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Plotted By: kcc
Plotted Date: 04/20/2025 10:46am

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BUILDING DEPARTMENT:

COUNTY of HARNETT
CENTRAL PERMITTING
P.O. Box 65
108 E. Front Street
Lillington, NC 27546
Phone – 910-893-2793

PROJECT DESIGNER:

JENKINS CONSULTING ENGINEERS, PA
OFFICE in EUREKA SPRINGS, NC
BUDDY JENKINS, PE
KELLY DODSON, PE
1606 MCARTHUR ROAD
FAYETTEVILLE, NC 28311-1002
910-822-1724

PROJECT:

LEVEL II ALTERATION For:
UPS BUILDING SHELL SPACE

181 MITTIE HADDOCK DR.
CAMERON, NC 28326

CODE REVIEW:

APPLICABLE CODES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

NORTH CAROLINA STATE BUILDING CODE:
BUILDING CODE 2018

NORTH CAROLINA STATE BUILDING CODE:
PLUMBING CODE 2018

NORTH CAROLINA STATE BUILDING CODE:
MECHANICAL CODE 2018

2020 NATIONAL ELECTRIC CODE

2009 STANDARD & COMMENTARY
ICC/ANSI A117.1-2009 on ACCESSIBILITY

NORTH CAROLINA STATE BUILDING CODE:
ENERGY CONSERVATION CODE 2018

NORTH CAROLINA STATE BUILDING CODE:
FIRE PREVENTION CODE 2018

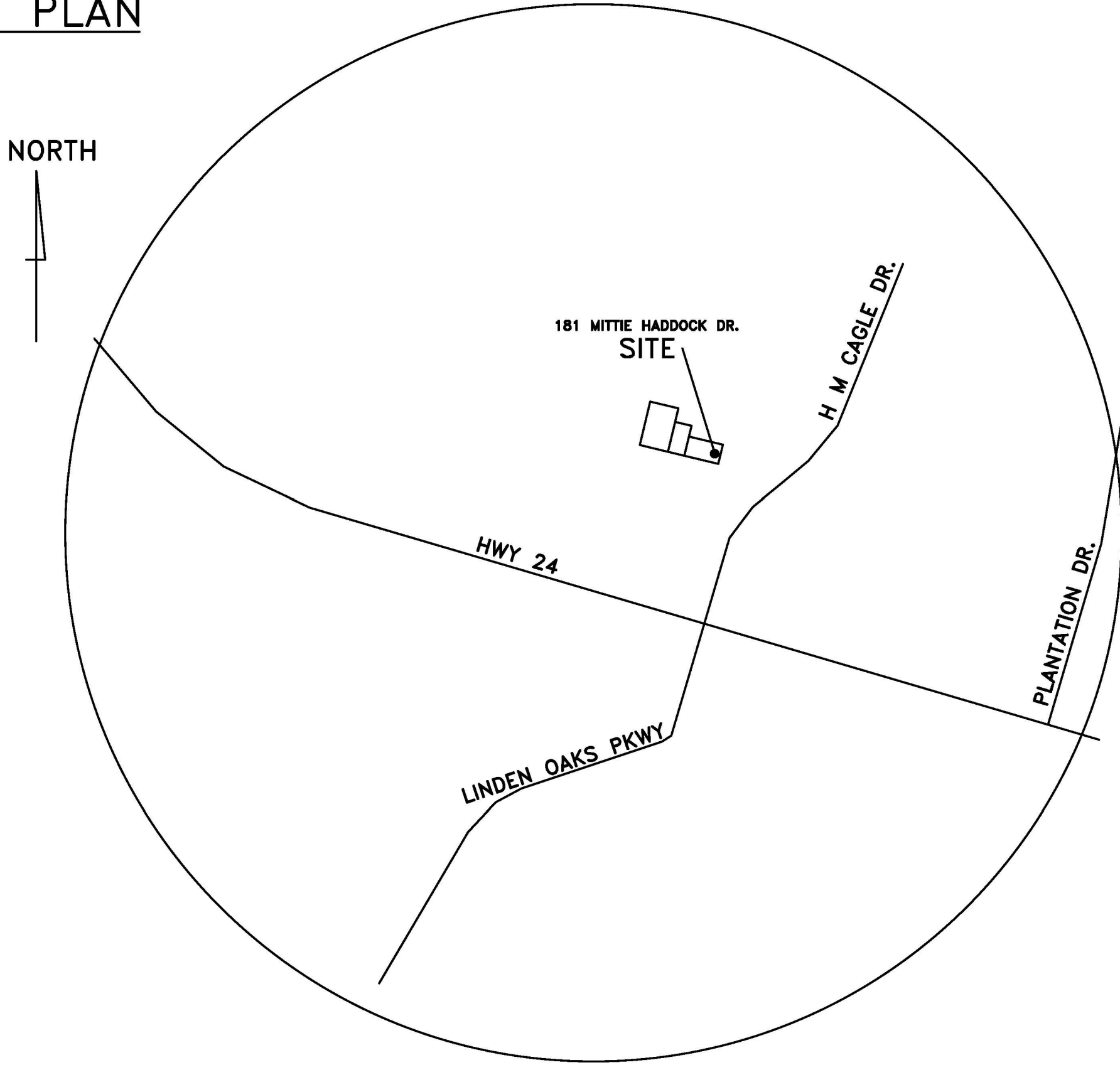
THE 2018 EDITION OF THE LIFE SAFETY
CODE NFPA 101

NORTH CAROLINA STATE BUILDING CODE:
EXISTING BUILDING CODE 2018

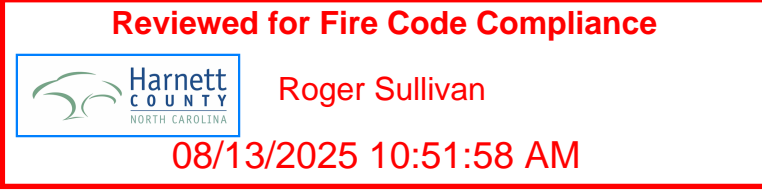
BUILDING DATA:

THE PROJECT IS TO RENOVATE EXISTING
TENANT SPACES FOR SHELL SPACE USE.

VICINITY PLAN



THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS



DESIGNED / CHECKED BY: K. DODSON	DRAWN BY: TS,BT	PROJECT #: 2025-05-06	DATE: 01 AUGUST 2025
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FINAL DRAWING <input type="checkbox"/> FOR REVIEW PURPOSES ONLY PRELIMINARY <input type="checkbox"/> FOR DESIGN DEVELOPMENT ONLY FINAL DRAWING <input checked="" type="checkbox"/> FOR CONSTRUCTION	OWNER/TENANT: -	CONTRACTOR/BUILDER: -
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PROJECT: LEVEL II ALTERATION: UPS BUILDING SHELL SPACE 181 MITTIE HADDOCK DRIVE CAMERON, NC. 28326	SHEET: COVER SHEET & INDEX TO DRAWINGS
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CS

2018 NC BUILDING CODE SUMMARY: APPENDIX B

Name of Project: **LEVEL II ALTERATION: UPS BUILDING SHELL SPACE** PIN: 9585-60-1624.000
Address: **181 MITTIE HADDOCK DR.** Zip Code: **28326**
Proposed Use: **BUSINESS**
Owner or Authorized Agent: **WES DAVIS** Phone **910-818-8999** E-Mail **wes@cccbuildinc.com**
Owned By: ☐ City/County ☒ Private ☐ State
Code Enforcement Jurisdiction: ☐ City **CAMERON** ☒ County **HARNETT** ☐ State **NORTH CAROLINA**

CONTACT: **KELLY DODSON, P.E. BUDDY JENKINS, P.E.**

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	N/A	N/A	N/A		
Civil	N/A	N/A	N/A		
Electrical	JCE	DOUGLAS L. JENKINS	NC P.E. 28803	(910) 822-1724	buddy@jenkince.pro
Fire Alarm	N/A	N/A	N/A		
Plumbing	N/A	N/A	N/A		
Mechanical	JCE	DOUGLAS L. JENKINS	NC P.E. 28803	(910) 822-1724	buddy@jenkince.pro
Sprinkler-Standpipe	N/A	N/A	N/A		
Structural :	N/A	N/A	N/A		
Interior Walls	N/A	N/A	N/A		
Retaining Walls >5' High	N/A	N/A	N/A		
Building	JCE	KELLY J. DODSON	NC PE 42009	(910) 822-1724	kellyd@jenkince.pro

2018 NC BUILDING CODE: ☐ New Building ☐ Shell / Core ☐ First Time Interior Completions
☐ Addition ☐ Phased Construction - Shell Core

2018 NC EXISTING BUILDING CODE:
(check all that apply) ☐ Prescriptive ☐ Alteration Level I ☐ Historic Property
☐ Repair ☒ Alteration Level II ☐ Change of Use
☐ Chapter 14 ☐ Alteration Level III

CONSTRUCTED: (date) --- CURRENT USE (S) (Ch. 3): VACANT
RENOVATED: (date) --- PROPOSED USE (S) (Ch. 3): MERCANTILE (UPS SHIP STORE)

OCCUPANCY RISK CATEGORY (Table 1604.5): Current: II Proposed: II

BASIC BUILDING DATA

Construction Type: ☐ I-A ☐ I-B ☐ II-A ☐ II-B ☐ III-A ☐ IV ☐ V-A
(check all that apply) ☐ I-B ☒ II-B ☐ III-B ☐ V-B
Sprinklers: ☐ No ☐ Partial ☒ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☒ No ☐ Class I ☐ II ☐ III ☐ Wet ☐ Dry
Primary Fire District: ☒ No ☐ Yes (APPENDIX D) Flood Hazard Area: ☒ No ☐ Yes
Special Inspections Required: ☒ No ☐ Yes

FLOOR	EXISTING (sq ft)	NEW (sq ft)	SUBTOTAL
TENANT SPACE (CREATED)	-	1,750	1,750
TOTAL		1,750	1,750

Primary Occupancy Classification(s):

☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
☒ Assembly
☐ Business
☐ Educational
☐ Factory ☐ F-1 Moderate ☐ F-2 Low ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
☐ Hazardous
☐ Institutional
☐ I-1 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
☐ I-2 Condition ☐ 1 ☐ 2
☐ I-3 Condition ☐ 1
☐ Mercantile
☐ Residential
☐ Storage ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
☐ S-1 Moderate ☐ S-2 Low ☐ High-piled
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Utility and Miscellaneous ☐

Accessory Occupancy Classification(s):

Incidental Uses (Table 509): NONE

This separation is not exempt as a Non-separated Use (see exceptions).

Special Uses (Chapter 4): ☐ 402 ☐ 403 ☐ 404 ☐ 405 ☐ 406 ☐ 407 ☐ 408 ☐ 409 ☐ 410 ☐ 411 ☐ 412 ☐ 413
☐ 414 ☐ 415 ☐ 416 ☐ 417 ☐ 418 ☐ 419 ☐ 420 ☐ 421 ☐ 422 ☐ 423 ☐ 424 ☐ 425
☐ 426 ☐ 427 ☐ 428 ☐ 429 ☐ 430

Special Provisions (Chapter 5): ☐ 510.2 ☐ 510.3 ☐ 510.4 ☐ 510.5 ☐ 510.6 ☐ 510.7 ☐ 510.8 ☐ 510.9

Mixed Occupancy: ☒ No ☐ Yes Separation: --- Exception: ---☒ Non-separated Use (508.3)

☐ Separated Use (508.4) ---See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area of each use shall not exceed 1.

$$\text{Separated Use Formula 508.4.2: } \frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$
$$\text{---} + \text{---} = \text{---} \leq 1.00$$

STORY NUMBER	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1, 5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2, 3}
1	BUSINESS (B)	1,750	50,000	N/A	50,000

¹ Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = --- (F)
b. Total Building Perimeter = --- (P)
c. Ratio (F/P) = --- (F/P)
d. W = Minimum width (weighted average) of public way = --- (W) where $W = (L_1 \times w_1 + L_2 \times w_2 + \dots) / F$ (Equation 5-4)
e. Percent of frontage increase = $\frac{F}{P} = 100 \left[\frac{F}{P} - 0.25 \right] \times W/30 = \text{---} (\%)$ (Equation 5-5)

EXTERIOR WALL	(F) OPEN LENGTH (feet)	(P) TOTAL LENGTH (feet)	(W) (weighted average) WIDTH OF PUBLIC WAY OR OPEN SPACE (feet)	(%) FROM CALC. ABOVE	(B) FROM TABLE ABOVE	AREA INCREASE FOR COLUMN (C) ABOVE (% * TABLE AREA)
North						
South						
East						
West						
TOTAL						
EXAMPLE	75	100	25	42	23,500	(42*23,500 = 9,870)

² Unlimited area applicable under conditions of Sections 507

³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (Section 506.2).

⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1

⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

BUILDING CODE SUMMARY (continued)

	ALLOWABLE HEIGHT		
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	75	20'	---
Building Height in Stories (Table 504.4)	3	1	---

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS						
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (feet)	RATING ** (TABLE 601) REQ'D	PROVIDED * (w/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION
Structural Frame, including columns, girders, trusses		0				
Bearing Walls						
Exterior	0		EXISTING WALLS			
North						
East						
West						
South						
Interior	0					
Nonbearing walls and partitions						
Exterior walls						
North						
East						
West						
South						
Interior Non-Bearing Walls	0					
Floor construction including supporting beams and joists	0					
Floor Ceiling Assembly						
Columns Supporting Floors						
Roof construction including supporting beams and joists	0					
Roof Ceiling Assembly	0					
Columns Supporting Roof						
Shaft Enclosures - Exit						
Shaft Enclosures - Other						
Corridor Separation						
Occupancy / Fire Barrier Separation						
Party/Fire Wall Separation						
Smoke Barrier Separation						
Smoke Partition						
Tenant/Dwelling Unit/ Sleeping Unit Separation	1 HR		U419/G2-G8			
Incidental Use Separation						

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS				
EXTERIOR WALL	FIRE SEPARATION DISTANCE (feet) FROM PROPERTY LINE	DEGREE OF OPENINGS PROTECTION (TABLE 705.5)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
North	-	-	-	-
South	-	-	-	-
East	-	-	-	-
West	-	-	-	-

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☒ Yes ☐ No
Exit Signs: ☒ Yes ☐ No
Fire Alarm: ☒ Yes ☐ No
Smoke Detection Systems: ☐ Yes ☒ No Partial ☐ Duct Detectors
Carbon Monoxide Detection: ☐ Yes ☒ No
Life Safety Systems Generator: ☐ Yes ☒ No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: LS1

- ☒ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
☒ Occupant loads for each area
☒ Exit access travel distances (1017)
☒ Common path of travel distances [1006.2.1 & 1006.3.2(1)]
☐ Dead end lengths (1020.4)
☒ Clear exit widths for each exit door
☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☒ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (903)
☐ The square footage of each smoke compartment for Occupancy Classification I-II (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)							
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
NONE REQUIRED							

ACCESSIBLE PARKING (SECTION 1106)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132' ACCESS AISLE	96' ACCESS AISLE	
EXISTING	N/R					
NEW						
TOTAL						

BUILDING CODE SUMMARY (continued)

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)										
USE	WATER CLOSETS			URINALS	LAVATORIES			SHOWERS/ TUBS	DRINKING FOUNTAINS REGULAR	SERVICE SINK ACCESSIBLE
	MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX			
BUSINESS			1				1			
EXISTING FIXTURES TO REMAIN			1				1			

**DRINKING FOUNDATION AND SERVICE SINK ARE NOT REQUIRED IN BUSINESS USE WITH OCCUPANT LOAD LESS THAN 25. NCPG 2018, TABLE 403.1 FOOTNOTE "O"

SPECIAL APPROVALS:

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

NONE REQUIRED

ENERGY SUMMARY

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☒ (If checked, the remainder of this section is not applicable.)Exempt Building: ☐ Provide code or statutory reference: ---Climate Zone: ☐ 3A ☒ 4A ☐ 5A HARNETT COUNTY

Method of Compliance:

Energy Code: ☐ Performance ☒ PrescriptiveASHRAE 90.1: ☐ Performance ☐ PrescriptiveOther: ☐ Performance (specify source) ---Value of total assembly: ---

THERMAL ENVELOPE: (Prescriptive method only)

Roof/ceiling Assembly (each assembly)

Description of assembly: ---U-Value of total assembly: ---R-Value of insulation: ---Skylights in each assembly: ---U-Value of skylight: ---Total square footage of skylights in each assembly: ---

Exterior Walls (each assembly)

Description of assembly: ---U-Value of total assembly: ---R-Value of insulation: ---Openings (windows or doors with glazing) ---U-Value of assembly: ---Solar heat gain coefficient: ---Projection factor: ---Door R-Values: ---

Walls below grade (each assembly)

Description of assembly: ---U-Value of total assembly: ---R-Value of insulation: ---

Floors over unconditioned space (each assembly)

Description of assembly: ---U-Value of total assembly: ---R-Value of insulation: ---

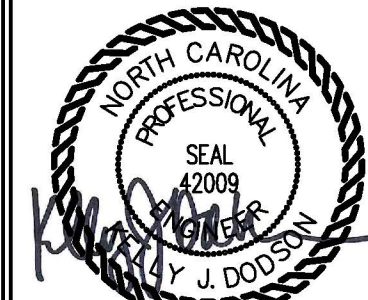
Floors slab on grade

Description of assembly: ---U-Value of total assembly: ---R-Value of insulation: ---Horizontal/vertical requirement: ---slab heated: ---MECHANICAL SUMMARY (SEE DRAWING SHEET ---)ELECTRICAL SUMMARY (SEE DRAWING SHEET ---)

County of Harnett
BUILDING CODE SUMMARY
for:
LEVEL II ALTERATION FOR:

UPS BUILDING SHELL
SPACE

181 MITTIE HADDOCK DR.
CAMERON, NC 28326



04 AUGUST 2025

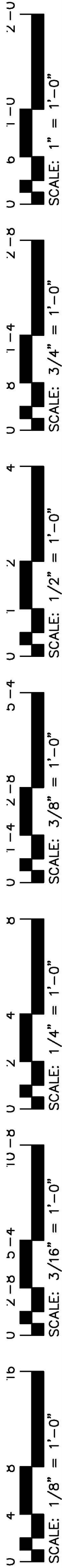
DESIGNED / CHECKED BY: **K. DODSON**
DRAWN BY: **TS.BT**
PROJECT #: **2025-05-06**
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PRELIMINARY ☐ FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING ☒ FOR CONSTRUCTION
OWNER/TEENANT: ---
CONTRACTOR/BUILDER: ---

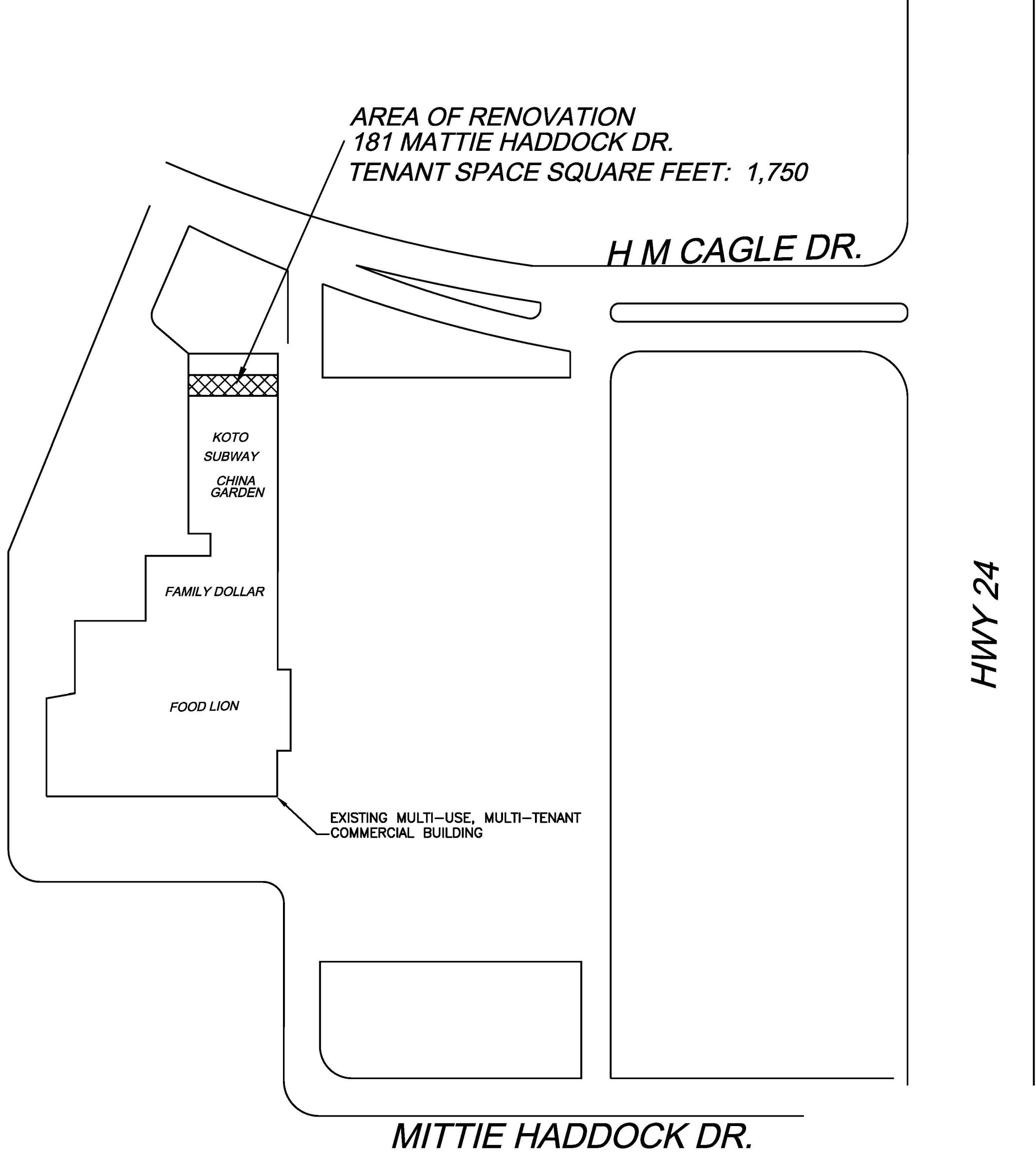
PROJECT: **LEVEL II ALTERATION: UPS BUILDING SHELL SPACE**
181 MITTIE HADDOCK DRIVE
CAMERON, NC. 28326
SHEET: **BUILDING CODE SUMMARY**

BCS

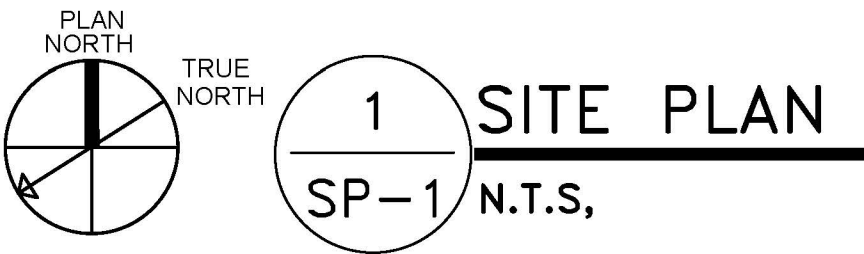
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RENOVATION SCOPE OF WORK:
THIS TENANT SPACE (CURRENTLY "BUSINESS USE") WILL BE RENOVATED PER LANDLORD WORK FOR TWO SHELL SPACES. THE SCOPE OF WORK FOR THIS PROJECT AT THIS TIME WILL BE RENOVATING THE EXISTING SPACE BACK TO A SPACE FOR THE UPCOMING NEW TENANT RENOVATION BY OTHERS. SCOPE OF WORK FOR THE SHELL SPACE WILL BE REMOVAL OF SOME WALLS, ADDING A 1-HR DEMISING WALL. SOME ELECTRICAL WORK WITH MINIMAL HVAC WORK WILL BE REQUIRED. SOME PLUMBING WORK.



THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS



DESIGNED / CHECKED BY: K. DODSON	DRAWN BY: TS,BT	PROJECT #: 2025-05-06	DATE: 01 AUGUST 2025
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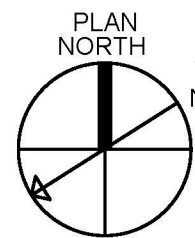
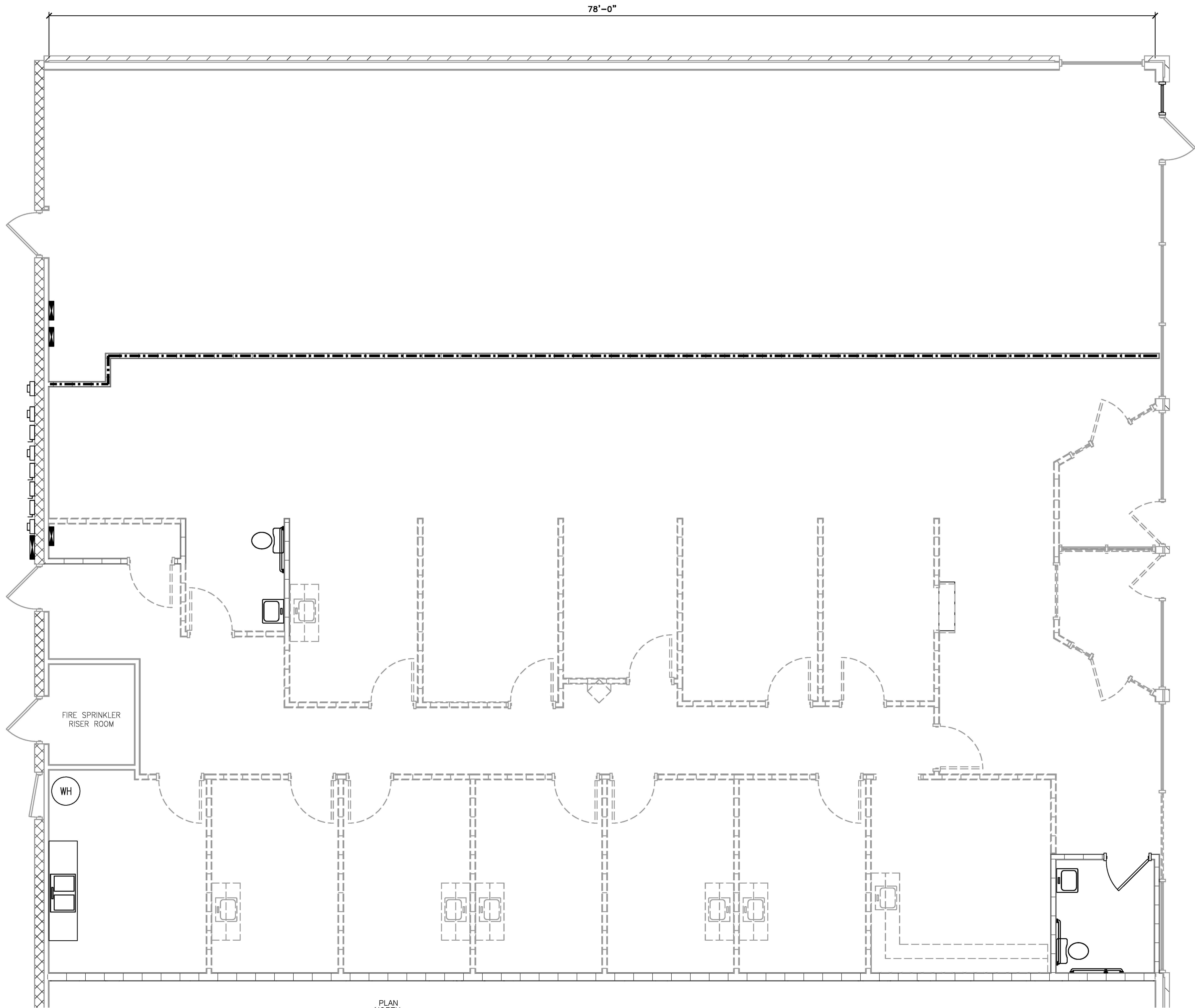
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PROJECT: LEVEL II ALTERATION: UPS BUILDING SHELL SPACE 181 MITTIE HADDOCK DRIVE CAMERON, NC. 28326	SHEET: PARTIAL SITE PLAN
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SP-1

2'-0"
1'-0"
0
2'-8"
1'-4"
0
4
2
1
0
5'-4"
2'-8"
1'-4"
0
4
2
10'-0"
5'-4"
2'-8"
1'-4"
0
4
2
16
8
4
0
SCALE: 1" = 1'-0"
SCALE: 3/4" = 1'-0"
SCALE: 1/2" = 1'-0"
SCALE: 3/8" = 1'-0"
SCALE: 1/4" = 1'-0"
SCALE: 3/16" = 1'-0"
SCALE: 1/8" = 1'-0"

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1
G1

EXISTING FLOOR PLAN

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

TENANT SPACE ALTERATION GENERAL NOTES

1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY NOT SHOW ALL OF THE DETAILS, MATERIALS AND METHODS REQUIRED TO COMPLETE THE ADDITION. THE DRAWING PACKAGE AS A WHOLE SHOULD BE USED TO CONSTRUCT THE NEW BUILDING AS DESCRIBED. THERE ARE NO TECHNICAL SPECIFICATIONS INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE PLANS DO INCLUDE FINISH MATERIALS SELECTIONS BUT SHALL BE COORDINATED WITH THE OWNER.
2. ALL CONSTRUCTION MATERIALS SHALL BE COORDINATED WITH THE DRAWINGS AND INTERIOR FINISH REQUIREMENTS.
3. DIMENSIONS ARE TO FINISHED FACE OF CMU AND WOOD/METAL STUD WALLS UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL COORDINATE ALL WORK AND ADJUST TO THE ACTUAL CONDITIONS ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
5. THE CONTRACTOR SHALL COORDINATE WORK, TRADES, AND SHALL VERIFY DIMENSIONS, MEANS AND METHODS OF CONSTRUCTION, EXISTING CONDITIONS AND PROPOSED NEW CONSTRUCTION PRIOR TO COMMENCING ANY WORK, MATERIAL ORDERING, OR FABRICATION.
6. WORK SHALL BE FIRST CLASS TO THE ENTIRE SATISFACTION OF THE OWNER.
7. COORDINATE ALL ELECTRICAL/PLUMBING ROUGH-INS FOR OWNER SUPPLIED EQUIPMENT WITH THE OWNER AND MANUFACTURER.
8. ALL NEW INTERIOR WALLS ARE DETAILED PER PLAN SPECIFICATION. SEE SPECIFIC SHEETS REGARDING THIS PROJECT.
9. PATCH & REPAIR: THE CONTRACTOR SHALL PATCH AND/OR REPAIR WITH NEW, ANY WORK DAMAGED OR DISTURBED CAUSED BY THE SUB-CONTRACTORS AS A RESULT OF PROVIDING FOR OR INSTALLING NEW WORK SHOWN ON THE CONTRACT DOCUMENTS
10. CAULK ALL PENETRATIONS, OUTLETS, ETC. ON ALL PARTITIONS. LEAVE ALL WORK COMPLETE AND READY FOR THE INTENDED USE.
11. ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE REMOVED FROM THE SITE UPON COMPLETION. THE CONTRACTOR SHALL PROVIDE CLEANING SERVICES FOR THE RENOVATED SPACES AND DELIVER THE PROJECT COMPLETED.
12. CONSTRUCTION TO COMPLY WITH ALL STATE AND LOCAL CODES.
13. CONSTRUCTION IS AT AN OPERATING MULTI-SPACE RETAIL SHOPPING CENTER. CONSTRUCTION TRAFFIC WILL NOT INTERFERE WITH GENERAL PUBLIC TRAFFIC. CONTRACTOR WILL COORDINATE A MATERIAL DROP OFF/PICK UP AND CONSTRUCTION WORKER AREA ON SITE WITH LANDLORD/PROPERTY MANAGER.

SCOPE OF WORK OUTLINE:

DEMOLITION
WALLS IN TENANT SPACE FOR FUTURE TENANT
SOME CEILING DEMOLITION REQUIRED FOR NEW DEMISING WALL CONSTRUCTION
EXTERIOR STOREFRONT WINDOW FOR NEW STOREFRONT DOOR

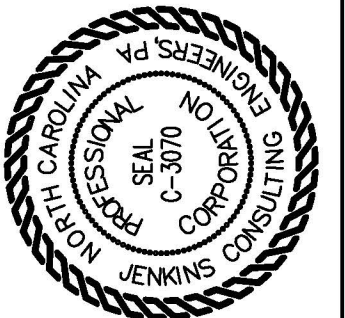
FRAMING
FRAMING FOR INTERIOR WALLS

FINISHES
APPLICATION OF GYPSUM BOARD, VINYL BASE, PAINT TO INTERIOR OF SPACE

MECHANICAL
SEE MECHANICAL PLAN.

ELECTRICAL
SEE ELECTRICAL PLAN.

PLUMBING
SEE PLUMBING PLAN.



JJE JENKINS
CONSULTING ENGINEERS, PA
OFFICE IN EUREKA SPRINGS, NORTH CAROLINA
1000 EUREKA SPRINGS DRIVE, SUITE 100
EUREKA SPRINGS, NC 28743
NORTH CAROLINA CORPORATION NUMBER: C-3070
OFFICE 910.622.1724



04 AUGUST 2025

DESIGNED / CHECKED BY:
K. DODSON
DRAWN BY:
TS, BT
PROJECT #:
2025-05-06
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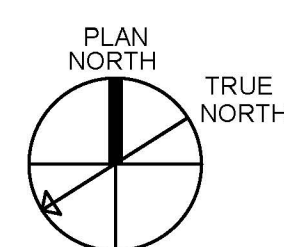
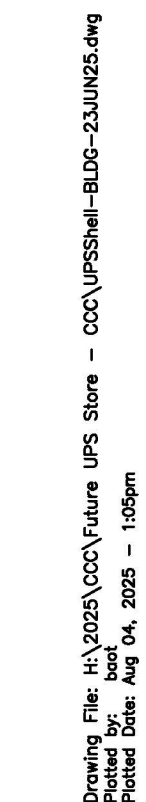
OWNER/TENANT:
CONTRACTOR/BUILDER:

PROJECT:
LEVEL II ALTERATION: UPS BUILDING SHELL SPACE
181 MITTIE HADDOCK DRIVE
CAMERON, NC. 28326

SHEET:
PARTIAL BUILDING PLAN/ SCOPE OF WORK

GO

THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS



0 2' 4' 8'

SCALE: 1/4" = 1'-0"

REFLECTED CEILING NOTE:

REFLECTED CEILING WILL BE DEMOLISHED AND REPLACED WITH A NEW GRID AND PANELS WITHIN THE NEW UPS SHELL SPACE.

TYP. EXISTING FIRE SPRINKLER
—HEAD TO REMAIN.

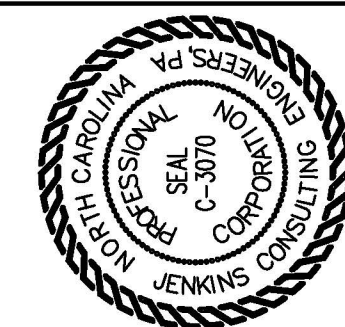
EXISTING
—STOREFRONT

EXISTING
—STOREFRONT

DEMOLITION REFLECTED CEILING NOTES:

- C1 DEMO LIGHT FIXTURE
- C2 DEMO SUPPLY DIFFUSER - SEE HVAC PLAN SHEET M1

THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS.



St. JENKINS
CONSULTING ENGINEERS, PA
OFFICE in EUPEKA SPRINGS, NORTH CAROLINA
1806 McARTHUR RD. FAYETTEVILLE, NC 28311-1002
NORTH CAROLINA CORPORATION NUMBER: C-3070
OFFICE 910.822.1774



04 AUGUST 202

DESIGNED / CHECKED BY:	K. DODSON
DRAWN BY:	TS,BT
PROJECT #:	2025-05-06
DATE:	

FINAL DRAWING ☐ FOR REVIEW PURPOSES ONLY
PRELIMINARY ☐ FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING ☒ FOR CONSTRUCTION

OWNER/TENANT:

OWNER/TENANT:

OWNER/TENANT:

PROJECT: **LEVEL II ALTERATION: UPS BUILDING SHELL SPACE**
181 MITTIE HADDOCK DRIVE CAMERON, NC. 28326

181 MITTIE HADDOCK DRIVE CAMERON, NC. 28326

DEMOLITION REFLECTED CEILING PLAN

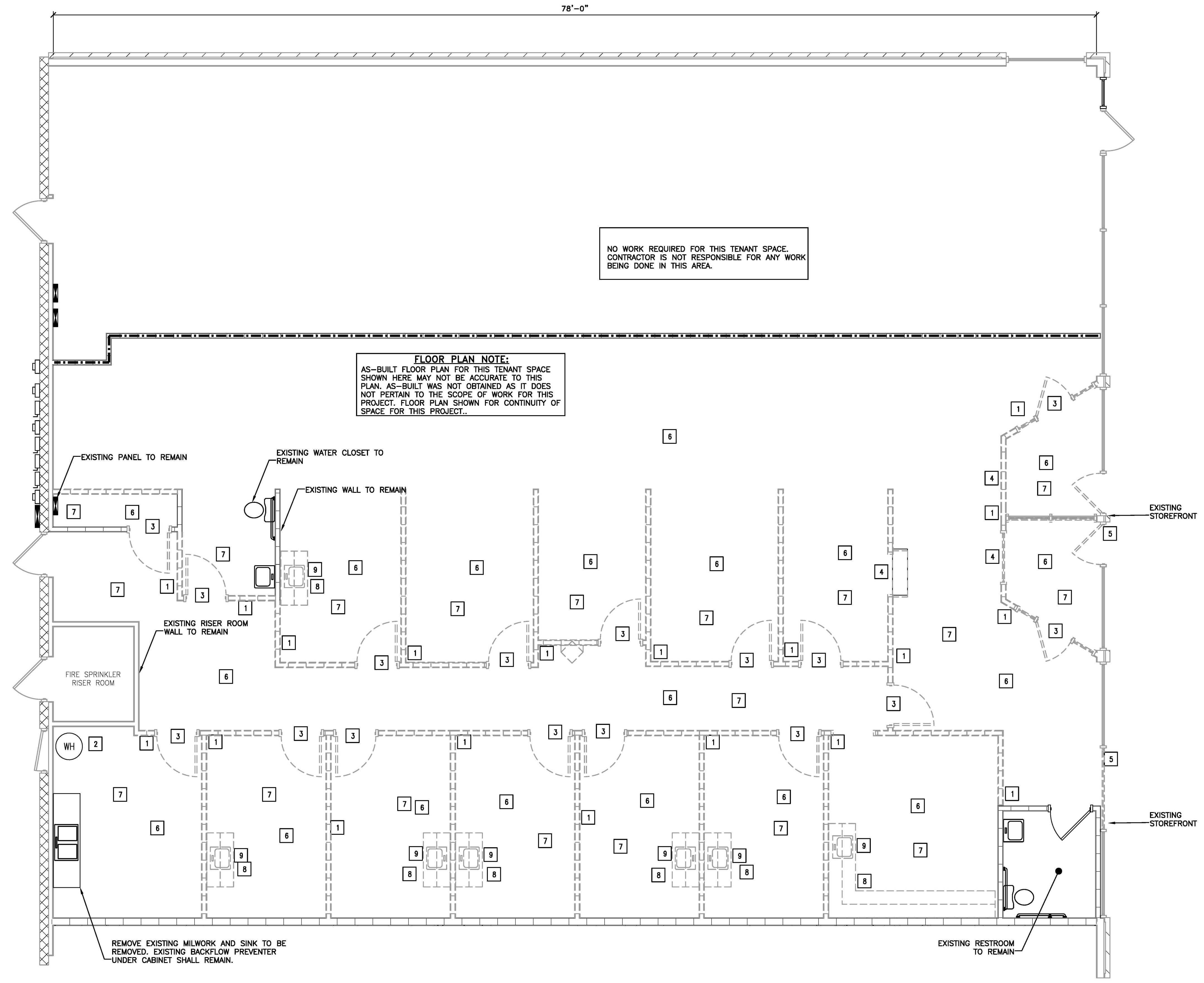
77
PROJECT

11

G1.1

2'-0"
1'-0"
6"
3'-0"
2'-8"
1'-4"
4"
1'-0"
5'-4"
3'-8"
1'-0"
1'-4"
2'-8"
1'-0"
1'-4"
2'-8"
1'-0"
10'-0"
3'-4"
2'-8"
3'-16"
1'-0"
1'-8"
4"
1'-0"

Drawing File: H:\2025\CCV\Future UPS Store - CCO\UPSShell-BLDG-2A\JUN25.dwg
Plotted By: J. Jenkins
Plotted Date: 04/01/2025 10:46am

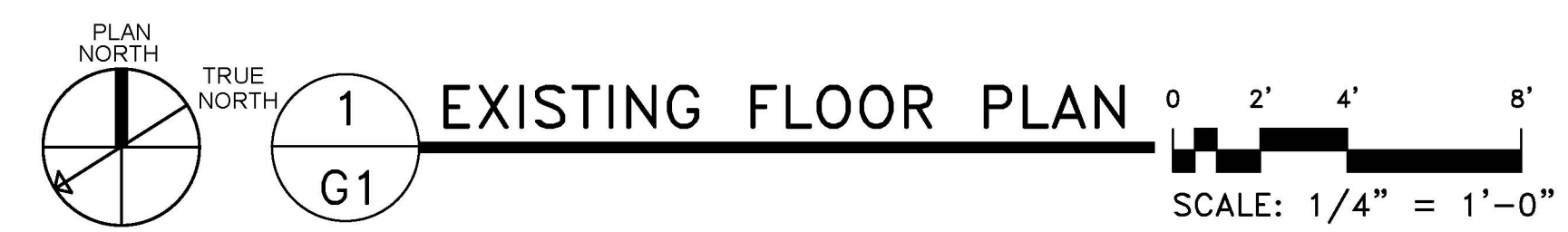


FLOOR PLAN NOTE:
AS-BUILT FLOOR PLAN FOR THIS TENANT SPACE SHOWN HERE MAY NOT BE ACCURATE TO THIS PLAN. AS-BUILT WAS NOT OBTAINED AS IT DOES NOT PERTAIN TO THE SCOPE OF WORK FOR THIS PROJECT. FLOOR PLAN SHOWN FOR CONTINUITY OF SPACE FOR THIS PROJECT..

NO WORK REQUIRED FOR THIS TENANT SPACE. CONTRACTOR IS NOT RESPONSIBLE FOR ANY WORK BEING DONE IN THIS AREA.

DEMOLITION WORK NOTE:
DEMOLITION WORK WILL BE DENOTED BY DASHED LINES OR HATCHED AREAS CONCERNING EXISTING WALLS AND CEILING AREAS. OTHER AREAS AND OBJECTS MAY REQUIRE DEMOLITION AND BE NOTED AS MENTIONED ABOVE. SEE DEMOLITION NOTES FOR AFFECTED AREAS AND OBJECTS OTHER THAN WALLS AND CEILINGS THAT ARE DASHED OR HATCHED AND MARKED FOR DEMOLITION.

- DEMOLITION NOTES:**
- 1 DEMO WALL THIS AREA
 - 2 RELOCATE WATER HEATER
 - 3 DEMO DOOR AND FRAME
 - 4 DEMO WINDOW
 - 5 DEMO STOREFRONT THIS AREA FOR NEW DOOR
 - 6 DEMO FLOOR FINISH
 - 7 DEMO LAY-IN CEILING PANELS
 - 8 DEMO MILWORK
 - 9 DEMO PLUMBING FIXTURES



THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS

J. JENKINS
CONSULTING ENGINEERS, PA.
OFFICE IN EUREKA SPRINGS, NORTH CAROLINA
1000 EUREKA SPRINGS DRIVE, SUITE 100
EUREKA SPRINGS, NC 28326
NORTH CAROLINA CORPORATION NUMBER: C-3070
OFFICE 910.622.1724

K. DODSON
PROJECT ENGINEER

04 AUGUST 2025

DESIGNED / CHECKED BY: K. DODSON	TS, BT	PROJECT #: 2025-05-06	DATE: 01 AUGUST 2025
DRAWN BY:		OWNER/TENANT:	
CONTRACTOR/BUILDER:			

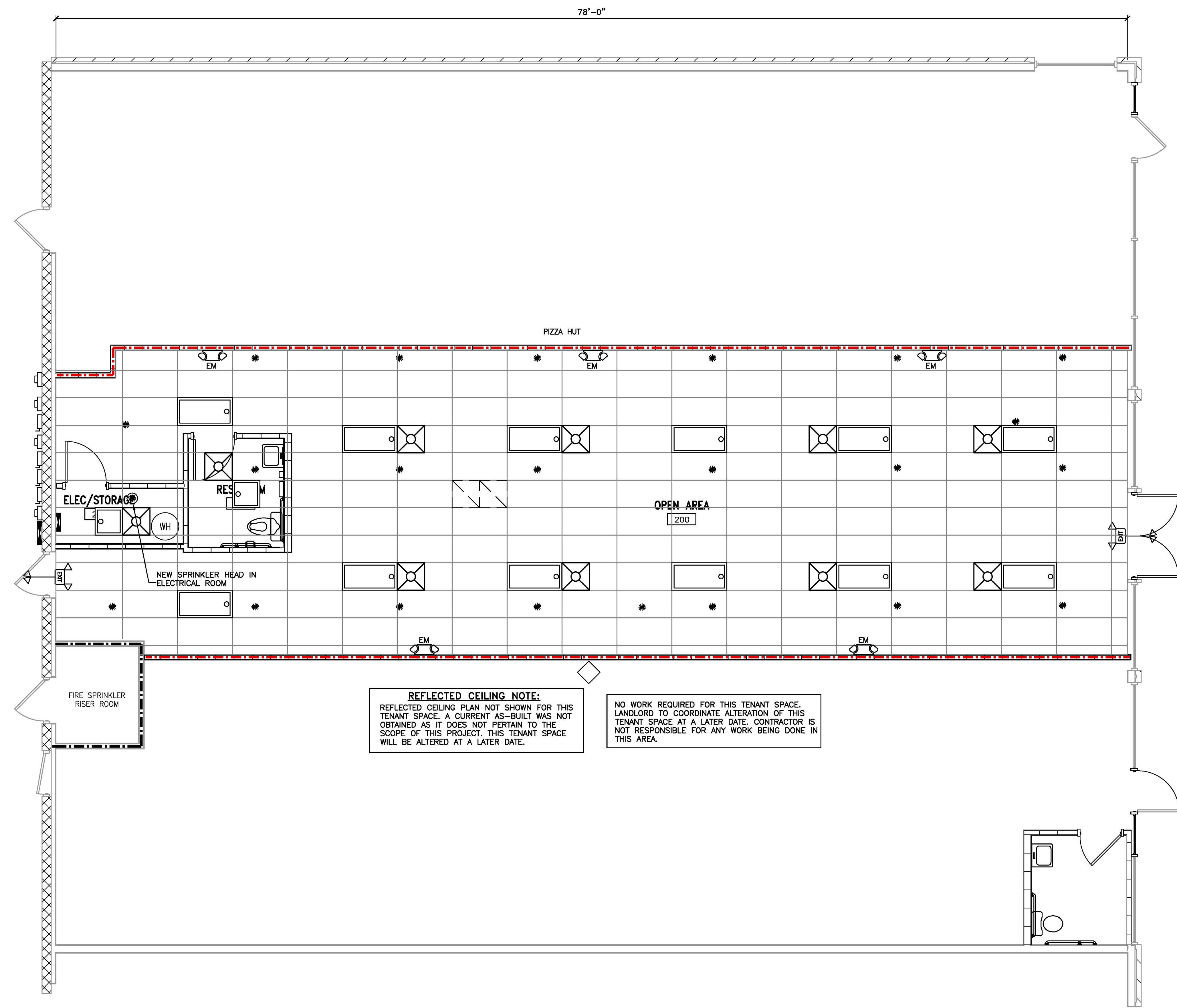
PROJECT:
LEVEL II ALTERATION: UPS BUILDING SHELL SPACE
181 MITTIE HADDOCK DRIVE
CAMERON, NC. 28326

SHEET:
G1

DEMOLITION FLOOR PLAN

2'-0" 1'-0" 3/4" 1'-0" 1/2" 1'-0" 3/8" 1'-0" 1/4" 1'-0" 3/16" 1'-0" 1/8" 1'-0"

Drawing File: H:\2025\CCO Future UPS Store - CCO\UPSShell-BLDG-2A\UG25.dwg
Project Name: UPS Store - 181 Mittle Haddock Drive
Project Date: 04/01/2025
Project Time: 1:53pm



REFLECTED CEILING NOTE:
REFLECTED CEILING PLAN NOT SHOWN FOR THIS TENANT SPACE. A CURRENT AS-BUILT WAS NOT OBTAINED AS IT DOES NOT PERTAIN TO THE SCOPE OF THIS PROJECT. THIS TENANT SPACE WILL BE ALTERED AT A LATER DATE.

NO WORK REQUIRED FOR THIS TENANT SPACE. LANDLORD TO COORDINATE ALTERATION OF THIS TENANT SPACE AT A LATER DATE. CONTRACTOR IS NOT RESPONSIBLE FOR ANY WORK BEING DONE IN THIS AREA.

- NOTES FOR CEILING WORK:**
1. NEW CEILING. ALL LIGHT FIXTURES, SUPPLY DIFFUSERS, RETURN GRILLES ARE TO BE REPLACED AND SPRINKLER HEADS TO REMAIN.
 2. NEW TENANT WORK WILL BE SHOWN ON SEPARATE PLANS BY OTHERS. WORK SHOWN HERE IS LANDLORD WORK ONLY AND DOES NOT REFLECT NEW WORK.

SYMBOL	DESCRIPTION
	NEW DIFFUSER
	NEW RETURN GRILLE
	NEW LIGHT FIXTURE
	EXISTING SPRINKLER HEAD
	NEW SPRINKLER HEAD

PLAN NORTH

TRUE NORTH

1

G2.1

SHELL SPACE REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS

PROJECT:

LEVEL II ALTERATION: UPS BUILDING SHELL SPACE

181 MITTIE HADDOCK DRIVE

CAMERON, NC. 28326

SHEET:

G2.1

DESIGNED / CHECKED BY:

K. DODSON

DRAWN BY:

TS.BT

PROJECT #:

2025-05-06

DATE:

01 AUGUST 2025

FINAL DRAWING ☐ FOR REVIEW PURPOSES ONLY

PRELIMINARY ☐ FOR DESIGN DEVELOPMENT ONLY

FINAL DRAWING ☒ FOR CONSTRUCTION

OWNER/TENANT:

CONTRACTOR/BUILDER:

PROFESSIONAL SEAL

C-3070

CORPORATION

ENGINEERS PA

JENKINS CONSULTING

OFFICE IN EUREKA SPRINGS, NORTH CAROLINA

1000 EUREKA SPRINGS DRIVE, SUITE 100

NORTH CAROLINA CORPORATION NUMBER: C-3070

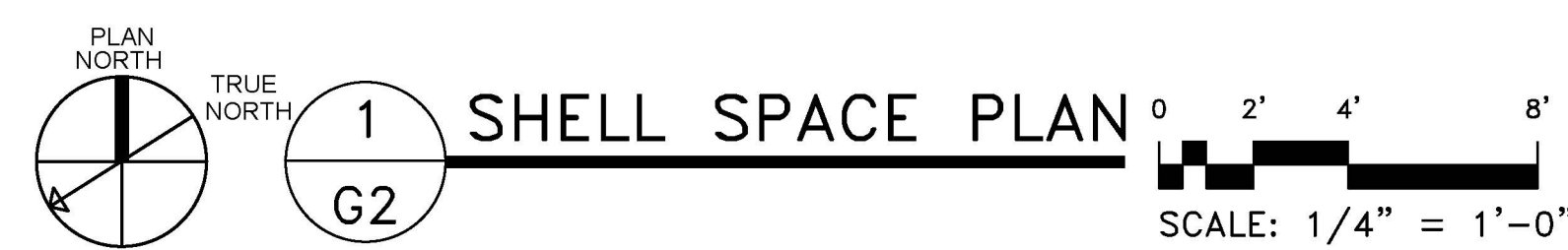
OFFICE 910.622.1724

PROFESSIONAL SEAL





2009

TS.BT

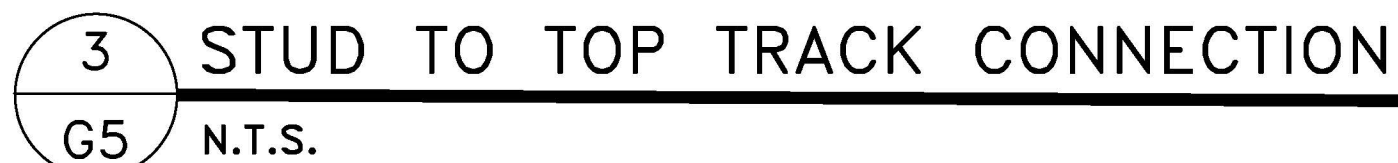
K. DODSON



- 1 NEW 36" EXTERIOR STOREFRONT DOOR AND FRAME
- 2 NEW EXTERIOR STOREFRONT WINDOW, MATCH EXISTING
- 3 NEW 72" EXTERIOR STOREFRONT DOOR AND FRAME
- 4 NEW 36" INTERIOR DOOR AND FRAME – MATCH EXISTING
- 5 CONCRETE FLOOR EXPOSED FOR NEW FLOOR FINISHES BY OTHERS – LANDLORD WORK ONLY SHOWN IN SCOPE
- 6 NEW DEMISING WALL – 1HR RATED. SEE UL DETAIL
- 7 LVP FLOORING
- 8 NEW 3-5/8" 20GA METAL STUD WALL
- 9 NEW 6" 20GA METAL STUD WALL

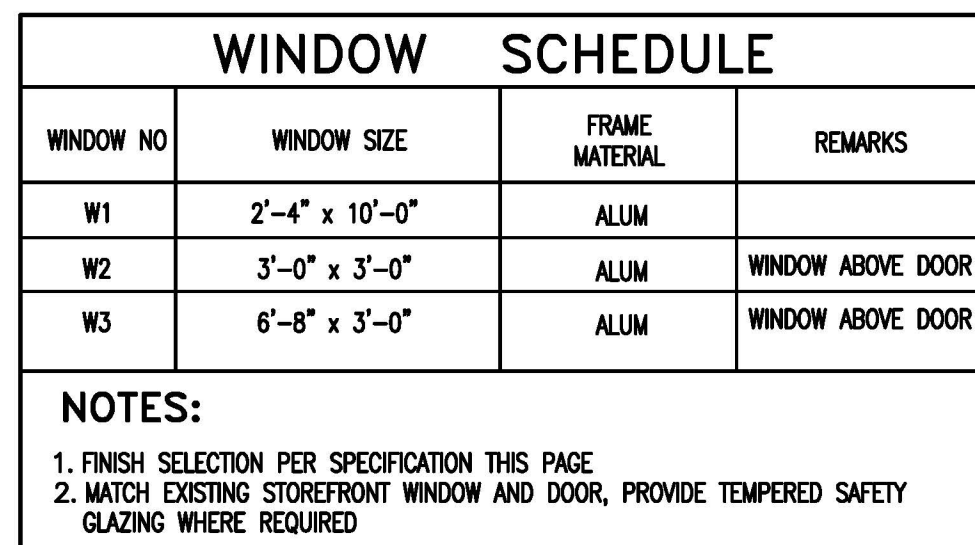
SYMBOL	DESCRIPTION
	EXISTING DOOR AND FRAME
	NEW DOOR AND FRAME WOOD TO MATCH EXISTING
	EXISTING WALL TO REMAIN
	NEW STOREFRONT WINDOW

~~THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS~~



DOOR SCHEDULE LEGEND

H	HEIGHT	HM	HOLLOW METAL
W	WIDE	P	PAINT
ALUM	ALUMINUM	S	STAIN
WD	WOOD—SOLID CORE	M	METAL
T	THICKNESS	WI	WROUGHT IRON
		VA/BI	VERIFY ANODIZED OR BRONZE

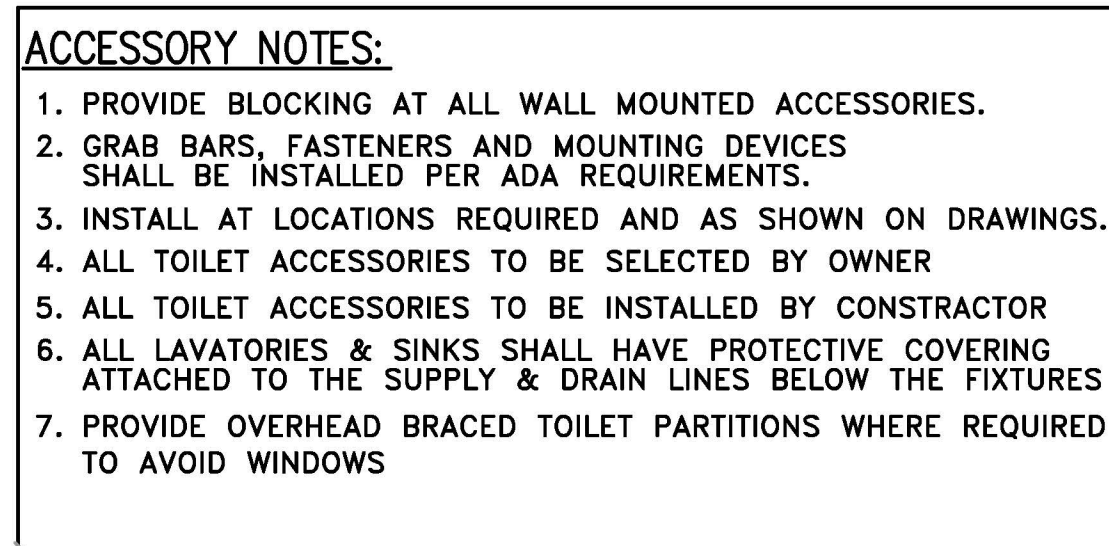


ROOM FINISH SCHEDULE									
ROOM NAME	RM NO.	NET SQ. FT.	FLOOR	BASE	WALLS	WALL RATING	CEILING MAT.	CEILING HEIGHT	REMARKS
OPEN FLOOR	200	1710	CONC	VINYL	GYP.BD/PR	-	ACOUSTIC	10'-0"	
RESTROOM	201	55	LVT	VINYL	GYP.BD/PR	-	ACOUSTIC	10'-0"	MIN. 48" F.R.P. ABOVE FINISH FLOOR
ELECTRICAL ROOM	202	155	CONC	VINYL	GYP.BD/PR	-	ACOUSTIC	10'-0"	

FINISH SCHEDULE CODES									
V.C.T.	VINYL COMPOSITION TILE	PR	PRIMED	VW	VINYL WALLCOVERING	MT	MOSAIC TILE	FRP	FIRE RESISTANT PLANK
CONC.	CONCRETE	CMU	CONCRETE MASONRY UNIT	SC	SEALED CONCRETE	PNL	PANELING	V.P.	VINYL PLANK
COMP.	COMPOSITION	ACOUSTIC	ACOUSTICAL	RU	RUBBER	WD	WOOD	PAVERS	BRICK PAVERS
GYP. BD.	GYPSON BOARD	SV	SHEET VINYL	CER TILE	CERAMIC TILE	ST	STEEL	CPT	CARPET
AA	ANODIZED ALUMINUM	SS	STAINLESS STEEL	WC	WAINSCOT	FRP	FIRE RESISTANT PANEL	1-HOUR	U-305
								LVT	LUXURY VINYL TILE

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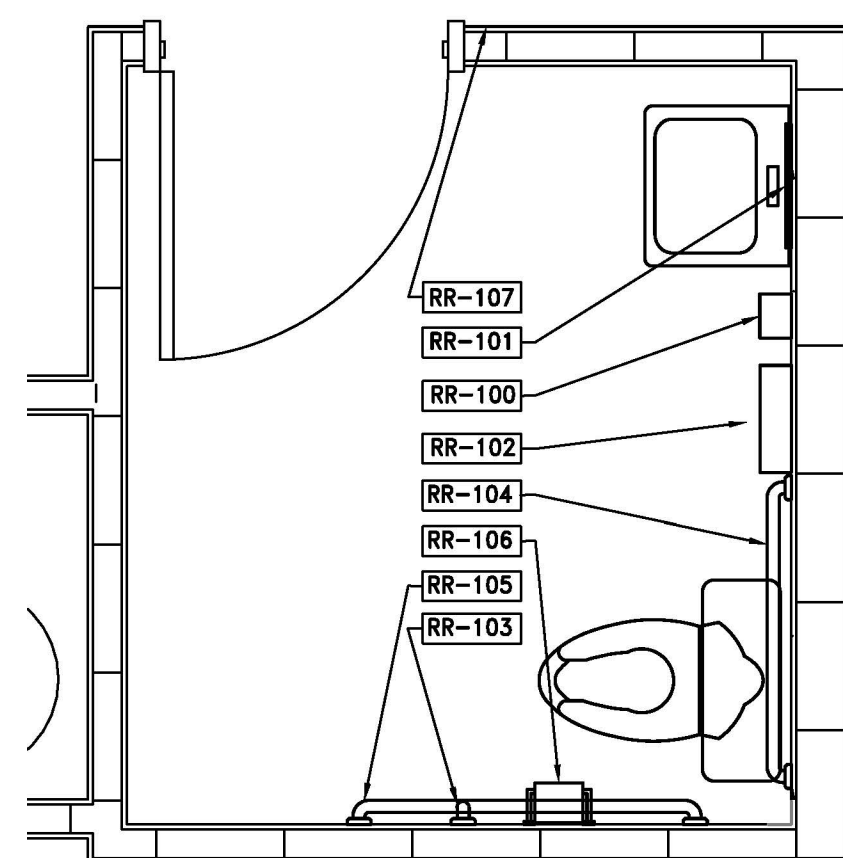
ACCESSORY LEGEND					
NO.	QTY	G.C.INST.	ITEM DESCRIPTION	MODEL #	MANUFATURER
RR-100	1	X	SOAP DISPENSER (WALL MOUNT)	B-2111	BOBRICK
RR-101	1	X	MIRROR, 18"X36"	B-165 1836	BOBRICK
RR-102	1	X	PAPER TOWEL DISPENSER	B-2620	BOBRICK
RR-103	1	X	GRAB BAR 1-1/2" DIA X 18" S.S. FIN.	B-5806 X 18	BOBRICK
RR-104	1	X	GRAB BAR 1-1/2" DIA X 36" S.S. FIN.	B-5806 X 36	BOBRICK
RR-105	1	X	GRAB BAR 1-1/2" DIA X 42" S.S. FIN.	B-5806 X 42	BOBRICK
RR-106	1	X	TOILET PAPER DISPENSER	B-2703	BOBRICK
RR-107	1	X	RESTROOM SIGNAGE	RR-120-DCTS	COMPLIANCE SIGNS

SEE SHEET P1 FOR PLUMBING FIXTURE SCHEDULE.

GYPSON WALL BOARD SHALL BE MOISTURE RESISTANT IN RESTROOM

MOUNTING HEIGHTS & REQUIRED CLEARANCES FOR ADA

SCALE: 1/2" = 1'-0"

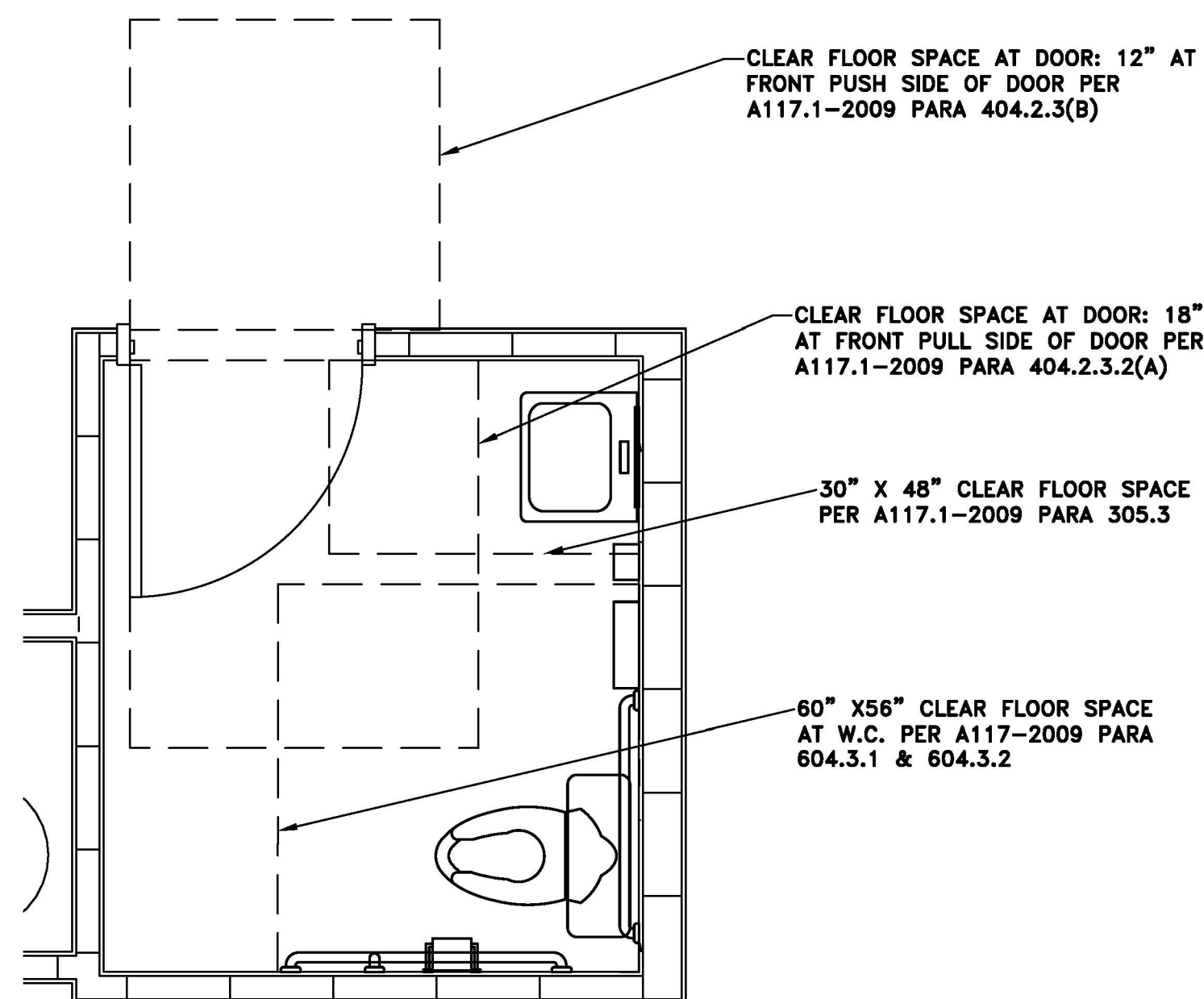


1 FRAMING RR PLAN
G5 RESTROOM 201

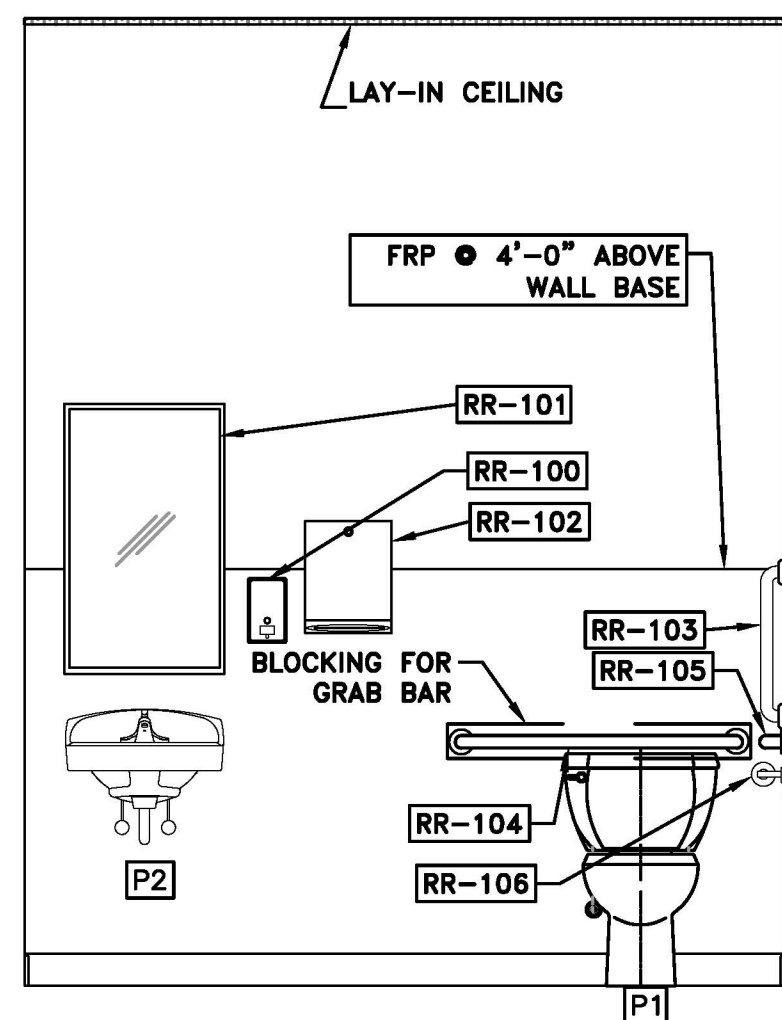
0 1' 2' 4'

SCALE: 1/2" = 1'-0"

2 ACCESSORIES PLAN
G5 RESTROOM 201

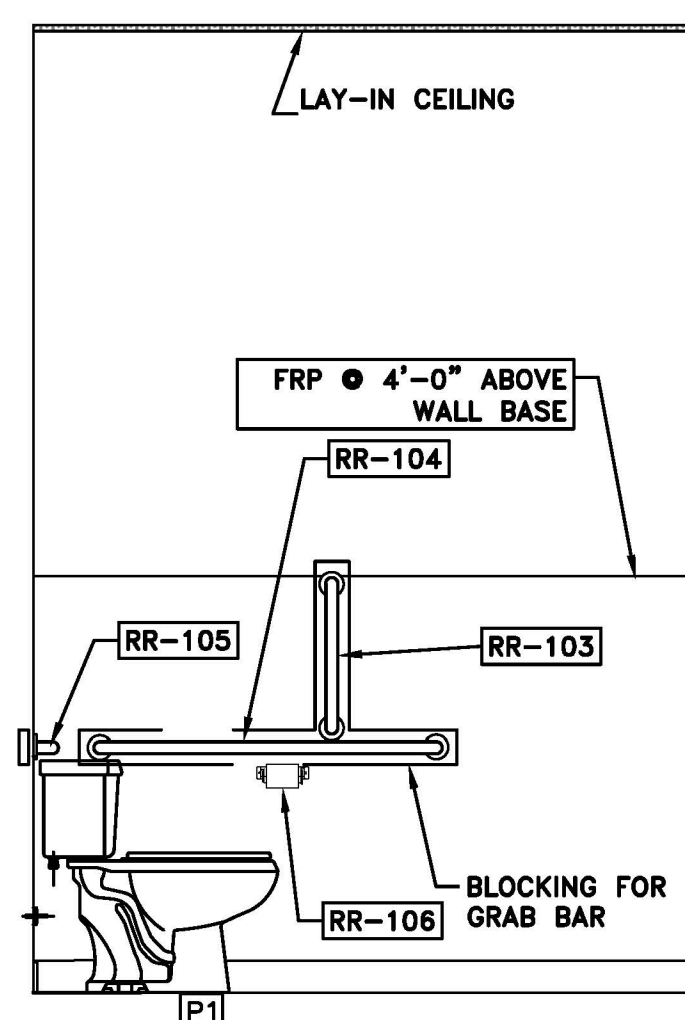


3 ADA CLEARANCES
G5 RESTROOM 201



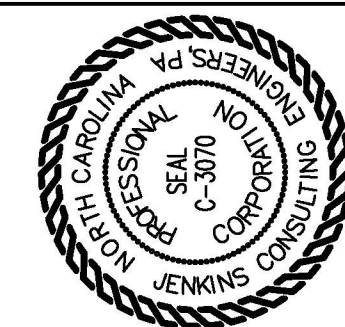
4 RR ELEVATION
G5 RESTROOM 201

5 RR ELEVATION
G5 RESTROOM 201



6 RR ELEVATION
G5 RESTROOM 201

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St. JENKINS
CONSULTING ENGINEERS, PA
OFFICE in EUPEKA SPRINGS, NORTH CAROLINA
1806 McARTHUR RD. FAYETTEVILLE, NC 28311-1002
NORTH CAROLINA CORPORATION NUMBER: C-3070
OFFICE 910.822.1774



04 AUGUST 202

DESIGNED / CHECKED BY:	K. DODSON
DRAWN BY:	TS,BT
PROJECT #:	2025-05-06
DATE:	

FINAL DRAWING ☐ FOR REVIEW PURPOSES ONLY
PRELIMINARY ☐ FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING ☒ FOR CONSTRUCTION

OWNER/TENANT:
-
-

CONTRACTOR/BUILDER:

PROJECT:	LEVEL II ALTERATION: UPS BUILDING SHELL SPACE	
SHEET:	181 MITTIE HADDOCK DRIVE	CAMERON, NC. 28326
ADA RESTROOM DETAILS		

G5

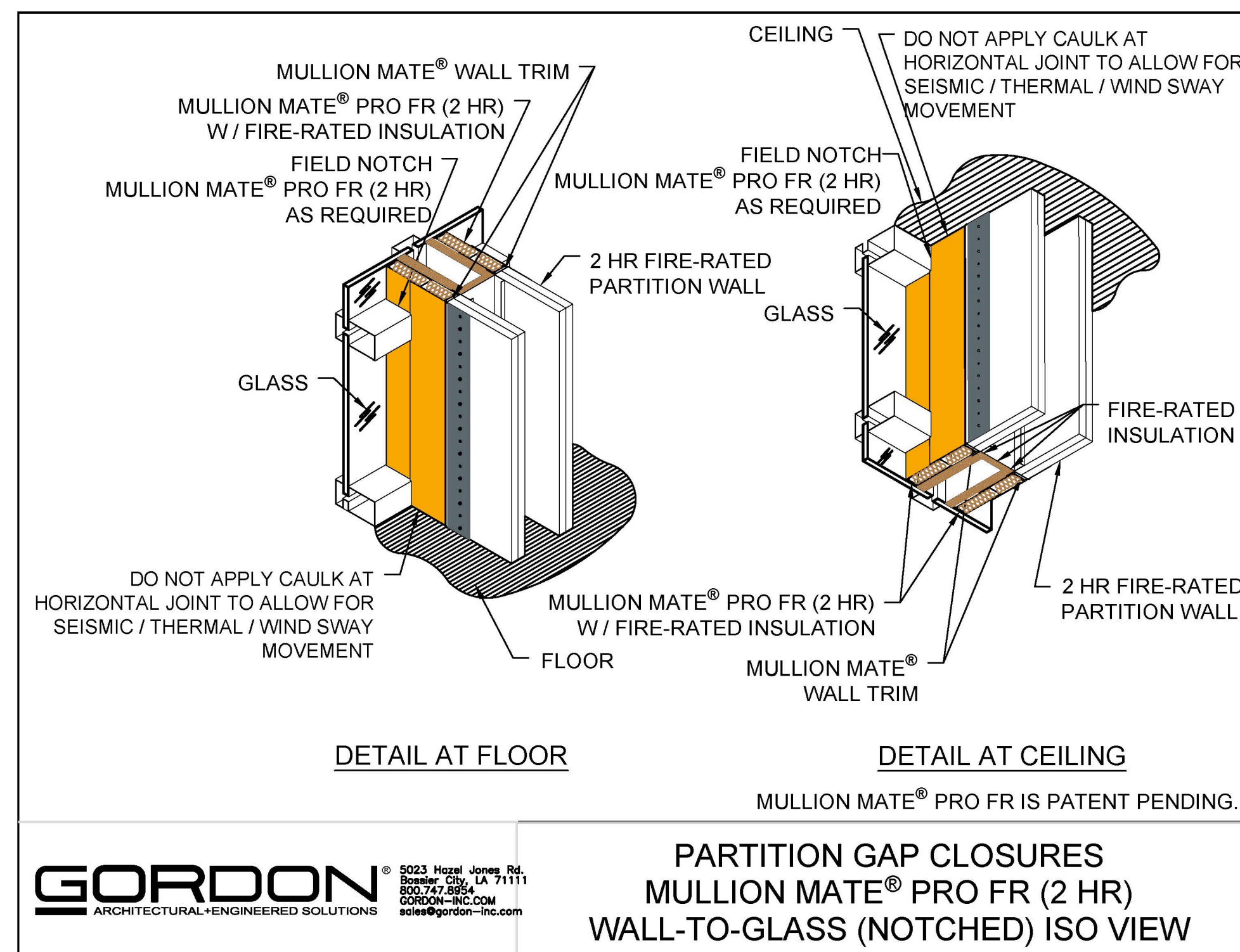
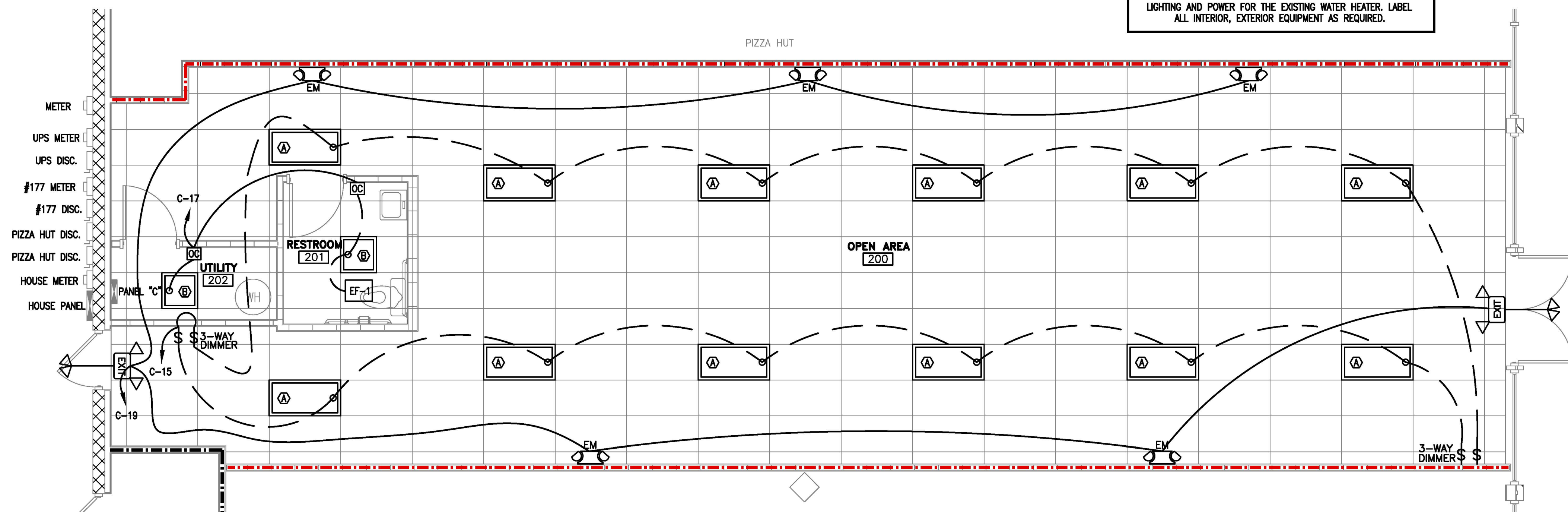


Diagram illustrating a rectangular room with a grid floor and a sloped ceiling. The floor is labeled "1 FC AVERAGE" and has dimensions of 14'-0" by 3'-0". The ceiling is labeled "7'-6" MOUNTING HEIGHT". A point on the ceiling is labeled "0.1 FC MIN".

ASSUMES OPEN SPACE WITH NO OBSTRUCTIONS, MOUNTING HEIGHT;
7'-6"; CEILING HEIGHT, AND REFLECTANCES 80/50/20

E1



2 LIGHTING PLAN

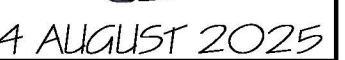
0 2' 4' 8'

SCALE: 1/4" = 1'-0"

ELECTRICAL SCOPE OF WORK:

THERE IS A DEMISING WALL WILL BE CONSTRUCTED TO SPLIT THE EXISTING SPACE INTO TWO (2) TENANT SPACES, UPS STORE AND FUTURE TENANT SPACE. EXISTING PANEL "C" WITH ITS OUTDOOR DISCONNECT, METER SHALL REMAIN IN UPS SPACE. REMOVE ALL EXISTING UNUSED, ABANDONED CONDUITS, FEEDERS. PROVIDE NEW RECEPTACLES ON THE EXISTING AND NEW DEMISING WALLS. NEW LIGHTING AND POWER FOR THE EXISTING WATER HEATER. LABEL ALL INTERIOR, EXTERIOR EQUIPMENT AS REQUIRED.

THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS



PRELIMINARY ☐ FOR-DESIGN DEVELOPMENT ONLY
FINAL DRAWING ☒ FOR CONSTRUCTION

OWNER/TENANT:

CONTRACTOR/BUILDER:

181 MITTIE HADDOCK DRIVE CAMERON, NC. 28326

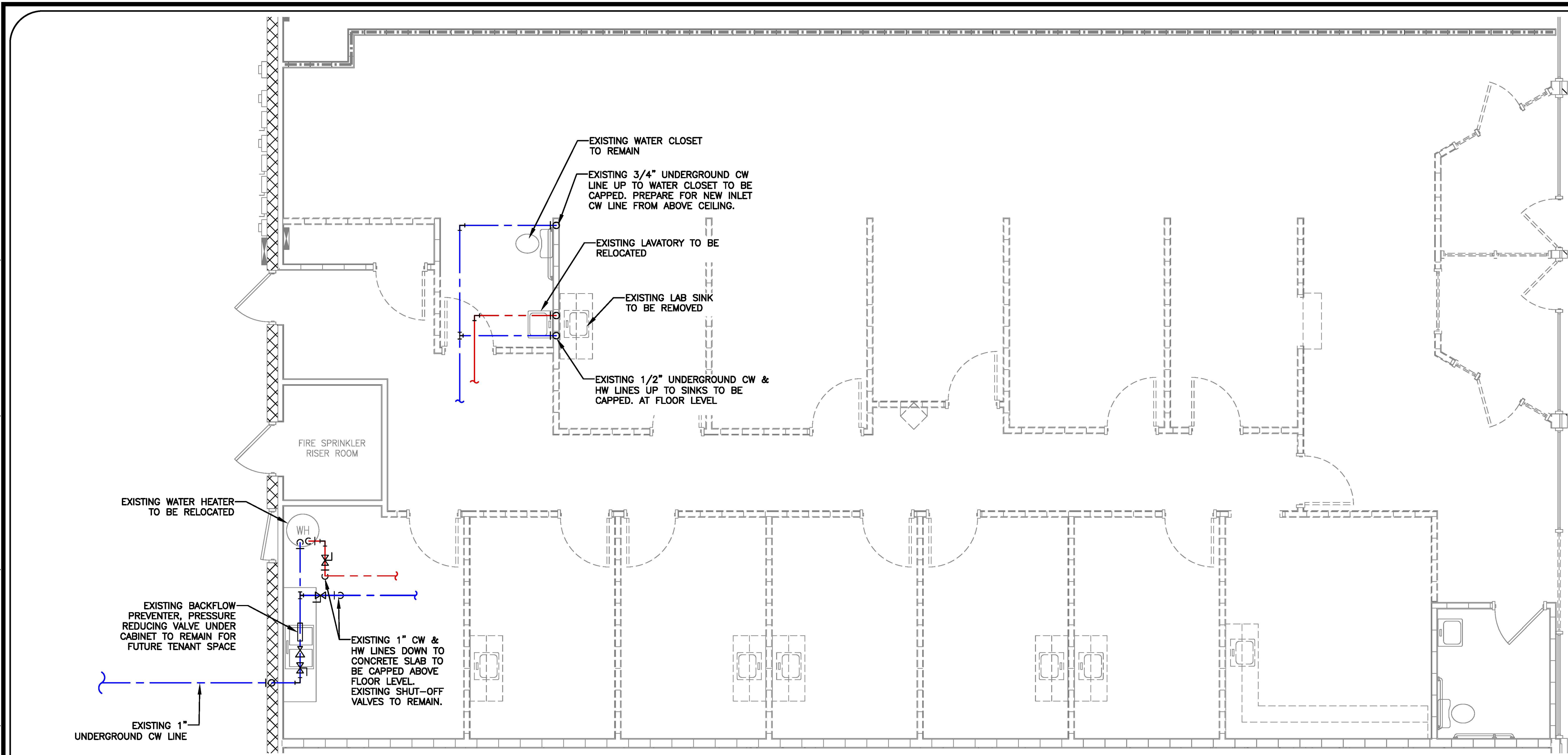
SHEET:

LEVEL II ALTERATION: UPS BUILDING SHELL SPACE

ELECTRICAL - POWER & LIGHTING PLAN

E2

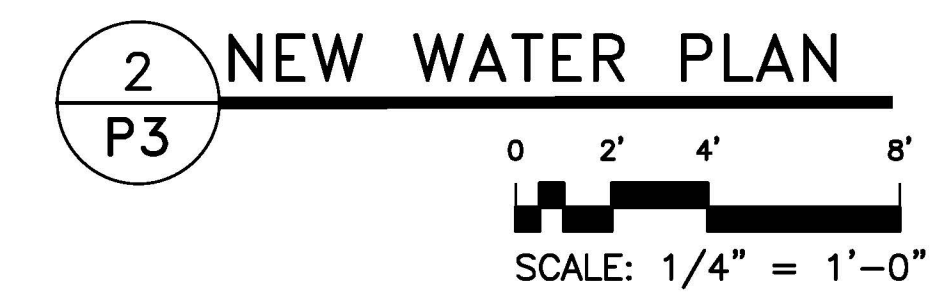
THIS BUILDING IS FULLY PROTECTED BY FIRE SPRINKLERS


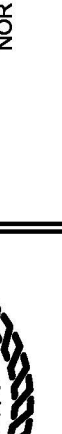


2 NEW WATER PLAN
P3

0 2' 4' 8'

SCALE: 1/4" = 1'-0"



<div style="text-align: center;">  <h1>JENKINS</h1> <p>CONSULTING ENGINEERS, P.A.</p> <p>OFFICE IN EUREKA SPRINGS, NORTH CAROLINA 1805 MARKET STREET, SUITE 100, EUREKA SPRINGS, NC 28543 NORTH CAROLINA CORPORATION NUMBER C-3070 OFFICE 910.822.1724</p> </div>		
	<div style="text-align: center;">  <p>04 AUGUST 2025</p> </div>	
	DESIGNED / CHECKED BY: B. JENKINS	DRAWN BY: TS.BT
	PROJECT #: 2025-05-06	DATE: 04 AUGUST 2025
	FINAL DRAWING <input type="checkbox"/> FOR REVIEW PURPOSES ONLY PRELIMINARY <input type="checkbox"/> FOR DESIGN DEVELOPMENT ONLY FINAL DRAWING <input checked="" type="checkbox"/> FOR CONSTRUCTION	
	OWNER/TENANT:	CONTRACTOR/BUILDER:
PROJECT: LEVEL II ALTERATION: UPS BUILDING SHELL SPACE 181 MITTIE HADDOCK DRIVE CAMERON, NC. 28326		
SHEET:	PLUMBING – WASTE & VENT PLAN	
P3		



Fire Marshal Division

P.O. Box 370
Lillington, NC 27546
910-893-7580

Application for Plan Review

Permit Type: _____

Date Received: _____ Received By: _____

Name of Project: UPS Store

Physical Address of Project: 181 Mittie Haddock Dr Cameron NC

Plans Submitted By: Commerical Construction Contractors ²⁸³²⁶

Project Phone: (910)-303-7683

Contact Person/Address: Wes DAVIS

584 Executive Dr Ste 102 Fayetteville NC 28305

Contact Phone: (910)-303-7683 (910)-818-8889

Contractor's Name/Info: Wes DAVIS

Commercial Construction Contractors

Contractor's Phone: (910)-303-7683

Contact Email: ccc@cccbuildnc.com

- Plans that are submitted will be reviewed as quickly as possible with an average time of review between 7-10 working days.
- Status checks may be conducted on plan reviews by visiting the website <http://htweb.harnett.org/Click2GovBP/Index.jsp> or by calling the Harnett County Central Permitting Office (910-893-7525 : Opt. 2), or the Harnett County Fire Marshal's Office (910-893-7580).
- Approved plans must be picked up from the Central Permitting Office and all fees paid before any required inspections can be conducted.