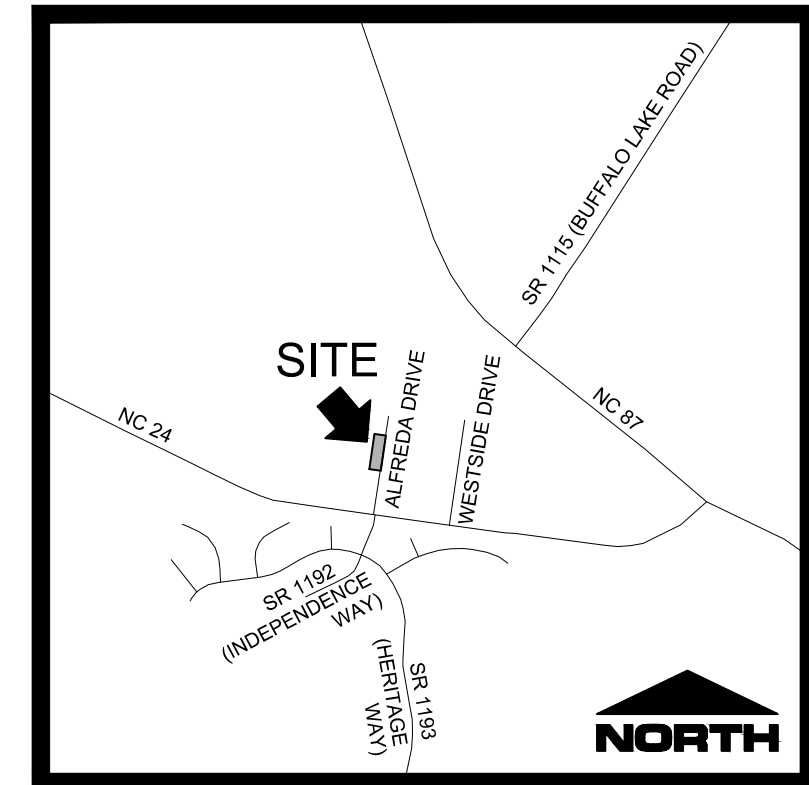


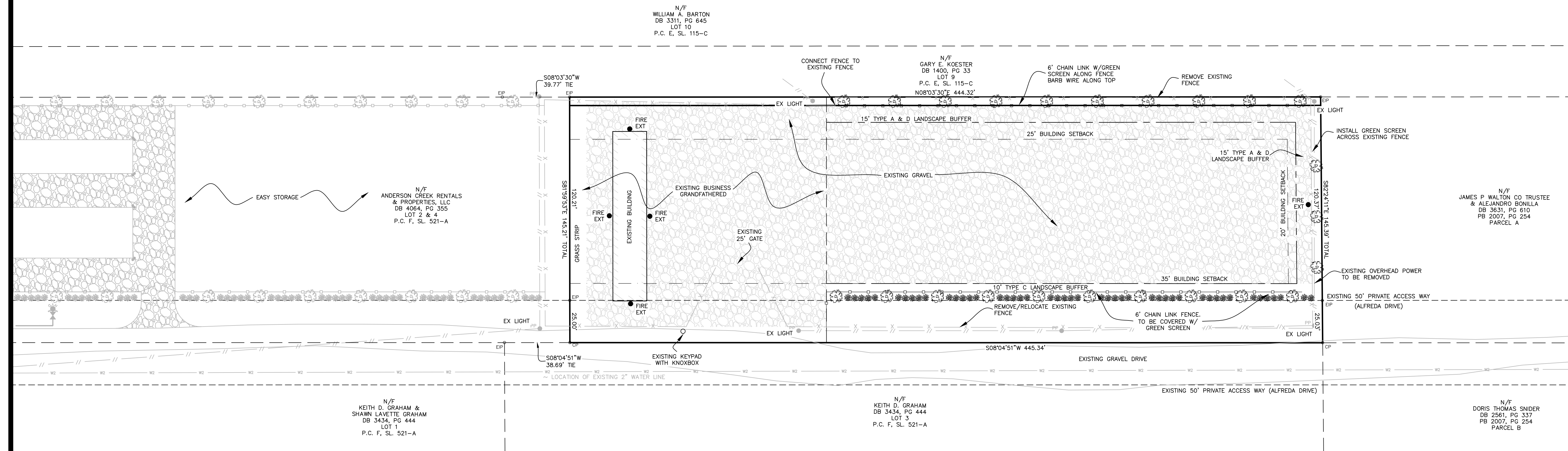


	QTY.	TYPE	PLANTING SIZE	MIN. HEIGHT	SCIENTIFIC NAME
	23	UNDERSTORY TREES			
		CREPE MYRTLE	1.5" CALIPER	8'	LAGERSTROEMIA
	47	SHRUBS			
		JAPANESE HOLLY	3 GAL.	18"	ILEX CRENATA

LANDSCAPING NOTES:

- HEIGHT AND SPREAD OF TREE SPECIMEN SHALL MEET REQUIREMENTS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK.
- SITE LIGHTING PLANS REQUIRE LIGHTS TO BE A MIN. OF 15 FEET FROM TREES. ANY ADJUSTMENTS IN THE FIELD NEED TO COMPLY WITH THIS STANDARD AND BE APPROVED BY COUNTY STAFF.
- EACH TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE ROOT FLARE WITH MULCH.
- DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK. KEEP MULCH A MIN. OF 4" AWAY FROM THE TRUNK BASE.
- ANY CHANGES TO THE PROPOSED PLANT SCHEDULE MUST BE APPROVED BY THE DESIGNER OF RECORD AND THE COUNTY. IN CASES WHERE THE PLANT SCHEDULE ONLY INCLUDES THE PLANT TYPE AND DOES NOT INCLUDE THE PLANT SPECIES, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT TO THE COUNTY FOR APPROVAL, A DETAILED PLANT SCHEDULE AND ASSOCIATED PLANTING PLAN PREPARED BY A PROFESSIONAL KNOWLEDGEABLE ABOUT PLANT MATERIAL AND DESIGN, PRIOR TO PROCEEDING WITH INSTALLATION.

*THIS LANDSCAPING PLAN IS THE MINIMUM REQUIRED TO MEET WITH HARNETT COUNTY ZONING ORDINANCE. THE OWNER OR DEVELOPER IS ENCOURAGED TO CONSULT WITH A LANDSCAPE ARCHITECT IN ORDER TO DEVELOP A PLAN THAT IS MORE IN DEPTH THAN THE MINIMUM REQUIREMENTS. THIS PLAN IS FOR PERMITTING PURPOSES ONLY.



- LEGEND:
- EP-EXISTING IRON PIPE
 - COMPUTED POINT
 - N/F - NOW OR FORMERLY
 - R/W - RIGHT OF WAY
 - PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - RIGHT-OF-WAY
 - SETBACK LINE
 - WATER LINE
 - OVERHEAD UTILITY
 - PERMANENT EASEMENT
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - × 208.47' SPOT ELEVATION
 - ☆ LIGHT POLE
 - PP- UTILITY POLE

SITE NOTES

- EXISTING UNDERGROUND UTILITIES ARE SHOWN ONLY WHERE EVIDENCE COULD BE FOUND TO VERIFY LOCATION. PRIOR TO CONSTRUCTION OR EXCAVATION OF THE SITE, THE GENERAL CONTRACTOR SHALL VERIFY ALL UTILITY COMPANIES TO VERIFY THE LOCATION OF THEIR RESPECTIVE UTILITIES. ALL DAMAGE INCURRED TO EXISTING UTILITIES DURING CONSTRUCTION SHALL BE REPAIRED AT THE GENERAL CONTRACTOR'S EXPENSE.
- ASPHALT AND BASE TYPE SHALL BE PER THE DETAILS. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- LAND USE CLASS PLAN IS COMPACT MIXED USE.
- THIS DEVELOPMENT IS WITHIN THE FIVE MILE MILITARY CORRIDOR OVERLAY ZONE AND MAY BE SUBJECT TO MILITARY TRAINING ACTIVITIES.
- THIS DEVELOPMENT IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
- THE OWNER IS RESPONSIBLE FOR MAINTAINING ALL PARKING AREAS, DRIVE AISLES AND BUFFERS.
- ALL WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
- ALL SITE IMPROVEMENTS SHALL BE INSTALLED PER HARNETT COUNTY AND STATE REGULATIONS.

SITE DATA

OWNER	ANDERSON CREEK RENTALS & PROPERTIES
MAILING ADDRESS	37 JDE STREET
CITY, STATE	SPRING LAKE, NORTH CAROLINA 28390
PIN NUMBER	9575-73-6737.000
TOTAL SITE AREA	64,634 SF (1.48 AC)
AREA TO BE DEVELOPED	43,102 SF (0.99 AC)
CURRENT ZONING	COMM
EXISTING USE	COMMERCIAL STORAGE
PROPOSED USE	COMMERCIAL STORAGE
PROPOSED BUILDINGS	1
DISTURBED/DENUDE AREA	XX.XX ACRES
IMPERVIOUS AREA	0 SF (0 AC)
SETBACKS REQUIRED:	COMM
FRONT	35 FT
SIDE	0 FT, 20 FT RESIDENTIAL
REAR	25 FT

UDO STORAGE REQUIREMENTS

- MAXIMUM BUILDING HEIGHT OF 20 FEET.
- A SECURED FENCE OF AT LEAST SIX (6) FEET IN HEIGHT SHALL SURROUND THE PERIMETER OF THE STORAGE FACILITY.
- ADEQUATE LIGHTING SHALL BE PROVIDED TO ILLUMINATE THE STORAGE FACILITY. THE MINIMUM SIZE STREETLIGHT SHALL BE A 175 WATT MERCURY-VAPOR (APPROXIMATELY 7,000 LUMEN CLASS) OR ITS EQUIVALENT, SPACED AT INTERVALS OF NOT MORE THAN 300 FEET.
- NO OUTSIDE STORAGE SHALL BE PERMITTED EXCEPT AS PROVIDED BELOW.
 - OUTDOOR STORAGE OF BOATS, VEHICLES (INCLUDING MOTORCYCLES), RECREATIONAL VEHICLES, CAMPER, EQUIPMENT, MATERIALS, ETC IN DESIGNATED SPACES SHALL MEET THE FOLLOWING REQUIREMENTS:
 - IF OUTDOOR STORAGE SPACE IS PROPOSED THE AREA SHALL BE DESIGNATED AS OUTDOOR STORAGE ON THE REQUIRED SITE PLAN.
 - EXISTING FACILITIES EXPANDING TO INCLUDE OUTDOOR STORAGE SHALL SUBMIT A REVISED SITE PLAN SHOWING SUCH, IN ACCORDANCE WITH THE PROVISIONS OF THIS ORDINANCE.
 - AREA DESIGNATED FOR OUTDOOR STORAGE SHALL NOT BE VISIBLE FROM ADJACENT RIGHT(S)-OF-WAY AND SHALL INSTALL A TYPE D BUFFER ALONG THE EXTERIOR OF THE PERIMETER FENCING.
 - IF ASSOCIATED WITH A MINI-STORAGE FACILITY THAT WILL HAVE ENCLOSED STORAGE BUILDINGS, OUTDOOR STORAGE SPACE(S) SHALL BE LOCATED AT THE REAR OR SIDE OF THE SITE.

REVISIONS

PROGRESS DRAWINGS
DO NOT USE FOR CONSTRUCTION

PROJECT NAME

EASY
STORAGE
PH II RV

SITE PLAN

CLIENT

MIKE EVANS
DESIGN/BUILD

912 Cedar Creek Road
Fayetteville, North Carolina 28312
Phone: (910) 486-5120

PROJECT INFORMATION

DESIGNED BY:	BRETT
DRAWN BY:	BRETT
CHECKED BY:	SCOTT
PROJECT NUMBER:	1980

DRAWING SCALE

HORIZONTAL: 1"=30'

DATE RELEASED

DECEMBER 18, 2024

SHEET NUMBER

C-2.0

