

NOTES

- REVIEW AND APPROVAL OF THE PLANS DOES NOT RELIEVE THE OWNER, CONTRACTOR, OR DEVELOPER FROM MEETING ALL THE REQUIREMENTS OF THE HARNETT COUNTY ZONING / DEVELOPMENT ORDINANCE, AND ANY OTHER STATE, AND FEDERAL REGULATIONS AND APPROVALS.
- IMPROVEMENTS TO THE HARNETT REGIONAL WATER (HRW) WATER SUPPLY SYSTEM AS SHOWN ON THESE PLANS SHALL BE IN STRICT CONFORMANCE WITH CURRENT HRW STANDARDS, SPECIFICATIONS, AND POLICIES. SEE SHEETS 15-16 FOR ADDITIONAL INFORMATION.
- PLANS BASED ON APPROVED PRELIMINARY SUBDIVISION PLAT PREPARED BY J THOMAS ENGINEERING, WITH CONDITIONAL APPROVAL BY COUNTY DEVELOPMENT REVIEW BOARD (DRB) ON SEPTEMBER 21, 2022. MINOR CHANGES MAY HAVE TO BE MADE TO THE ROAD CENTERLINE AND LOT LINES BASED ON ACTUAL FIELD CONDITIONS. THOSE CHANGES WILL BE REFLECTED ON THE FINAL PLAT.
- TOPOGRAPHIC FEATURES SHOWN ON THESE PLANS ARE FROM THE STATE'S LIDAR DATA, THE OWNER'S SURVEYOR SUPPLIED FIELD LOCATIONS AND ELEVATIONS IN CERTAIN AREAS WHERE MORE DETAIL WAS NEEDED FOR DESIGN, THIS PLAN MAKES NO ASSURANCES FOR A BALANCED (EARTHWORK) PROJECT.
- THE PROPERTY BOUNDARY SHOWN ON THESE PLANS WAS PROVIDED BY THE OWNER'S SURVEYOR.
- OWNER TO OBTAIN CONSTRUCTION EASEMENTS/AGREEMENTS PRIOR TO PROPOSED OFF-SITE WORK.
- NO CHANGES TO THE PROPOSED WATER SYSTEM, INCLUDING LOCATION OF LINES, HYDRANTS, VALVES, ETC, UNLESS WRITTEN APPROVAL FROM HRW IS FIRST OBTAINED. APPROPRIATE BACKFLOW PREVENTION IS REQUIRED FOR ANY IRRIGATION METERS INSTALLED.
- OWNER IS RESPONSIBLE FOR THE DESIGN AND OBTAINING PERMITS FOR THE INDIVIDUAL SEWER SEPTIC SYSTEMS REQUIRED FOR EACH LOT. THE LOCATION OF THE SEPTIC SYSTEM DRAIN FIELD AND REPAIR AREA SHOULD BE STAKED IN THE FIELD SO THESE AREAS ARE NOT DISTURBED DURING CONSTRUCTION.
- THIS PROPERTY IS LOCATED IN ZONE 'X' ON FEMA FIRM MAPS 37200528000 / 37200526000 DATED OCTOBER 3, 2005.
- JURISDICTIONAL WETLANDS AND STREAMS IN THE VICINITY OF THE LIMIT OF DISTURBANCE HAVE BEEN LOCATED BY THE OWNER'S CONSULTANT, SWCA ENVIRONMENTAL CONSULTANTS. NO IMPACTS ARE PROPOSED TO THESE JURISDICTIONAL FEATURES.
- SEE PLAN / PROFILE SHEETS (SHEETS 4 - 6) FOR ADDITIONAL DESIGN AND LAYOUT INFORMATION.
- CONTRACTOR TO VERIFY QUANTITIES SHOWN ON PLANS BASED ON ACTUAL FIELD CONDITIONS.
- CENTERLINE OF WATER MAIN TO BE INSTALLED 4' FROM EDGE OF PAVEMENT (TYP), UNLESS SHOWN OTHERWISE.
- SEE PLAN FOR APPROXIMATE LOCATION OF STREET LIGHTS, OWNER TO COORDINATE WITH DUKE POWER FOR EXACT LOCATION. PER COUNTY ORDINANCE STREET LIGHTS SHALL HAVE MAX. SPACING OF 300 FT.
- ELECTRICAL POWER AND COMMUNICATION FACILITIES SHOULD CONFORM TO THE CURRENTLY APPLICABLE NATIONAL ELECTRIC SAFETY CODE EXCEPT VERTICAL CLEARANCES SHALL BE NO LESS THAN 18" IN ANY CASE.
- ALL UTILITY STRUCTURES SHALL BE LOAD RATED FOR THE APPROPRIATE DEAD LOAD PLUS HL-93 LIVE LOAD. SUCH STRUCTURES SHALL BE DESIGNATED AND CERTIFIED BY A LICENSED P.E. OR DESIGNATED AS MEETING NCDOT STANDARD DRAWINGS AND SPECIFICATIONS.
- ALL ASPHALT WORK TO BE ACCEPTED BY THE NCDOT MUST BE IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATION FOR ROADS AND STRUCTURES (JANUARY 2018), DIVISION 6-ASPHALT PAVEMENTS. IN PARTICULAR SECTION 609-QUALITY MANAGEMENT SYSTEM FOR ASPHALT PAVEMENTS AND SECTION 610-ASPHALT CONCRETE PLANT MIX PAVEMENT.
- NCDOT MUST REVIEW AND APPROVE ANY SUBDIVISION NAME SIGNS OR MARKERS. IF A SUBDIVISION MARKER IS USED FOR THE ENTRANCE AT NC 27 HIGHWAY, IT MUST BE LOCATED OUTSIDE THE R/W.
- THE OWNER WILL PROPOSE TO ADD THE ROADWAYS INTO THE NCDOT SYSTEM. THE CONTRACTOR SHALL FOLLOW THE NCDOT STANDARDS AND TESTING REQUIREMENTS FOR THE ROADWAY CONSTRUCTION. APPROPRIATE DOCUMENTATION MUST BE SUBMITTED TO THE NCDOT, INCLUDING ASPHALT QUALITY MANAGEMENT REPORTS AND SUBGRADE, BASE, AND ASPHALT COMPACTION TEST RESULTS, UTILITY ENCROACHMENT AGREEMENTS (FOR ALL UTILITIES ENCROACHING ON THE PUBLIC R/W) PRIOR TO NCDOT TAKING OVER THE ROAD SYSTEM.

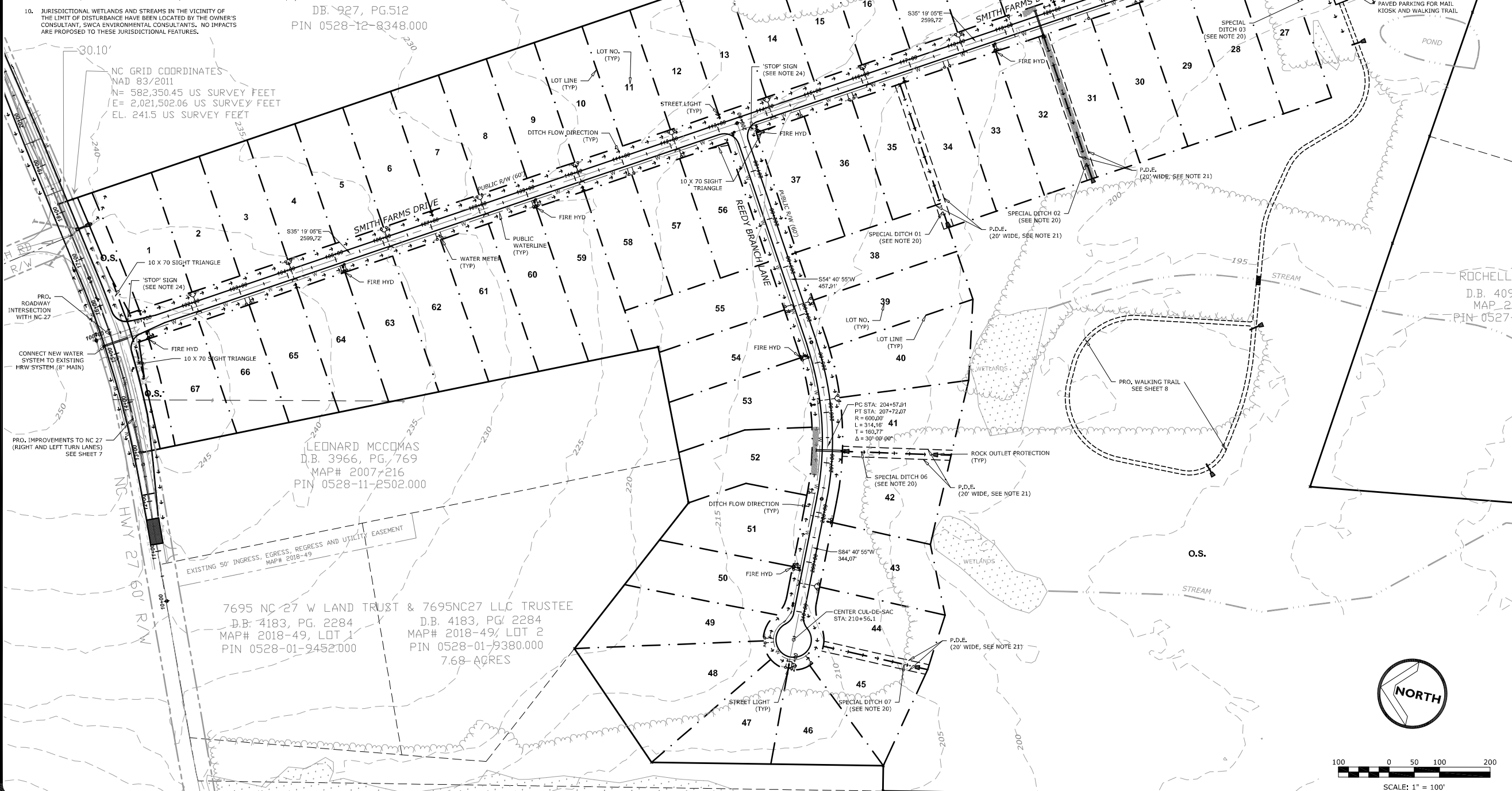
20. DRAINAGE STRUCTURES INSTALLED WITHIN THE EXISTING AND/OR PROPOSED R/W MUST BE PER NCDOT STANDARD DRAWINGS. THE NCDOT (STATE) WILL NOT BE RESPONSIBLE FOR MAINTENANCE / INSPECTION OF ANY STORMWATER APPURTENANCES OUTSIDE THE R/W. THIS INCLUDES OUTFALL DITCHES. ALL DITCHES MUST BE STABLE PRIOR TO NCDOT ACCEPTANCE INTO THE STATE SYSTEM.
21. ALL PERMANENT DRAINAGE EASEMENTS (P.D.E.) SHALL NOT BE MAINTAINED BY THE NCDOT. P.D.E.'S SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION SET UP FOR THIS SUBDIVISION. IF NO HOMEOWNER'S ASSOCIATION IS FORMED, THE INDIVIDUAL PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE.
22. DRIVEWAYS FOR ALL LOTS CREATED WITH THIS SUBDIVISION SHALL ACCESS THE INTERNAL SUBDIVISION ROADS AND NOT HAVE ACCESS TO NC 27 HIGHWAY NOR CLARK ROAD (SR 1129).
23. THE MAIL (CBU) KIOSK TURN-OUT SHALL BE ADA COMPLIANT. SEE SHEET 8 FOR MORE DESIGN INFORMATION. THE MAIL KIOSK AREA IS LOCATED IN THE R/W BUT SHALL BE MAINTAINED BY THE H.O.A. (WILL NOT BE MAINTAINED BY NCDOT).
24. STOP SIGNS SHALL BE INSTALLED AT THE FOLLOWING INTERSECTIONS:
 - SMITH FARMS DRIVE @ NC 27
 - REEDY BRANCH LANE @ SMITH FARMS DRIVEPLACE SIGN IN THE LOCATION SHOWN ON THE PLANS. STOP SIGNS SHALL BE NCDOT APPROVED TYPE AND INSTALLED PER NCDOT POLICY.
25. DRIVEWAYS FOR LOTS 1 AND 67 SHALL BE LOCATED TO MAXIMIZE THE DISTANCE FROM NC 27 HIGHWAY. THIS RESTRICTION SHALL BE NOTED ON THE FINAL PLAT.
26. CERTIFICATION REQUIRED ON THE FINAL PLAT:

DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
Proposed Subdivision Road Minimum Construction Standards Certification

The roads indicated on this plat are designed to the Department's Minimum Construction Standards. The roads must be constructed to the standards, paved and in an acceptable state of maintenance at the time that they are accepted on the State System. All responsibility for the roads remains with the owner of the property, his heirs, or assigns until such time as the roads are accepted for maintenance by the Board of Transportation.

APPROVED _____
District Engineer

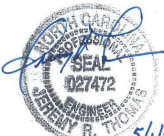
DATE _____



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PROFESSIONAL ENGINEER'S SEAL

THE HOMES AT REEDY BRANCH
RESIDENTIAL DEVELOPMENT
7571 NC 27 W HIGHWAY
HARNETT COUNTY, NORTH CAROLINA

OVERALL CONSTRUCTION PLAN

REVISIONS

04 AUG 2023: REVISIONS PER COMMENTS RECEIVED IN 1ST SUBMITTAL TO NCDOT ON INTERNAL ROAD REVIEW.
13 DEC 2023: REVISIONS PER COMMENTS RECEIVED IN 1ST SUBMITTAL TO NCDOT (27 TURN LANES) AND HRW.

AGENCY REVIEW ONLY

Scale: SEE SCALE BAR	Drawn by: JRT
Sheet:	Designed by: JRT
3 of 21	Reviewed by: JRT
Project Number: 22-004	Date: 01 MAY 2023