

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: GREATER VISION FELLOWSHIP INC
Address: 135 DAY CREEK RD LITTLETON, NC
Owner/Authorized Agent: TERRY MILLER Phone #: (919) 201-2604
Owned By: GREATER VISION FELLOWSHIP
Code Enforcement Jurisdiction: County

CONTACT:

Table with columns: DESIGNER, FIRM, NAME, LICENSE #, TELEPHONE #, E-MAIL. Rows include Architectural, Civil, Electrical (MARRY ELECTRIC), Fire Alarm, Plumbing (GARY WILLS PLUMBING INC), Mechanical (BENSLY HEAT & AIR), Sprinkler-Standpipe, Structural, Retaining Walls >5' High, Other.

2018 NC BUILDING CODE: [X] New Building [ ] Addition [ ] Renovation
[ ] 1st Time Interior Completion
[ ] Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
[ ] Phased Construction - Shell/Core- Contact the local inspection jurisdiction for possible additional procedures and requirements



2018 NC EXISTING BUILDING CODE: EXISTING: [ ] Prescriptive [ ] Repair [ ] Chapter 14
Alteration: [ ] Level I [ ] Level II [ ] Level III
[ ] Historic Property [ ] Change of Use

CONSTRUCTED: (date) \_\_\_\_\_ CURRENT OCCUPANCY(S) (Ch. 3): \_\_\_\_\_
RENOVATED: (date) \_\_\_\_\_ PROPOSED OCCUPANCY(S) (Ch. 3): \_\_\_\_\_

RISK CATEGORY (Table 1604.5): Current: [ ] I [ ] II [ ] III [ ] IV
Proposed: [ ] I [X] II [ ] III [ ] IV

BASIC BUILDING DATA

Construction Type: [ ] I-A [ ] II-A [ ] III-A [ ] IV [ ] V-A
[ ] I-B [X] II-B [ ] III-B [ ] V-B
Sprinklers: [X] No [ ] Partial [ ] Yes [ ] NFPA 13 [ ] NFPA 13R [ ] NFPA 13D
Standpipes: [X] No [ ] Yes Class [ ] I [ ] II [ ] III [ ] Wet [ ] Dry
Fire District: [X] No [X] Yes Flood Hazard Area: [X] No [ ] Yes
Special Inspections Required: [ ] No [ ] Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

**Gross Building Area Table**

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 <sup>rd</sup> Floor			
2 <sup>nd</sup> Floor			
Mezzanine			
1 <sup>st</sup> Floor		2400	
Basement			
TOTAL			

**ALLOWABLE AREA**

**Primary Occupancy Classification(s):**

- Assembly  A-1  A-2  A-3  A-4  A-5
- Business
- Educational
- Factory  F-1 Moderate  F-2 Low
- Hazardous  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HPM
- Institutional  I-1 Condition  1  2  
 I-2 Condition  1  2  
 I-3 Condition  1  2  3  4  5  
 I-4
- Mercantile
- Residential  R-1  R-2  R-3  R-4
- Storage  S-1 Moderate  S-2 Low  High-piled  
 Parking Garage  Open  Enclosed  Repair Garage
- Utility and Miscellaneous

**Accessory Occupancy Classification(s):** \_\_\_\_\_

**Incidental Uses (Table 509):** \_\_\_\_\_

**Special Uses (Chapter 4 – List Code Sections):** \_\_\_\_\_

**Special Provisions: (Chapter 5 – List Code Sections):** \_\_\_\_\_

**Mixed Occupancy:**  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_

Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$\underline{\hspace{2cm}} + \underline{\hspace{2cm}} + \dots = \underline{\hspace{2cm}} \leq 1.00$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 <sup>4</sup> AREA	(C) AREA FOR FRONTAGE INCREASE <sup>1,5</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>

<sup>1</sup> Frontage area increases from Section 506.3 are computed thus:

- a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)
- b. Total Building Perimeter = \_\_\_\_\_ (P)
- c. Ratio (F/P) = \_\_\_\_\_ (F/P)
- d. W = Minimum width of public way = \_\_\_\_\_ (W)
- e. Percent of frontage increase  $I_f = 100[F/P - 0.25] \times W/30 =$  \_\_\_\_\_ (%)

<sup>2</sup> Unlimited area applicable under conditions of Section 507.

<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).

<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4.

<sup>5</sup> Frontage increase is based on the unsprinklered area value in Table 506.2.

#### ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE <sup>1</sup>
Building Height in Feet (Table 504.3) <sup>2</sup>			
Building Height in Stories (Table 504.4) <sup>3</sup>			

<sup>1</sup> Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

<sup>2</sup> The maximum height of air traffic control towers must comply with Table 412.3.1.

<sup>3</sup> The maximum height of open parking garages must comply with Table 406.5.4.

**FIRE PROTECTION REQUIREMENTS**

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (w/REDUCTION) *				
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction							
Including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof Construction, including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy/Fire Barrier Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit/Sleeping Unit Separation							
Incidental Use Separation							

\* Indicate section number permitting reduction

**PERCENTAGE OF WALL OPENING CALCULATIONS**

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

**LIFE SAFETY SYSTEM REQUIREMENTS**

- Emergency Lighting:       No    Yes  
Exit Signs:                     No    Yes  
Fire Alarm:                     No    Yes  
Smoke Detection Systems:  No    Yes    Partial \_\_\_\_\_  
Carbon Monoxide Detection:  No    Yes

**LIFE SAFETY PLAN REQUIREMENTS**

Life Safety Plan Sheet #: \_\_\_\_\_

- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on the site plan)
- Exterior wall opening area with respect to distance to assumed property lines (705.8)
- Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
- Occupant loads for each area
- Exit sign locations (1013)
- Exit access travel distances (1017)
- Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
- Dead end lengths (1020.4)
- Clear exit widths for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
- Actual occupant load for each exit door
- A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
- Location of doors with panic hardware (1010.1.10)
- Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
- Location of doors with electromagnetic egress locks (1010.1.9.9)
- Location of doors equipped with hold-open devices
- Location of emergency escape windows (1030)
- The square footage of each fire area (202)
- The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
- Note any code exceptions or table notes that may have been utilized regarding the items above

**ACCESSIBLE DWELLING UNITS  
(SECTION 1107)**

UNIT CLASSIFICATION	TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

**ACCESSIBLE PARKING  
(SECTION 1106)**

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE SPACES PROVIDED
	REQUIRED	PROVIDED	96" SPACES	132" SPACES	
TOTAL					

**PLUMBING FIXTURE REQUIREMENTS  
(TABLE 2902.1)**

USE	WATER CLOSETS			URINALS	LAVATORIES			SHOWERS /TUBS	DRINKING FOUNTAINS	
	MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE
SPACE	EXIST'G									
	NEW									
	REQ'D									

**SPECIAL APPROVALS**

**Special approval:** (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

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**ENERGY SUMMARY**

**ENERGY REQUIREMENTS:**

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

**Existing building envelope complies with code:**     No     Yes (The remainder of this section is not applicable)

**Exempt Building:**     No     Yes (Provide code or statutory reference): \_\_\_\_\_

**Climate Zone:**     3A     4A     5A

**Method of Compliance:** Energy Code     Performance                       Prescriptive  
ASHRAE 90.1     Performance                       Prescriptive  
(If "Other" specify source here) \_\_\_\_\_

**THERMAL ENVELOPE (Prescriptive method only)**

**Roof/ceiling Assembly (each assembly)**

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Skylights in each assembly: \_\_\_\_\_  
    U-Value of skylight: \_\_\_\_\_  
total square footage of skylights in each assembly: \_\_\_\_\_

**Exterior Walls (each assembly)**

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Openings (windows or doors with glazing)  
    U-Value of assembly: \_\_\_\_\_  
    Solar heat gain coefficient: \_\_\_\_\_  
    projection factor: \_\_\_\_\_  
    Door R-Values: \_\_\_\_\_

**Walls below grade (each assembly)**

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

**Floors over unconditioned space (each assembly)**

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

**Floors slab on grade**

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Horizontal/vertical requirement: \_\_\_\_\_  
slab heated: \_\_\_\_\_

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**2018 APPENDIX B**  
**BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**  
**STRUCTURAL DESIGN**

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

**DESIGN LOADS:**

**Importance Factors:** Snow (I<sub>s</sub>) \_\_\_\_\_  
Seismic (I<sub>E</sub>) \_\_\_\_\_

**Live Loads:** Roof \_\_\_\_\_ psf  
Mezzanine \_\_\_\_\_ psf  
Floor \_\_\_\_\_ psf

**Ground Snow Load:** \_\_\_\_\_ psf

**Wind Load:** Ultimate Wind Speed \_\_\_\_\_ mph (ASCE-7)  
Exposure Category \_\_\_\_\_

**SEISMIC DESIGN CATEGORY:**  A  B  C  D

Provide the following Seismic Design Parameters:

**Risk Category** (Table 1604.5)  I  II  III  IV

**Spectral Response Acceleration** S<sub>s</sub> \_\_\_\_\_ %g S<sub>1</sub> \_\_\_\_\_ %g

**Site Classification** (ASCE 7)  A  B  C  D  E  F

Data Source:  Field Test  Presumptive  Historical Data

**Basic structural system**  Bearing Wall  Dual w/Special Moment Frame  
 Building Frame  Dual w/Intermediate R/C or Special Steel  
 Moment Frame  Inverted Pendulum

**Analysis Procedure:**  Simplified  Equivalent Lateral Force  Dynamic

**Architectural, Mechanical, Components anchored?**  Yes  No

**LATERAL DESIGN CONTROL:** Earthquake  Wind

**SOIL BEARING CAPACITIES:**

Field Test (provide copy of test report) \_\_\_\_\_ psf

Presumptive Bearing capacity \_\_\_\_\_ psf

Pile size, type, and capacity \_\_\_\_\_

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**2018 APPENDIX B**  
**BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**  
**MECHANICAL DESIGN**  
**(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)**

**MECHANICAL SUMMARY**

**MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT**

**Thermal Zone**

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_

**Interior design conditions**

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_  
relative humidity: \_\_\_\_\_

**Building heating load:** \_\_\_\_\_

**Building cooling load:** \_\_\_\_\_

**Mechanical Spacing Conditioning System**

Unitary  
description of unit: \_\_\_\_\_  
heating efficiency: \_\_\_\_\_  
cooling efficiency: \_\_\_\_\_  
size category of unit: \_\_\_\_\_

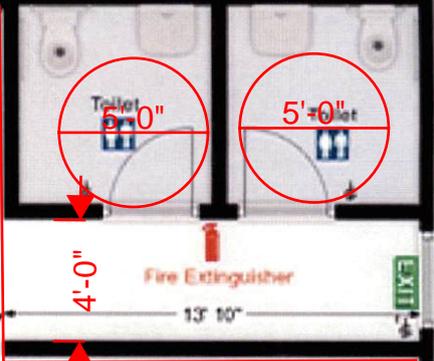
Boiler  
Size category. If oversized, state reason.: \_\_\_\_\_

Chiller  
Size category. If oversized, state reason.: \_\_\_\_\_

**List equipment efficiencies:** \_\_\_\_\_

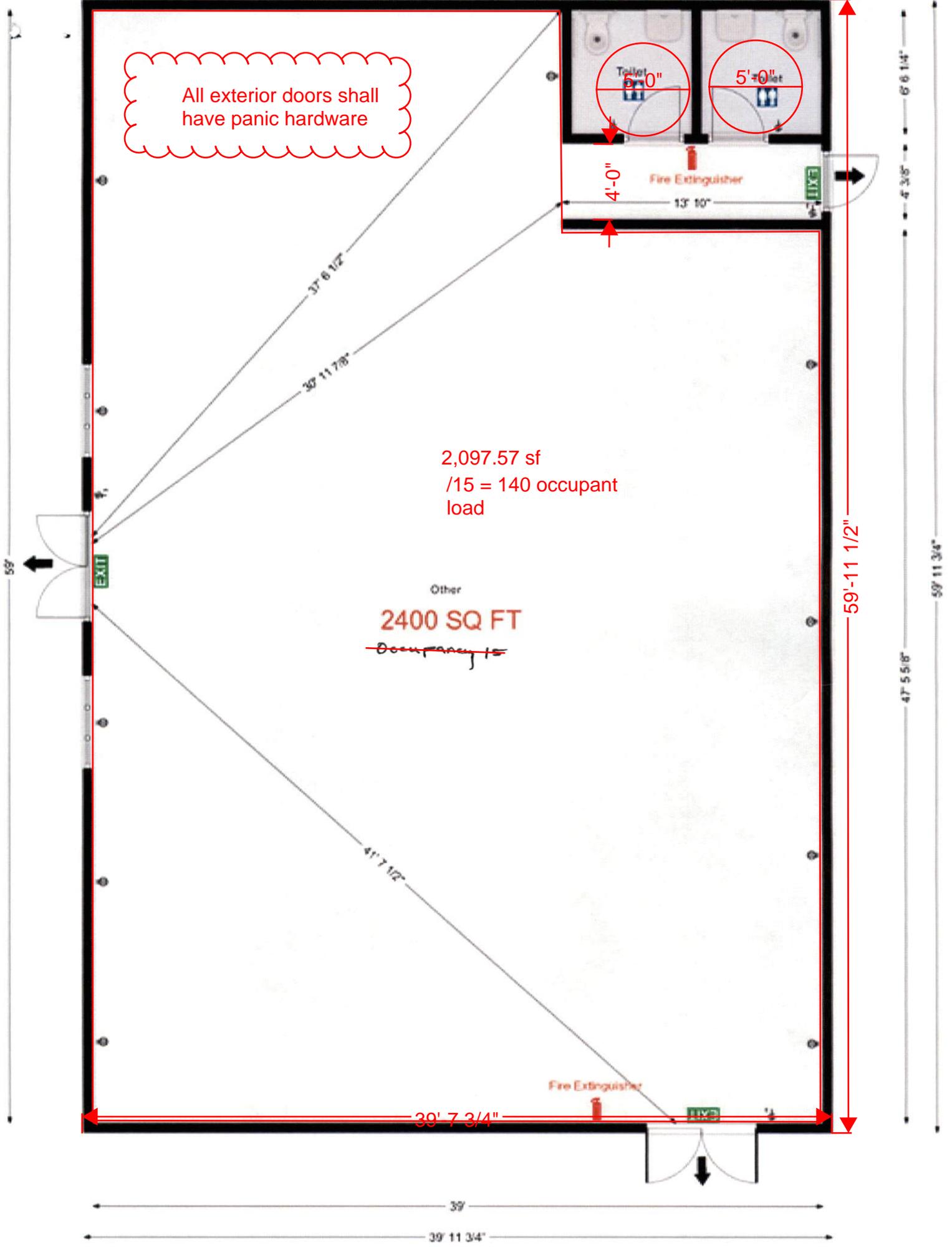


All exterior doors shall have panic hardware



2,097.57 sf  
/15 = 140 occupant  
load

Other  
**2400 SQ FT**  
~~Occupancy 15~~





DOOR @ 6.0 x 7.0  
9 LITE PATIO DOOR

*NEW*  
*10,500*  
*48,000*  
*16,000*



terry miller <terryandannmiller@gmail.com>

## Metal Structure Quote

**Sales Superior** <sales@superiormsc.com>  
 To: terryandannmiller@gmail.com

Tue, Jan 7, 2025 at 7:52 AM

Good morning Terry, I hope you are doing great this morning. Below is your new quote for the building we discussed, price with & w/OUT Concrete. I also included some pictures of the layout & possible colors. If there's any changes you would like to make or have any questions please let me know. Feel free to contact me anytime at Tel. 910-249-4477 or my cell 910-214-8457

Roof: Black  
 Walls: Brite White  
 Trim: Black

Respectfully,  
 Noah

1.

40x61x12 w/Concrete  
 \*Double Truss & Double Leg Uprights  
 1-72"x80" Frame Out Only \*Gable End  
 1-72"x80" Frame Out Only \*Side Entry  
 1-36"x80" Frame Out Only \*Side Wall  
 3-Window Frame Outs 3'x3'ft  
 Vertical Roof  
 Vertical Sides  
 Full Insulation-R10 3" Fiberglass  
 \*Rat Guard Trim  
 1-10x25x9 Lean-To w/Concrete  
 3-Frame Outs  
 Dressed Up \*Front Side & Back Side  
 \*Rat Guard Trim  
 1-Underneath Ceiling \*10x25 Lean-To  
 4" Concrete  
 3,500 PSI Concrete  
 40yr Warranty Sheet Metal  
 3yr Workmanship Warranty  
 Engineer Certified  
 Structural Plans  
 Footers 12"x12"

Total Price: \$78,160.00 (plus grading & fill Dirt)

*As-wish* \$5,000  
*NEW* 48,000  
*For* 16,000



terry miller <terryandannmiller@gmail.com>

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Sales Superior <sales@superiormsc.com>  
To: terryandannmiller@gmail.com

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- 1-10x25x9 Lean-To w/Concrete
- 3-Frame Outs
- Dressed Up \*Front Side & Back Side
- \*Rat Guard Trim
- 1-Underneath Ceiling \*10x25 Lean-To
- 4" Concrete
- 3,500 PSI Concrete
- 40yr Warranty Sheet Metal
- 3yr Workmanship Warranty
- Engineer Certified
- Structural Plans
- Footers 12"x12"

Total Price: \$78,160.00 (plus grading & fill Dirt)



# STRUCTURAL PLANS

Structure Size: 40'x61'x12' with 10'x25'x9' Lean-to

Customer: Greater Vision Fellowship Inc.

Address: 135 Dry Creek Rd. Lillington, NC 27546

**Prepared For:**

SUPERIOR METAL STRUCTURES & CONCRETE, LLC

**Prepared By:**

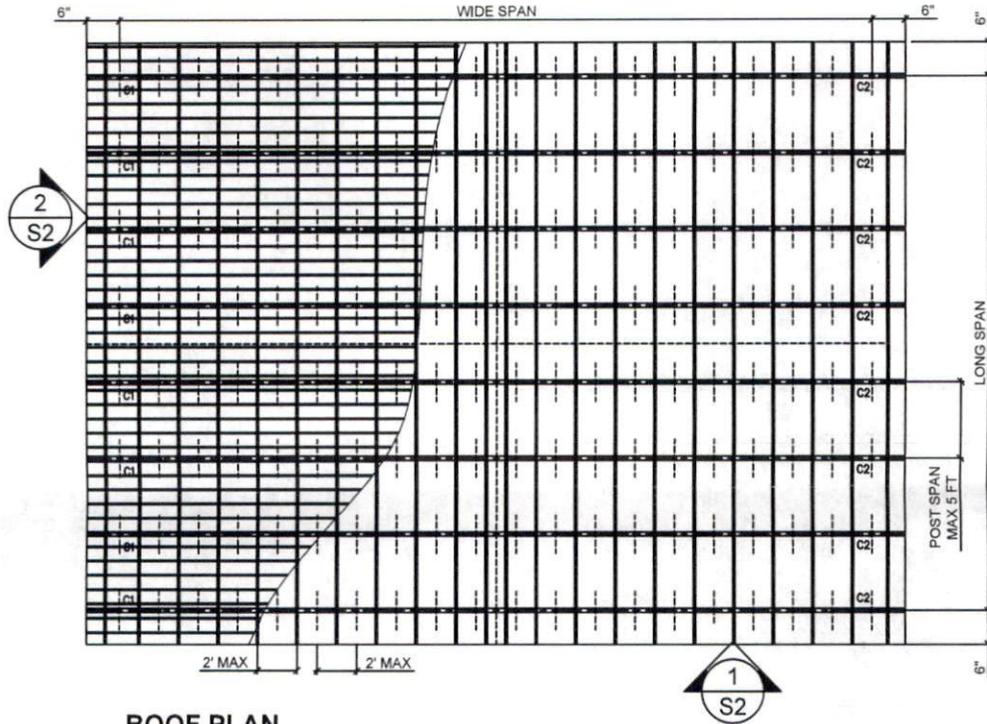


**TYNDALL**  
ENGINEERING & DESIGN, P.A.

250 SHIPWASH DR, GARNER, NC 27529

**THESE STRUCTURAL ENGINEERED PLANS ARE TO BE INCLUDED IN YOUR  
PERMIT APPLICATION AND STRUCTURE IS TO BE BUILT BY SUPERIOR METAL  
STRUCTURES & CONCRETE, LLC**

910.298.3774



**ROOF PLAN**  
NTS

**GENERAL NOTES**

- 1) ALL STRUCTURAL STEEL WORK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH NOTES AND DETAILS ON THESE DRAWINGS; DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL CONFORM IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE 2018, INTERNATIONAL BUILDING CODE (IBC) 2021, AND NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS 2016 (REAFFIRMED 2020).
- 2) ALLOWABLE SOIL PRESSURE 2000 PSF
- 3) WELDED WIRE FABRIC SHALL BE NEW BILLET STEEL, COLD DRAWN CONFORMING A815 AND SHALL BE SUPPLIED IN SHEET FORM
- 4) ALL WELDING SHALL BE ACCOMPLISHED USING E-70XX LOW-HYDROGEN ELECTRODES AND AWS CERTIFIED WELDERS IN COMPLIANCE WITH CURRENT AWS STANDARDS.
- 5) ALL WELDS SHALL BE COATED WITH GALVANIZE PRIMER & PAINT AFTER WELDING
- 6) THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.
- 7) GALVANIZED STRUCTURAL TUBING STEEL SHALL CONFORM TO ASTM A123 AND/OR A153
- 8) THE MINIMUM YIELD STRENGTH OF THE TUBE STEEL SHALL BE ( $F_y$ : 55,000 PSI)
- 9) THE MINIMUM YIELD STRENGTH OF METAL DECK SHALL BE ( $F_y$ : 80,000 PSI)
- 10) THE TUBE STEEL FOR COLUMNS SHALL BE 2 1/4" SQUARE GAUGE 14 FOR COLUMNS UP TO 10 FT TALL AND GAUGE 12 FOR 12' AND ABOVE
- 11) AT 150 MPH THE STRUCTURE SHALL BE BUILT WITH DOUBLE COLUMN SUPPORT
- 12) ALL TUBE STEEL CONNECTIONS SHALL BE BEARING TYPE USING #12X14X3/4" SELF DRILLING METAL SCREWS
- 13) DECKING SHALL BE GALVANIZED STEEL SHEET METAL STANDARD GA 29 FASTENED WITH (2) #12X14X3/4" SELF DRILLING METAL SCREWS WITH NEOPRENE WASHER, FOR RAFTER, HAT CHANNEL AND POST CONNECTION
- 14) THE CONCRETE DECK SHALL BE 3000 PSI CAPACITY AT 28 DAYS, AND THE SURFACE MUST BE LEVEL. CONTRACTOR RESPONSIBLE FOR MEETING THIS REQUIREMENT
- 15) BASE RAIL ANCHORAGE TO CONCRETE SHALL BE BEARING 1/2"  $\phi$  WEDGE ANCHORS ASTM A325 OR SIMILAR HIGH STRENGTH BOLTS, UNLESS INDICATED OTHERWISE ON THE DRAWINGS



**TYNDALL**  
ENGINEERING & DESIGN, P.A.

T 919 773-1200 ■ F 919 773-9658  
250 Shipwash Drive ■ Garner ■ North Carolina ■ 27529  
www.tyndallengineering.com

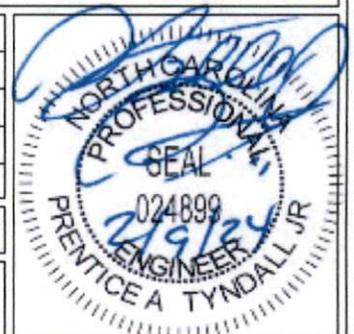
2			
1			
NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN:	CHECKED:	DATE:	PROJECT #:
MR	PTII	06/05/2023	2201-010434F

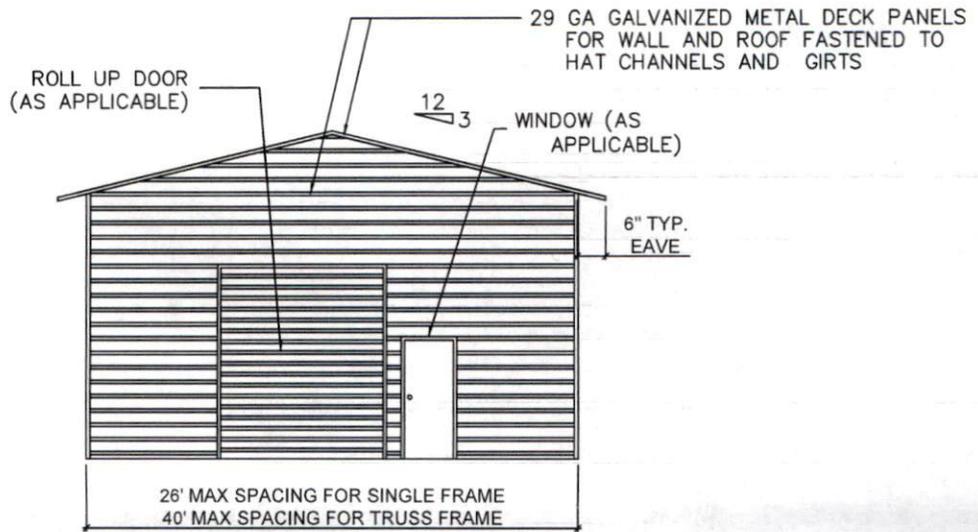
CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

DRAWING NUMBER:  
1 of 22

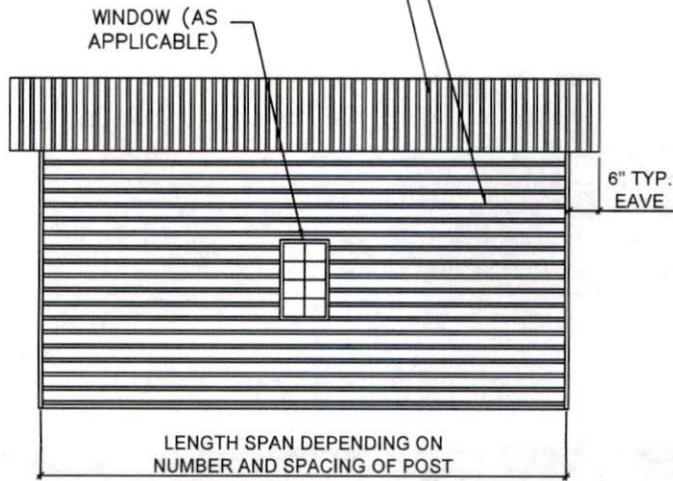
REV.  
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1 TYPICAL ELEVATION  
NO SCALE

29 GA GALVANIZED METAL DECK PANELS FOR WALL AND ROOF FASTENED TO HAT CHANNELS AND GIRTS



2 TYPICAL SIDE ELEVATION  
NO SCALE

**ELEVATION PLAN**  
NTS



**TYNDALL**  
ENGINEERING & DESIGN, P.A.

T 919 773-1200 ■ F 919773-9658  
250 Shipwash Drive ■ Garner ■ North Carolina ■ 27529  
www.tyndallengineering.com

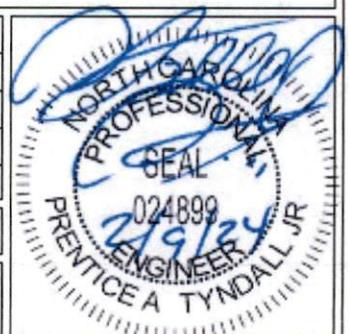
2			
1			
NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
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DRAWN:	CHECKED:	DATE:	PROJECT#:
MR	PTII	06/05/2023	2201-010434F

CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

DRAWING NUMBER:  
2 of 22

REV.  
A



2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

STRUCTURAL DESIGN

DESIGN LOADS:

IMPORTANCE FACTORS: WIND (lw) 1.00  
 SNOW (ls) 1.00  
 SEISMIC (Ie) 1.00

DEAD LOADS: ROOF 10 PSF

LIVE LOADS: ROOF 20 PSF

GROUND SNOW LOAD: 20 PSF

GROUND LOAD: BASIC WIND SPEED 150 mph (ASCE 7-16) \*DRIFT LOAD HAS NOT BEEN CALCULATE  
 EXPOSURE CATEGORY B

SEISMIC DESIGN CATEGORY: B

PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:

OCCUPANCY CATEGORY 1

SPECTRAL RESPONSE ACCELERATION S<sub>s</sub> 20.0 %g S<sub>1</sub> 8.2 %g

SITE CLASSIFICATION D  FIELD TEST  PRESUMPTIVE  HISTORICAL DATA

BASIC STRUCTURAL SYSTEM (CHECK ONE)

BEARING WALL  DUAL W/ SPECTRAL MOMENT FRAME  
 BUILDING FRAME  DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL  
 MOMENT FRAME  INVERTED PENDULUM

ANALYSIS PROCEDURE  SIMPLIFIED  EQUIVALENT LATERAL FORCE  MODAL

LATERAL DESIGN CONTROL  EARTHQUAKE  WIND

SOIL BEARING CAPACITIES:

PRESUMPTIVE BEARING CAPACITIES: 2,000 PSF

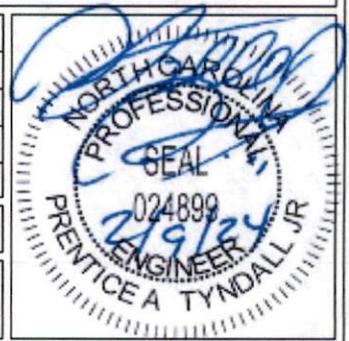
GENERAL NOTES: SEE PAGE 1



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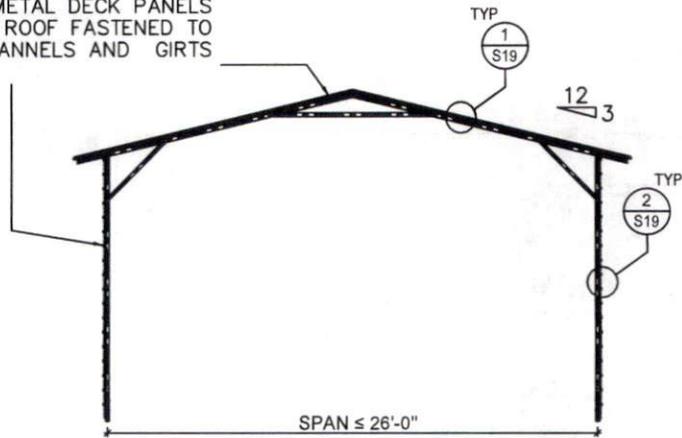
T 919 773-1200 ■ F 919773-9658  
 250 Shipwash Drive ■ Garner ■ North Carolina ■ 27529  
 www.tyndallengineering.com

NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN: MR	CHECKED: PTII	DATE: 06/05/2023	PROJECT #: 2201-010434F
PROJECT: ENCLOSED BUILDING		DRAWING NUMBER: 3 of 22	REV. A



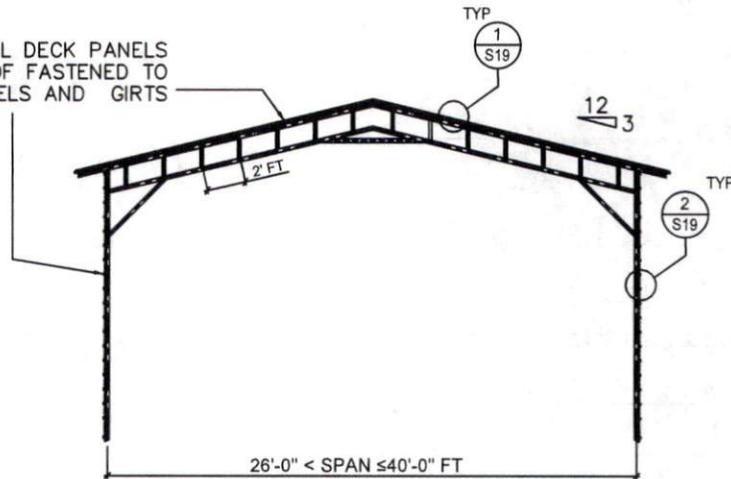
CLIENT: SUPERIOR MS&C, LLC

29 GA GALVANIZED METAL DECK PANELS  
FOR WALL AND ROOF FASTENED TO  
HAT CHANNELS AND GIRTS



1 TYPICAL SINGLE FRAME SECTION  
NO SCALE A

29 GA GALVANIZED METAL DECK PANELS  
FOR WALL AND ROOF FASTENED TO  
HAT CHANNELS AND GIRTS



1 TYPICAL TRUSS FRAME ELEVATION  
NO SCALE B

**ELEVATION PLAN**  
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NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
2			
1			
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN:	CHECKED:	DATE:	PROJECT #:
MR	PTII	06/05/2023	2201-010434F

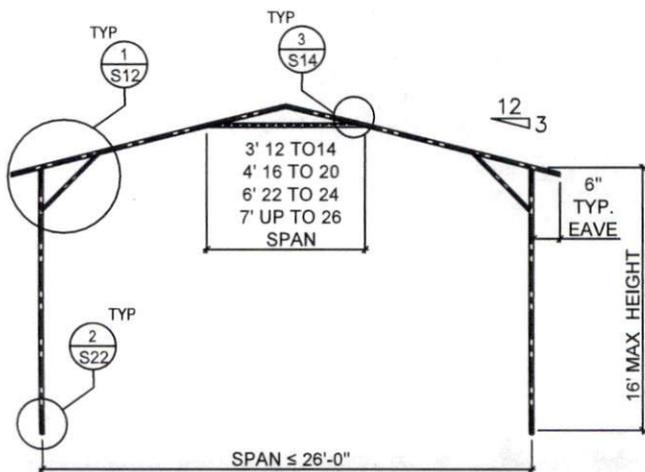
CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

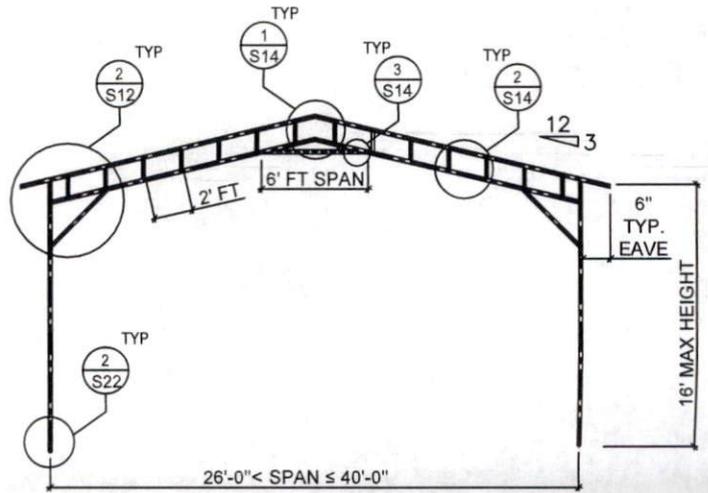
DRAWING NUMBER:  
4 of 22

REV.  
A

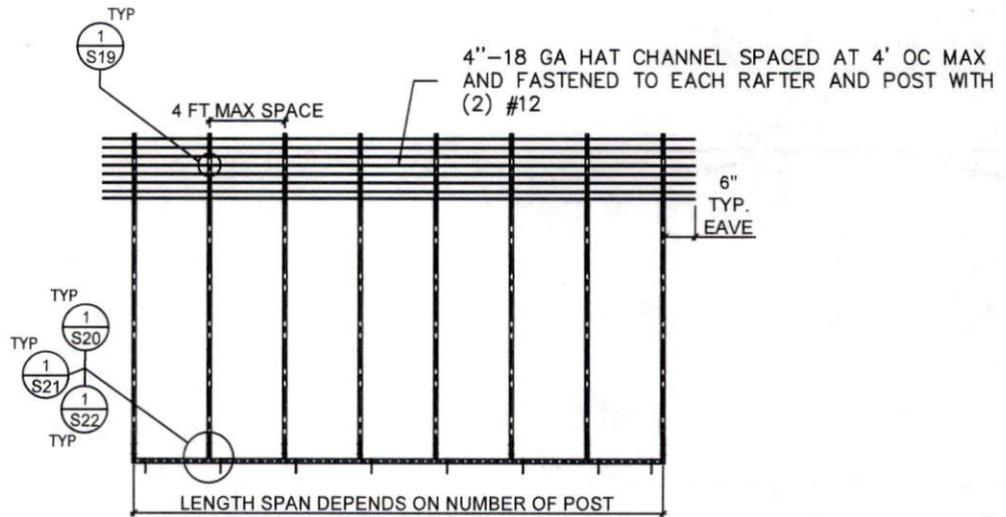




1  
NO SCALE A TYPICAL SINGLE FRAME SECTION



1  
NO SCALE B TYPICAL TRUSS FRAME SECTION



2  
NO SCALE 2 TYPICAL SIDE SINGLE FRAME SECTION

**ELEVATION PLAN**  
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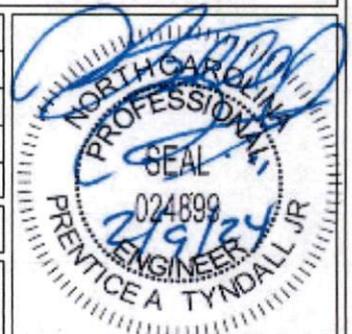
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ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN:	CHECKED:	DATE:	PROJECT #:
MR	PTII	06/05/2023	2201-010434F

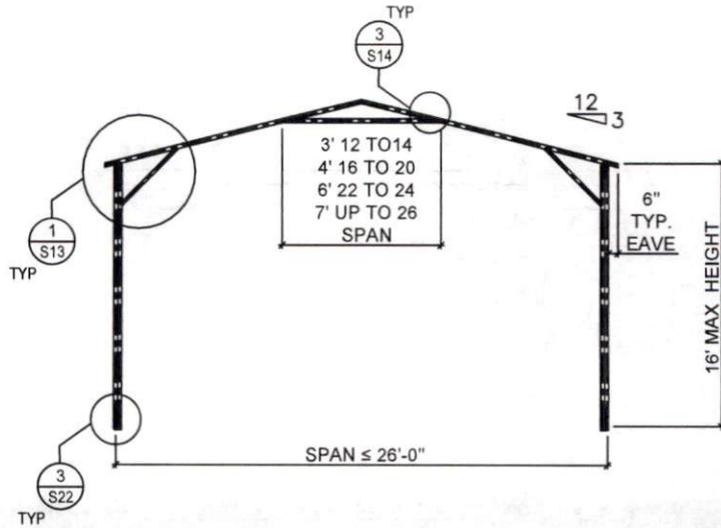
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LLC

PROJECT: ENCLOSED  
BUILDING

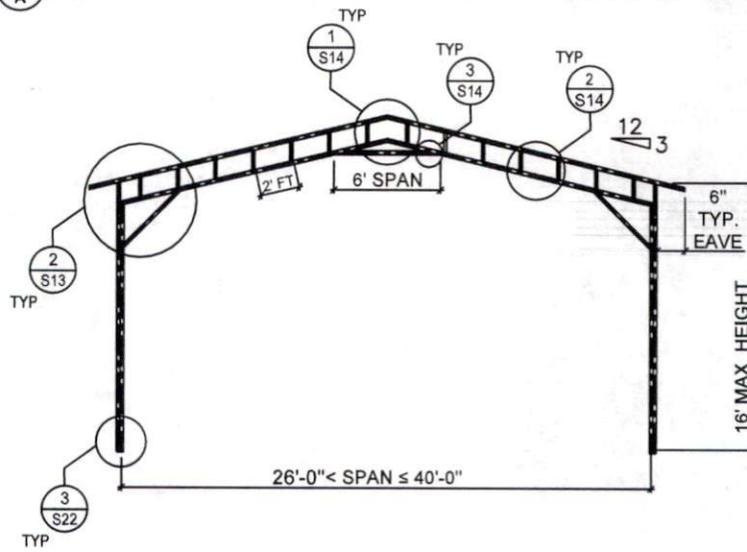
DRAWING NUMBER:  
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REV.  
A





1 TYPICAL SINGLE FRAME DOUBLE SECTION FOR WIND SPEED 105 < TO <= 150 MPH  
NO SCALE A



1 TYPICAL TRUSS FRAME DOUBLE SECTION FOR WIND SPEED 105 < TO <= 150 MPH  
NO SCALE B

**ELEVATION PLAN**

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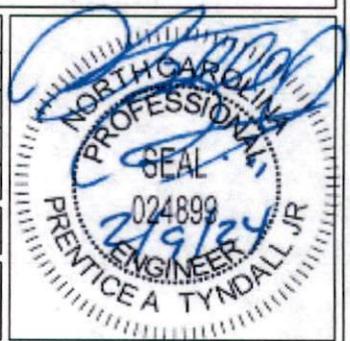
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LLC

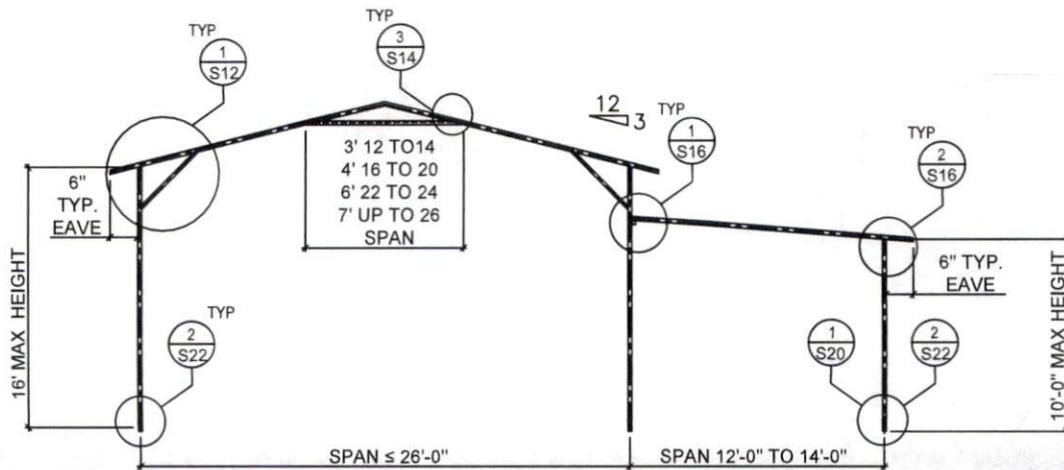
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NAME:		Greater Vision Fellowship Inc.	
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DRAWN:	CHECKED:	DATE:	PROJECT #:
MR	PTII	06/05/2023	2201-010434F

PROJECT: ENCLOSED  
BUILDING

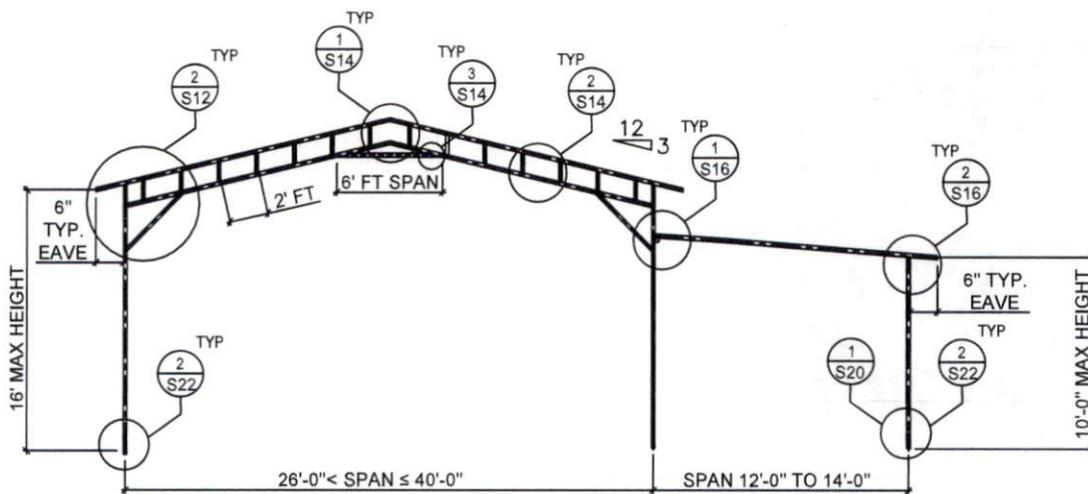
DRAWING NUMBER:  
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REV.  
A





1 TYPICAL SINGLE FRAME SECTION  
NO SCALE A



1 TYPICAL TRUSS FRAME SECTION  
NO SCALE B

**ELEVATION PLAN**  
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2			
1			
NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
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MR	PTII	06/05/2023	2201-010434F

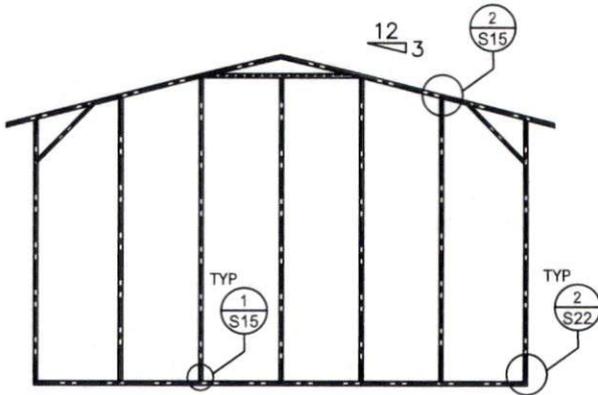


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LLC

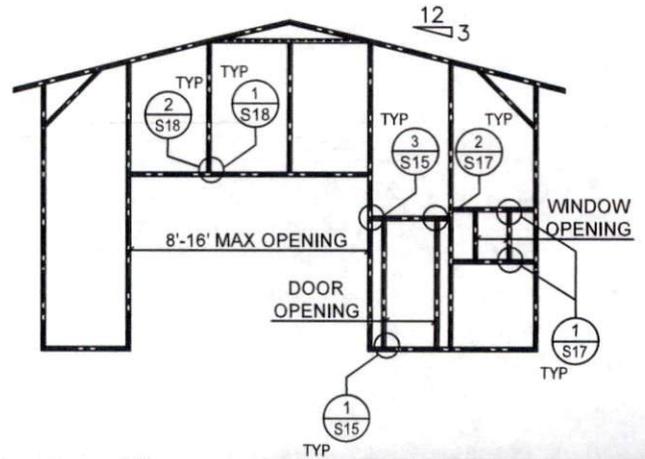
PROJECT: ENCLOSED  
BUILDING

DRAWING NUMBER:  
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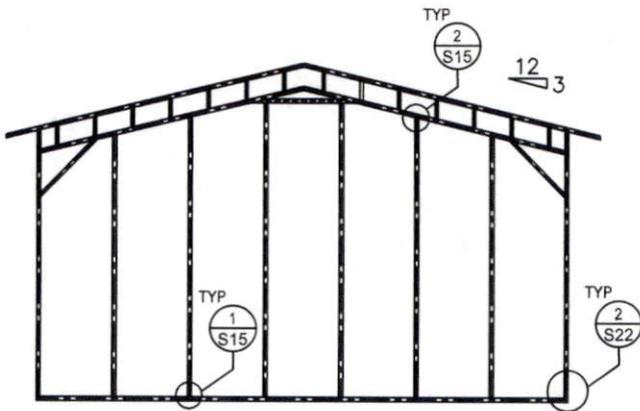
REV.  
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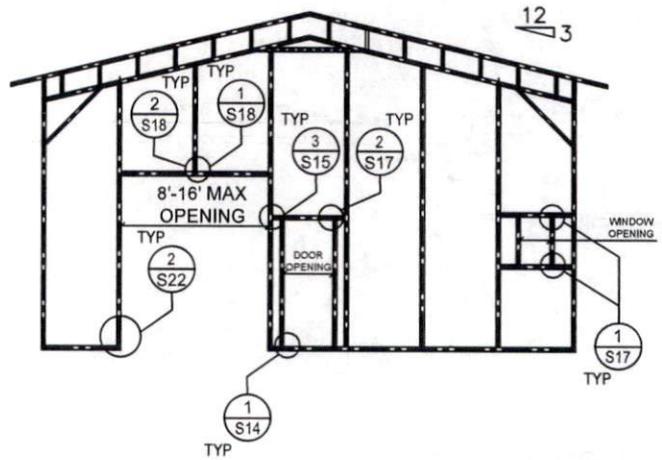
1 TYPICAL SINGLE FRAME ELEVATION  
NO SCALE A



1 FRAME ELEVATION W/ GARAGE DOOR, DOOR AND WINDOW FRAME  
NO SCALE B



2 TYPICAL TRUSS FRAME ELEVATION  
NO SCALE A



2 FRAME ELEVATION W/ GARAGE DOOR, DOOR AND WINDOW FRAME  
NO SCALE B

**ELEVATION PLAN**  
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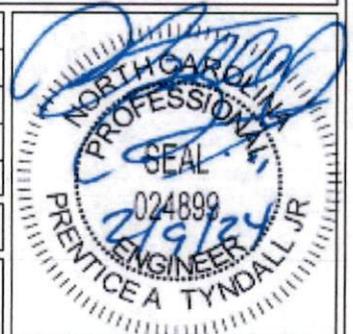
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LLC

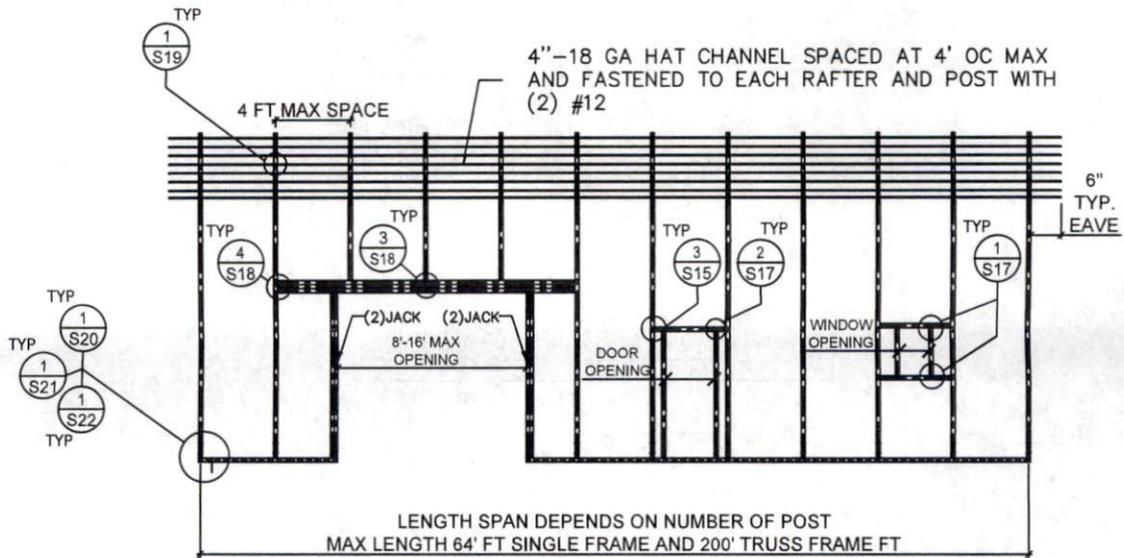
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NAME:		Greater Vision Fellowship Inc.	
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MR	PTII	06/05/2023	2201-010434F

PROJECT: ENCLOSED  
BUILDING

DRAWING NUMBER:  
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REV.  
A





1 FRAME SIDE ELEVATION W/ GARAGE DOOR, DOOR AND WINDOW FRAME  
NO SCALE

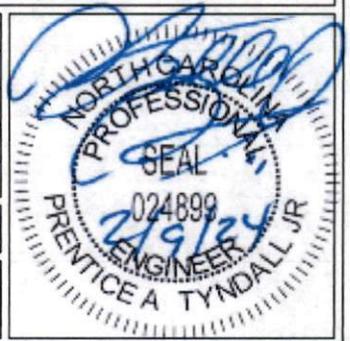
**ELEVATION PLAN**  
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2			
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CLIENT: SUPERIOR MS&C,  
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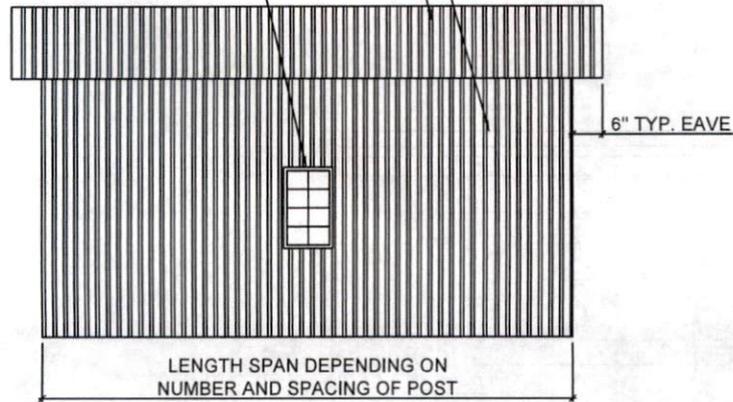
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BUILDING

DRAWING NUMBER:  
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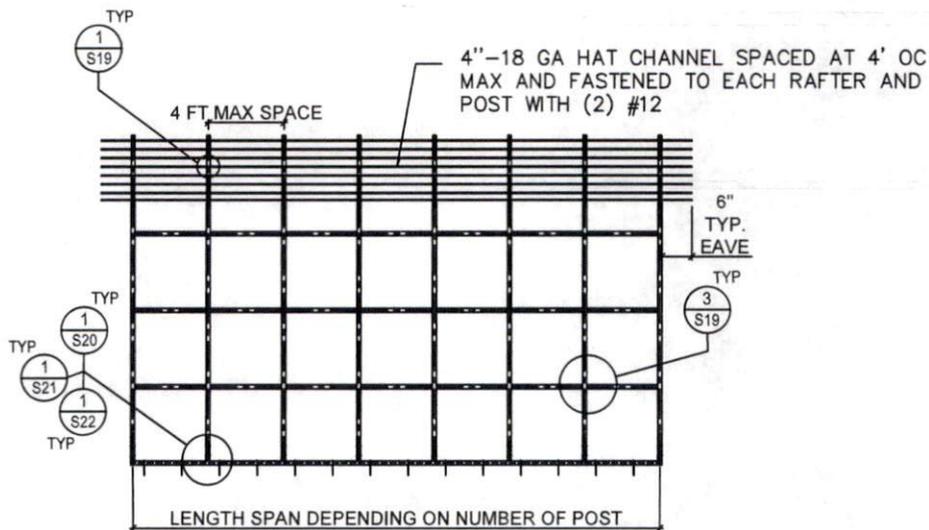
REV.  
A

29 GA GALVANIZED METAL DECK PANELS  
FOR WALL AND ROOF FASTENED TO HAT  
CHANNELS AND GIRTS

WINDOW (AS APPLICABLE)



1 TYPICAL SIDE ELEVATION FOR VERTICAL PANEL DECK  
NO SCALE



2 TYPICAL SIDE ELEVATION FOR VERTICAL METAL PANEL DECK  
NO SCALE

**ELEVATION PLAN**  
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2			
1			
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DRAWN: MR	CHECKED: PTII	DATE: 06/05/2023	PROJECT #: 2201-010434F



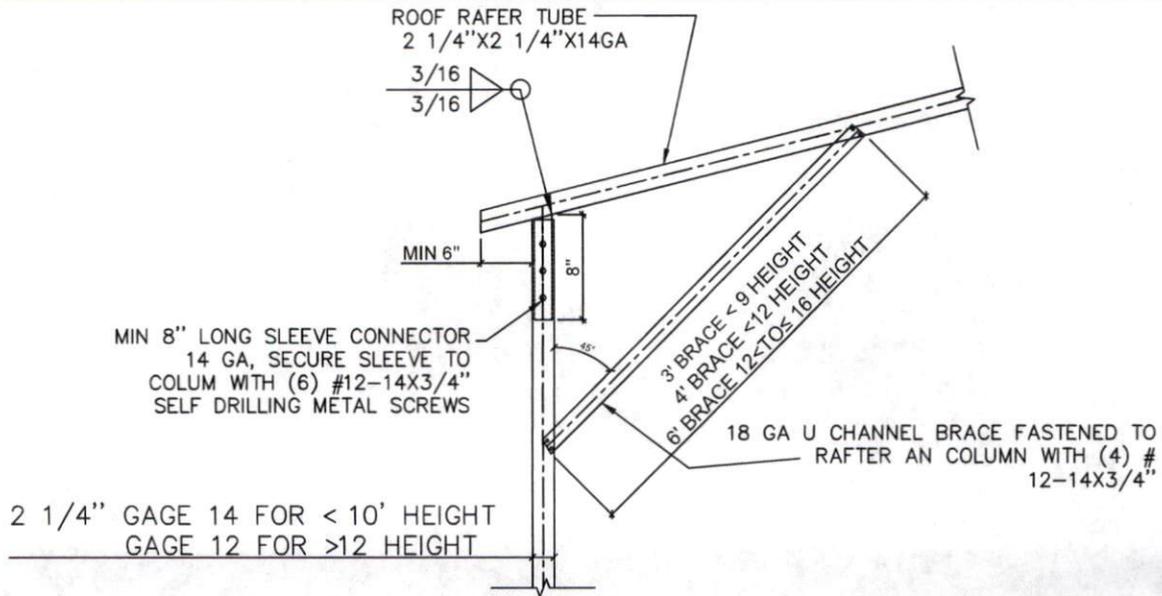
CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

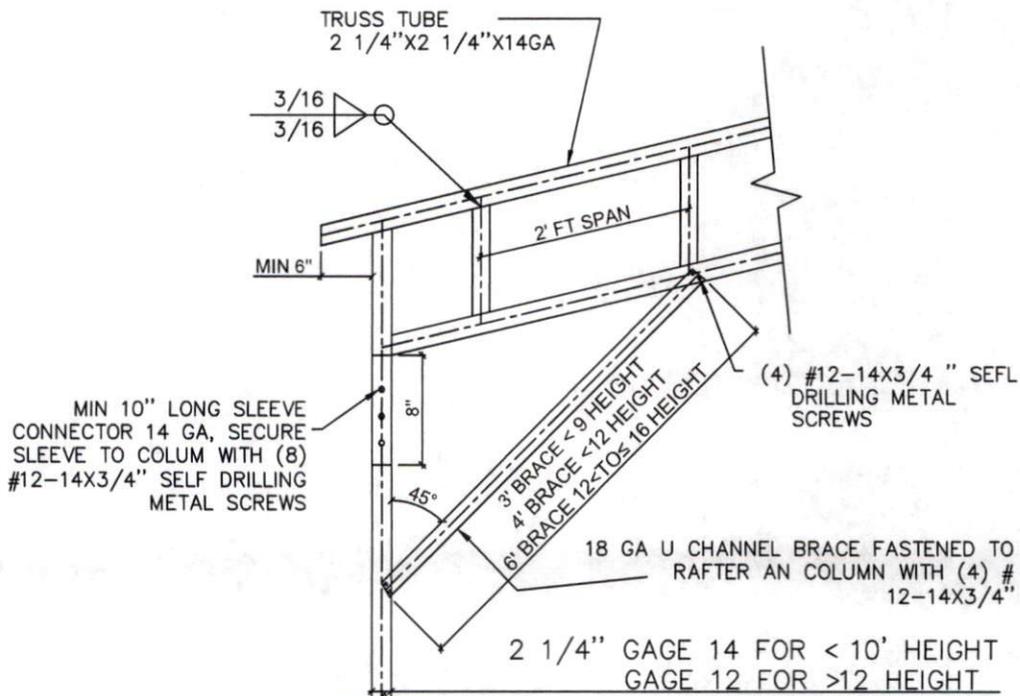
DRAWING NUMBER:  
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REV.  
A





1 SINGLE FRAME RAFTER-COLUMN CONNECTION DETAIL  
NO SCALE FOR WIND SPEEDS UP TO 120 MPH COLUMN HEIGHT ≤16 FT



2 TRUSS FRAME RAFTER-COLUMN CONNECTION DETAIL  
NO SCALE FOR WIND SPEEDS UP TO 120 MPH COLUMN HEIGHT ≤16 FT

**DETAILS**  
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MR	PTII	06/05/2023	2201-010434F

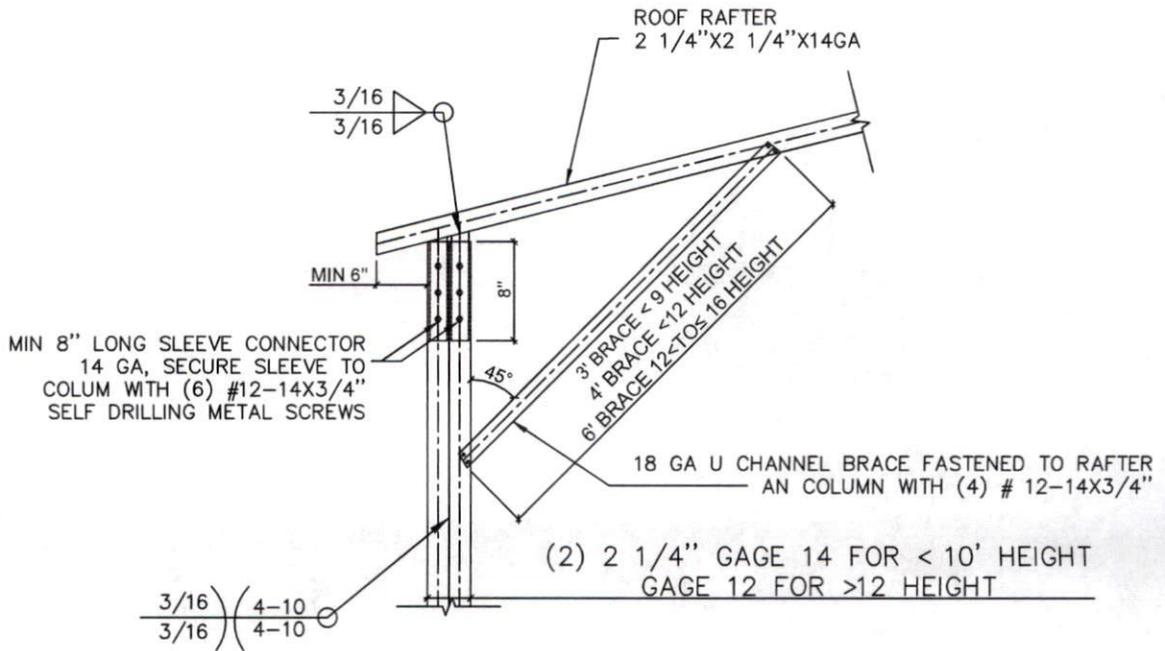


CLIENT: SUPERIOR MS&C,  
LLC

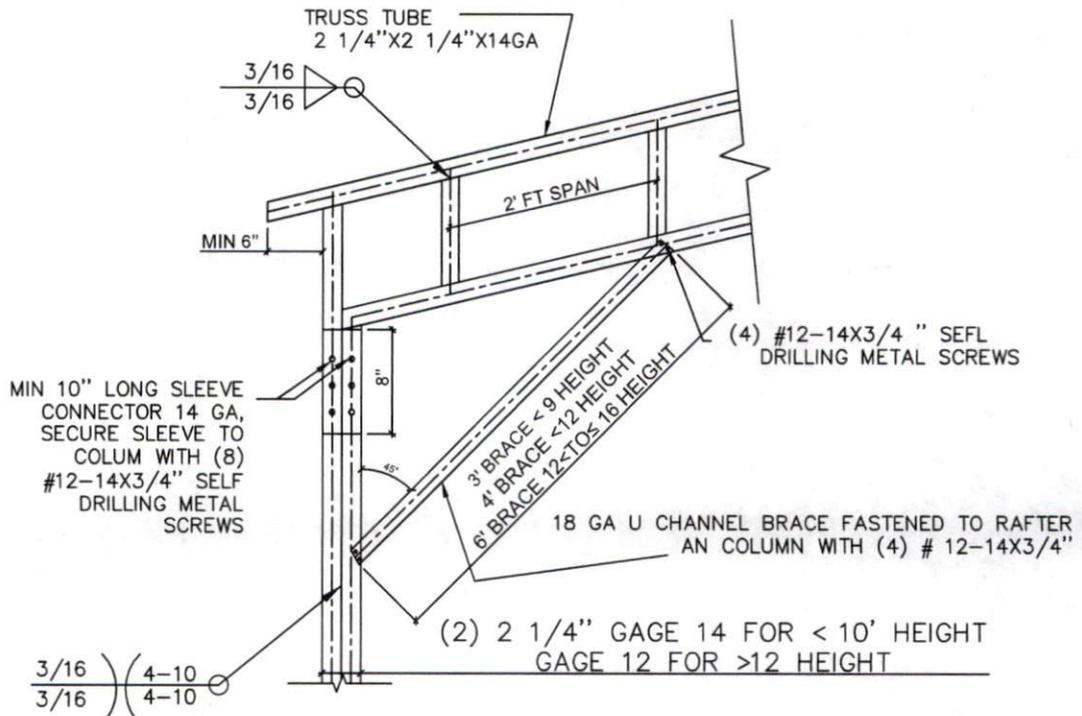
PROJECT: ENCLOSED  
BUILDING

DRAWING NUMBER:  
12 of 22

REV.  
A



1 SINGLE FRAME RAFTER- DOUBLE COLUMN CONNECTION DETAIL  
NO SCALE FOR WIND SPEEDS 130 TO 150 MPH COLUMN HEIGHT UP TO 16 FT



2 TRUSS FRAME RAFTER-DOUBLE COLUMN CONNECTION DETAIL  
NO SCALE FOR WIND SPEEDS 130 TO 150 MPH COLUMN HEIGHT UP TO 16 FT

**DETAILS**  
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2			
1			
NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
<b>DRAWN:</b> MR	<b>CHECKED:</b> PTII	<b>DATE:</b> 06/05/2023	<b>PROJECT #:</b> 2201-010434F

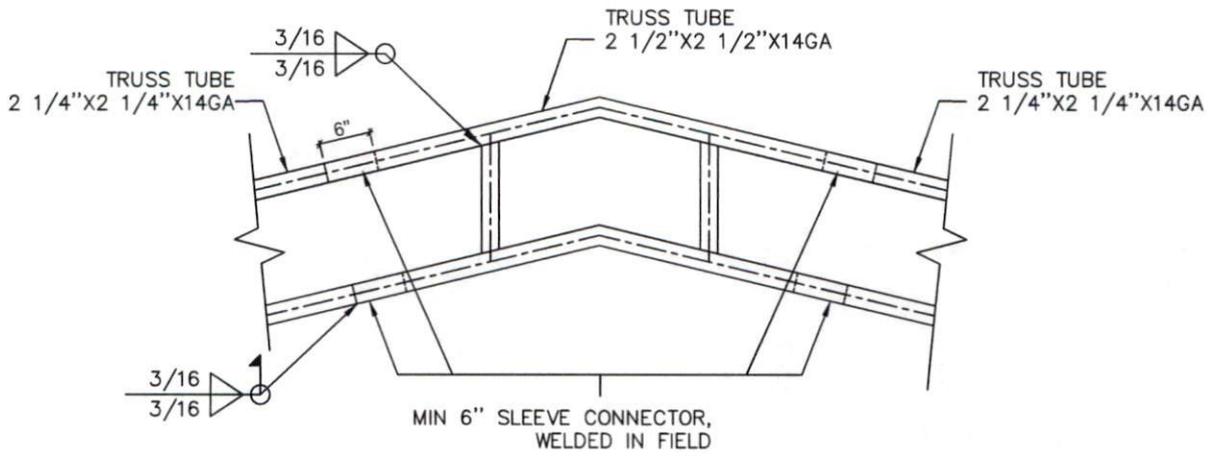
**CLIENT:** SUPERIOR MS&C,  
LLC

**PROJECT:** ENCLOSED  
BUILDING

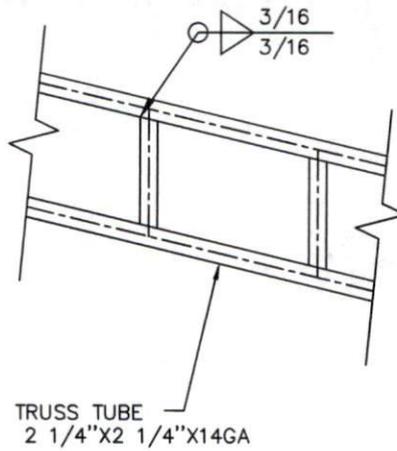
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13 of 22

**REV:**  
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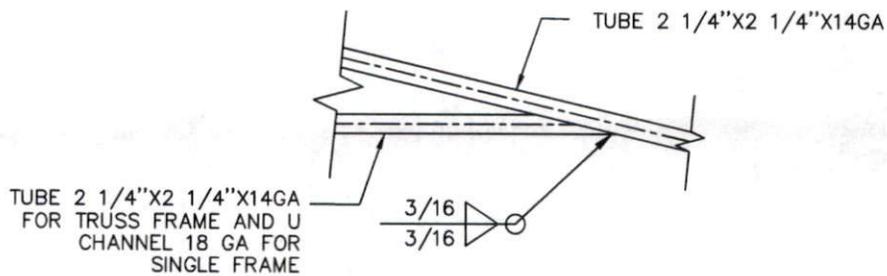




**1 TRUSS-TRUSS CONNECTION DETAIL**  
NO SCALE



**2 TRUSS WELD DETAIL**  
NO SCALE



**DETAILS**  
NTS

**3 SINGLE FRAME WELD DETAIL**  
NO SCALE



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2			
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MR	PTII	06/05/2023	2201-010434F

CLIENT: SUPERIOR MS&C,  
LLC

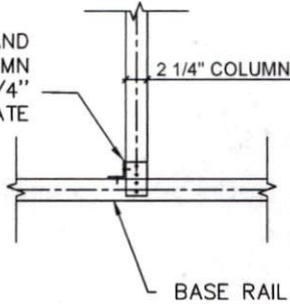
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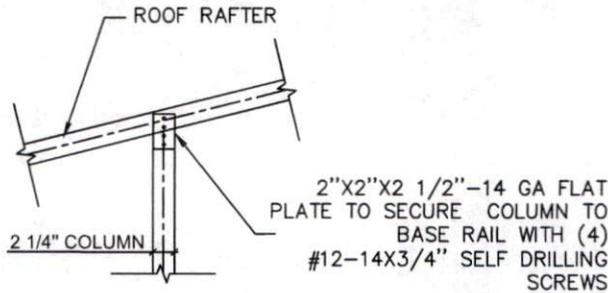
REV:  
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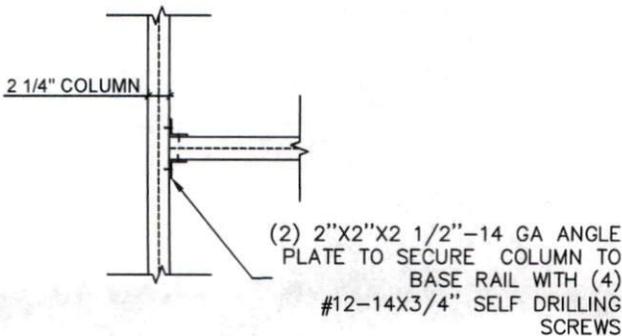
2"x2"x2 1/4"-14 GA (1) FLAT PLATE AND (1) ANGLE PLATE TO SECURE COLUMN TO BASE RAIL WITH (4) #12-14X3/4" SELF DRILLING SCREWS ON EACH PLATE



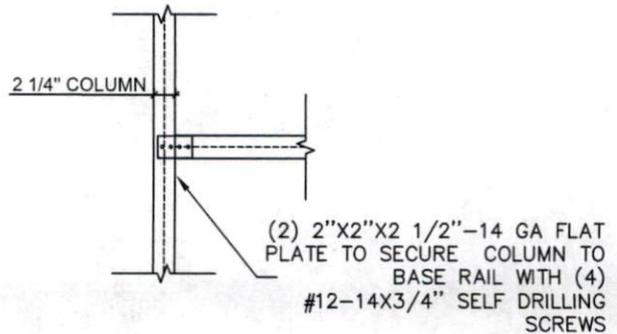
1 FLAT PLATE CONNECTION COLUMN TO BASE RAIL  
NO SCALE



2 FLAT PLATE RAFTER-COLUMN CONNECTION DETAIL  
NO SCALE



3 A ANGLE PLATE HEADER-COLUMN CONNECTION DETAIL  
NO SCALE



3 B FLAT PLATE HEADER-COLUMN CONNECTION DETAIL  
NO SCALE

**DETAILS**  
NTS



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MR	PTII	06/05/2023	2201-010434F

CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

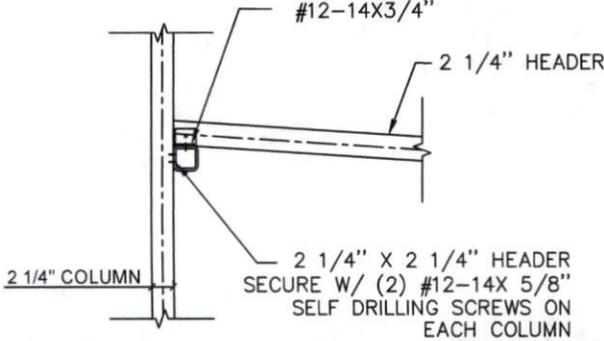
DRAWING NUMBER:  
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REV.  
A



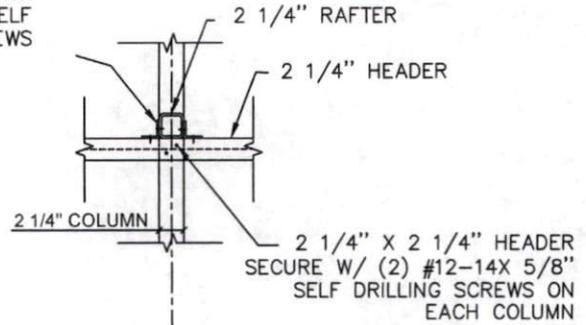
(2) 2"x2"x2 1/2"-14 GA  
ANGLE PLATE TO SECURE  
COLUMN TO BASE RAIL WITH  
(4) #12-14X3/4" SELF  
DRILLING SCREWS

SUPPORT RAFTER TO HEADER  
W/(2) 2"x2"x 2 1/2" GA 14  
PLATE AND SECURE W/ (2)  
#12-14X3/4"



1 EXTERIOR LEAN COLUMN-HEADER CONNECTION DETAIL

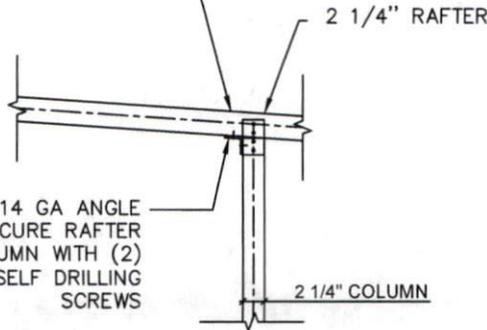
NO SCALE



1 EXTERIOR LEAN COLUMN-HEADER CONNECTION DETAIL

NO SCALE

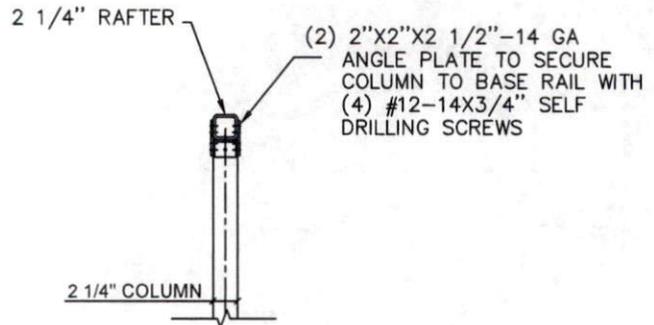
SUPPORT RAFTER TO HEADER  
W/(2) 2"x2"x 2 1/2" GA 14  
PLATE AND SECURE W/ (4)  
#12-14X3/4"



2"x2"x2 1/2"-14 GA ANGLE  
PLATE TO SECURE RAFTER  
TO COLUMN WITH (2)  
#12-14X3/4" SELF DRILLING  
SCREWS

2 EXTERIOR LEAN COLUMN-HEADER CONNECTION DETAIL

NO SCALE



2 EXTERIOR LEAN COLUMN-HEADER CONNECTION DETAIL

NO SCALE



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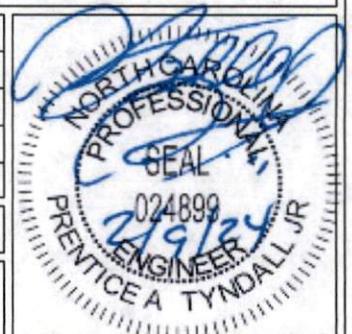
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NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
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ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN: MR	CHECKED: PTII	DATE: 06/05/2023	PROJECT #: 2201-010434F

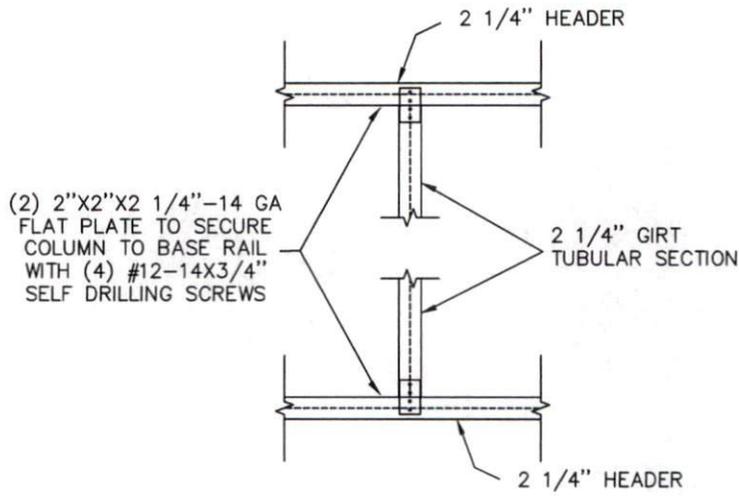
CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

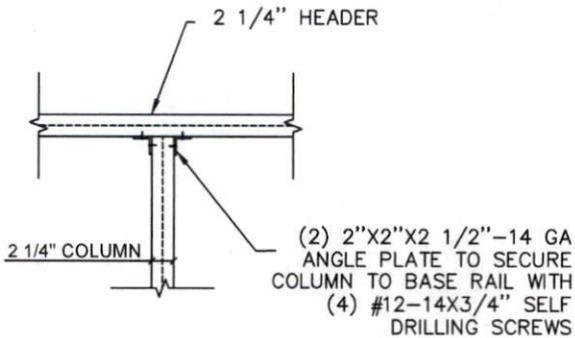
DRAWING NUMBER:  
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A

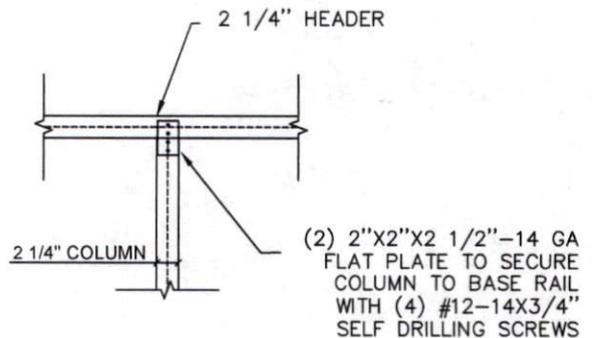




1 FLAT PLATE HEADER CONNECTION FOR WINDOW DETAIL  
NO SCALE



2 A ANGLE PLATE DOOR COLUMN-HEADER CONNECTION DETAIL  
NO SCALE



2 B FLAT PLATE DOOR COLUMN-HEADER CONNECTION DETAIL  
NO SCALE

**DETAILS**  
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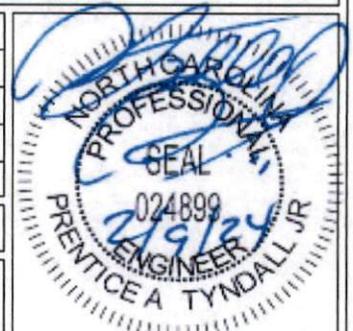
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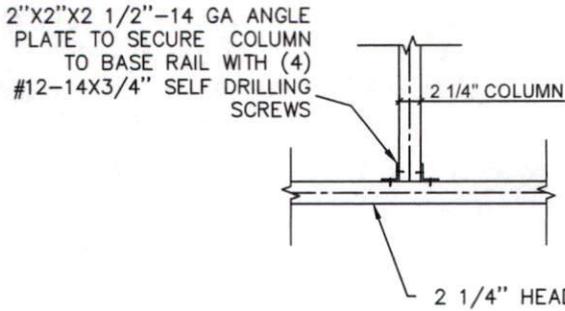
CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

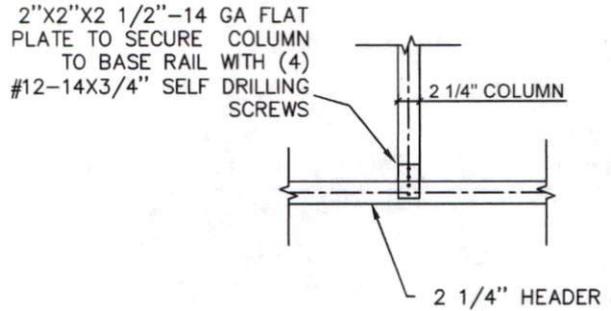
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REV.  
A

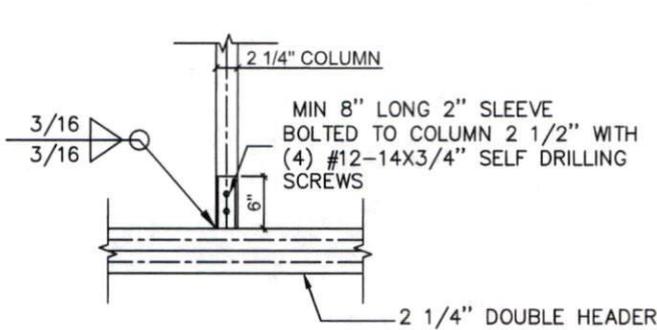




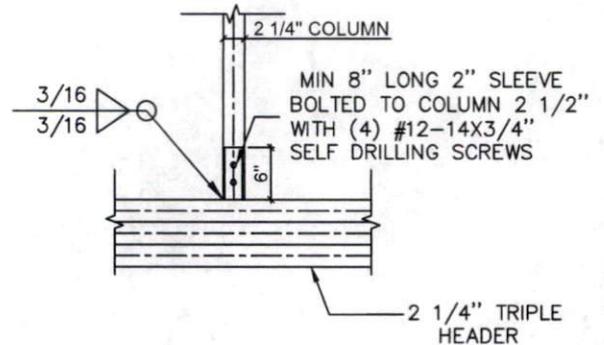
NO SCALE **1** **A** ANGLE PLATE CONNECTION COLUMN-HEADER  
FOR 9'X8' OR 10X8 ROLLER DOOR SPAN UP TO 9 FT



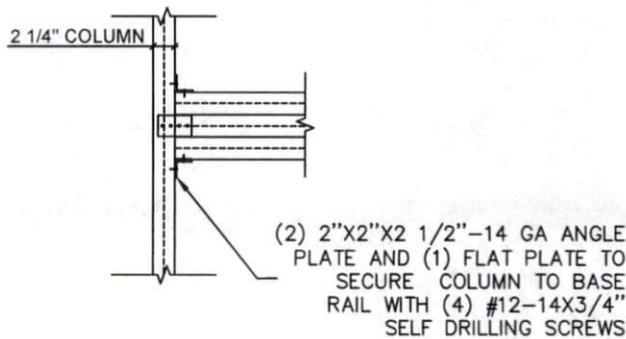
NO SCALE **1** **B** FLAT PLATE CONNECTION COLUMN-HEADER  
FOR 9'X8' OR 10X8 ROLLER DOOR SPAN UP TO 9 FT



NO SCALE **2** DOUBLE HEADER-COLUMN CONNECTION DETAIL  
FOR 10'X10' ROLLER DOOR OR SPAN OPENING 10 TO 16 FT



NO SCALE **3** DOUBLE HEADER-COLUMN CONNECTION DETAIL  
FOR SIDE ROLLER DOOR OPENING



NO SCALE **4** ANGLE PLATE TRIPLE HEADER-COLUMN CONNECTION DETAIL  
FOR SIDE FRAME ROLLER DOOR OPENING

**DETAILS**  
NTS



**TYNDALL**  
ENGINEERING & DESIGN, P.A.

T 919 773-1200 ■ F 919 773-9658  
250 Shipwash Drive ■ Garner ■ North Carolina ■ 27529  
www.tyndallengineering.com

CLIENT: SUPERIOR MS&C,  
LLC

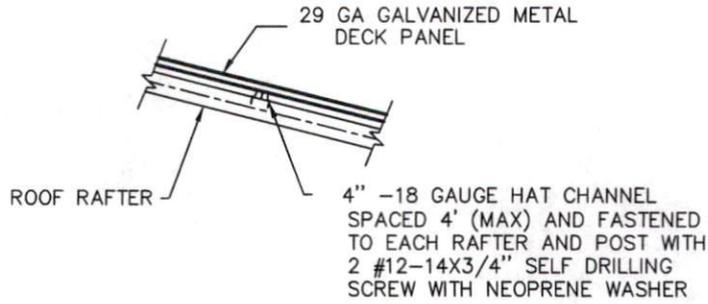
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NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN: MR	CHECKED: PTII	DATE: 06/05/2023	PROJECT #: 2201-010434F

PROJECT: ENCLOSED  
BUILDING

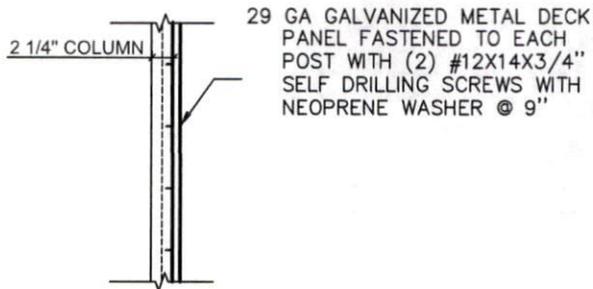
DRAWING NUMBER:  
18 of 22

REV.  
A

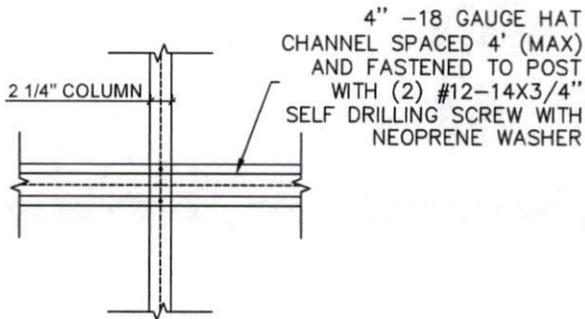




1 SINGLE FRAME RAFTER-COLUMN CONNECTION DETAIL  
NO SCALE



2 DECKING-COLUMN CONNECTION  
NO SCALE



3 HAT-COLUMN CONNECTION DETAIL FOR VERTICAL DECKING  
NO SCALE



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250 Shipwash Drive ■ Garner ■ North Carolina ■ 27529  
www.tyndallengineering.com

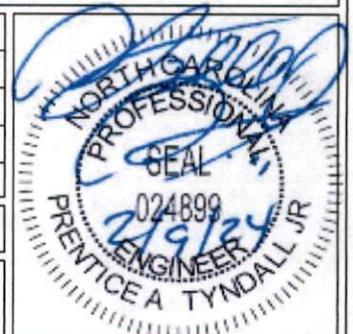
2			
1			
NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN:	CHECKED:	DATE:	PROJECT #:
MR	PTII	06/05/2023	2201-010434F

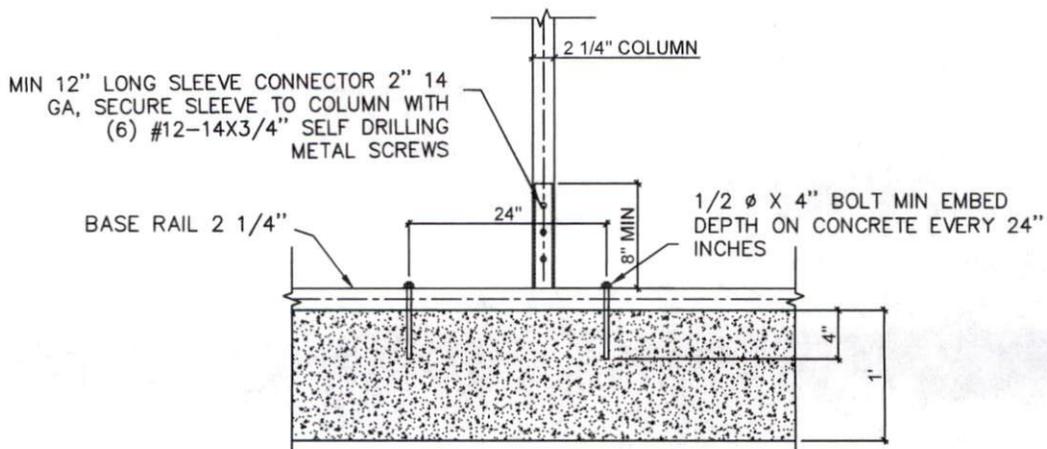
CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

DRAWING NUMBER:  
19 of 22

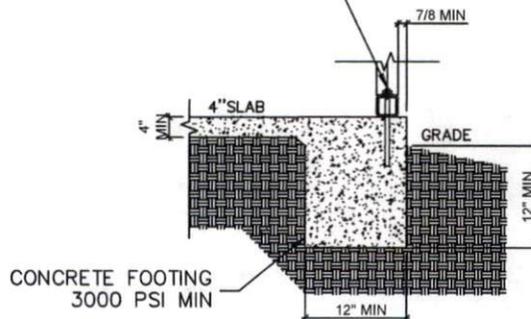
REV.  
A





1 BASE RAIL ANCHOR CONNECTION DETAIL FOR WINDS UP 120 MPH  
NO SCALE

1/2  $\phi$  X 4" BOLT MIN EMBED DEPTH ON CONCRETE EVERY 24" INCHES (0.7 FACTOR FOR ANCHOR W/MIN EDGE)



1 BASE RAIL ANCHOR LATERAL VIEW FOR WINDS UP 120 MPH  
NO SCALE

**DETAILS**

NTS



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250 Shipwash Drive ■ Garner ■ North Carolina ■ 27529  
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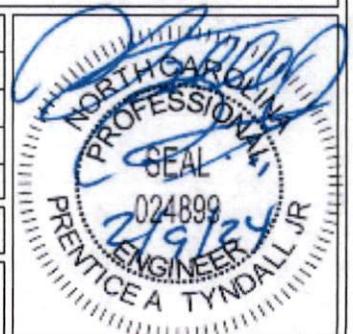
2			
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NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN:	CHECKED:	DATE:	PROJECT#:
MR	PTII	06/05/2023	2201-010434F

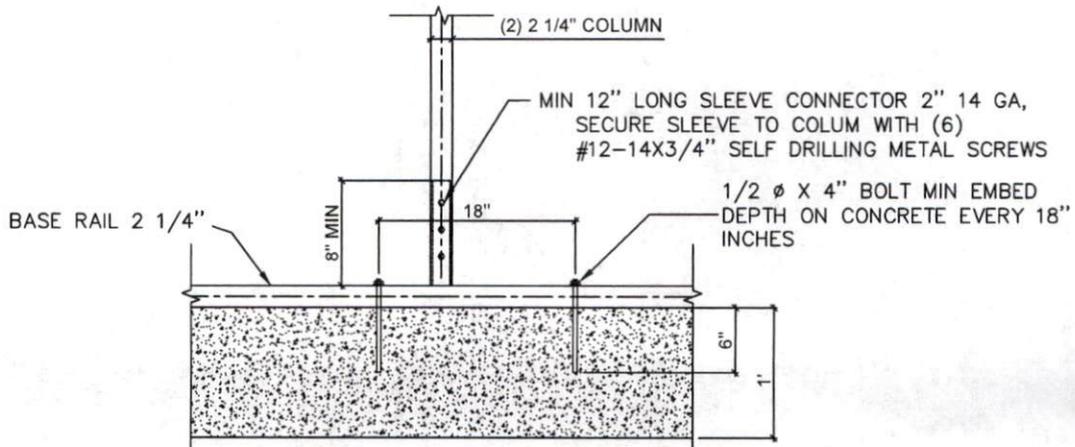
CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

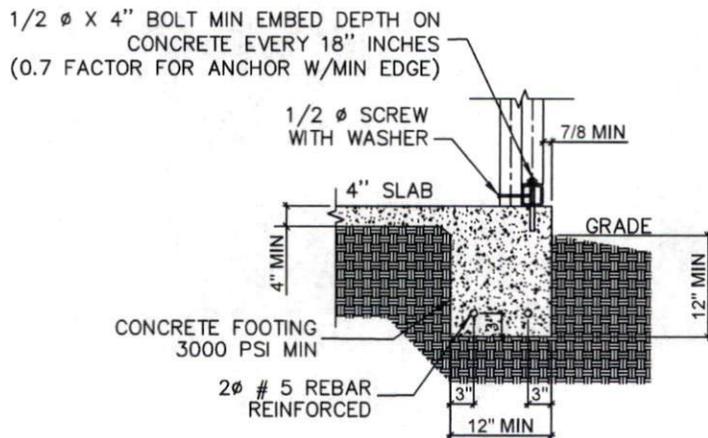
DRAWING NUMBER:  
20 of 22

REV.  
A





1 DOUBLE COLUMN BASE RAIL ANCHOR CONNECTION DETAIL FOR WINDS 130 MPH TO 150 MPH  
NO SCALE



1 BASE RAIL ANCHOR LATERAL VIEW FOR WINDS 130 MPH TO 150 MPH  
NO SCALE

**DETAILS**  
NTS



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250 Shipwash Drive ■ Garner ■ North Carolina ■ 27529  
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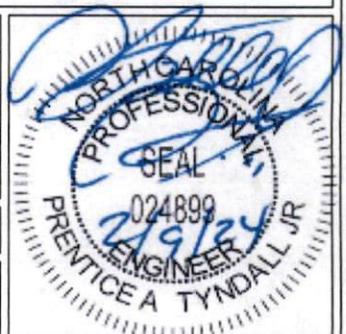
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1			
NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
<b>DRAWN:</b> MR	<b>CHECKED:</b> PTII	<b>DATE:</b> 06/05/2023	<b>PROJECT #:</b> 2201-010434F

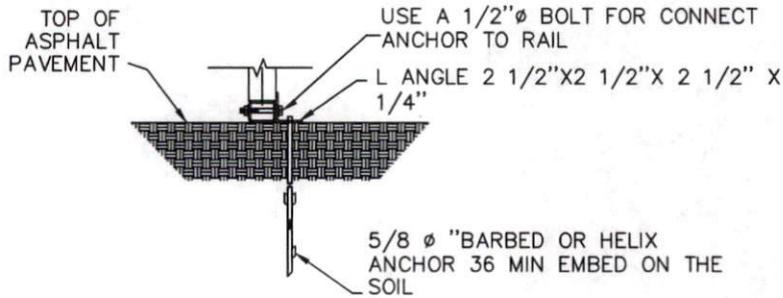
**CLIENT:** SUPERIOR MS&C,  
LLC

**PROJECT:** ENCLOSED  
BUILDING

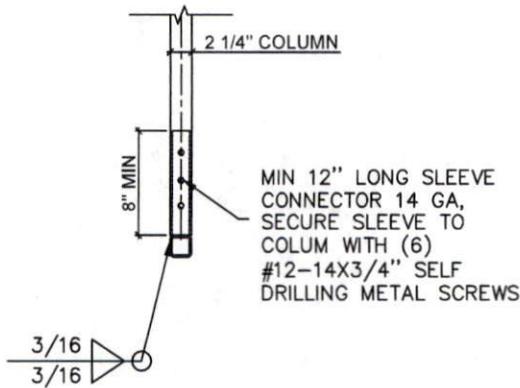
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21 of 22

**REV:**  
A

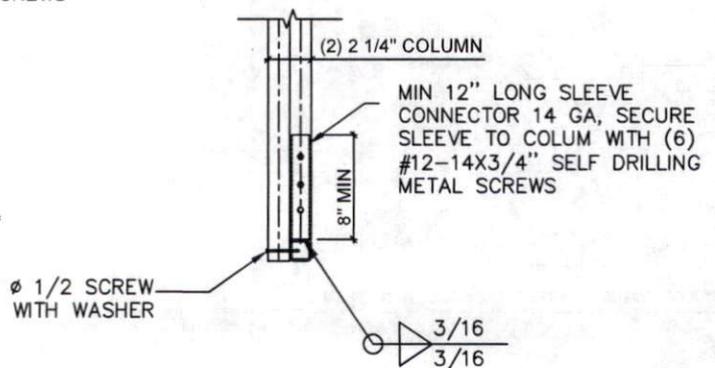




1 BASE RAIL ANCHORAGE WITH BARBED OR HELIX ANCHOR  
NO SCALE



2 BASE RAIL-COLUMN CONNECTION DETAIL  
NO SCALE



3 BASE RAIL-COLUMN CONNECTION DETAIL  
NO SCALE



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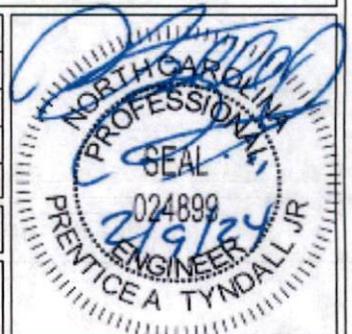
2			
1			
NO.	DATE	REVISIONS AND RECORD OF ISSUE	CHK.
NAME:		Greater Vision Fellowship Inc.	
ADDRESS:		135 Dry Creek Rd. Lillington, NC	
DRAWN:	CHECKED:	DATE:	PROJECT #:
MR	PTII	06/05/2023	2201-010434F

CLIENT: SUPERIOR MS&C,  
LLC

PROJECT: ENCLOSED  
BUILDING

DRAWING NUMBER:  
22 of 22

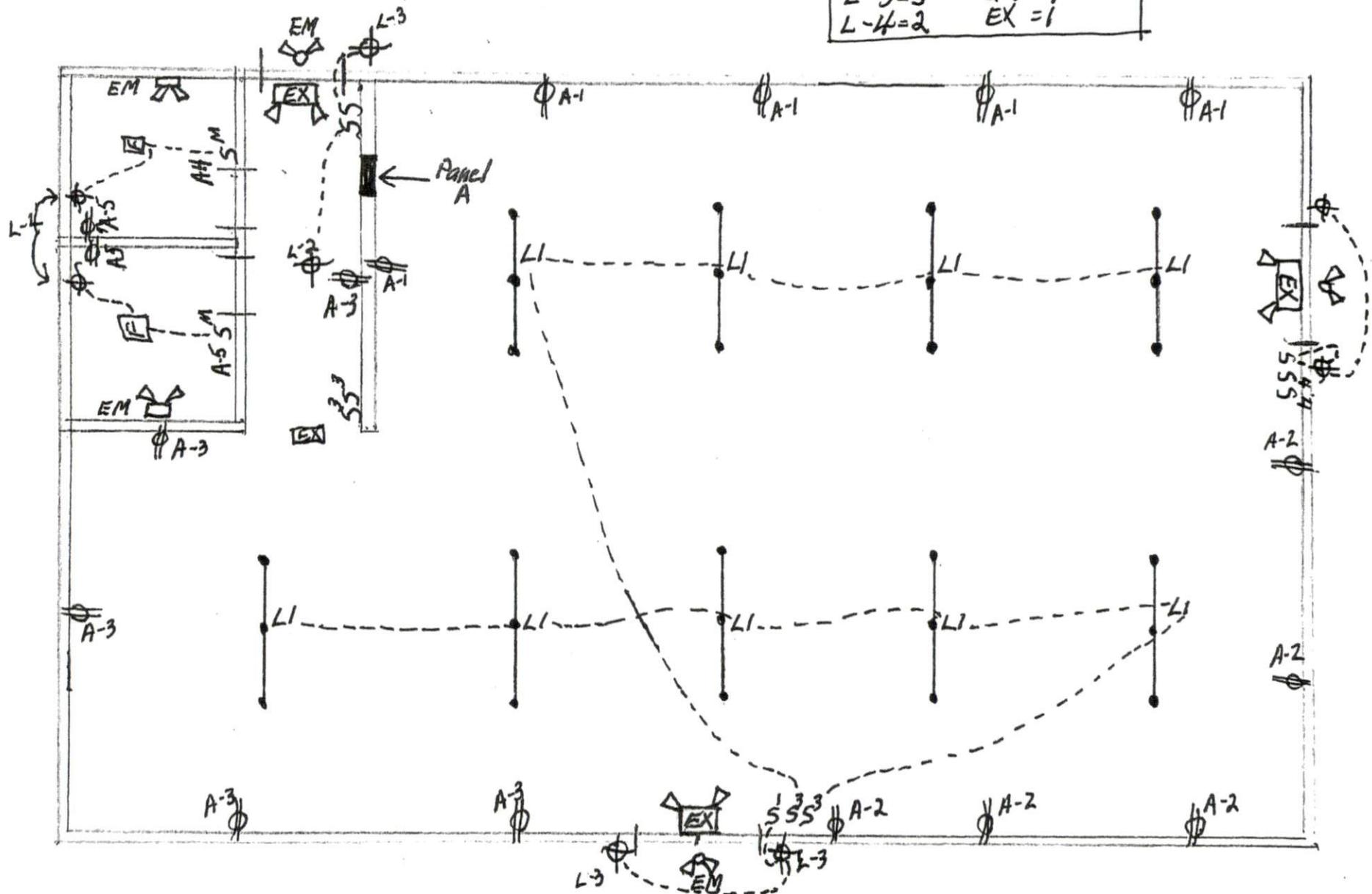
REV.  
A



200a MD  
 200a Disconnect  
 200a Panel # ML

L-1=9	EM/EX = 2
L-2=1	Bugeye = 2
L-3=3	EM = 4
L-4=2	EX = 1

40X60



MOBBY ELECTRIC

Greater Vision  
 Fellowship Church  
 \$5,000.00



**Beasley's Heating & Air, Inc.**  
**57 WC Beasley Lane**  
**Coats. NC 27521**

Ph: 919-894-4248 State Lic. #9497  
 Fax: 919-894-8420  
 Email: Beasleyshvac@aol.com

# Proposal

DATE	ESTIMATE NO.
2/21/2025	65767-33

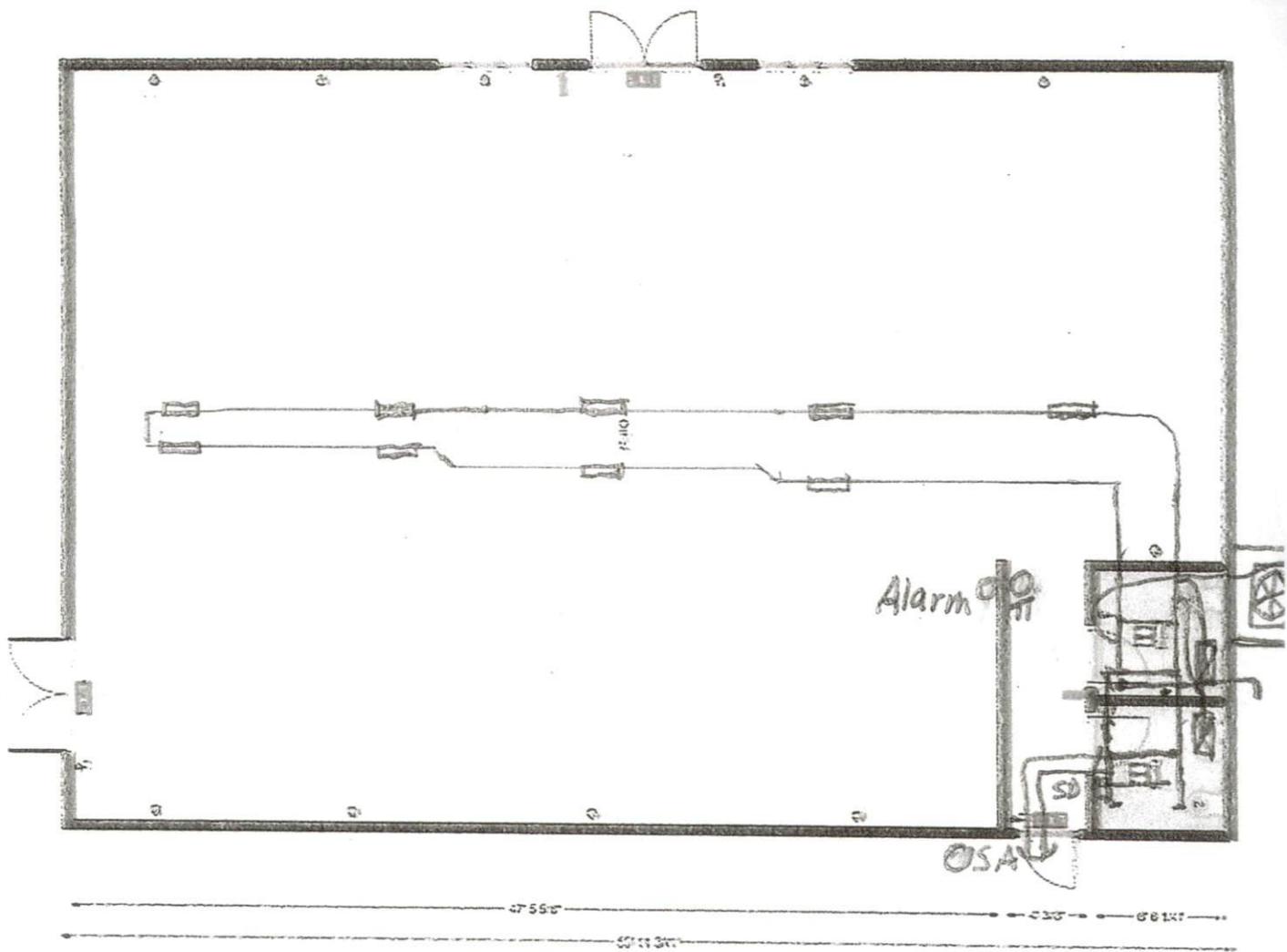
NAME / ADDRESS
Terry Miller 2649 Oak Grove Church Road Angier, NC 27501

PROJECT

ITEM	DESCRIPTION	COST	QTY	TOTAL
Installation	Ref: Greater Vision Fellowship church  (Future building addition) : To install 5 ton 14.3 seer 2 A/C and 115,000 BTU 92% LP gas furnace With spiral ductwork. Price includes smoke detector / alarm, (2) bath fans and vents, gas piping from furnace to outside, and test.	25,000.00		25,000.00
	Sales Tax	7.00%		0.00

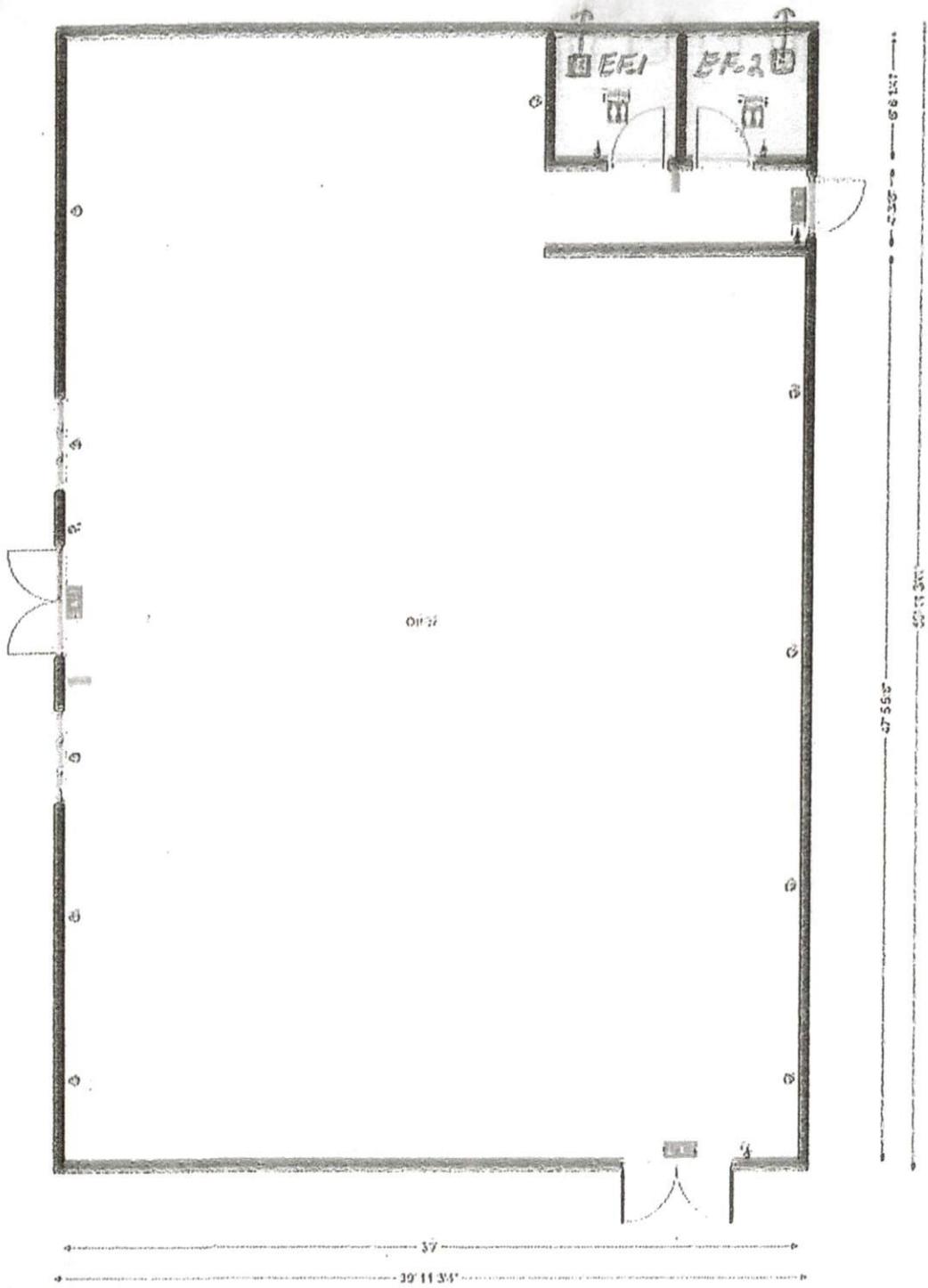
Customer Signature \_\_\_\_\_

39' 11" 3/4"



5 ton 14.3 seer 2 A/C + 115,000 Btu 92% LP Gas  
Furnace

EF-1+2-75CFM



Gary Willis Plumbing, Inc  
 2858 Bailey Rd  
 Coats, NC 27521 US  
 +19198942987  
 contact@gwplumbinginc.com

# Estimate 4064

<b>ADDRESS</b>	<b>SHIP TO</b>	<b>DATE</b>	<b>TOTAL</b>	<b>EXPIRATION DATE</b>
Greater Vision Fellowship Church 135 Dry Creek Rd Lillington, NC 27546 US	Greater Vision Fellowship Church 135 Dry Creek Rd Lillington, NC 27546 US	02/04/2025	\$4,472.70	03/21/2025

**SITE ADDRESS** 2649 Oak Grove Church Rd. Angie  
**FIELDWORKER** Gary W.  
**PO** Trench in water line

ACTIVITY	QTY	RATE	AMOUNT
<b>Material:Material</b> 180'-3/4" PEX water line, Misc. connective fittings, 1-3/4" PRV, 1-3/4" wilkens backflow, 1-wye strainer, 1-air gap, insulation		2,264.88	2,264.88T
<b>Trencher</b> Trencher	1	200.00	200.00T
<b>Backflow Test</b> Backflow Test	1	125.00	125.00T
<b>Labor:Labor</b> Labor		1,600.00	1,600.00T

Please read the estimate carefully. If you choose to accept the estimate, please sign and date and email the estimate back to us. You will need to call our office at (919) 894-2987 to schedule the work. Feel free to contact us if you have any questions. We hereby submit an estimate to trench in a water line from the existing main going to the church and connect into it before it goes into the church and run it to the new building and run it upstairs in the new building. We will have it ready to connect to for the bathrooms and test it after we get it pressurized and insulated to pass code. We look forward to working with you.

SUBTOTAL	4,189.88
TAX	282.82
<b>TOTAL</b>	<b>\$4,472.70</b>

THANK YOU.

Thanks for your business!  
 Gary Willis Plumbing, Inc.

Accepted By

Accepted Date

**Gary Willis Plumbing, Inc**  
 2858 Bailey Rd  
 Coats, NC 27521 US  
 +19198942987  
 contact@gwplumbinginc.com

# Estimate 4065

<b>ADDRESS</b>	<b>SHIP TO</b>
Greater Vision Fellowship Church 135 Dry Creek Rd Lillington, NC 27546 US	Greater Vision Fellowship Church 135 Dry Creek Rd Lillington, NC 27546 US

DATE  
02/04/2025

TOTAL  
\$2,533.11

EXPIRATION DATE  
03/21/2025

<b>SITE ADDRESS</b>	<b>FIELDWORKER</b>	<b>PO</b>
2649 Oak Grove Church Rd. Angie	Gary W.	Rough in plumbing

ACTIVITY	QTY	RATE	AMOUNT
<b>Material:Material</b> 40'-3" PVC piping, 20'-2" PVC piping, Misc. 3" and 2" PVC fittings, Misc. strapping, 3/4" and 1/2" PEX water lines, insulation		1,172.94	1,172.94T
<b>Labor:Labor</b> Labor		1,200.00	1,200.00T

Please read the estimate carefully. If you choose to accept the estimate, please sign and date and email the estimate back to us. You will need to call our office at (919) 894-2987 to schedule the work. Feel free to contact us if you have any questions. We hereby submit an estimate to dig the ditch's to rough in the sewer in the building and out to the septic tank. Also rough in the water lines to the fixtures and to the main water coming into the building. We will need to put a test on the system for inspection before covering the piping for concrete. Before starting any work, we will need to get at least half of the project up front.  
 We look forward to working with you.

SUBTOTAL	2,372.94
TAX	160.17
<b>TOTAL</b>	<b>\$2,533.11</b>

THANK YOU.

Thanks for your business!  
 Gary Willis Plumbing, Inc.

Accepted By

Accepted Date

Gary Willis Plumbing, Inc  
 2858 Bailey Rd  
 Coats, NC 27521 US  
 +19198942987  
 contact@gwplumbinginc.com

# Estimate 4066

<b>ADDRESS</b> Greater Vision Fellowship Church 135 Dry Creek Rd Lillington, NC 27546 US	<b>SHIP TO</b> Greater Vision Fellowship Church 135 Dry Creek Rd Lillington, NC 27546 US	<b>DATE</b> 02/04/2025	<b>TOTAL</b> \$5,312.80	<b>EXPIRATION DATE</b> 03/21/2025
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**SITE ADDRESS** 2649 Oak Grove Church Rd. Angie  
**FIELDWORKER** Gary W.  
**PO** Trim out plumbing

ACTIVITY	QTY	RATE	AMOUNT
<b>Material:Material</b> 2-ADA commodes, 2-wall hung lavatory, wax seals, closet bolts, p-traps, angle stop supply tubes, crab bars, 2-delta single lavatory faucets, 1-240A tankless water heater, drain pan, expansion tank		3,876.86	3,876.86T
<b>Labor:Labor</b> Labor		1,100.00	1,100.00T

Please read the estimate carefully. If you choose to accept the estimate, please sign and date and email the estimate back to us. You will need to call our office at (919) 894-2987 to schedule the work. Feel free to contact us if you have any questions. We hereby submit an estimate to go in and set the fixtures and hook them up after the walls are finished and painted. We will set the water heater and connect it and have water running when finished. We will put up the grab bars beside the commodes and behind them.  
 We look forward to working with you.

SUBTOTAL	4,976.86
TAX	335.94
<b>TOTAL</b>	<b>\$5,312.80</b>

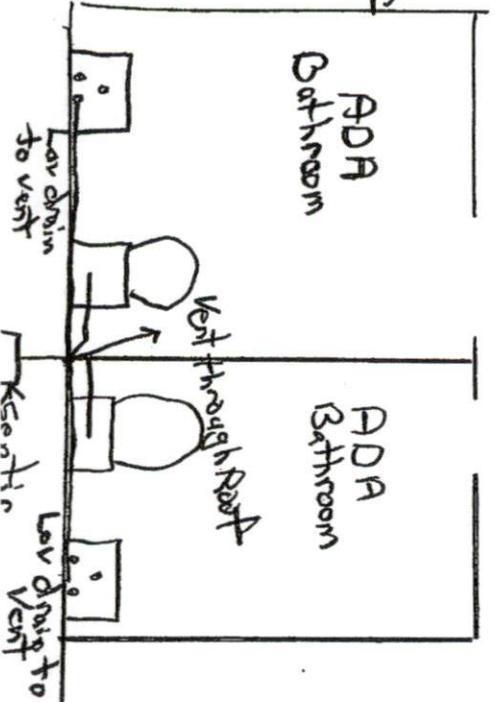
THANK YOU.

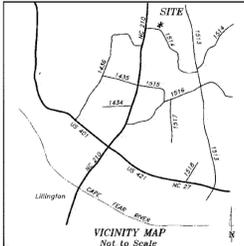
Thanks for your business!  
 Gary Willis Plumbing, Inc.

Accepted By

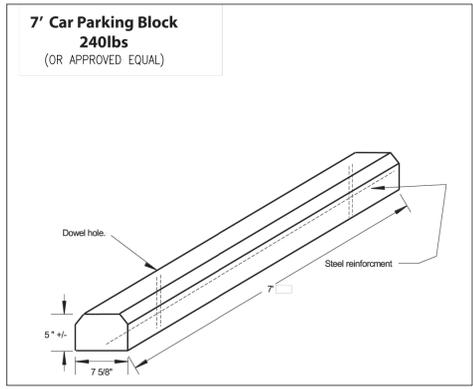
Accepted Date

Backflow in ceiling over Bathrooms on catwalk  
Water heater in ceiling in catwalk





G AND J DEVELOPMENT LLC  
A.A. PIN 0661-29-8122.000  
D.B. 4177, PG. 1592  
MAP#2001-85  
ZONED CONDITIONAL RS-10



G AND J DEVELOPMENT LLC  
A.A. PIN 0661-29-8122.000  
D.B. 4177, PG. 1592  
MAP#2001-85  
ZONED CONDITIONAL RS-10



SUSAN STEWART STEPHENSON  
PIN 0661-39-5313.000  
D.B. 3587, PG. 23  
ZONED RA-30

SANDRA P. BARNHART  
PIN 0661-28-9564.000  
D.B. 4267, PG. 2417  
MAP#2000-740  
ZONED RA-30

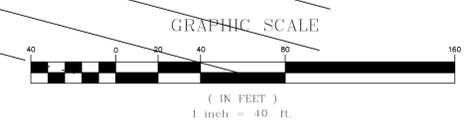
**SITE INFORMATION**  
PIN 0661-28-7762.000  
DEED BOOK 1470, PAGE 404  
MAP#2001-85  
PROPERTY IS ZONED RA-30  
REQUIRED SETBACKS:  
FRONT - 35 FEET  
SIDE - 25 FEET  
REAR - 10 FEET  
PROPERTY AREA: 5.0 ACRES (BY DEED)  
PROPERTY NOT SURVEYED. PLAN PREPARED USING GIS/REGISTER OF DEEDS PUBLIC INFORMATION  
HOURS OF OPERATION: 8AM-5PM (WEDNESDAY 8AM-8PM)  
PUBLIC WATER AND PRIVATE SEPTIC SYSTEM WILL BE USED  
PARKING REQUIRED: 1 SPACE/4 SEATS IN SANCTUARY  
120 SEATS IN SANCTUARY  
30 SPACES REQUIRED  
PARKING PROVIDED: 32 SPACES (2 ACCESSIBLE)  
ROLL-OUT/PICK UP TRASH SERVICE - NO DUMPSTER IS PROPOSED  
SITE MAINTENANCE IS TO BE PROVIDED BY GREATER VISION FELLOWSHIP  
THIS DEVELOPMENT IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.

AS THE OWNER OF RECORD, I (OR AS AGENT) HEREBY FORMALLY CONSENT TO THE PROPOSED DEVELOPMENT SHOWN ON THIS SITE PLAN AND ALL REGULATIONS AND REQUIREMENTS OF THE HARNETT COUNTY ORDINANCES.

5/15/2025  
DATE  
OWNER/ AGENT SIGNATURE



NEW FH ASSEMBLY (INSTALLED BY HRM)  
N 88°50'58" W 94.04' N 88°26'48" W 100.61' N 86°19'18" W 1103.30'  
EX. 6" WATER (APPRX. LOCATION)  
DRY CREEK RD. (NCSR 1514) - 60' R/W



	LOCATION: 135 DRY CREEK RD. (SR 1609) NEILL'S CREEK TOWNSHIP LILLINGTON, NC 27546	REVISIONS 05.15.2025: PLANNING COMMENTS	<b>PRELIMINARY SITE PLAN</b> FOR <b>GREATER VISION FELLOWSHIP MULTI-USE STORAGE BUILDING</b>	
	PROPERTY OWNER/DEVELOPER: GREATER VISION FELLOWSHIP INC 2649 OAK GROVE CHURCH RD ANGIER, NC 27501	HORIZONTAL SCALE: 1" = 40' VERTICAL SCALE: N/A		

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