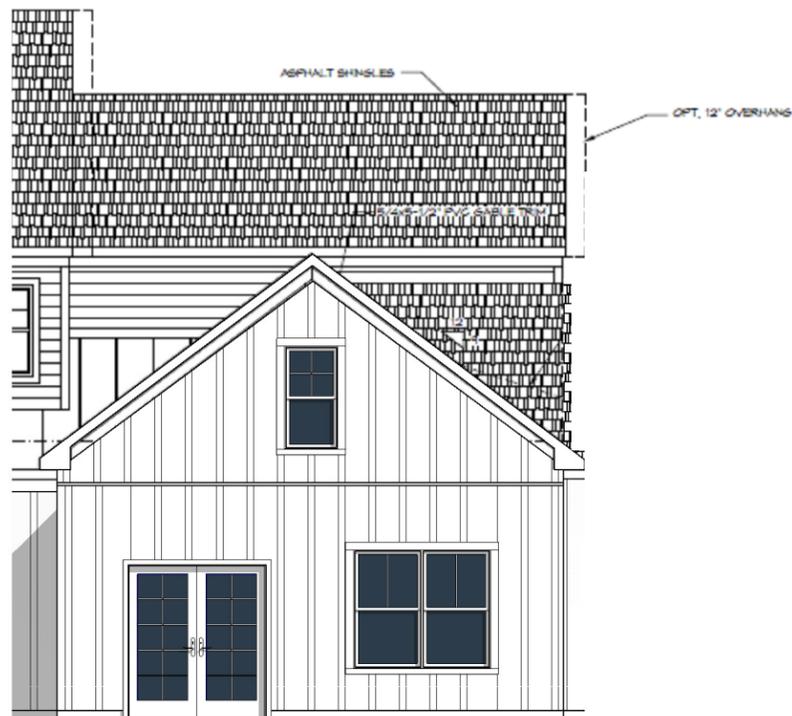


Reviewed for Fire Code Compliance



Roger Sullivan

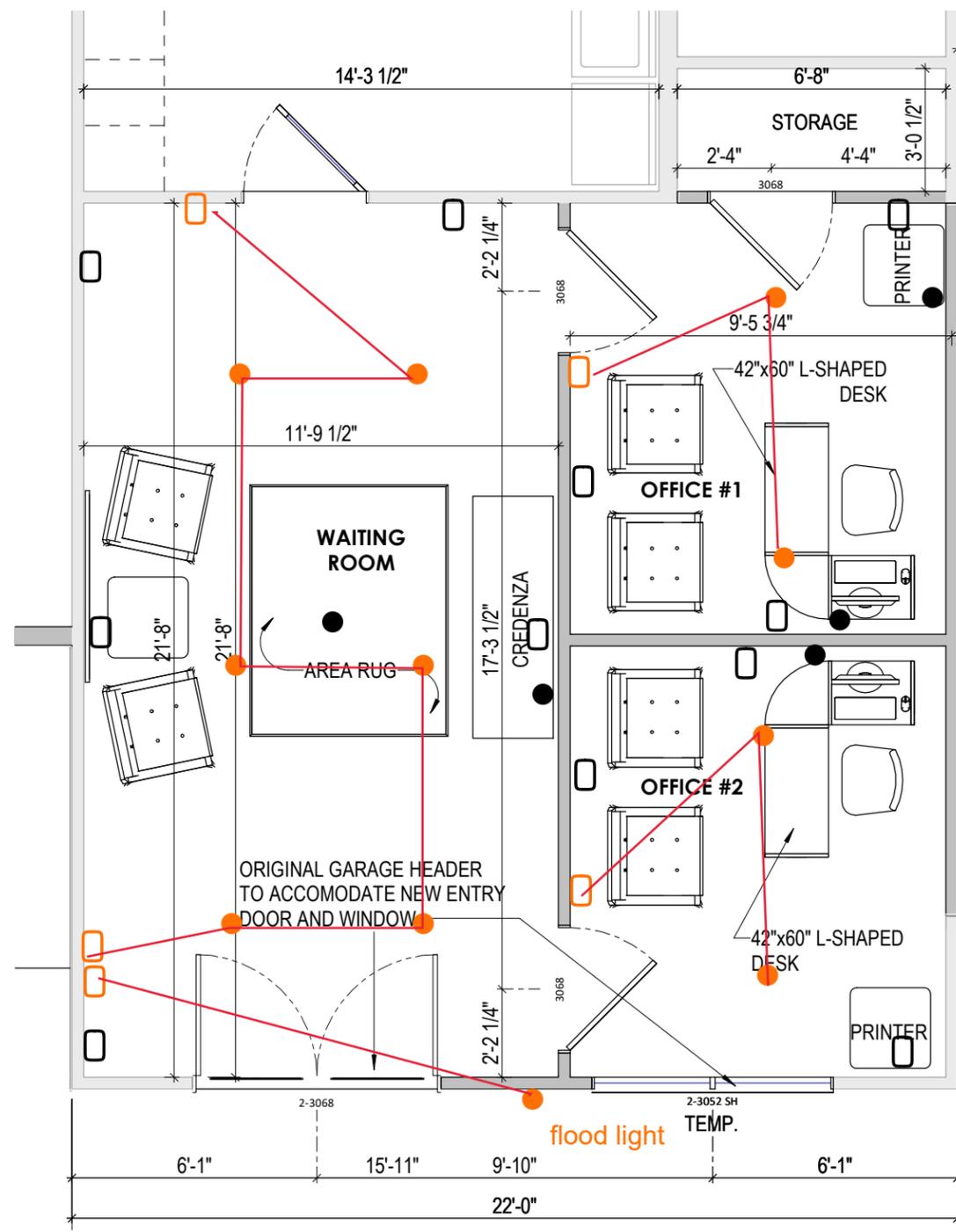
07/08/2025 2:49:59 PM



**2 FRONT ELEVATION**  
SC-1 1/8" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

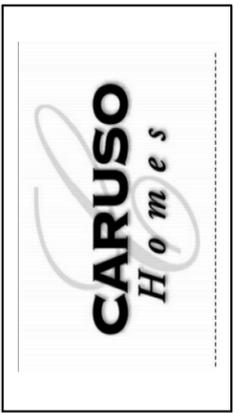
**NOTE:**  
ELEVATION PROVIDED IS AN EXAMPLE ELEVATION. MATERIAL, STONE OR BRICK ACCENTS VARY PER COMMUNITY

- Light
- Data
- Electrical outlet
- Switch



**1 SALES CENTER**  
SC-1 1/4" = 1'-0" WHEN PRINTED ON 11"x17" / ANSI B PAPER SIZE

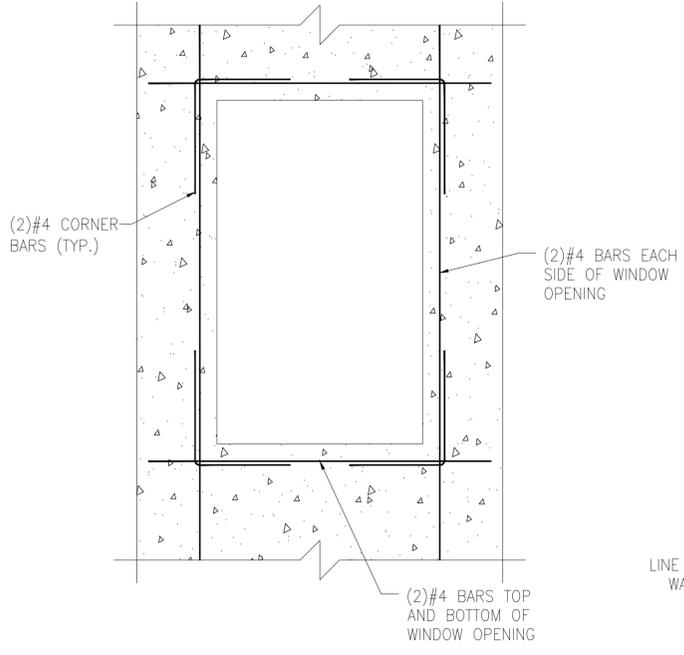
SQFT	
Description	Area
Sales Center	477 SF
Grand total	477 SF



Single Family - 3 Car  
CARUSO HOMES  
ROANOKE SALES CENTER

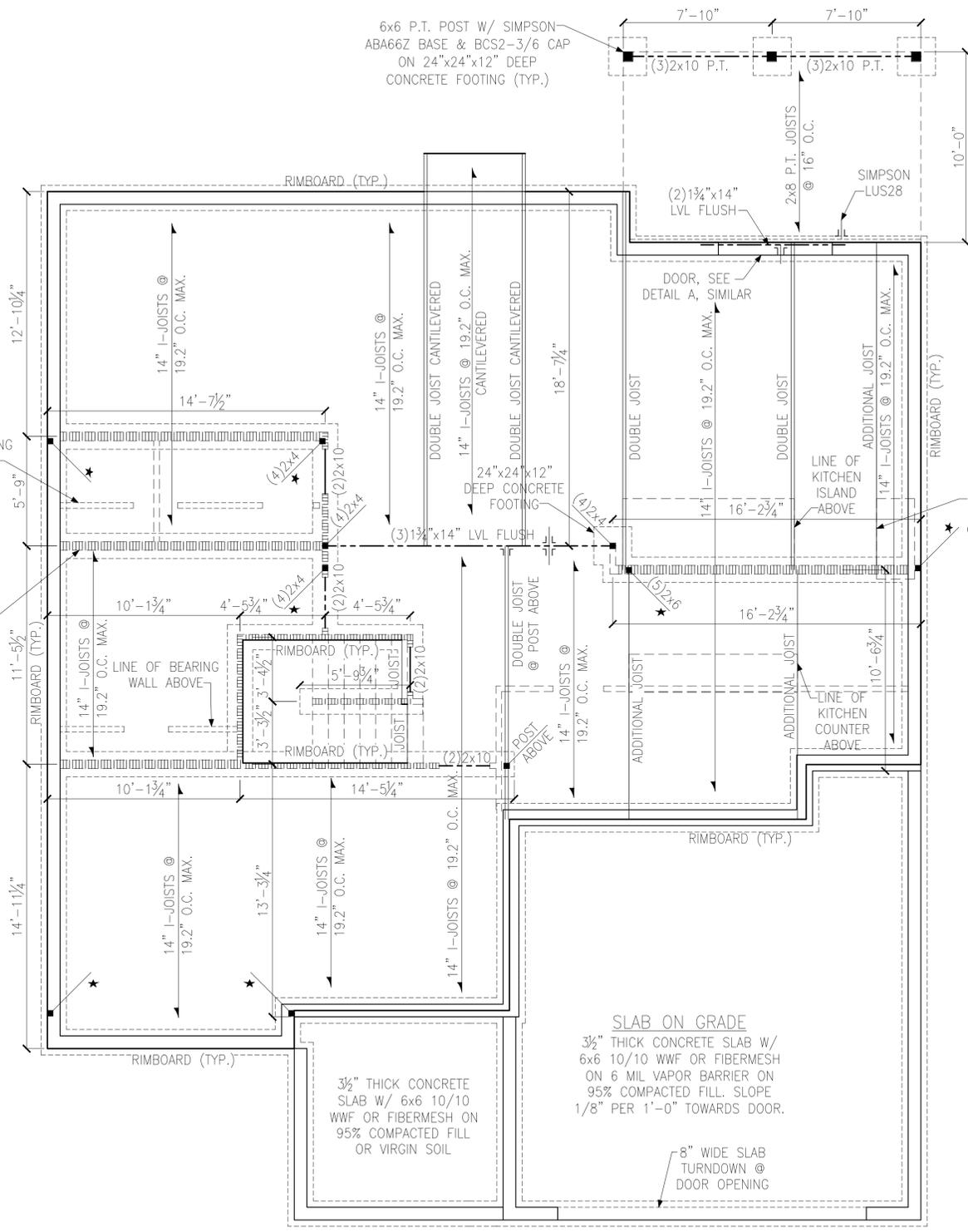
Date: 5/24/23  
Drawn By: SGM  
Checked By: SGM

SC-1



**A** WINDOW OPENING DETAIL  
BASEMENT FOUNDATION

2x6 @ 16" O.C. STUD BEARING WALL W/ P.T. BOTTOM PLATE ON 8" DEEP x 16" WIDE THICKENED SLAB. INSTALL WALL BRACING STRAPS & BLOCKING PER DETAIL D/SD-11. TYPICAL ALL BASEMENT BEARING WALLS.



DECK FRAMING NOTES:  
-DECK CONSTRUCTION PER NCR, CHAPTER 47, U.N.O.  
-GUARD RAIL REQUIRED, DESIGN BY OTHERS (TYP.)  
-PROVIDE LATERAL BRACING PER NCR, CHAPTER 47

LOCATE DOUBLE JOIST EACH END OF KITCHEN ISLAND

**LEGEND**

- ★ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- ▤ INTERIOR BEARING WALL
- ▨ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

FLOOR FRAMING TO BE 14" DEEP TJI 210 I-JOISTS @ 19.2" O.C. MAXIMUM OR EQUAL

BASEMENT WALLS DESIGNED FOR MAXIMUM UNSUPPORTED WALL HEIGHT OF 10 FEET WITH MAXIMUM OF 9 FEET OF UNBALANCED FILL. 45 PCF ASSUMED SOIL PRESSURE.

**WALLS**  
BASEMENT FOUNDATION WALLS TO BE 10" POURED CONCRETE WALLS W/ #4 VERTICAL BARS @ 16" O.C. & (4) #4 HORIZONTAL BARS ON 8" DEEP x 20" WIDE CONTINUOUS CONCRETE FOOTING, 10" CONCRETE WALL W/ 4" BRICK LEDGE ON 8" DEEP x 24" WIDE CONTINUOUS CONCRETE FOOTING @ BRICK VENEER. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1.25" MEASURED FROM THE INSIDE FACE OF THE WALL.

EXTERIOR GARAGE WALLS AND PORCH WALLS WITH FILL ON BOTH FACES TO BE 8" UN-REINFORCED POURED CONCRETE

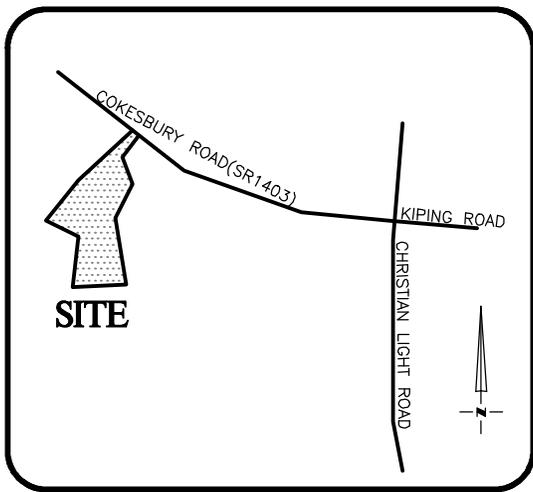
**FOOTING:**  
8" DEEP x 20" WIDE CONTINUOUS CONCRETE FOOTING OR  
8" DEEP x 24" WIDE CONTINUOUS CONCRETE FOOTING @ BRICK VENEER.

REINFORCING STEEL NOT REQUIRED IN FOOTING UNLESS NOTED OTHERWISE. BUILDER MAY EXCEED THE CODE REQUIREMENTS AT THEIR OWN DISCRETION.

BASEMENT FOUNDATION PLAN







**VICINITY MAP**  
Not To Scale

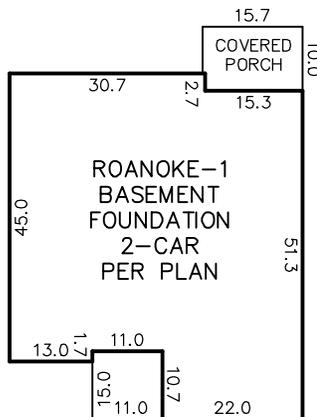
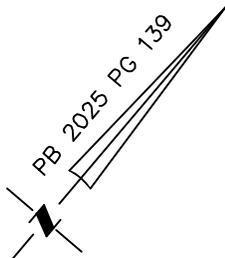


IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	2,327 S.F.
SC. PORCH/ HVAC	183 S.F.
DRIVEWAY & WALKS	636 S.F.
TOTAL (PROPOSED)=	3,146 S.F.
*TOTAL (ALLOWED)=	3,850 S.F.

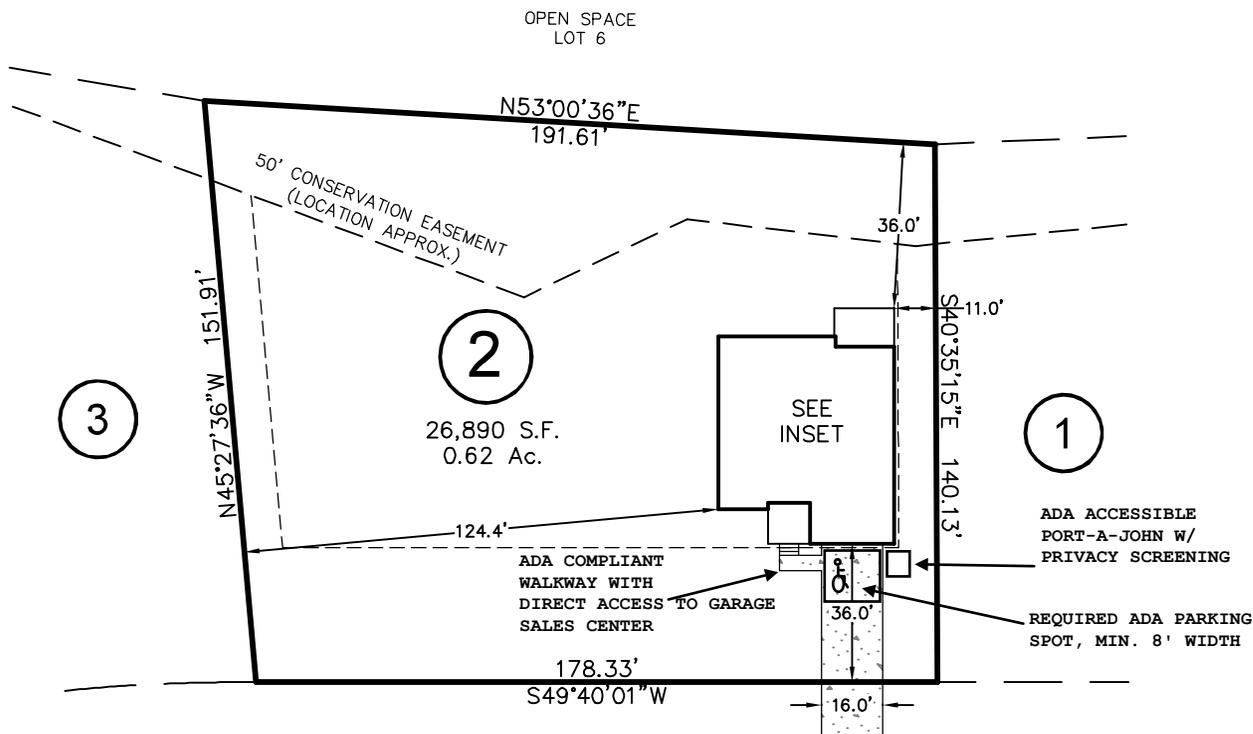
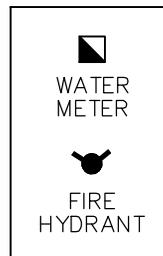
\*PB 2025 PG 139

**SETBACKS: (ZONE RA-30)**

- FRONT - 35'
- REAR - 25'
- SIDE - 10'
- CORNER SIDE - 20'



INSET  
N.T.S.



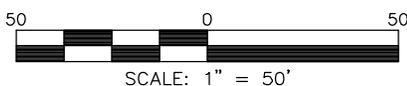
**MAGNOLIA ACRES LANE**

50' PUBLIC R/W

THIS DRAWING DOES NOT REFLECT AS-BUILT INFORMATION

**PRELIMINARY PLAT**  
NOT FOR RECORDATION, CONVEYANCES, OR SALES.

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED



SCALE: 1" = 50'

**RESIDENTIAL LAND SERVICES, PLLC.**

1917 Evans Road  
Cary, North Carolina 27513  
Phone (919) 378-9316  
Firm License # P-0873

**HOUSE LOCATION PLOT PLAN**

FOR

#318 MAGNOLIA ACRES LANE

LOT 2, MAGNOLIA ACRES SUBDIVISION

Hectory's Creek Township, Harnett County, North Carolina

PROPERTY OF: HHHUNT HOMES

MAP BOOK 2025 PAGE 139 DEED REFERENCE \_\_\_\_\_

DRAWN: JWW

SURVEYED: N/A

CHECKED: DMR

DATE: MAY 21, 2025



Initial Application Date: \_\_\_\_\_

Application # \_\_\_\_\_

DRB # \_\_\_\_\_ CU # \_\_\_\_\_

**COMMERCIAL**

**COUNTY OF HARNETT LAND USE APPLICATION**

Central Permitting (Physical) 420 McKinney Pkwy, Lillington, NC 27546 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 opt # 1 Fax: (910) 893-2793 www.harnett.org/permits

**LANDOWNER:** Zone 4 Properties Mailing Address: 110 Horizon Drive, Suite 320

City: Raleigh State: NC Zip: 27615 Contact # 2408863229 Email: NCPERMITS@CARUSOHOMES.COM

**APPLICANT\*:** Caruso Builder Magnolia Acres LLC Mailing Address: 110 Horizon Drive, Suite 320

City: Raleigh State: NC Zip: 27615 Contact # 2408863229 Email: NCPERMITS@CARUSOHOMES.COM

\*Please fill out applicant information if different than landowner

**CONTACT NAME APPLYING IN OFFICE:** James Rumley Phone # 240-886-3229

**Address:** 318 Magnolia Acres Lane PIN: 0633-15-1327.000

Zoning: RA 30 Watershed: n/a Flood: n/a Deed Book Page: 4159 / 1087

**Setbacks – Front:** 36' **Back:** 36' **Side:** 11' **Corner:** 124'

**PROPOSED USE:**

Multi-Family Dwelling No. Units: \_\_\_\_\_ No. Bedrooms/Unit: \_\_\_\_\_

*\*Proposed Use is a Sales Office to be in the space of the garage we are building in connection with this model home.*

Business Sq. Ft. Retail Space: 477 Type: Garage sales office for # Employees: 2 Hours of Operation: 9am-5pm M-F model home

Daycare # Preschoolers: \_\_\_\_\_ # Afterschoolers: \_\_\_\_\_ # Employees: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_

Industry Sq. Ft: \_\_\_\_\_ Type: \_\_\_\_\_ # Employees: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_

Church Seating Capacity: \_\_\_\_\_ # Bathrooms: \_\_\_\_\_ Kitchen: \_\_\_\_\_

Accessory/Addition/Other (Size \_\_\_\_\_x\_\_\_\_\_) Use: \_\_\_\_\_

Water Supply:  County \_\_\_\_\_ Existing Well \_\_\_\_\_ New Well (# of dwellings using well \_\_\_\_\_) **\*Must have operable water before final (Need to Complete New Well Application at the same time as New Tank)**

Sewage Supply: \_\_\_\_\_ New Septic Tank \_\_\_\_\_ Expansion \_\_\_\_\_ Relocation  Existing Septic Tank \_\_\_\_\_ County Sewer **(Complete Environmental Health Checklist on other side of application if Septic)**

**Comments:** \_\_\_\_\_

\_\_\_\_\_ This application is for a sales office in the garage of our model home at 318 Magnolia Acres Way. We already have a permit issued for the model home. Model home has County water and private septic tank. Sales office will use a port-a-john during construction. \_\_\_\_\_

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

\_\_\_\_\_  
*James Rumley*  
Signature of Owner or Owner's Agent

7-1-25  
Date

**\*\*This application expires 6 months from the initial date if permits have not been issued\*\***

**RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION**

**\*\*\*It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.\*\*\***

\*Each section below must be filled out by whoever is performing the work. Must be owner or licensed contractor. Address, company name & phone must match information on state license.

Application # \_\_\_\_\_

Harnett County Central Permitting  
420 McKinney Pkwy Lillington, NC 27546  
PO Box 65 Lillington, NC 27546  
910-893-7525 ext. 1 Fax 910-893-2793 www.harnett.org/permits

**COMMERCIAL**

**Application for Building and Trades Permit**

Owner's Name: Zone 4 Properties Date: 7-1-25

Site Address: 318 Magnolia Acres Lane Phone: 240-886-3229

Directions to job site from Lillington: Magnolia Acres Subdivision - Lot 2

Subdivision: Magnolia Acres Lot: 2

Description of Proposed Work: Garage of the SFD here will be used as a sales office, as this is our model home

Heated SF 477 Unheated SF 0 Model Home already has a building permit issued

**General Contractor Information:** Building Cost \$ 20,000

Caruso Homes of North Carolina 2408863229

Building Contractor's Company Name Telephone

1210 Baldwin Avenue, Suite 200, Crofton MD NCPERMIT@CARUSOHOMES.COM

Address Email Address

James Runley 76612

Signature of Owner/Contractor/Officer(s) of Corporation License #

**Electrical Contractor Information:** Electrical Cost \$ 2,000 Existing electrical service for model home under our residential building permit

Description of Work Outlets/lights for sales office Service Size: \_\_\_\_\_ Amps #T-Poles \_\_\_\_\_

MSF Electric 9192179767

Electrical Contractor's Company Name Telephone

7513 Knightdale Blvd, Suite 2B, Knightdale NC 27545 mandyk@msfelectric.com

Address Email Address

34688

License #

**Mechanical Contractor Information:** Mechanical Cost \$ 2,000

Description of Work HVAC for sales office in garage # Units 1

All American Heating and Air 9197826242

Mechanical Contractor's Company Name Telephone

7216 ACC blvd, Raleigh NC 27617 allamerican-hvacp-caruso@allamerican-nc.com

Address Email Address

24598

License #

**Plumbing Contractor Information:** Plumbing Cost \$ \_\_\_\_\_

Description of Work No work needed but here is plumbing contractor info for the SFD # Baths 0

Capitol Plumbing LLC 9197826242

Plumbing Contractor's Company Name Telephone

7216 ACC blvd, Raleigh NC 27617 allamerican-hvacp-caruso@allamerican-nc.com

Address Email Address

20157

License #

**Insulation Contractor Information**

Tri City Insulation 919-790-9684

Insulation Contractor's Company Name & Address Telephone

**\*NOTE: General Contractor must fill out and sign the second page of this application**

**Sprinkler Contractor Information**

n/a

Sprinkler Contractor's Company Name

Telephone

Address

Email Address

Signature of Officer(s) of Corporation

License #

**Fire Alarm Contractor Information**

n/a

Fire Alarm Contractor's Company Name

Telephone

Address

Email Address

Signature of Officer(s) of Corporation

License #

**Driveway Access** - NC Department of Transportation Driveway Access/Permit?  Yes  No

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and if **any** changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

**Expired Permit Fees** - 6 months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is charged at full price per current fee schedule.

James Rumley  
Signature of Owner/Contractor/Officer(s) of Corporation

7-1-25  
Date

**Affidavit for Worker's Compensation N.C.G.S. 87-14**

The undersigned applicant being the:

General Contractor  Owner  Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Company or Name: Caruso Homes of North Carolina LLC

Sign w/Title: James Rumley associate general counsel Date: 7-1-25