGN DEVELOPMENT ONLY
 FINAL DRAWING FOR CONSTRUCTION

OWNER: JACKSON FAMILY ENTERPRISES LLC
 CONTRACTOR/BUILDER: STE GENERAL CONTRACTORS
 TOMMY MCCOY

NO.	REVISION	DATE	BY

PROJECT: JACKSON OFFICE BUILDING
 308 SAINT MATTHEWS ROAD ERWIN, NC 28339
 SHEET: PLUMBING PLAN—WASTE

P2

