

CENTIMARK®

Innovative Roofing and Flooring Solutions

Pre-Job Form

Customer Information

Customer Name: FOOD LION
 Address: DISTRIBUTION CENTER
 2940 ARROWHEAD RD
 City/State/Zip: DUNN, NC 28334
 Contact Name: Justin Turner
 Phone: 910-892-9137

Location Information

Location Name: FOOD LION
 Address: DISTRIBUTION CENTER
 2940 ARROWHEAD RD
 City/State/Zip: DUNN, NC 28334
 Contact Name: Justin Turner
 Phone: 910-892-9137

Job Information

Order Date: 08/13/2025
 Job #: 2600133174
 AQ #: 1519656
 AP #: 418327
 System Type: THERMOPLASTIC
 Salesperson: JUSTIN SCHMIDT
 Pre-job Date: 9-19-2025
 Job Start Date: ?

Section: include

Just: Truck shop uppr
 14818 sq ft

Checklist Item	Response	Comments/Notes
Set-Up		
All appropriate contact names and both cell/home phone numbers. Ensure customer has your cell and office numbers.	List	
Identify building use. Review with customer interior content requiring protection.	Yes No	
Scope of work has been reviewed with the customer. List concerns.	Y/N - List	
Customer/tenants notified of start date, work flow and work day/hours. List any customer concerns.	Y/N - List	
Identify security requirements:	List	
When is the downpayment to be collected?	List	Net 45
Does the sales agreement/SAP match the customer proposal - dates, scope, terms, contract amount, warranty, etc.? If not, list	Yes No	
* Building permit required? List responsible party and any CentiMark costs.	CMARK or OWNER	
Parking lots: Project usage and weight sensitive areas.	List	
Can crews use restrooms? If not where should portable facilities be located?	Y/N - List	
Identify pre-existing exterior or water damage.	Picture reqd	

Mark setup area, upload location, chute setup, dumpster location(s).	On drawing	
Mark starting points for each section.	On Drawing	
* Is crane rental required to upload and does estimate contain amount?	Yes No	
Indicate powerline hazards.	List	
AQ core matches pre-job core. Number of pre-job cores.	Y/N - List	
Materials correct for scope of work.	Yes No	
Needed material handling/removal equipment.	List	
* Determine roof material removal for excessive height.	List	
Fall protection/Safety work plan has been completed and attached.	Yes No	
Note any metal taken off of roof for salvage value.	List	
Field Of Roof		
Do the measurements and slope match the quote? If not, provide drawing.	Y/N - drawing	
* Bottom of the deck is visible and free of rust or deterioration.	Y/N - List	
* List areas of possible wet insulation:	List	
No standing water present (Warranty Impact - All Systems). Photograph standing water on existing roof.	List	
Penetration Details		
Perimeter installation detail and measurements match the quote.	Yes No	
* AQ unit count correct. Additional hours required?(Truck Shop Upper)	Y/N - List	
* List units to be permanently removed.(Truck Shop Upper)	List	
* Verify all units can be lifted with jack. List function of each unit:(Truck Shop Upper)	Y/N - List	
* Number of HVAC intake(s) to be covered to limit fume inhalation.(Truck Shop Upper)	List	
Number, size and height of vent(s), stack(s) and other penetrations match quote?	Y/N - List	
Verify flashing can be adhered to heat stack.	Yes No	
Misc.		

Does this job require zone, miles or meals reimbursement?	Y/N - List	
Identify units or sections that need shut down.	List	
List cost or hour adjustments necessary in SAP and the reason why.	List	
Completion rate per day.	List	
Location of CentiMark banner.	List	

Cost Adjustments

Area		Operational Adjustments	Adjustment Reason
Labor Dollars	\$26,500.00		
Material Dollars	\$35,848.00		
Other Costs	\$16,672.00		
Labor Hours	530.0		

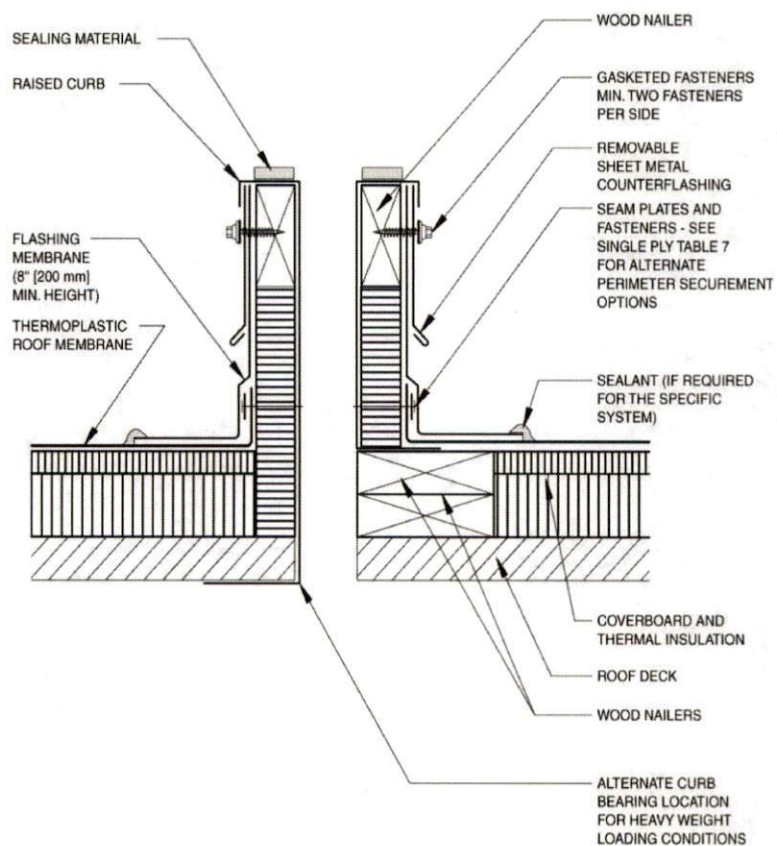
Additional Information

Item	Description
Air Miles	The applicable distance for meals and miles calculation could not be determined.

Customer Needs

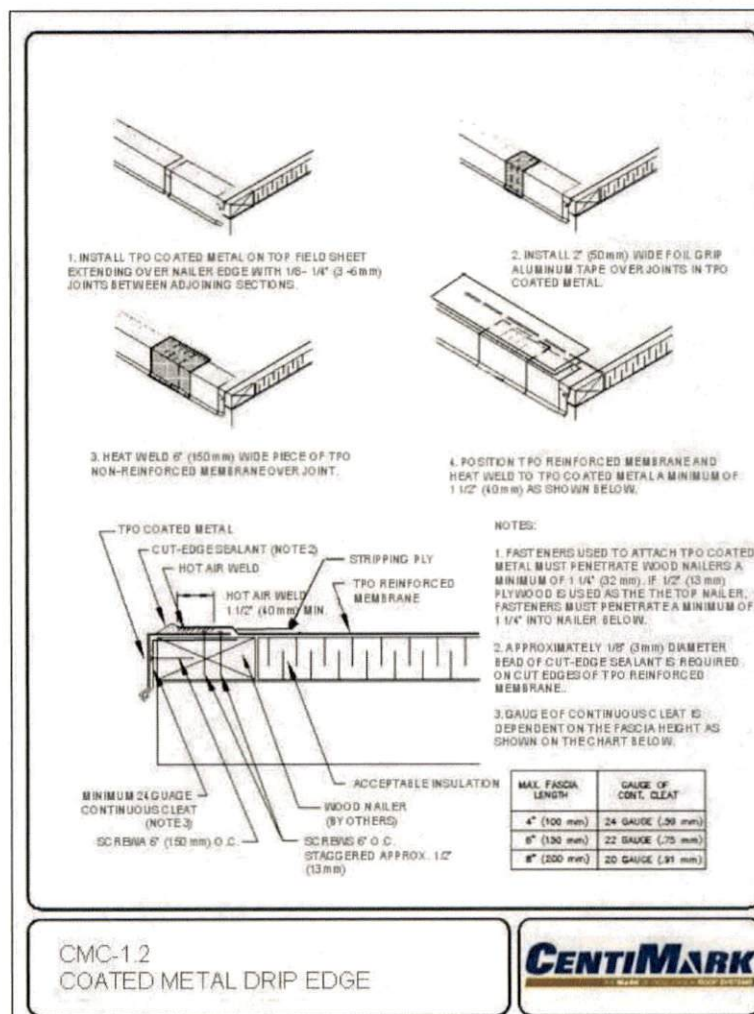
Billing
Svc payment terms: Within 30 days Due net Additional Comments: Net 30
Bill to type: Single Bill To
SAP Bill To: 338626
Customer Billing Instructions: INVOICE THROUGH SERVICE CHANNEL
PO Required: YES Additional Comments: SERVICE CHANNEL
PO Source: PORTAL TICKET Additional Comments: WORK ORDERS COME FROM SERVICE CHANNEL
PO Displayed on Invoice: YES
Display Discount on Invoice: NO
Display Customer Property ID on Invoice: YES
Require Tenant name on invoice: NO
Display Materials on invoice: YES
Estimating & Pre-sales
Contract with Legal: NO
Include Sales Agreement in Proposal: YES
Specification
Membrane color: WHITE

Construction Pictures



RAISED CURB DETAIL FOR ROOFTOP AIR HANDLING UNITS AND DUCTS (PREFABRICATED METAL CURB)

Construction Pictures



◀◀◀ Construction Specification ▶▶▶

Specifications For CentiMark TPO Mechanically Fastened System

Sections included: Truck Shop Upper, Office Lower, Office Upper, Truck Shop Lower, Truck Shop Overhang

Project Preparation:

Perform a pre-job meeting to determine jobsite logistics and safety requirements.

Furnish proposed construction schedule, if needed.

Furnish and install proper safety equipment in accordance with Centimark's written safety program.

Safety Related

Furnish and install warning lines to identified areas associated with ground related roofing activities.

Store roofing materials in accordance with good roofing practices. Material placement will be to distribute weight loads throughout the entire roof area.

Surface Preparation:

Core cuts will be performed to identify potential areas of wet insulation.

Remove and dispose of existing roof down to a suitable substrate.

Removal of existing roof will be limited to an amount that can be replaced the same day.

Inspect existing structural deck for deterioration.

Remove areas identified as wet down to the structural deck and fill void with rigid insulation to level at a cost of \$5.50 per square foot. In the area of removal, the deck will be inspected and if it is not capable of providing a acceptable substrate for the installation of the new roof it will be replaced at a unit cost of \$15.50 per square foot. Areas of removal will be approved by an Owner's representative.

Remove existing sheet metal copings and dispose of debris.

Gutter and downspouts will be removed and disposed of in the area where the storm damage occurred.

System Application:

Furnish and install CentiMark 60 mil reinforced, TPO roof membrane.

Position the TPO membrane over the prepared substrate and allow the membrane sufficient time to "relax" prior to installation.

Install the new TPO membrane over the prepared surface by utilizing mechanical fasteners on 10 foot centers.

Mechanical attachment of the membrane shall be done utilizing a 1" wide polymer batten bar or 2 3/8" round seam plates and FM Global (FM) approved fasteners. Maximum spacing 6" on center.

The thermoplastic membrane seams will be overlapped a minimum of 5", then hot air welded together. Weld width shall be a minimum of 1.5" in width for automatic machine welding. Weld width shall be 2" in width for hand welding. Upon completion of welding, each seam shall be probed to ensure proper securement.

HVAC, Curbed Penetrations and Other Air Handling Unit Details

Furnish and install at the base of the unit 2 3/8" round seam plates to the field membrane. Adhere a second piece of thermoplastic membrane to the curb with bonding adhesive and install prefabricated universal corners for reinforcement.

Pipes Less Than 6" In Diameter

Furnish and install new prefabricated thermoplastic pipe boot secured at the top with a stainless steel screw type clamp adhered to the field sheet.

Stacks Greater Than 6" In Diameter

Furnish and install a 60 mil, non-reinforced thermoplastic flashing, where applicable.

Miscellaneous Projections

Furnish and install thermoplastic flashings to the roof projections. Upon completion of welding, each seam shall be probed to ensure proper securement.

New pitch pan(s) and/or ChemCurb(s) shall be installed utilizing mechanical fasteners and/or adhesives and topped with sealant.

Transition at Gutter

Weld the TPO membrane to the coated metal edge. Weld to be verified with probe upon completion.

Sheet Metal Accessories:

Furnish and install new 24 gauge white thermoplastic coated metal gravel stop/drip edge with continuous cleat.

Furnish and install new Factory Mutual approved perimeter edging with continuous cleat. This metal edge system can be installed with wind rating approvals in excess of 200 mph. The color choice to be selected by owner from standard color chart.

Furnish and install new Gutters and downspouts where removed. The new gutters and downspouts will be 040 Aluminum 8"x4"; Gutters and 4"x4"; downspouts.

Standard Operating Procedures:

Employee Professionalism

All work shall be performed in a safe, professional manner in compliance with Centimark policy.

Core samples of suspect existing roof systems will be taken to an independent laboratory for the testing of asbestos content (ACRM). CentiMark can provide removal of ACRM for an additional investment.

Permits

CentiMark will supply the necessary permits for the project.

Nightly Tie-In's

Depending on new roof system being installed, temporary water cut-offs are to be constructed at the end of each working day to protect the newly installed roof system and building interior.

Clean Up

All work premises will be cleaned daily during the construction process and at the completion of the project.

Job Acceptance and Punch List

Conduct a post job walk through for final sign-off of our job completion form.

Warranty

Upon purchase of the roofing system, you become entitled to receive the benefits of single source responsibility through **CentiMark's** comprehensive written warranty. This warranty protects your roof against defects in materials or workmanship. If your roof leaks at any time during the warranty period, we will provide complete warranty service.

Quote Name	Section Name	Length
All Quotes.	All Sections.	20

Exclusions

CentiMark Corporation disclaims any and all responsibility for pre-existing conditions including, but not limited to: structural damage or deficiencies, clogged drains, mold growth, excessive standing water, removal of hazardous material or other hidden deficiencies such as; damaged or leaking skylights, HVAC units/conduits, electrical or gas lines. This proposal does not cover, and in no case shall CentiMark be liable for, the removal of, or damage to, HVAC units/conduits, gas lines, water lines, electric lines, or conduits, whether located above, below, or in the roof system, lightning protection systems, landscaping, communication cable, communication devices, or other devices, including recalibration of satellites. It is the building owner's financial obligation to provide corrective measures.

Please know that CentiMark Corporation is not an architect, engineering or design professional, and consequently assumes no responsibility for any such services. The proposed scope of work has been submitted upon your specific request. Unless otherwise noted specifically in the proposed scope of work, you acknowledge that the following options are not included in the contract price, including: safety accessories; increased insulation; or enhanced roof draining upgrades such as added drains, emergency overflow scuppers, sloped/tapered insulation or larger gutters and downspouts. Please let us know if you would like to review or include any of these options.

**Quote
for
FOOD LION DISTRIBUTION CENTER**

Location Information			
Name:	FOOD LION DISTRIBUTION CENTER		
Address 1:	2940 ARROWHEAD RD	Country:	US
Address 2:		Web Address:	
City / State / Zip:	DUNN, NC 28334		
Salesperson:	justschm		

Contact Information			
Name:	Justin Turner	Fax:	-
Title:	-	Cell:	9109901132
Phone:	910-892-9137	Pager:	-
Ext:	-	Email:	justin.turner@adusasc.com

Quote Information			
Quote ID:	1519656		
Quote Name:	Food Lion - MF TPO - 7/14/25		
Created By:	justschm	Created Date:	07/10/2025
Modified By:	admin	Modified Date:	08/13/2025
Status:	S		

Notations	
Null	

Sections Included		
Section	Type	Roof System
Office Lower	DO NOT USE-Thermo Fast. EXP11/	Thermo MF TPO Cent (Ver)
Office Upper	DO NOT USE-Thermo Fast. EXP11/	Thermo MF TPO Cent (Ver)
Truck Shop Lower	DO NOT USE-Thermo Fast. EXP11/	Thermo MF TPO Cent (Ver)
Truck Shop Overhang	DO NOT USE-Thermo Fast. EXP11/	Thermo MF TPO Cent (Ver)
Truck Shop Upper	DO NOT USE-Thermo Fast. EXP11/	Thermo MF TPO Cent (Ver)

Section: Office Lower



Legend

CF1 - Counterflashing 1 pc
DE - Drip Edge
GsDb - Gravel Stop/Drain Bar
TB - Termination Bar
WF - Wall Flashing

General Information for: Office Lower

SF Roof:	339	Roof Condition:	Poor
Inspected By:	justschm	Setup and Tear Down:	Single
Inspection Date:	07/10/2025	Slope (in 12):	Flat
Height (feet):	30 - 34 feet	Under Deck Lines:	Unknown
Age:	Unknown	Asbestos:	Unknown
Access Points:	50%	Ladder Required:	N
Leaks:	0	Ponding Water:	N
Setup Area:		Length between Laps:	100'
LF Perimeter:		Width between Seams:	10'
LF Units:		Inspection Sheet:	

Existing Core for: Office Lower

Thickness	Type	Material	Loose	SF to Remove
1.5	Deck	Metal Rpnl/Stnd Seam	N	0

Installation Core for: Office Lower

Thickness	Type	Material	SF to Install	Install Type	Install Material
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Projections and Notations for: Office Lower

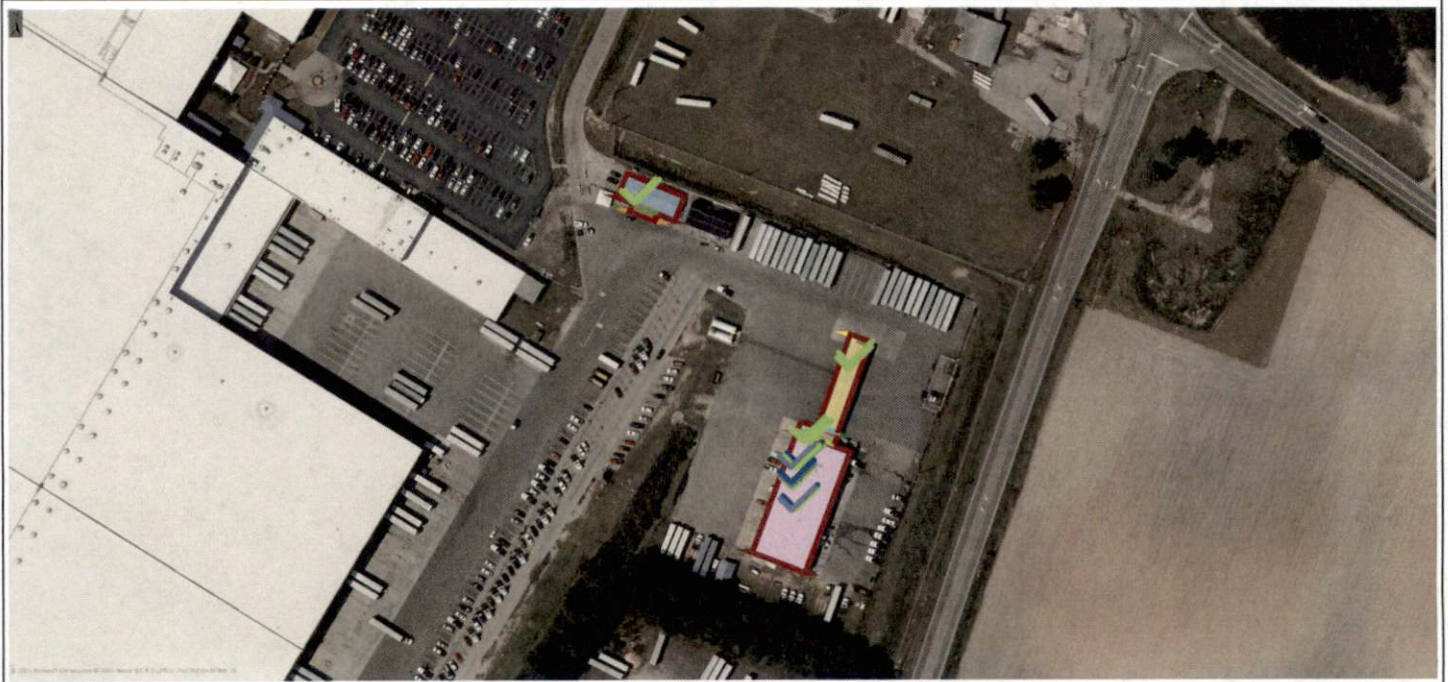
Units:								
# To Remove	TB	TO	WP	LR	#	Type	L	W

Stacks:			
# To Remove	#	Type	Diameter (feet)

Other Projections:				
#	Type	Reuse	Retro	New

Other Notations:								
447480Z1379908Retro Fit Option VAC Roof - MF into Concrete Deck .5" HD ISO - Assorted fasteners needed Core depth Varies from 4" to 6 3/4" - Adhere TPO 12 x sheetsTear Off OptionVAC RoofTear of to deck and Water tight with Primer & Vapor BarrierInstall Tapered Polyisocyanurate insulation 1/8" Slope 1" Start to 5.5" Max Thickness at penthouse - 8" max thick in Cricket areas at outside wallAdhered TPO 12 x sheetsAvg tear off is 5.5" of material plus approx 65 each 1 x 2 pavers per roof in dumpsters. Omg Calculator gave 5 sets for 167 sq applied taper system based on 12" beads we need to do 6" beads based on bldg heght & being all Considered all perimeter. 10 sets plus 3 sets for coverboard.Vapor Barrier install @ 10,000 per day Install system @ 1250 added together in install hrsTear rate is 30 sq ft per hourSTACKADMIN05-04-2023 13:44:11447490M1379908Omg Calculator gave 5 sets for 167 sq applied taper system based on 12" beads we need to do 6" beads based on bldg heght & being all Considered all perimeter. 10 sets plus 6 sets for coverboard.Vapor Barrier is 500 sq ft per roll Primer 1 gal cover per sq.patbend05-04-2023 13:51:17patbend05-04-2023 14:40:48447501H1379908Vapor Barrier install @ 10,000 per day Install system @ 1250 added together in install hrsTear rate is 30 sq ft per hourpatbend05-04-2023 13:59:29patbend05-04-2023 13:59:29447502E1379908Avg tear off is 5.5" of material plus approx 65 each 1 x 2 pavers per roof in dumpsters. patbend05-04-2023 14:00:16patbend05-04-2023 14:00:16								

Section: *Office Upper*



Legend

CF1 - Counterflashing 1 pc
DE - Drip Edge
GsDb - Gravel Stop/Drain Bar
TB - Termination Bar
WF - Wall Flashing

General Information for: Office Upper

SF Roof:	3254	Roof Condition:	Poor
Inspected By:	justschm	Setup and Tear Down:	Single
Inspection Date:	07/10/2025	Slope (in 12):	Flat
Height (feet):	30 - 34 feet	Under Deck Lines:	Unknown
Age:	Unknown	Asbestos:	Unknown
Access Points:	50%	Ladder Required:	N
Leaks:	0	Ponding Water:	N
Setup Area:		Length between Laps:	100'
LF Perimeter:		Width between Seams:	10'
LF Units:		Inspection Sheet:	

Existing Core for: Office Upper

Thickness	Type	Material	Loose	SF to Remove
1.5	Deck	Metal Rpnl/Stnd Seam	N	0

Installation Core for: Office Upper

Thickness	Type	Material	SF to Install	Install Type	Install Material
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Projections and Notations for: Office Upper**Units:**

# To Remove	TB	TO	WP	LR	#	Type	L	W
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Stacks:

# To Remove	#	Type	Diameter (feet)
	1	Pipe (Pre-Sml)	0

Other Projections:

#	Type	Reuse	Retro	New
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Other Notations:

Section: Truck Shop Lower



Legend

- CF1 - Counterflashing 1 pc
- DE - Drip Edge
- GsDb - Gravel Stop/Drain Bar
- TB - Termination Bar
- WF - Wall Flashing

General Information for: Truck Shop Lower

SF Roof:	845	Roof Condition:	Poor
Inspected By:	justschm	Setup and Tear Down:	Single
Inspection Date:	07/10/2025	Slope (in 12):	Flat
Height (feet):	30 - 34 feet	Under Deck Lines:	Unknown
Age:	Unknown	Asbestos:	Unknown
Access Points:	50%	Ladder Required:	N
Leaks:	0	Ponding Water:	N
Setup Area:		Length between Laps:	100'
LF Perimeter:		Width between Seams:	10'
LF Units:		Inspection Sheet:	

Existing Core for: Truck Shop Lower

Thickness	Type	Material	Loose	SF to Remove
0.05	Thermoplastic	Thermo Fastened	N	0
1.5	Insulation	ISO	N	0
1.5	Insulation	ISO	N	0
1.5	Deck	Metal Low Slope	N	0

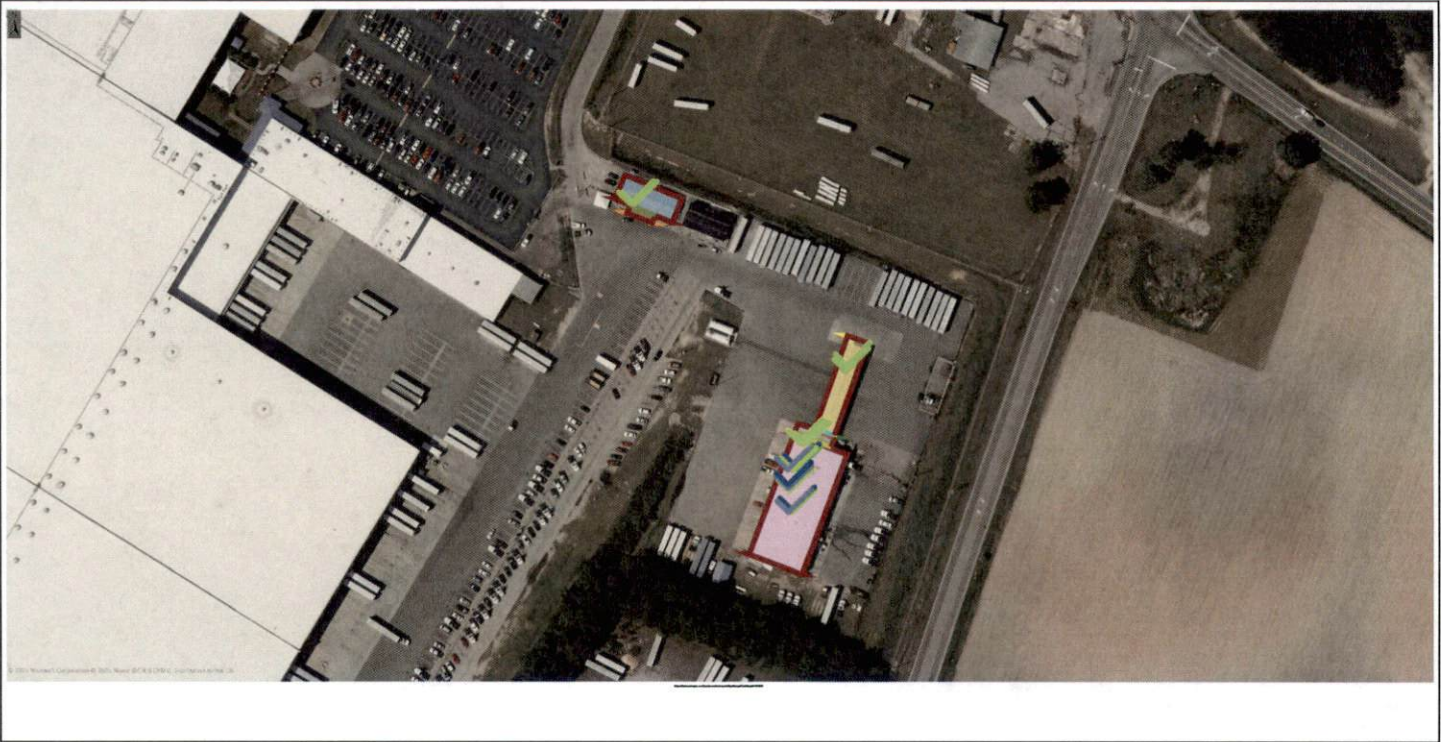
Installation Core for: Truck Shop Lower

Thickness	Type	Material	SF to Install	Install Type	Install Material
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Projections and Notations for: Truck Shop Lower

Units:								
# To Remove	TB	TO	WP	LR	#	Type	L	W
Stacks:								
# To Remove		#		Type		Diameter (feet)		
		1		Pipe (Pre-Sml)		0		
Other Projections:								
#		Type		Reuse		Retro		New
Other Notations:								

Section: *Truck Shop Overhang*



Legend
DE - Drip Edge
GsDb - Gravel Stop/Drain Bar

General Information for: Truck Shop Overhang

SF Roof:	4183	Roof Condition:	Poor
Inspected By:	justschm	Setup and Tear Down:	Single
Inspection Date:	07/10/2025	Slope (in 12):	Flat
Height (feet):	30 - 34 feet	Under Deck Lines:	Unknown
Age:	Unknown	Asbestos:	Unknown
Access Points:	50%	Ladder Required:	N
Leaks:	0	Ponding Water:	N
Setup Area:		Length between Laps:	100'
LF Perimeter:		Width between Seams:	10'
LF Units:		Inspection Sheet:	

Existing Core for: Truck Shop Overhang

Thickness	Type	Material	Loose	SF to Remove
1.5	Deck	Metal Rpnl/Stnd Seam	N	0

Installation Core for: Truck Shop Overhang

Thickness	Type	Material	SF to Install	Install Type	Install Material
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Projections and Notations for: Truck Shop Overhang

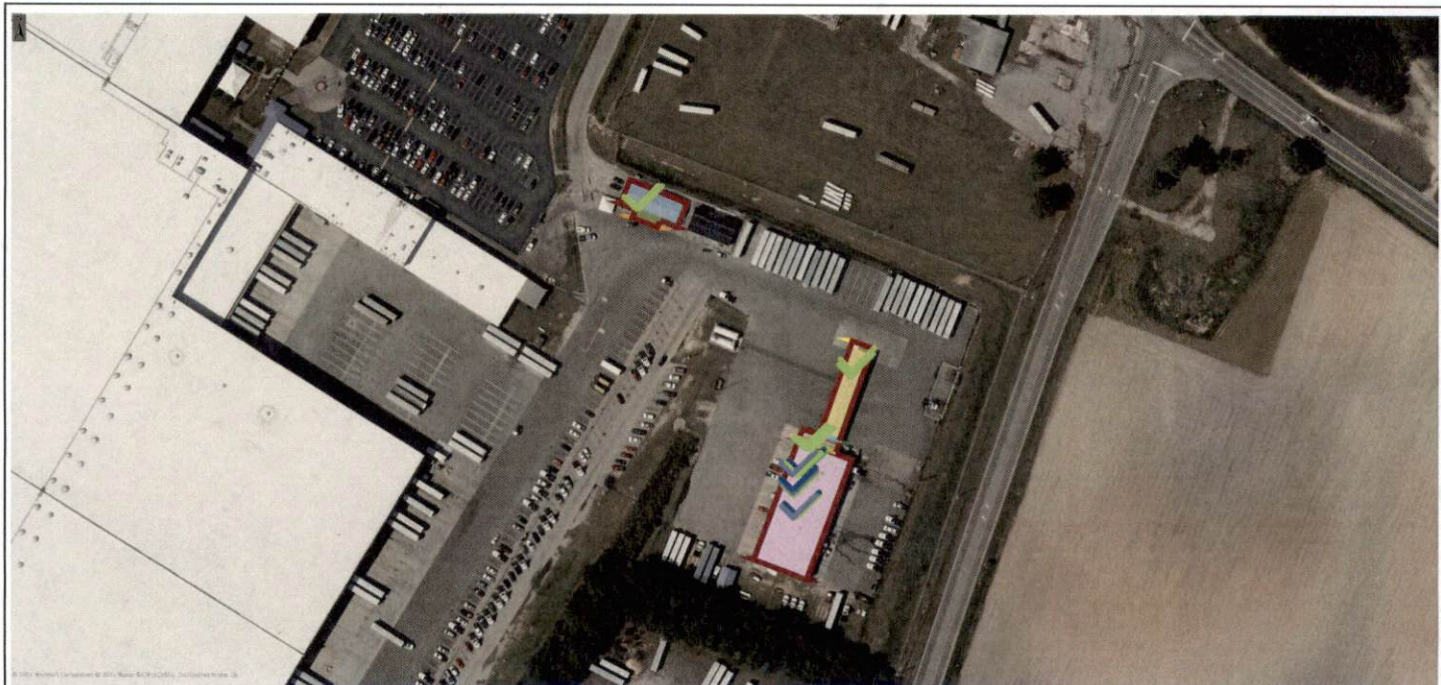
Units:								
# To Remove	TB	TO	WP	LR	#	Type	L	W

Stacks:			
# To Remove	#	Type	Diameter (feet)
	1	Pipe (Pre-Sml)	0

Other Projections:				
#	Type	Reuse	Retro	New

Other Notations:				
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Section: Truck Shop Upper



Legend

DE - Drip Edge

GsDb - Gravel Stop/Drain Bar

GutExtS - Gutter Ext Strapped

General Information for: Truck Shop Upper

SF Roof:	14818	Roof Condition:	Poor
Inspected By:	justschm	Setup and Tear Down:	Single
Inspection Date:	07/10/2025	Slope (in 12):	Flat
Height (feet):	30 - 34 feet	Under Deck Lines:	Unknown
Age:	Unknown	Asbestos:	Unknown
Access Points:	50%	Ladder Required:	N
Leaks:	0	Ponding Water:	N
Setup Area:		Length between Laps:	100'
LF Perimeter:		Width between Seams:	10'
LF Units:		Inspection Sheet:	

Existing Core for: Truck Shop Upper

Thickness	Type	Material	Loose	SF to Remove
0.05	Thermoplastic	Thermo Fastened	N	0
1.5	Insulation	ISO	N	0
1.5	Insulation	ISO	N	0
1.5	Deck	Metal Low Slope	N	0

Installation Core for: Truck Shop Upper

Thickness	Type	Material	SF to Install	Install Type	Install Material
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Projections and Notations for: Truck Shop Upper

Units:								
# To Remove	TB	TO	WP	LR	#	Type	L	W
	N	N	N	N	1	Curbs	0	0

Stacks:

# To Remove	#	Type	Diameter (feet)
	1	Pipe (Pre-Sml)	0
	4	Stacks (Flash)	0

Other Projections:

#	Type	Reuse	Retro	New
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Other Notations:

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Summary

Hours

Category Description	Units	Base Rate	Base Hours	Lay Rate	Hours	Cost	Cost / Sq. Ft.	Hours Var	Verify
Install	Ea/hr	1	315	1	198.0	\$9,900.00	\$0.42	-117	
P&D	Ea/hr	1	31	1	25.0	\$1,250.00	\$0.05	-6	
Perimeter	Ea/hr	1	155	1	68.0	\$3,400.00	\$0.15	-87	
Safety	Ea/hr	1	70	1	27.0	\$1,350.00	\$0.06	-43	
Setup/Tear-Down	Ea/hr	1	230	1	46.0	\$2,300.00	\$0.10	-184	
Tear-Off	Ea/hr	1	128		98.0	\$4,900.00	\$0.21	-30	
Warehouse/Super	Ea/hr	1	35		68.0	\$3,400.00	\$0.15	33	
Total: (Default labor rate is \$NaN)			964	\$50.00/hr	530.0	\$26,500.00	\$1.13	-\$434.00	

Expense

Expenses Description	Units	Quantity	Price	Cost	Cost / Sq. Ft.
Crane (Hours)	Hours	16	187.50	\$3,000.00	\$0.13
Fork Lift Rental	Days	1	2,200.00	\$2,200.00	\$0.09
Freight	Each	1	1,792.40	\$1,792.40	\$0.08
Fuel	Each	1	1,646.26	\$1,646.26	\$0.07
Permits	Each	1	1,000.00	\$1,000.00	\$0.04
Porta-John Rental	Weeks	1	165.00	\$165.00	\$0.01
Refuse (Regular)	Each	1	850.00	\$850.00	\$0.04
Reserve - Bad Debt	Each	1	658.50	\$658.50	\$0.03
Reserve - Marketing	Each	1	1,975.51	\$1,975.51	\$0.08
Small Tools	Each	1	1,317.01	\$1,317.01	\$0.06
Warranty (Default)	Each	1	987.76	\$987.76	\$0.04
Zone Hours	Hours	9	120.00	\$1,080.00	\$0.05
Total:				\$16,672.00	\$0.71

Price		
Cost Summary		Cost / Sq. Ft.
Total Square Feet:	14818 23,439	
Total Cost for Materials:	\$35,848.00	\$1.53
Total Cost for Labor Hours:	\$26,500.00	\$1.13
Total Cost for Expenses:	\$16,672.00	\$0.71
Total Cost:	\$79,020.00	\$3.37
Small Tools & Misc (%):	\$79,695.00	
Freight (% Job SF):	\$1,792.00	
Grand Total Costs:	\$79,020.00	\$3.37
Selling Price :	\$131,700.00	\$5.62
GP Margin:	40.00%	
Combined Rate:	139.40	

Benchmarks		
Billable Rate:		\$99.40
Crew Size:		6
Hours per Day:		10
Days to Complete:		9.0
Job Lay Rate:		3,615.00
Small Tools & Misc (%):		100%
Freight (% Job SF):		5%

Pre-Existing Conditions

Dear Customer:

Before beginning the contracted roofing work on your building, some pre-existing conditions need to be noted in advance.

- _____ Damaged or frail air conditioning or electrical lines
- _____ Damaged or frail air conditioning or other equipment on roof
- _____ Damaged or frail duct work on roof
- _____ Clogged drains, plumbing, gutters or downspouts
- _____ Damaged skylights, vent or projections
- _____ Damage to building (walls, windows, grounds)
- _____ Others

Although Centimark will be as cautious as possible, we cannot be held responsible for existing or potential damage that may occur during normal roofing procedures.

Thank you for this opportunity to help you with your roofing needs

_____ Customer Signature	_____ Date
_____ CentiMark's Signature	_____ Date

Color Choices

Date _____

I, _____, agree that the color from the Centimark color chart shall be:

<u>Color</u>	<u>Item</u>	<u>N/A</u>
<u>Bone white</u>	Metal Edge	_____
_____	Coping Metal	_____
<u>Bone white</u>	Gutter	_____
<u>Bone white</u>	Downspout	_____
_____	Conductors	_____
_____	Other	_____

Job: Food Lion

Job#: 2600 133174

Signature

◀◀◀ Drawing ▶▶▶

Area: Drawing

Caption: Site Map



Re-placing just
Damaging gutter and
down

Bore

16,000

Reskinning

Potential bore change order

Materials										
Material Description	Units	Base Quantity	Base Price	Quantity	Price	Cost	Cost / Sq. Ft.	Quantity Var	Price Var	Changed
100# ASPHALT LUG	SF	0.0	\$0.02	0.0	\$0.02	\$0.00	\$0.00	0.0	\$0.00	
BOX GUTTER	EA	365.84	\$13.94	372.0	\$13.94	\$5,185.68	\$0.35	0000000000	002	Yes
BOX GUTTER END CAP	EA	14.63	\$20.92	24.0	\$20.92	\$502.08	\$0.03	9.37	\$0.00	Yes
COUNTER FLASHING 3"	EA	131.96	\$2.86	0.0	\$2.86	\$0.00	\$0.00	-131.96	\$0.00	Yes
DOWNSPOUT	EA	307.31	\$9.91	312.0	\$9.91	\$3,091.92	\$0.23	9999999999	999	Yes
FORK-LIFT PROPANE 33# CYLINDER	EA	0.0	\$1.50	0.0	\$1.50	\$0.00	\$0.00	0.0	\$0.00	
GAF CUT EDGE SEALANT	LF	0.93	\$15.55	1.0	\$15.55	\$15.55	\$0.00	9999999999	999	Yes
GAF TPO BONDING ADHESIVE SOLVENT BASED	EA	9999999999	9999999999	5.0 10 Gal	\$26.00	\$130.00	\$0.00	0000000000	000	Yes
GAF TPO SEAM CLEANER	LF	7.03	\$21.28	4.0 ✓	\$21.28	\$85.12	\$0.00	0000000000	000	Yes
GAF TPO-60 - 10' X 100' WHITE	SF	9978.04	\$0.72	9750.0 10,000	\$0.72	\$7,020.00	\$0.45	4000000000	000	Yes
GAF TPO-60 - 12' X 100' WHITE	SF	1780.99	\$0.72	1000.0	\$0.72	\$720.00	\$0.09	-780.99	\$0.00	Yes
GAF TPO-60 - 6' X 100' WHITE	SF	16273.11	\$0.72	7500.0 ✓	\$0.72	\$5,400.00	\$0.23	1199999999	999	Yes
GAF WALKWAY ROLLS	EA	0.06	\$583.56	1.0 ✓	\$583.56	\$583.56	\$0.04	0.94	\$0.00	Yes
GAF WATER BLOCK MASTIC	LF	15.05	\$5.33	7.0	\$5.33	\$37.31	\$0.00	-8.05	\$0.00	Yes
GAF WHITE UN-55DETAILING MEMBRANE	EA	74.33	\$5.32	100.0 ✓	\$5.32	\$532.00	\$0.02	25.67	\$0.00	Yes
GAF WHITE UNIVERSAL CORNERS	EA	16.0	\$9.34	16.0 ✓	\$9.34	\$149.44	\$0.01	0.0	\$0.00	
GAF WHITE VENT BOOTS	EA	4.0	\$29.70	1.0 ✓	\$29.70	\$29.70	\$0.00	-3.0	\$0.00	Yes
GUTTER HANGERS	EA	146.34	\$3.50	156.0	\$3.50	\$546.00	\$0.65	9999999999	999	Yes
GUTTER SEALANT (TUBES)	EA	9.15	\$12.10	12.0	\$12.10	\$145.20	\$0.40	9999999999	999	Yes

GUTTER SLIP CONNECTOR	EA	9.15	\$7.96	12.0	\$7.96	\$95.52	\$0.04	9999999999999999	\$0.00	Yes
ME 4" GAF WHT TPO DRIP EDGE	EA	376.0	8.82	372.0	\$8.82	\$3,281.04	\$0.14	9999999999999999	\$0.00	Yes
ME 6.5" AR1 .040 ALUM KYNAR ALM	EA	344.11	\$8.12	168.0	\$8.12	\$1,364.16	\$0.06	-176.11	\$0.00	Yes
METAL DOWN SPOUT ELBOW	EA	14.63	\$26.65	24.0	\$26.65	\$639.60	\$0.04	9.37	\$0.00	Yes
Millennium Term Bar Butyl Tape 1/8" X 3/4" X 50'	EA	186.56	\$0.16	50.0	\$0.16	\$8.00	\$0.00	-136.56	\$0.00	Yes
OMG #14 HD, 1 1/4" FASTENER	LF	96.0	\$0.05	250.0	\$0.05	\$12.50	\$0.00	154.0	\$0.00	Yes
OMG #14 HD, 3" FASTENER	EA	1984.79	\$0.08	1000.0	\$0.08	\$80.00	\$0.00	-984.79	\$0.00	Yes
OMG #14 HD, 4" FASTENER	LF	1060.41	\$0.10	750.0	\$0.10	\$75.00	\$0.10	1000000000000000	\$0.00	Yes
OMG 2 3/8" STEEL #15 PVC-TPO PLATE	SF	12161.34	\$0.21	6500.0	\$0.21	\$1,365.00	\$0.06	-5661.34	\$0.00	Yes
OMG 4" #15 XHD FASTENER	SF	83.93	\$0.15	250.0 500	\$0.15	\$37.50	\$0.00	166.07	\$0.00	Yes
OMG 4" RETRO DRILLER FOR PURLIN ATTACHMEN	SF	5089.68	\$0.34	2750.0 3500	\$0.34	\$935.00	\$0.13	6800000000000000	\$0.00	Yes
OMG 5" #15 XHD FASTENER	SF	6987.73	\$0.20	6500.0 7000	\$0.20	\$1,300.00	\$0.08	2999999999999999	\$0.00	Yes
UNIVERSAL SEALANT (SAME AS NP-1)	EA	1828	0.00	0.00 20.0	\$12.10	\$60.50	\$0.00	0000000000000000	\$0.00	Yes
Vers Termination Bar 1.75" X 0.50 X 10 Aluminum	LF	179.96	\$1.51	50.0	\$1.51	\$75.50	\$0.00	-129.96	\$0.00	Yes
WOLMANIZED WOOD 1X4X8	EA	77	0.00	0.0	\$5.68	\$0.00	\$0.00	7000000000000000	\$0.00	Yes
WOLMANIZED WOOD 2X4X8	EA	56.78	\$6.98	0.0	\$6.98	\$0.00	\$0.00	-56.78	\$0.00	Yes
Material Sub Total:						\$33,502.88	\$1.43			
Tax on Materials: (Default is NaN)						@7.00% \$2,345.20				
Total Material Cost:						\$35,848.00	\$1.53			
Notations										

Materials										
Material Description	Units	Base Quantity	Base Price	Quantity	Price	Cost	Cost / Sq. Ft.	Quantity Var	Price Var	Verify
100# ASPHALT LUG	SF	0.0	\$0.02	0.0	\$0.02	\$0.00	\$0.00	0.0	\$0.00	
BOX GUTTER	EA	365.84	\$13.94	372.0	\$13.94	\$5,185.68	\$0.15	0.00000000	0.00	
BOX GUTTER END CAP	EA	14.63	\$20.92	24.0	\$20.92	\$502.08	\$0.03	9.37	\$0.00	
COUNTER-FLASHING 3"	EA	131.96	\$2.86	0.0	\$2.86	\$0.00	\$0.00	-131.96	\$0.00	
DOWNSPOUT	EA	307.31	\$9.91	312.0	\$9.91	\$3,091.92	\$0.23	0.00000000	0.00	
FORK-LIFT PROPANE 33# CYLINDER	EA	0.0	\$1.50	0.0	\$1.50	\$0.00	\$0.00	0.0	\$0.00	
GAF CUT EDGE SEALANT	LF	0.93	\$15.55	1.0	\$15.55	\$15.55	\$0.00	0.00000000	0.00	
GAF TPO BONDING ADHESIVE SOLVENT BASED	EA	3.92	\$26.00	5.0	\$26.00	\$130.00	\$0.00	0.00000000	0.00	
GAF TPO SEAM CLEANER	LF	7.03	\$21.28	4.0	\$21.28	\$85.12	\$0.00	0.00000000	0.00	
GAF TPO-60 - 10' X 100' WHITE	SF	9978.04	\$0.72	9750.0	\$0.72	\$7,020.00	\$0.45	0.00000000	0.00	
GAF TPO-60 - 12' X 100' WHITE	SF	1780.99	\$0.72	1000.0	\$0.72	\$720.00	\$0.09	-780.99	\$0.00	
GAF TPO-60 - 6' X 100' WHITE	SF	15273.11	\$0.72	7500.0	\$0.72	\$5,400.00	\$0.72	0.00000000	0.00	
GAF WALKWAY ROLLS	EA	0.06	\$583.56	1.0	\$583.56	\$583.56	\$0.04	0.94	\$0.00	
GAF WATER BLOCK MASTIC	LF	15.05	\$5.33	7.0	\$5.33	\$37.31	\$0.00	-8.05	\$0.00	
GAF WHITE UN-55DETAILING MEMBRANE	EA	74.33	\$5.32	100.0	\$5.32	\$532.00	\$0.02	25.67	\$0.00	
GAF WHITE UNIVERSAL CORNERS	EA	16.0	\$9.34	16.0	\$9.34	\$149.44	\$0.01	0.0	\$0.00	
GAF WHITE VENT BOOTS	EA	4.0	\$29.70	1.0	\$29.70	\$29.70	\$0.00	-3.0	\$0.00	
GUTTER HANGERS	EA	146.34	\$3.50	156.0	\$3.50	\$546.00	\$0.04	0.00000000	0.00	
GUTTER SEALANT (TUBES)	EA	9.15	\$12.10	12.0	\$12.10	\$145.20	\$0.04	0.00000000	0.00	

GUTTER SLIP CONNECTOR	EA	9.15	\$7.96	12.0	\$7.96	\$95.52	\$0.00	999999999999	\$0.00	
ME 4" GAF WHT TPO DRIP EDGE	EA	372.0	\$8.82	372.0	\$8.82	\$3,281.04	\$0.00	999999999999	\$0.00	
ME 6.5" AR 1 .040 ALUM KYNAR ALM	EA	344.11	\$8.12	168.0	\$8.12	\$1,364.16	\$0.06	-176.11	\$0.00	
METAL DOWN SPOUT ELBOW	EA	14.63	\$26.65	24.0	\$26.65	\$639.60	\$0.04	9.37	\$0.00	
Millennium Term Bar Butyl Tape 1/8" X 3/4" X 50'	EA	186.56	\$0.16	50.0	\$0.16	\$8.00	\$0.00	-136.56	\$0.00	
OMG #14 HD, 1 1/4" FASTENER	LF	96.0	\$0.05	250.0	\$0.05	\$12.50	\$0.00	154.0	\$0.00	
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OMG #14 HD, 4" FASTENER	LF	1060.41	\$0.10	750.0	\$0.10	\$75.00	\$0.00	100000000000	\$0.00	
OMG 2 3/8" STEEL #15 PVC-TPO PLATE	SF	12161.34	\$0.21	6500.0	\$0.21	\$1,365.00	\$0.06	-5661.34	\$0.00	
OMG 4" #15 XHD FASTENER	SF	83.93	\$0.15	250.0	\$0.15	\$37.50	\$0.00	166.07	\$0.00	
OMG 4" RETRO DRILLER FOR PURLIN ATTACHMEN	SF	5089.68	\$0.34	2750.0	\$0.34	\$935.00	\$0.00	680000000000	\$0.00	
OMG 5" #15 XHD FASTENER	SF	6987.73	\$0.20	6500.0	\$0.20	\$1,300.00	\$0.00	299999999999	\$0.00	
UNIVERSAL SEALANT (SAME AS NP-1)	EA	18280	\$0.00	5.0	\$12.10	\$60.50	\$0.00	000000000000	\$0.00	
Vers Termination Bar 1.75"X050X10 Aluminum	LF	179.96	\$1.51	50.0	\$1.51	\$75.50	\$0.00	-129.96	\$0.00	
WOLMANIZED WOOD 1X4X8	EA	770	\$5.68	0.0	\$5.68	\$0.00	\$0.00	770000000000	\$0.00	
WOLMANIZED WOOD 2X4X8	EA	56.78	\$6.98	0.0	\$6.98	\$0.00	\$0.00	-56.78	\$0.00	
Material Sub Total:						\$33,502.88	\$1.43			
Tax on Materials: (Default is NaN%)						@7.00% \$2,345.20				
Total Material Cost:						\$35,848.00	\$1.53			

◀◀◀ Safety Pictures ▶▶▶

Area: Safety



Existing Safety Condition

Safety Solution

Description

Flags & MSS - Edge MSS

Hazard

Exposed Edges - Fall Hazard

Impact

Centimark employee could fall off the edge resulting in serious injury or death.

Solution

Run a 3/8 inch cable, 7ft back from edge, to prevent employee, wearing a 6ft lanyard, from reaching the fall hazard but still allowing work to be done on the edge.



◀◀◀ Construction Specification ▶▶▶

FOOD LION DISTRIBUTION CENTER
2940 ARROWHEAD RD
DUNN, NC 28334

Specifications For CentiMark TPO Mechanically Fastened System

Sections included: Truck Shop Upper, Office Lower, Office Upper, Truck Shop Lower, Truck Shop Overhang

Project Preparation:

Perform a pre-job meeting to determine jobsite logistics and safety requirements.

Furnish proposed construction schedule, if needed.

Furnish and install proper safety equipment in accordance with Centimark's written safety program. 

Safety Related

Furnish and install warning lines to identified areas associated with ground related roofing activities.

Store roofing materials in accordance with good roofing practices. Material placement will be to distribute weight loads throughout the entire roof area. 

Surface Preparation:

Core cuts will be performed to identify potential areas of wet insulation. 

Remove and dispose of existing **roof down to a suitable substrate**.

Removal of existing roof will be limited to an amount that can be replaced the same day.

Inspect existing structural deck for deterioration.

Remove areas identified as wet down to the structural deck and fill void with rigid insulation to level at a cost of \$5.50 per square foot. In the area of removal, the deck will be inspected and if it is not capable of providing a acceptable substrate for the installation of the new roof it will be replaced at a unit cost of \$15.50 per square foot. Areas of removal will be approved by an Owner's representative.

Remove existing sheet metal copings and dispose of debris.

Gutter and downspouts will be removed and disposed of in the area where the storm damage occurred.

System Application:

Furnish and install **CentiMark** 60 mil reinforced, TPO roof membrane.

Position the TPO membrane over the prepared substrate and allow the membrane sufficient time to "relax" prior to installation.

Install the new TPO membrane over the prepared surface by utilizing mechanical fasteners on 10 foot centers. 

Mechanical attachment of the membrane shall be done utilizing a 1" wide polymer batten bar or 2 3/8" round seam plates and FM Global (FM) approved fasteners. Maximum spacing 6" on center. 

The thermoplastic membrane seams will be overlapped a minimum of 5", then hot air welded together. Weld width shall be a minimum of 1.5" in width for automatic machine welding. Weld width shall be 2" in width for hand welding. Upon completion of welding, each seam shall be probed to ensure proper securement.

HVAC, Curbed Penetrations and Other Air Handling Unit Details

Furnish and install at the base of the unit 2 3/8" round seam plates to the field membrane. Adhere a second piece of thermoplastic membrane to the curb with bonding adhesive and install prefabricated universal corners for reinforcement.

Pipes Less Than 6" In Diameter

Furnish and install new prefabricated thermoplastic pipe boot secured at the top with a stainless steel screw type clamp adhered to the field sheet.

Stacks Greater Than 6" In Diameter

Furnish and install a 60 mil, non-reinforced thermoplastic flashing, where applicable.

Miscellaneous Projections

Furnish and install thermoplastic flashings to the roof projections. Upon completion of welding, each seam shall be probed to ensure proper securement.

New pitch pan(s) and/or ChemCurb(s) shall be installed utilizing mechanical fasteners and/or adhesives and topped with sealant.

Transition at Gutter

Weld the TPO membrane to the coated metal edge. Weld to be verified with probe upon completion.

Sheet Metal Accessories:

Furnish and install new 24 gauge white thermoplastic coated metal gravel stop/drip edge with continuous cleat.

Furnish and install new Factory Mutual approved perimeter edging with continuous cleat. This metal edge system can be installed with wind rating approvals in excess of 200 mph. The color choice to be selected by owner from standard color chart.

Furnish and install new Gutters and downspouts where removed. The new gutters and downspouts will be 040 Aluminum 8" Gutters and 4"x5" downspouts.

Standard Operating Procedures:

Employee Professionalism

All work shall be performed in a safe, professional manner in compliance with Centimark policy.

Core samples of suspect existing roof systems will be taken to an independent laboratory for the testing of asbestos content (ACRM). **CentiMark** can provide removal of ACRM for an additional investment.

Permits

CentiMark will supply the necessary permits for the project.

Nightly Tie-In's

Depending on new roof system being installed, temporary water cut-offs are to be constructed at the end of each working day to protect the newly installed roof system and building interior.

Clean Up

All work premises will be cleaned daily during the construction process and at the completion of the project.

Job Acceptance and Punch List

Conduct a post job walk through for final sign-off of our job completion form.

Warranty

Upon purchase of the roofing system, you become entitled to receive the benefits of single source responsibility through **CentiMark's** comprehensive written warranty. This warranty protects your roof against defects in materials or workmanship. If your roof leaks at any time during the warranty period, we will provide complete warranty service.

Quote Name	Section Name	Length
All Quotes.	All Sections.	20

Exclusions

CentiMark Corporation disclaims any and all responsibility for pre-existing conditions including, but not limited to: structural damage or deficiencies, clogged drains, mold growth, excessive standing water, removal of hazardous material or other hidden deficiencies such as; damaged or leaking skylights, HVAC units/conduits, electrical or gas lines. This proposal does not cover, and in no case shall CentiMark be liable for, the removal of, or damage to, HVAC units/conduits, gas lines, water lines, electric lines, or conduits, whether located above, below, or in the roof system, lightning protection systems, landscaping, communication cable, communication devices, or other devices, including recalibration of satellites. It is the building owner's financial obligation to provide corrective measures.

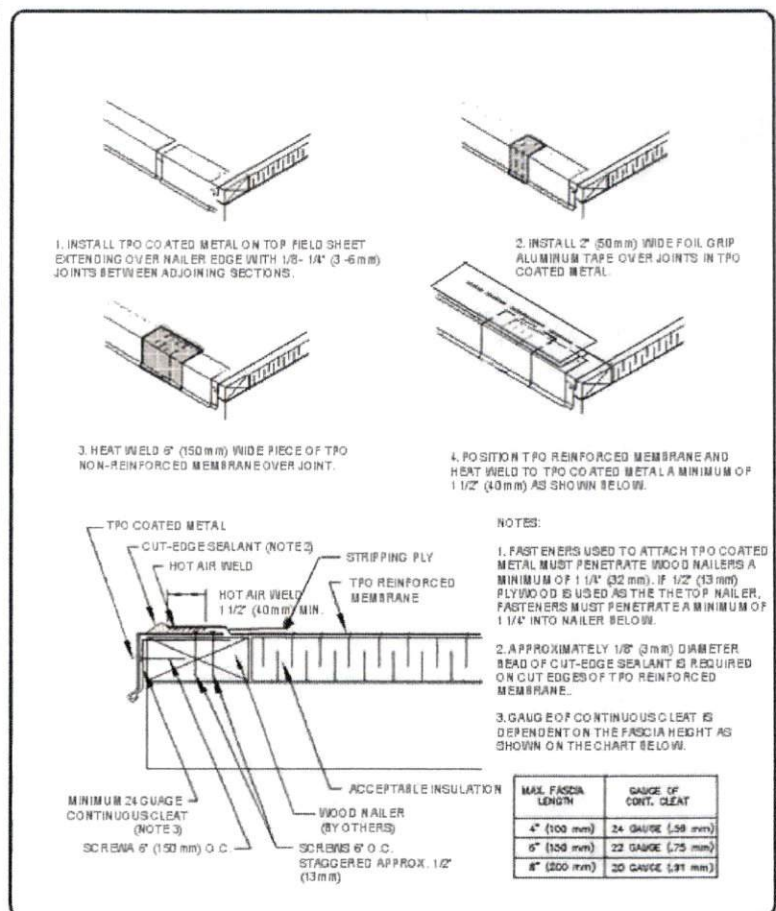
Please know that CentiMark Corporation is not an architect, engineering or design professional, and consequently assumes no responsibility for any such services. The proposed scope of work has been submitted upon your specific request. Unless otherwise noted specifically in the proposed scope of work, you acknowledge that the following options are not included in the contract price, including: safety accessories; increased insulation; or enhanced roof draining upgrades such as added drains, emergency overflow scuppers, sloped/tapered insulation or larger gutters and downspouts. Please let us know if you would like to review or include any of these options.

Construction Pictures



Section: Truck Shop Upper
Area: Construction
Caption: Coated Metal Drip Edge

Detail Drawing is a representation of installation method. Actual field assembly may vary.



CMC-1.2
COATED METAL DRIP EDGE



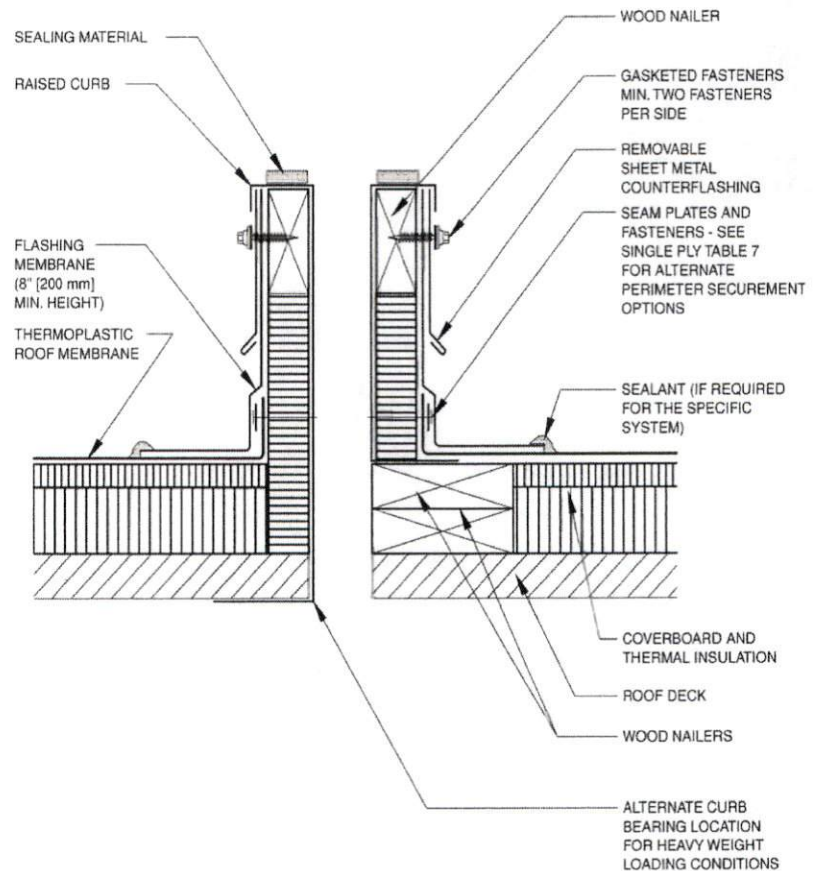
Construction Pictures



Section: Truck Shop Upper

Area: Construction

Caption: Raised Curb Detail for Rooftop Air Handling Units and Ducts (Prefabricated Metal Curb) - side view



Detail Drawing is a representation of installation method. Actual field assembly may vary.

RAISED CURB DETAIL FOR ROOFTOP AIR HANDLING UNITS AND DUCTS (PREFABRICATED METAL CURB)

◀◀◀ Overview Pictures ▶▶▶

Area: Overview

Caption: General Overview



Area: Overview

Caption: General Overview



Area: Overview

Caption: General Overview



Area: Overview

Caption: General Overview



Area: Overview

Caption: General Overview



Area: Overview

Caption: General Overview



◀◀◀ Defect Pictures ▶▶▶

Area: Defects

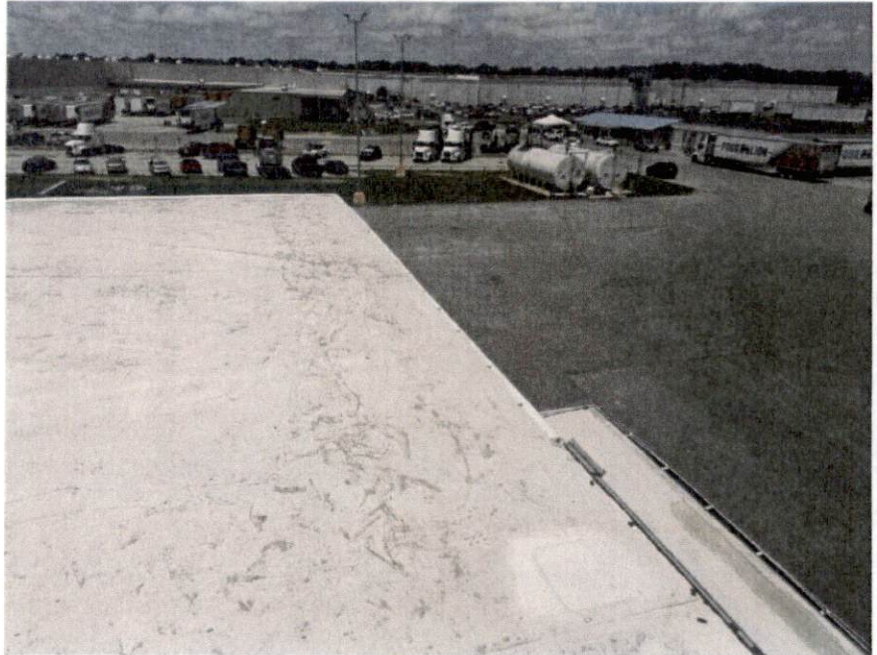
Caption: (All) Edging - Flashing Failure

Description

Accessories-(All) Edging - Flashing Failure

Impact

Failing flashings allow moisture into the building envelope. This can accelerate the failure of the roof system, insulation and decking.



Area: Defects

Caption: (All) Edging - Flashing Failure



Description

Accessories-(All) Edging - Flashing Failure

Impact

Failing flashings allow moisture into the building envelope. This can accelerate the failure of the roof system, insulation and decking.

Area: Defects

Caption: (All) Edging - Flashing Failure

Description

Accessories-(All) Edging - Flashing Failure

Impact

Failing flashings allow moisture into the building envelope. This can accelerate the failure of the roof system, insulation and decking.



Area: Defects

Caption: (All) Edging - Not Covering Nailer



Description

Accessories-(All) Edging - Not Covering Nailer

Impact

This condition can allow moisture entry into the building and roof system, causing damage to the building contents and deterioration of the insulation, decking, and roof system.

Area: Defects

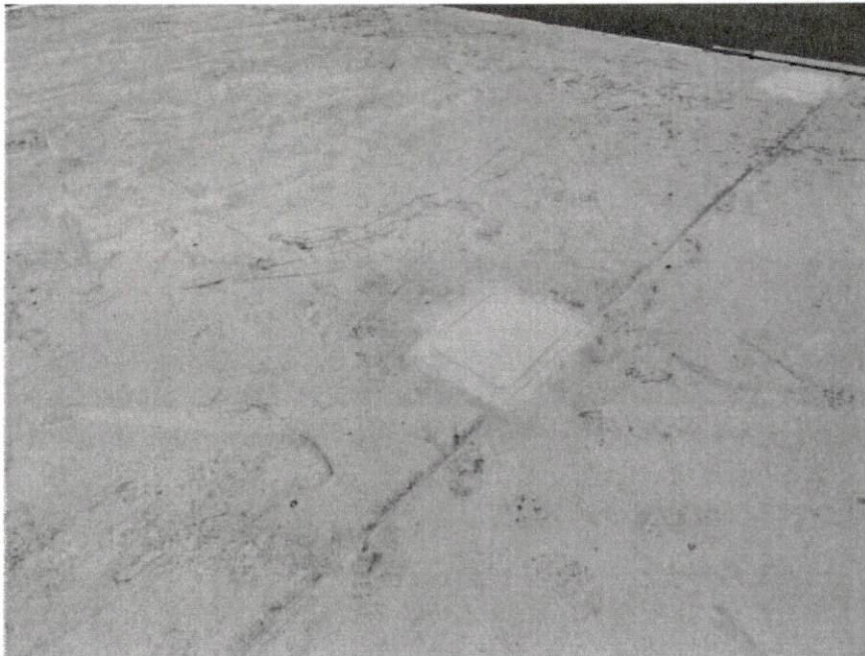
Caption: (All) Past Repairs of Existing Roof System

Description

Field of the roof-(All) Past Repairs of Existing Roof System

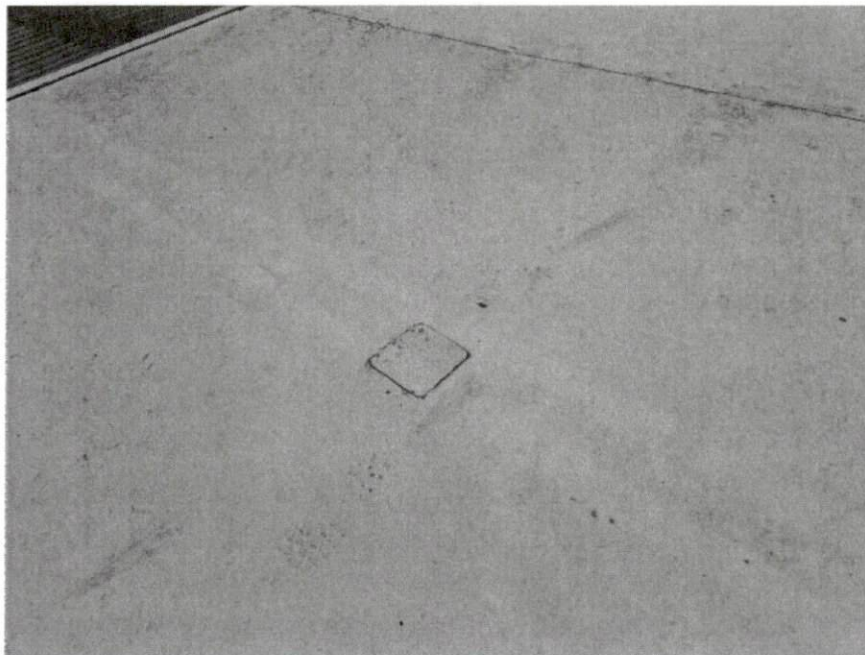
Impact

Each leak typically creates a small area of wet insulation and exposes the deck to moisture as well. Wet insulation can compress and this can cause standing or ponding water in these areas. Ponding water can contribute to premature failure of the roof.



Area: Defects

Caption: (All) Past Repairs of Existing Roof System



Description

Field of the roof-(All) Past Repairs of Existing Roof System

Impact

Each leak typically creates a small area of wet insulation and exposes the deck to moisture as well. Wet insulation can compress and this can cause standing or ponding water in these areas. Ponding water can contribute to premature failure of the roof.

Area: Defects

Caption: (All) Punctures / Tears - Abuse

Description

Accessories-(All) Punctures / Tears - Abuse

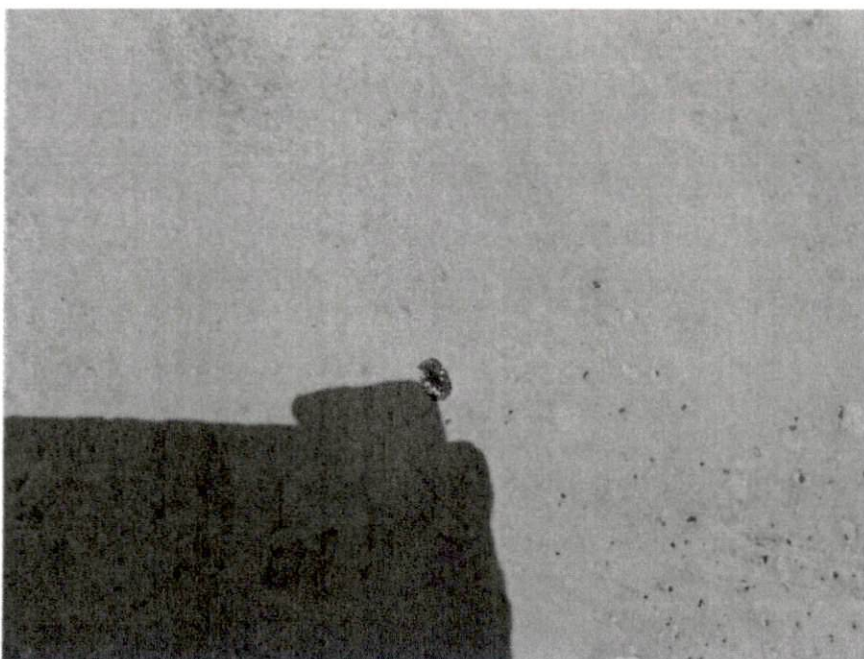
Impact

This condition can allow moisture entry into the building and roof system, causing damage to the building contents, and deterioration of the insulation, decking and the roof system.



Area: Defects

Caption: (All) Punctures / Tears - Abuse



Description

Accessories-(All) Punctures / Tears - Abuse

Impact

This condition can allow moisture entry into the building and roof system, causing damage to the building contents, and deterioration of the insulation, decking and the roof system.

Area: Defects

Caption: (Thermo) Excessive "Wrinkles"

Description

Accessories-(Thermo) Excessive "Wrinkles"

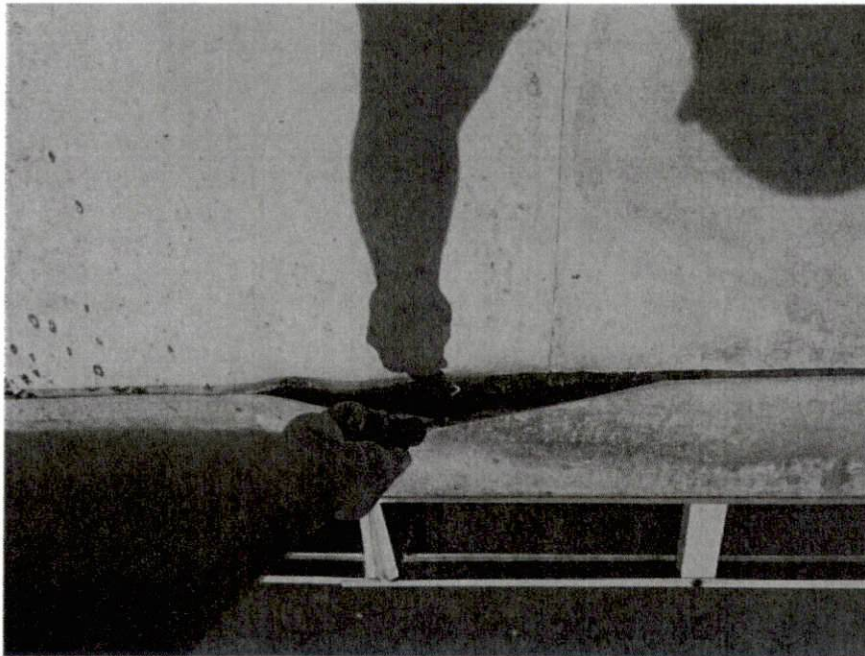
Impact

Excessive "wrinkles" in the Thermoplastic sheets themselves should not occur in seamed areas. This defect may lead to other problems such as punctures, tears, etc., and may result in leaks.



Area: Defects

Caption: (Thermo) Seams - Open



Description

Field of the roof-(Thermo) Seams - Open

Impact

Open seams allow for moisture to enter the roof system, and may cause insulation and deck deterioration.

Area: Defects

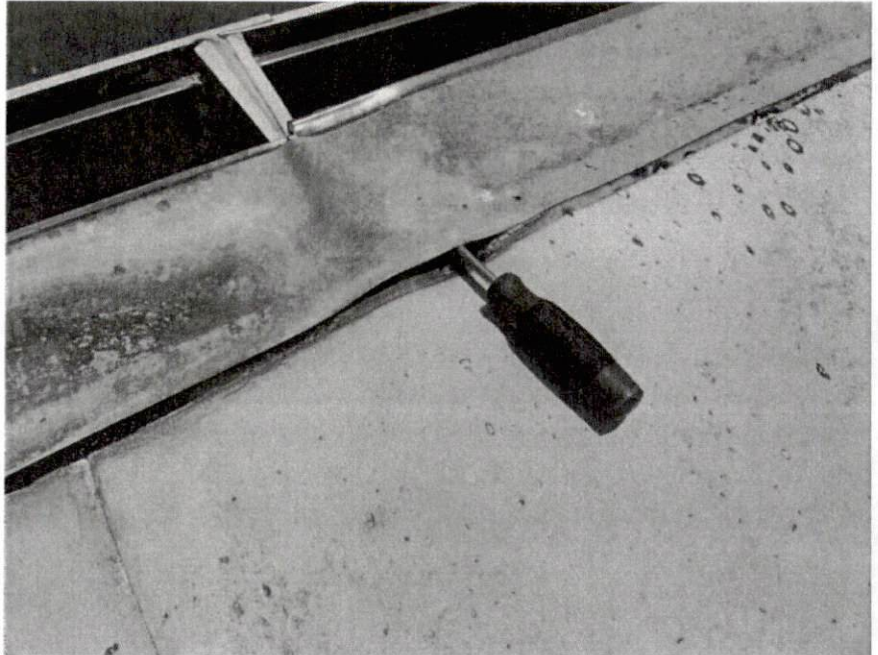
Caption: (Thermo) Seams - Open

Description

Field of the roof-(Thermo) Seams - Open

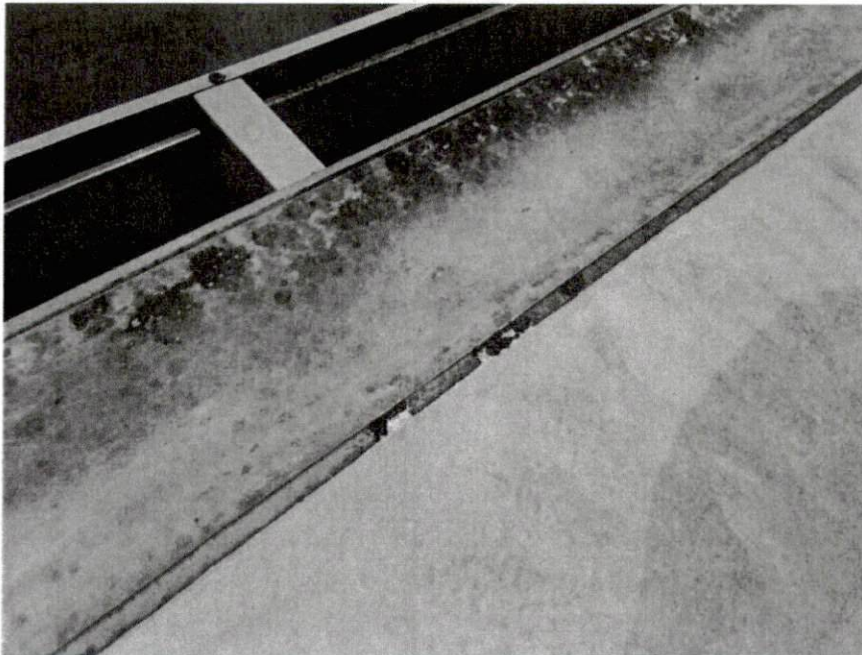
Impact

Open seams allow for moisture to enter the roof system, and may cause insulation and deck deterioration.



Area: Defects

Caption: (Thermo) Seams - Open



Description

Field of the roof-(Thermo) Seams - Open

Impact

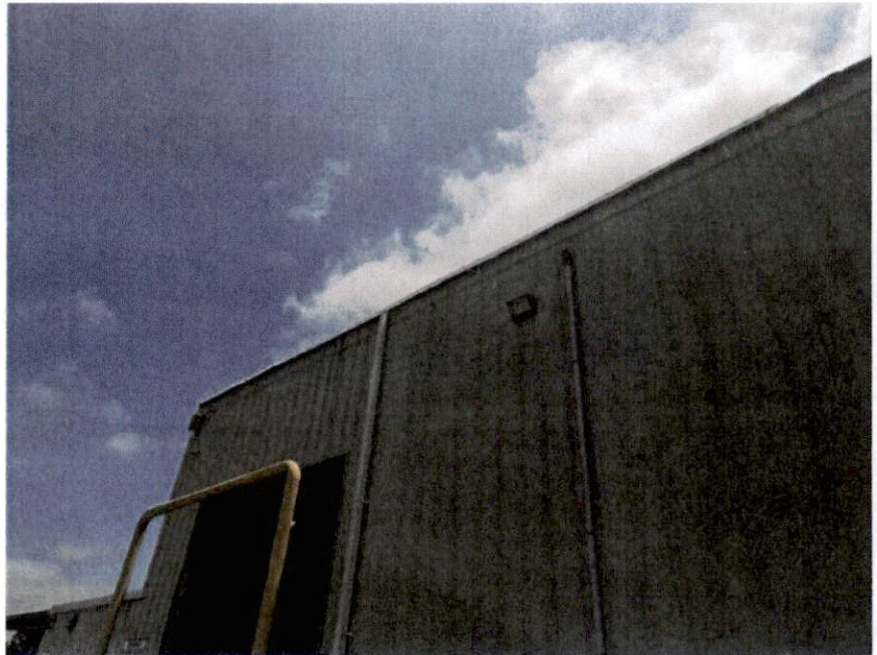
Open seams allow for moisture to enter the roof system, and may cause insulation and deck deterioration.

Area: Defects

Caption: Gutter Damage

Comments

Gutter blew up on the roof during a wind event.



◀◀◀ Roof Condition Summary ▶▶▶▶

Section Condition Overview

Section	Sq. Footage	Leaks	Description
---------	-------------	-------	-------------

◀◀◀ Construction Specification ▶▶▶

FOOD LION DISTRIBUTION CENTER
2940 ARROWHEAD RD
DUNN, NC 28334

Specifications For CentiMark TPO Mechanically Fastened System

Sections included: Truck Shop Upper, Office Lower, Office Upper, Truck Shop Lower, Truck Shop Overhang

Project Preparation:

Perform a pre-job meeting to determine jobsite logistics and safety requirements.

Furnish proposed construction schedule, if needed.

Furnish and install proper safety equipment in accordance with Centimark's written safety program. 

Safety Related

Furnish and install warning lines to identified areas associated with ground related roofing activities.

Store roofing materials in accordance with good roofing practices. Material placement will be to distribute weight loads throughout the entire roof area. 

Surface Preparation:

Core cuts will be performed to identify potential areas of wet insulation. 

Remove and dispose of existing roof down to a suitable substrate.

Removal of existing roof will be limited to an amount that can be replaced the same day.

Inspect existing structural deck for deterioration.

Remove areas identified as wet down to the structural deck and fill void with rigid insulation to level at a cost of \$5.50 per square foot. In the area of removal, the deck will be inspected and if it is not capable of providing a acceptable substrate for the installation of the new roof it will be replaced at a unit cost of \$15.50 per square foot. Areas of removal will be approved by an Owner's representative.

Remove existing sheet metal copings and dispose of debris.

Gutter and downspouts will be removed and disposed of in the area where the storm damage occurred.

System Application:

Furnish and install **CentiMark** 60 mil reinforced, TPO roof membrane.

Position the TPO membrane over the prepared substrate and allow the membrane sufficient time to "relax" prior to installation.

Install the new TPO membrane over the prepared surface by utilizing mechanical fasteners on 10 foot centers. 

Mechanical attachment of the membrane shall be done utilizing a 1" wide polymer batten bar or 2 3/8" round seam plates and FM Global (FM) approved fasteners. Maximum spacing 6" on center. 

420 Mcannii Perin
C. Lingh

910-883-7825