



Town of Erwin
Zoning Application & Permit
Planning & Inspections Department

Permit #

26-015

Rev Sep2014

Each application should be submitted with an attached plot/site plan with the proposed use/structure showing lot shape, existing and proposed buildings, parking and loading areas, access drives and front, rear, and side yard dimensions.

Name of Applicant	Rhetson Companies, Inc.	Property Owner	NBP properties
Home Address	2075 Juniper Lake Road	Home Address	2075 Juniper Lake Rd
City, State, Zip	West End, NC 27376	City, State, Zip	West End, NC, 27376
Telephone	910-944-0881	Telephone	
Email		Email	

Address of Proposed Property		0598-92-3301-000	
Parcel Identification Number(s) (PIN)		Estimated Project Cost	
What is the applicant requesting to build / what is the proposed use of the subject property? Be specific.		Dollar General (discount store chain)	
Description of any proposed improvements to the building or property	Stormwater management and landscaping will be provided.		
What was the Previous Use of the subject property?	Vacant		
Does the Property Access DOT road?	Yes		
Number of dwelling/structures on the property already	0	Property/Parcel size	2.47 acres
Floodplain SFHA Yes ☒ No ☒	Watershed Yes ☒ No ☒	Wetlands Yes ☒ No ☒	
MUST circle one that applies to property		Existing/Proposed Septic System ☒ Or Existing/Proposed County/City Sewer ☒	

Owner/Applicant Must Read and Sign

The undersigned property owner, or duly authorized agent/representative thereof certifies that this application and the forgoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. The undersigning party understands that any incorrect information submitted may result in the revocation of this application. Upon issuance of this permit, the undersigning party agrees to conform to all applicable town ordinances, zoning regulations, and the laws of the State of North Carolina regulating such work and to the specifications of plans herein submitted. The undersigning party authorizes the Town of Erwin to review this request and conduct a site inspection to ensure compliance to this application as approved.

Print Name	Signature of Owner or Representative	Date
DAYNA BRUCE THOMPSON	<i>Dayna Bruce Thompson</i>	1/5/25

For Office Use

Zoning District	B2	Existing Nonconforming Uses or Features	no
Front Yard Setback	30ft	Other Permits Required	Conditional Use Building Fire Marshal Other
Side Yard Setback	20ft	Requires Town Zoning Inspection(s)	Foundation Prior to C. of O.
Rear Yard Setback	20ft	Zoning Permit Status	Approved Denied
		Fee Paid: \$100	Date Paid: Staff Initials:

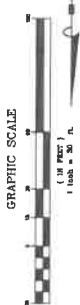
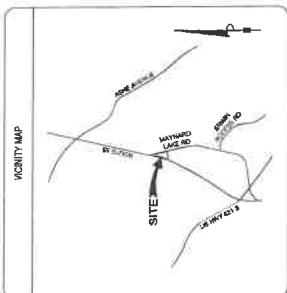
Comments	Trans permits from Homelb County
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Signature of Town Representative:	Date Approved/Denied: 7/24/28
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see attached material for landscaping, lighting, building layout, DOT permits, DEQ permits

LINE TABLE			
LINE	SYMBOL	UNIT	VALUE
51	2.00E-05	M	2.00E-05
52	2.00E-05	M	2.00E-05

STRIPING LEGEND	
YELLOW CLOSING AND ROLLBACK - PARKING LOT	SURFACES SHOULD BE CLEAN, NEW AND ACTUAL SURFACES FREE OF HEAVY TRAFFIC MARKINGS SHOWING WEAR - FOR GOOD APPEAL ALSO CHALKED SAFETY VEHICLE MARKINGS
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, NEW AND ACTUAL SURFACES FREE OF HEAVY TRAFFIC MARKINGS
HANDCAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, NEW AND ACTUAL SURFACES FREE OF HEAVY TRAFFIC MARKINGS

[illegible][illegible][illegible]

CERTIFICATE OF PLAN APPROVAL



The posting of this certificate certifies that an erosion and sedimentation control plan has been approved for this project by the North Carolina Department of Environmental Quality in accordance with North Carolina General Statute 113A – 57 (4) and 113A – 54 (d) (4) and North Carolina Administrative Code, Title 15A, Chapter 4B.0107 (c). This certificate must be posted at the primary entrance of the job site before construction begins and until establishment of permanent groundcover as required by North Carolina Administrative Code, Title 15A, Chapter 4B.0127 (b).

Dollar General
NC Highway 55 E Erwin, NC 28339

3/20/2025

Date of Plan Approval

HARNE-2025-0254

Project Identifier



Certificate of Coverage Number: _____

Certificate of Coverage

STATE OF NORTH CAROLINA
DEPARTMENT OF ENVIRONMENTAL QUALITY
DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES

GENERAL PERMIT NO. NCG010000

Certificate of Coverage No. NCC251692

STORMWATER DISCHARGES

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM

In compliance with the provision of North Carolina General Statute 143-215.1, other lawful standards and regulations promulgated and adopted by the North Carolina Environmental Management Commission, and the Federal Water Pollution Control Act, as amended,

Rhetson Companies, Inc.

is hereby authorized to discharge stormwater associated with CONSTRUCTION ACTIVITIES to surface waters of North Carolina from a site located at:

Dollar General
NC Highway 55 E
Erwin
Harnett

in accordance with the effluent limitations, monitoring requirements, and other conditions set forth in N.C. General Permit No. NCG010000

This Certificate of Coverage is affiliated with **E&SC Plan Project No. HARNE-2025-0254**

This Certificate of Coverage shall become effective 6/10/25.

This Certificate of Coverage shall remain in effect until rescinded or expired.

This Certificate of Coverage will expire on the anniversary of its effective date unless it is renewed by payment of the annual administration and compliance fee.



Brooklyn Broussard, Administrative Officer II
Division of Energy, Mineral, and Land Resources
By the Authority of the Environmental Management Commission

3479a1c-d454011-477e-000680b1a00 200 1-06-10711-10-011



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

JOSH STEIN
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

July 23, 2025

Dayna Bayles Murphy & Steve Wilford Murphy
Dollar General
ATTN: Kyle Organo
175 Drum Intl
Morehead City, NC 28557

**SUBJECT: APPLICATION - DRIVEWAY ENTRANCES ONTO NC Highway 55 and SR 1726
(Maynard Lake Road)
PERMIT NUMBER D062-043-25-00033 (Dollar General)
HARNETT COUNTY**

To whom it may concern:

Please find attached for your file a copy of the Driveway Application, which has been properly executed. This Driveway Permit is approved subject to the provisions stated in the Permit Application Agreement and the following special provisions:

- **Please note that any additional development of the undeveloped portions of this parcel and/or adjoining parcels of land will require an additional review by the District Engineer. The Developer(s) may be required to make external roadway improvements as a result of any additional review.**
- **Driveway construction must be completed within one year after the approval date. This Driveway Permit becomes null and void after that time and the Applicant will be required to reapply for access. Consideration may be given for time extensions on a case by case basis.**
- **This permit is only valid for the Right out only driveway with 4' median along NC Highway 55 and the 36' wide driveway along SR 1726 (Maynard Lake Road).**
- An executed copy of the approved Driveway Permit, provisions and plans shall be present at the construction site at all times. If safety or traffic conditions warrant such an action, NCDOT reserves the right to further limit, restrict or suspend operations within the right of way.
- **Upon completion of the project, an executed North Carolina Department of Transportation Subdivision Road, Driveway Access and Encroachment Installation Certification Memo shall be returned to the District Engineer's office.**
- **Any change or alteration of the existing or proposed property use shall require a new Driveway Permit. Failure to secure required Permits prior to construction or change in property usage may result in the removal of the driveway at the expense of the Permittee.**
- **This approval and associated plans and supporting documents shall not be interpreted to allow any design change or change in the intent of the design by the Owner, Design Engineer, or any of their representatives. Any revisions or changes to these approved**

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION SIX / DISTRICT TWO
POST OFFICE BOX 1150
FAYETTEVILLE, NC 28302

Telephone: (910) 364-0601
Fax: (910) 437-2529
Customer Service: 1-877-368-4968

Website: www.ncdot.gov

Location:
600 SOUTHERN AVENUE
FAYETTEVILLE, NC 28306

plans or intent for construction must be obtained in writing from the Division Engineer's office or their representative prior to construction or during construction, if an issue arises during construction to warrant changes. Changes noted in red on the plans and herein shall be incorporated into and made a part of the approved Permit.

- All out parcels or excluded areas shall be served internally, with no additional access onto abutting roadways permitted. This condition should be conveyed in any buy, sell, lease, rent, or subdivision agreement.
- The Permittee (not the contractor) shall make arrangements to have a qualified inspector, under the supervision of a Professional Engineer registered in North Carolina, on site during construction to observe the work associated with this Permit. This work includes, but is not limited to, culvert and drainage structure installation, roadway widening, grading work, pavement structure installation (subgrade, base, and pavement), and traffic marking and marker installation. Please note that the Permittee is also responsible for contacting Mr. Travis B. Salazar, Assistant District Engineer at (910) 364-0601 at least 24 hours prior to beginning construction and prior to "critical events," such as backfilling pipe, installing curb and gutter, and placing asphalt.
- Mr. Lee R. Hines, Jr. (Richie), PE, District Engineer, shall be notified in writing at 600 Southern Avenue, Fayetteville, NC 28306 upon completion of work associated with this Permit. The Permittee shall provide a signed and sealed letter along with an as-built drawing from a Professional Engineer certifying that the materials and construction associated with the Permit were in compliance with the approved plans, Permit, and the current NCDOT Standard Specifications and Standard Drawings. All testing results (asphalt, concrete, compaction, etc.), records (inspector daily diary reports, materials received reports, etc.) associated with the improvements required by this Driveway Permit shall be submitted to the District Engineer upon completion of the roadway improvements.
- Ingress and egress shall be maintained to all businesses and dwellings affected by the project. Special attention shall be paid to police, EMS and fire stations, fire hydrants, secondary schools, and hospitals.
- **Approval of the Driveway Permit does not constitute review or approval of subdivision streets for NCDOT maintenance.** If addition of subdivision streets to the State Maintenance System is desired, plans for review and a Petition for Addition shall be submitted to the District Engineer's office. For further information, contact Mr. Chris L. Jones Engineering Technician, at (910) 364-0601.
- All materials and construction shall be in accordance with NCDOT Standards and Specifications, including but not limited to, the latest NCDOT *Standard Specifications for Roads and Structures*, the latest NCDOT *Roadway Standards Drawings*, and *NCDOT Policies and Procedures for Accommodating Utilities on Highway Rights of Way*.
- The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the current *Manual on Uniform Traffic Devices* (MUTCD). No work shall be performed in the right of way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for encroachment operations. All contractor personnel will be required to wear a class II ANSI approved safety vest while working within DOT rights of way.
- NCDOT does not guarantee the right of way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation. It is the responsibility of the permittee to verify the right of way. All right of way and easements necessary for construction and maintenance shall be dedicated to NCDOT and proof of dedication shall be furnished to the District Engineer prior to beginning work.

- No commercial advertising shall be allowed within NCDOT Right of Way.
- Two-way traffic shall be maintained at all times.
- Traffic shall be maintained at all times. All lanes of traffic are to be open during the hours of 7:00 A.M. to 9:00 A.M. and from 4:00 P.M. to 6:00 P.M. Monday through Friday, during any time of inclement weather, **or as directed by the District Engineer**. No lane of traffic shall be closed on holidays, special events, or as directed by the engineer. Any violation of these hours will result in ceasing any further construction by the Encroaching Party or their contractor.
- Work requiring lane or shoulder closures shall not be performed on both sides of the road simultaneously within the same area.
- Any work requiring equipment or personnel within 5 feet of the edge of any travel lane of an undivided facility and within 10 feet of the edge of any travel lane of a divided facility shall require a lane closure with appropriate tapers per current *NCDOT Roadway Standard Drawings* or *MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES*.
- NCDOT reserves the right to further limit, restrict, or suspend operations within the right of way if, in the opinion of NCDOT, safety or traffic conditions warrant such action.
- The Division Traffic Engineer shall be notified at (910) 364-0606 prior to beginning work on the right of way if there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work zone. Costs to relocate, replace, or repair NCDOT signs, signals, or associated equipment shall be the responsibility of the Permittee. Furthermore, any revisions to existing traffic signals or the installation of any new traffic signals shall require a Signal Agreement between the Permittee and the NCDOT. Additional information concerning this subject can be obtained from the Division Traffic Engineer.
- **Excavation within 1000 feet of a signalized intersection will require notification by the encroaching party to the Division Traffic Engineer at telephone number (910) 364-0606 no less than one week prior to beginning work. All traffic signal or detection cables must be located prior to excavation. Cost to replace or repair NCDOT signs, signals, pavement markings or associated equipment and facilities shall be the responsibility of the encroaching party**
- When surface area in excess of one acre will be disturbed, the Permittee shall submit a Sediment and Erosion Control Plan which has been approved by the appropriate regulatory agency or authority prior to beginning any work on the right of way. Failure to provide this information shall be grounds for suspension of operations. Proper temporary and permanent measures shall be used to control erosion and sedimentation in accordance with the approved sediment and erosion control plan.
- The Verification of Compliance with Environmental Regulations (VCER-1) form is required for all driveway permits when land disturbance within NCDOT right of way exceeds 1 acre. The VCER-1 form must be PE sealed by a NC registered professional engineer who has verified that all appropriate environmental permits (if applicable) have been obtained and all applicable environmental regulations have been followed.
- All erosion control devices and measures shall be constructed, installed, maintained, and removed by the Encroacher in accordance with all applicable Federal, State, and Local laws, regulations, ordinances, and policies. Permanent vegetation shall be established on all disturbed areas in accordance with the recommendations of the Division Roadside Environmental Engineer. All areas disturbed (shoulders, ditches, removed accesses, etc.) shall be graded and seeded in accordance with the latest *NCDOT Standards Specifications for Roads and Structures* and within 15 calendar days with an approved NCDOT seed mixture (all lawn type areas shall be maintained and reseeded as such). Seeding rates per acre shall be applied according to the Division Roadside Environmental Engineer. Any plant or

vegetation in the NCDOT planted sites that is destroyed or damaged as a result of this encroachment shall be replaced with plants of like kind or similar shape.

- No trees within NCDOT shall be cut without authorization from the Division Roadside Environmental Engineer. An inventory of trees measuring greater than 4 caliper inches (measured 6" above the ground) is required when trees within C/A right of way will be impacted by the encroachment installation. Mitigation is required and will be determined by the Division Roadside Environmental Engineer's Office.
- It shall be the responsibility of the Permittee to determine the location of other utilities within the work zone. The Permittee shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.
- The contractor shall not begin the construction until after the traffic control and erosion control devices have been installed to the satisfaction of the Division Engineer or their agent.
- A clear recovery area should be preserved along the highway travel way. The clear recovery area is the area between the travel way and any hazardous fixed object, such as utility poles, monuments, markers, or trees. Refer to AASHTO Roadside Design Guide for specific dimensions.
- Curb cuts and ramps for handicapped persons shall be constructed in accordance with the current NCDOT "Standard for Wheelchair Ramp Curb Cuts" and the Americans with Disabilities Act (ADA) Accessibility Guidelines for Buildings and Facilities.
- Access granted under this permit shall remain closed (i.e. barricaded) to all traffic until all requirements relating to traffic control and signalization have been satisfied.
- Any proposed landscaping or landscape plantings shall be approved by the Division Engineer under an NCDOT Planting Permit. For further information, please contact the Division Roadside Environmental Engineer, at (910) 364-0603.
- The permittee and/or their contractor shall comply with all OSHA requirements. If OSHA visits the work area associated with this encroachment, the District Office shall be notified by the permittee immediately if any violations are cited.
- All disturbed areas are to be fully restored to current NCDOT minimum roadway standards or as directed by the Division Engineer or their representative. Disturbed areas within NCDOT Right-of-Way include, but not limited to, any excavation areas, pavement removal, drainage or other features.
- Pre-cast concrete manholes, catch basins, or other drainage structures shall be pre-approved by NCDOT for use within highway rights of way.
- Manhole rings and covers, valve covers, and storm drainage grates and frames shall be traffic bearing types approved by NCDOT for use within highway Rights of Way.
- The permittee shall notify the District Engineer or their representative immediately in the event any drainage structure is blocked, disturbed or damaged. All drainage structures disturbed, damaged or blocked shall be restored to its original condition as directed by the District Engineer or their representative.
- Unless specified otherwise, during non-working hours, equipment shall be located away from the job site or parked as close to the right of way line as possible and be properly barricaded in order not to have any equipment obstruction within the Clear Recovery Area. Also, during non-working hours, no parking or material storage shall be allowed along the shoulders of any state-maintained roadway.

- No access to the job site, parking or material storage shall be allowed along or from the **Control of Access Roadway**. A relocation of the break in control of access was approved on September 29, 2022.
- Guardrail removed or damaged during construction shall be replaced or repaired to its original condition, meeting current NCDOT standards or as directed by the Division Engineer or their representative.
- The resetting of the Control of Access fence shall be in accordance with the applicable NCDOT standard and as directed by the Division Engineer or their representative.
- Right of Way monuments disturbed during construction shall be referenced by a registered Land Surveyor and reset after construction.
- All driveways disturbed during construction shall be returned to a state comparable with the condition of the driveways prior to construction.
- If the approved method of construction is unsuccessful and other means are required, prior approval must be obtained through the District Engineer before construction may continue.
- **Pipe diameter and length shall be installed in accordance with the approved plans and shall be inspected for proper installation prior to backfilling. Contact the Harnett County Maintenance Engineer, at (910) 893-4020 for inspection. Please provide at least 24 hours advance notice for inspection.**
- **Any drainage pipe and drainage structures shall be constructed in accordance with Division 3 and Section 840 of the latest NCDOT Standard Specifications for Roads and Structures and Amendments or Supplementals thereto and Standard Drawing numbers 300.01, 840.18, 840.24, 840.29 and 840.31 of the latest NCDOT Roadway Standards Drawings or as directed by the engineer. Any drainage structure must be inspected by and shall bear the stamp of approval by the NCDOT Materials and Tests Unit. All concrete testing results shall be provided to the District Engineer's office at time of project completion.**
- Trenching, bore pits and/or other excavations shall not be left overnight. The contractor shall comply with all OSHA requirements and provide a competent person on site to supervise excavation at all times.
- Excavated areas adjacent to pavement having more than a 2" drop shall be safed up at a 6:1 or flatter slope and designated by appropriate delineation during periods of inactivity, including, but not limited to, night and weekend hours. Excavated material shall not be placed on the roadway at any time.
- It is the responsibility of the permittee or their contractor to prevent any mud/dirt from tracking onto the roadway. Any dirt which may collect on the roadway pavement from equipment and/or truck traffic on site shall be immediately removed to avoid any unsafe traffic conditions.
- All material to a depth of 8 inches below the finished surface of the subgrade shall be compacted to a density equal to at least 100% of that obtained by compacting a sample of the material in accordance with AASHTO T99 as modified by the Department. The subgrade shall be compacted at a moisture content which is approximately that required to produce the maximum density indicated by the above test method. The contractor shall dry or add moisture to the subgrade when required to provide a uniformly compacted and acceptable subgrade. The option to backfill any trenches with dirt or either #57 stone or #78 stone with consolidation with a plate tamp and without a conventional density test may be pursued with the written consent of the District Engineer. If this option is exercised, then roadway ABC stone and asphalt repair as required will also be specified by the District Engineer.

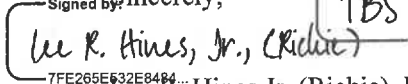
- **The proposed driveway shall be paved a minimum of fifty (50) feet down the centerline of the driveway alignment as measured from the edge of existing pavement as shown on the attached plans.**
- The required widening is to reduce the potential for rear end collisions and accidents at the entrance to Serenity Subdivision with the amount of traffic that the site will generate added to the traffic on NC Highway 55 and SR 1726 (Maynard Lake Road). Studies have shown that without the presence of adequate turn lanes and tapers the potential for rear end type crashes are dramatically increased at business and commercial roadside developments. This translates into a higher accident potential for both the traveling public, as well as, for customers of the site, too. These improvements also preserve roadway capacity and the useful life of the road; decreases travel time and congestion, as well as improve access to properties.
- **The entrance grade shall be constructed in accordance with Figure 16 (attached).**
- Any pavement damaged because of settlement of the pavement or damaged by equipment used to perform Driveway Permit work, shall be re-surfaced to the satisfaction of the District Engineer. This may include the removal of pavement and a mechanical overlay. All pavement work and pavement markings (temporary and final) are the responsibility of the permittee.
- **All 30" curb and gutter and 36" shoulder berm gutter shall be installed in accordance with Division 8 and Section 846 of the NCDOT Standard Specifications for Roads and Structures and Standard Drawing numbers 846.01 of the NCDOT Roadway Standards Drawings or as directed by the engineer. All concrete testing results shall be provided to the District Engineer's office at time of project completion.**
- **Sidewalks and/or bus stops are not approved as a part of this Driveway Permit. A separate three party (RW 16.6) encroachment agreement review and approval shall be required before any sidewalk and/or bus stops are constructed within the right of way.**
- The permittee shall notify the District Engineer's office within 2 business days after construction is complete. The District Engineer may perform a construction inspection. Any deficiencies may be noted and reported to the permittee to make immediate repairs or resolve any issues to restore the right-of-way to a similar condition prior to construction, including pavement, signage, traffic signals, pavement markings, drainage, structures/pipes, or other highway design features.
- At the discretion of the District Engineer, a final inspection report may be provided to the encroaching party upon satisfactory completion of the work.

Pavement Markings, Markers and Signing

- The Permittee shall be responsible for the removal, relocation, and / or installation of all pavement markings and NCDOT signs within the limits affected by the development. Pavement marking and signing plans shall be submitted to the District Engineer for approval prior to the installation of any signs and/or pavement markings.
- **The Permittee has been approved to use NCDOT approved thermoplastic pavement markings in accordance with Division 12 and Section 866 of the NCDOT Standard Specifications for Roads and Structures and Standard Drawing numbers 1205.01 and 1205.08 of the NCDOT Roadway Standards Drawings or as directed by the engineer for all pavement markings (edge lines, lane lines and centerlines).**
- Pavement marking and marker changes shall be accomplished by completely covering the lines by means of asphalt overlaying or by an approved method of grinding. **In no case shall the application of liquid asphalt "tack" be accepted as an approved method for covering pavement markings.** Any pavement markings that are damaged or obliterated shall be restored by the encroaching party at no expense to NCDOT.

- All work performed under this section shall meet standards outlined in the current Manual on Uniform Traffic Control Devices (MUTCD) published by the Federal Highway Administration, NCDOT Supplement to the MUTCD, and the latest NCDOT Roadway Standard Drawings.
- The pavement marking contractor is required to have at least one member of every pavement marking crew that is working on the project, preferably the Crew Supervisor, be certified through the NCDOT Pavement Marking Technician Certification Process. For more information please contact the Work Zone Traffic Control Unit at (919) 773-2800 or <http://www.ncdot.org/doh/preconstruct/wztc/>".
- Prior to installing pavement markings, please contact the Division Traffic Engineer at (910) 364-0606 with the NCDOT Division Six Traffic Services Unit to review the proposed pavement-marking layout. This notification should take place a minimum of 48 hours in advance of the pavement marking installation.
- Failure to contact the Traffic Services Unit to review the pavement-marking layout prior to installation may result in the removal and reinstallation of the markings at the expense of the Permittee.

If further information or assistance is needed in reference to this project, please feel free to call Mr. Lee R. Hines, Jr. (Richie), PE, District Engineer at (910) 364-0601.

Sincerely,

7FE265E632E8494...
 Lee R. Hines Jr. (Richie), PE
 District Engineer

Initial
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LRH:tbs

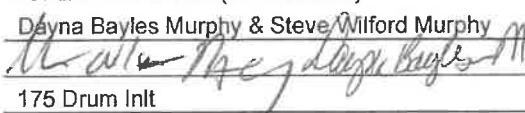
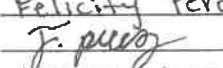
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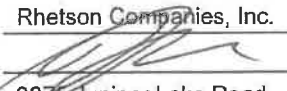
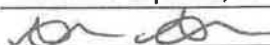
APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No. D062-043-25-0003	Date of Application 07/23/2025	
County: Harnett		
Development Name: Dollar General		

LOCATION OF PROPERTY		
Route/Road: Maynard Lake Road (SR-1726)		
Exact Distance 278	☐ Miles ☒ Feet	N S E W ☐ ☒ ☐ ☐
From the Intersection of Route No. NC 55 E and Route No. SR-1726 Toward Scramble Road		
Property Will Be Used For: ☐ Residential /Subdivision ☒ Commercial ☐ Educational Facilities ☐ TND ☐ Emergency Services ☐ Other		
Property: ☒ is ☐ is not within Erwin City Zoning Area.		

AGREEMENT
• I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location. • I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation. • I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT. • I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans. • I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary. • I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction. • I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways". • I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied. • I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel. • I agree to provide during construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer. • I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction. • I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction. • I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system. • The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point. • I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.

SIGNATURES OF APPLICANT

PROPERTY OWNER (APPLICANT)				WITNESS	
COMPANY	<u>Dayna Bayles Murphy & Steve Wilford Murphy</u>		NAME	<u>Felicity Perce</u>	
SIGNATURE			SIGNATURE		
ADDRESS	<u>175 Drum Inlt</u> <u>Morehead City, NC 28557</u>		ADDRESS	<u>123 New bern pl. Raleigh NC, 27601</u>	
	Phone No.	<u> </u>		Phone No.	<u> </u>

AUTHORIZED AGENT				WITNESS	
COMPANY	<u>Rhetson Companies, Inc.</u>		NAME	<u>Rhetson Companies, Inc</u>	
SIGNATURE			SIGNATURE		
ADDRESS	<u>2075 Juniper Lake Road</u> <u>West End, NC 27376</u>		ADDRESS	<u>2075 Juniper Lake Road</u> <u>West End, NC 27376</u>	
	Phone No.	<u>910-944-0881</u>		Phone No.	<u>910-944-0881</u>

APPROVALS

APPLICATION RECEIVED BY DISTRICT ENGINEER

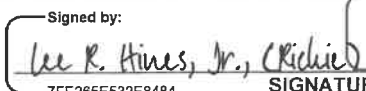
SIGNATURE
DATE

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

SIGNATURE
TITLE
DATE

APPLICATION APPROVED BY DISTRICT ENGINEER

Signed by:



7FE265E532E8484...

Initial

TBS

SIGNATURE

District Engineer

DATE

INSPECTION BY NCDOT

SIGNATURE
TITLE
DATE

COMMENTS:

TRAFFIC CONTROL AND WORK ZONE SAFETY

The Contractor shall maintain traffic during construction and provide, install, and maintain all traffic control devices in accordance with these project guidelines, the Project Special Provisions, North Carolina Department of Transportation Standard Specifications for Roads and Structures, and the current edition of the Manual of Uniform Traffic Control Devices (MUTCD).

The Contractor shall utilize complete and proper traffic controls and traffic control devices during all operations. All traffic control and traffic control devices required for any operation shall be functional and in place prior to the commencement of that operation. Signs for temporary operations shall be removed during periods of inactivity. The Contractor is required to leave the project in a manner that will be safe to the traveling public and which will not impede motorists.

Traffic movements through lane closures on roads with two way traffic shall be controlled by flaggers stationed at each end of the work zone. In situations where sight distance is limited, the Contractor shall provide additional means of controlling traffic, including, but not limited to, two-way radios, pilot vehicles, or additional flaggers. Flaggers shall be competent personnel, adequately trained in flagging procedures, and furnished with proper safety devices and equipment, including, but not limited to, safety vests and stop/slow paddles.

All personnel when working in traffic areas or areas in close proximity to traffic shall wear an approved safety vest, or shirt or jacket which meets the color requirements of the Manual of Uniform Traffic Control Devices (MUTCD).

The Contractor shall comply with all applicable Federal, State, and local laws, ordinances, and regulations governing safety, health, and sanitation, and shall provide all safeguards, safety devices, and protective equipment, and shall take any other needed actions, on his own responsibility that are reasonably necessary to protect the life and health of employees on the job and the safety of the public, and to protect property in connection with the performance of the work covered by the contract.

Failure to comply with any of the requirements for safety and traffic control of this contract shall result in suspension of work as provided in subarticle 108-7(2) of the Standard Specifications.

SPECIFICATIONS FOR EROSION CONTROL

The Contractor shall seed all disturbed areas as directed by the Engineer, in accordance with Section 1660 of the Standard Specifications. Seeding and mulching shall immediately follow shoulder construction operations and in no case shall shoulder construction operations exceed seeding and mulching operations by more than two weeks without written permission of the Engineer. Failure to meet this requirement shall be cause to cease all operations until it can be met.

Seeding and Mulching: (East)

The kinds of seed and fertilizer, and the rates of application of seed, fertilizer, and limestone, shall be as stated below. During periods of overlapping dates, the kind of seed to be used shall be determined by the Engineer. All rates are in pounds per acre.

The kinds of seed and fertilizer, and the rates of application of seed, fertilizer, and limestone, shall be as stated below. During periods of overlapping dates, the kind of seed to be used shall be determined. All rates are in pounds per acre.

All Roadway Areas

March 1 - August 31

50#	Tall Fescue
10#	Centipede
25#	Bermudagrass (hulled)
500#	Fertilizer
4000#	Limestone

September 1 - February 28

50#	Tall Fescue
10#	Centipede
35#	Bermudagrass (unhulled)
500#	Fertilizer
4000#	Limestone

Waste and Borrow Locations

March 1 - August 31

75#	Tall Fescue
25#	Bermudagrass (hulled)
500#	Fertilizer
4000#	Limestone

September 1 - February 28

75#	Tall Fescue
35#	Bermudagrass (unhulled)
500#	Fertilizer
4000#	Limestone

Note: 50# of Bahiagrass may be substituted for either Centipede or Bermudagrass only upon Engineer's request.

Approved Tall Fescue Cultivars

2 nd Millennium	Duster	Magellan	Rendition
Avenger	Endeavor	Masterpiece	Scorpion
Barlexas	Escalade	Matador	Shelby
Barlexas II	Falcon II, III, IV & V	Matador GT	Signia
Barrera	Fidelity	Millennium	Silverstar
Barrington	Finesse II	Montauk	Southern Choice II
Biltmore	Firebird	Mustang 3	Stetson
Bingo	Focus	Olympic Gold	Tarheel
Bravo	Grande II	Padre	Titan Ltd
Cayenne	Greenkeeper	Paraiso	Titanium
Chapel Hill	Greystone	Picasso	Tomahawk
Chesapeake	Inferno	Piedmont	Tacer
Constitution	Justice	Pure Gold	Trooper
Chipper	Jaguar 3	Prospect	Turbo
Coronado	Kalahari	Quest	Ultimate
Coyote	Kentucky 31	Rebel Exeda	Watchdog
Davinci	Kitty Hawk	Rebel Sentry	Wolfpack
Dynasty	Kitty Hawk 2000	Regiment II	
Dominion	Lexington	Rembrandt	

On cut and fill slopes 2:1 or steeper Centipede shall be applied at the rate of 5 pounds per acre and add 20# of Sericea Lespedeza from January 1 - December 31.

Fertilizer shall be 10-20-20 analysis. A different analysis of fertilizer may be used provided the 1-2-2 ratio is maintained and the rate of application adjusted to provide the same amount of plant food as a 10-20-20 analysis and as directed.

All areas seeded and mulched shall be tacked with asphalt. Crimping of straw in lieu of asphalt tack shall not be allowed on this project.

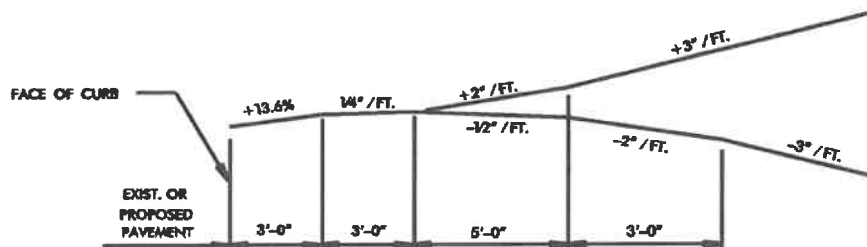
CRIMPING STRAW MULCH

Crimping shall be required on this project adjacent to any section of roadway where traffic is to be maintained or allowed during construction. In areas within six feet of the edge of pavement, straw is to be applied and then crimped. After the crimping operation is complete, an additional application of straw shall be applied and immediately tacked with a sufficient amount of undiluted emulsified asphalt.

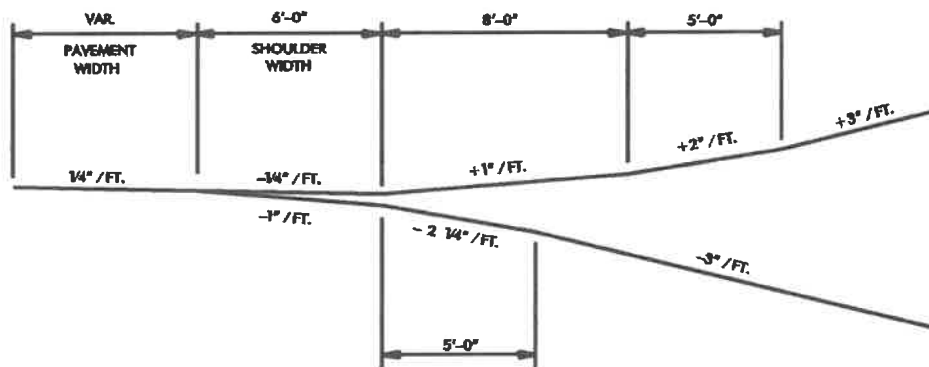
Straw mulch shall be of sufficient length and quality to withstand the crimping operation.

Crimping equipment including power source shall be subject to the approval of the Engineer providing that maximum spacing of crimper blades shall not exceed 8".

Within seven (7) calendar days to fourteen (14) calendar days of completion of any phase of grading, all disturbed areas shall be planted or otherwise provided with temporary or permanent ground cover, devices, or structures sufficient to restrain erosion. The Erosion and Sediment Control plan will identify the areas that require seven (7) and/or fourteen (14) calendar day ground stabilization. The Contractor is herein advised to follow all current regulations set forth by the North Carolina Department of Environment and Natural Resources (NCDENR) Division of Water Quality (DWQ) as defined in the *General Stormwater Permit for Construction Activities NCG-010000*.



A. CURB & GUTTER SECTION



B. SHOULDER SECTION

FIGURE 6

DRIVEWAY TURNOUT GRADES

**North Carolina Department of Transportation
Subdivision Road Construction, Driveway Access, and
Encroachment Installation Certification Memo**

(Date)

(District Engineer Name & Address)

RE: CONSTRUCTION CERTIFICATION

County: _____

Driveway Permit #: _____

and/or Subdivision I.D. #: _____

and/or Encroachment #: _____

Recording Information (if applicable): _____

Route(s) and/or Street(s): _____

Project Name/Phase/Description: _____

I, _____, have reviewed the construction within the right-of-way and/or easements required under subject project(s) for the above development and in accordance with the design drawings approved by the North Carolina Department of Transportation (NCDOT) on the following dates:

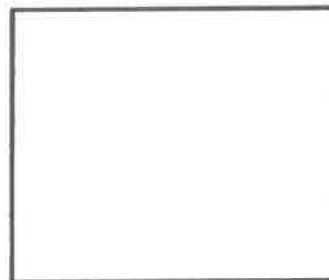
Driveway Permit #:	_____	Date:	_____
and/or Subdivision I.D. #:	_____	Date:	_____
and/or Encroachment #:	_____	Date:	_____

My inspection and attached testing report(s) and/or supporting documentation indicate the construction within the right-of-way and/or easements have been constructed in accordance with the standards established by current NCDOT Standard Specifications for Roads and Structures, and with the approved plans.

Name: _____

NC PE #: _____

Signature: _____



SEAL

Received by NCDOT: _____

January 16, 2025

To Whom It May Concern:

Rhetson Companies, Inc. is authorized to submit for the following permits as agent of the property owner for the property listed below: (I) a building permit, (II) driveway and/or encroachment permit, (III) stormwater permit, (IV) land disturbance permit, and (V) any other permits reasonability necessary from NCDOT, NCDEQ, the Town of Erwin, and any other governing agency for the proposed **Dollar General store** developed on the property.

Property Information:

Address: 4507 NC-55 East, Erwin, NC 28339

Coordinates: 35° 20' 59"N, 78° 40' 01"W

PIN ID: 0598-92-2261.000, as described in *Harnnett County* records.

Legal Description: See attached deed.

Yours Truly,

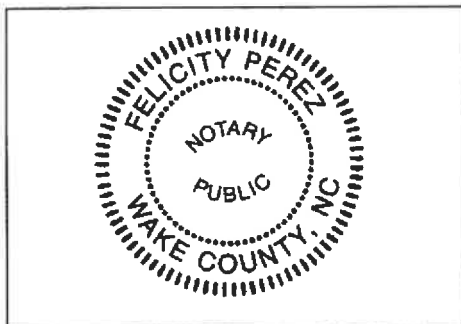
Dayna Bayles Murphy & Steve Wilford Murphy

By:

Name:

Title:

I, Felicity A. Perez, a Notary Public for the State of North carolina, County of WAKE, do hereby certify that Dayna B. Murphy personally appeared before me this 5 day of February, 2025, and acknowledge the due execution of this authorization to submit a land disturbance permit application. Witness my hand and official seal,



SEAL

My commission expires 09 / 22 / 2029

Driveway Certification

Project: Dollar General - Erwin, NC

Date: 2/10/25

I certify that the proposed development does not create a diversion of natural and/or historic surface runoff onto NCDOT right- of-way including but not limited to state road (1) SR-1726 and or any other adjoining properties and that the minimum pipe size (2) NC-55 E for the subject driveways are as follows:

D/ W #	Minimum Pipe Size
#1	18"
#2	18"
#3	

I further certify that there are no intersecting streets within the 500' of the proposed site other than those shown on the attached plan and that the available clear sight distances (i.e. unobscured from trees, brush, vertical and/or horizontal curves, cut sections, etc.) for the proposed driveways and the speed limit information are as follows:

D/ W #	Left Sight Distance	Right Sight Distance
#1	450'	450'
#2	550'	n/a
#3		

Speed Limit: (1) 45
(2) 55 mph



Professional Engineer/Surveyor Seal

Name: Matthew E. Lowder, PE

Signature: *Matthew E. Lowder*

Registration Number: 24434

**National Pollutant Elimination System (NPDES)
Stormwater Permit Compliance Certification**

I Richard Vincent, a duly authorized representative of
Rhetson Companies, Inc., an industrial/commercial/residential
facility requesting attachment to a North Carolina Department of Transportation
highway
drainage system at (1) Maynard Lake Road [SR-1726] and (2) NC-55 E in
Harnett County, do hereby certify the following:

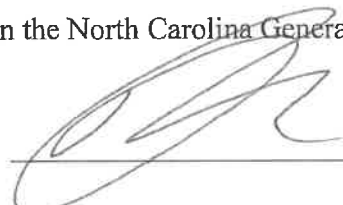
Check appropriate box and circle type of facility

- ☐ The Industrial / Commercial / Residential facility does not require an NPDES stormwater permit.
- ☒ The Industrial / Commercial / Residential facility does require an NPDES stormwater permit. The permit has been obtained and a Stormwater Pollution Prevention Plan (SPPP) is in place. Appropriate structural stormwater best management practices (BMP) are designed and installed as required by the Department of Environment and Natural Resources (DENR) and/or the local governing agency. All structural stormwater BMP's are located outside of NCDOT right-of-way.

I understand if the Department of Transportation determines the facility is not in compliance with NPDES stormwater requirements, the Department will report the noncompliance to the DENR Division of Water Quality. I also understand that falsification of this certification may result in penalty of law against the facility and me as prescribed in the North Carolina General Statutes.

Signature: _____

Date: _____


01/17/25

**VERIFICATION OF COMPLIANCE WITH
ENVIRONMENTAL REGULATIONS**

(Check *All* Appropriate Boxes)

- ☒ Permits from the N.C. Department of Environment and Natural Resources and the U.S. Army Corp of Engineers are not required for this project. However, all applicable federal and state regulations have been followed.
- ☐ The required permits from the N.C. Department of Environment and Natural Resources and the U.S. Army Corp of Engineers have been obtained for this project. Copies of permits and Completion Certificates are attached.
- ☒ All applicable NPDES Stormwater Permit requirements have been met for this project. (The applicant should contact the N.C. Division of Water Quality in Raleigh to Determine if a stormwater permit is required.)
- ☒ The project is in compliance with all applicable sedimentation and erosion control Laws and regulations.

Project Name: Dollar General

Township: Erwin

County: Hamett

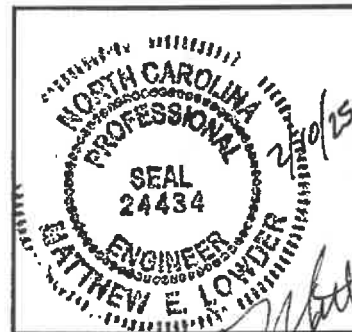
Project Engineer: Bowman North Carolina, Ltd.

Phone No.: 919-553-6570

Project Contact: Matt Lowder, PE

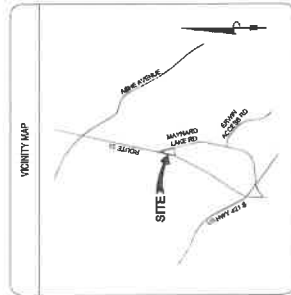
Applicants Name: Rhetson Companies, Inc.

Date Submitted: 2/10/25



PE SEAL

CURRENT PROPERTY OWNERS
Dayna Bayless & Steve Wilford Murphy
175 Drum Inlet
Morehead City, NC 28557

[illegible]

IMPERVIOUS SUMMARY TABLE	
DOLLAR CREDITOR SITE AREA = 107,507 SF (2.47 AC)	
BARREMENTS	10,940 SF
PARKING	71,715 SF
SEWERAL	2,000 SF
TOTAL IMPERVIOUS AREA	84,655 SF
OPEN SPACE	23,047 SF
LANDSCAPING	1,806 ACRES
LANDSCAPING	0.12 ACRES
TOTAL	30,566 SF
AREA	

HARNETT REGIONAL WATER NOTES.

1. APPROVAL OF THE PLATFORM DOES NOT GUARANTEE WATER CAPACITY OF WASTEWATER CAPACITY. COMPENSATORY CAPACITY MAY NOT BE AVAILABLE. THIS DOCUMENT MAY REQUIRE ADDITIONAL COMMITMENTS TO THE DRAINING WATER AND WASTEWATER SYSTEM TO MEET FUTURE WATER AND WASTEWATER DEMANDS PRIOR TO A PRELIMINARY PLAT, CONSTRUCTION PLANS AND/OR FINAL PLAT APPROVAL.
2. MAINT AND STREET CONSTRUCTION A 10' IN ALL SIZES TO BE COORDINATED AND MONITORED BY HANKEI RECORDING, WITH CONSTRUCTION APPROVAL DURING EXISTING.

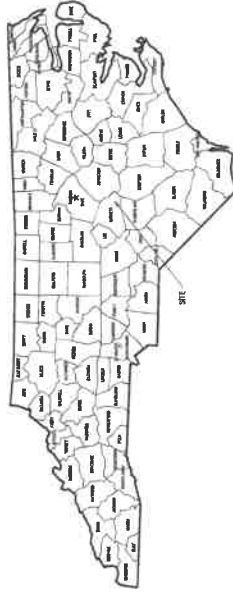
DATE: 07/23/2025

ONLY NORTH CAROLINA DEPARTMENT
OF TRANSPORTATION APPROVED
STRUCTURES ARE TO BE
CONSTRUCTED ON PUBLIC
RIGHT OF WAY.

ALL DRAINAGE EASEMENTS SHALL BE DEDICATED AS PUBLIC AND IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS TO MAINTAIN THE DRAINAGE EASEMENTS AND ANY DRAINAGE STRUCTURES THEREIN SO AS TO MAINTAIN THE INTEGRITY OF THE DRAINAGE EASEMENTS. ALSO, ANY HOME OCCUPANTS ARE RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE EASEMENTS.

ANY PARCELS OR EXCLUDED AREAS
ARE TO BE SERVED INTERNALLY WITH
NO ACCESS ONTO DEPARTMENTAL
RIGHT OF WAY

SHEET NUMBER	SHEET TITLE
C-0	CONCRETE WORK AND LAYOUT
C-1	FOUNDATION PLAN
C-2	FOUNDATION PLAN - INITIAL
C-3	FOUNDATION PLAN - FINAL
C-4	FOUNDATION PLAN - NOTES
C-5	FOUNDATION PLAN - NOTES
C-6	FOUNDATION PLAN - NOTES
C-7	FOUNDATION PLAN - NOTES
C-8	FOUNDATION PLAN - NOTES
C-9	FOUNDATION PLAN - NOTES
C-10	FOUNDATION PLAN - NOTES
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C-98	FOUNDATION PLAN - NOTES
C-99	FOUNDATION PLAN - NOTES
C-100	FOUNDATION PLAN - NOTES



EROSION CONTROL NOTES:
ANY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INITIATED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.

SURVEY NOTE:
ALL EXISTING ELEVATION AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PROVIDED BY: BOWMAN NORTH CAROLINA LTD.

STREAM/MELAND NOTE:
THERE ARE NO EXISTING STREAMS AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL.

FLOOD ZONE NOTE:
THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PANEL 3700046000, DATED OCTOBER 3, 2006. FEMA SUBJECT TO CHANGE BY FEMA.



Know what's below.
Call before you dig.

DATE	ML	KXO	DRAWN	C
DESIGN	SCALE	NO	220134-01-	FEBRUARY 10,
SHEET	C1.1			

[illegible]

27. ALL RETAINING WALLS 4' IN HEIGHT ARE OVER (OCCASIONED FROM BOTTOM OF FENCED TO TOP OF WALL) REQUIRE A SEPARATE BUILDING PERMIT.
28. THE APPROVAL OF THIS PLAN DOES NOT CONSTITUTE THE APPROVAL OF FUTURE WORK.
29. ALL UNOCCUPIED SPACES SHALL HAVE AN ADEQUATE DRAINAGE PLAN SHOWING APPROPRIATE DRAINAGE STRUCTURES.
30. WHERE A PROPOSED PIPE CROSSES OR PARALLELS A STREET OR DRIVE, ALL THE UTILITY SHALL BE DEEPLY SAVED TO THE DEPTH, AFTER INSTALLATION OF THE PIPE, THE UTILITY SHALL BE PROTECTED IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AGENCY STANDARDS.

[illegible]

LEGEND NOTES

1. THIS IS A STANDARD SHEET. THEREFORE SOME OBSERVATIONS MAY APPEAR ON THIS SHEET AND NOT BE USED ON THE INCIDENT.
2. THESE LOCUSES AND NOTES ARE TO BE RETURNED IN ADDITION TO THIS STANDARD SHEET.

UTILITY STATEMENT:

THE EXISTING UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY. AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED BY PERMITS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT.

CAUTIONARY NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT.

STREETS AND ALLEYS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT.

FLOOD ZONE NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT.

Bowman

Bowman North Carolina, LLC
Bowman.com
Phone: (704) 955-6570
Fax: (704) 955-6570
Date: 10/1/2023
4008 BARNETT LN
BARNETT, NC 27008

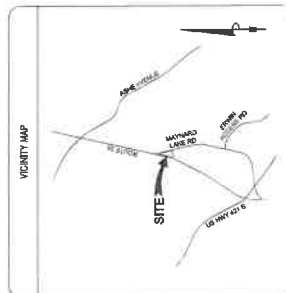
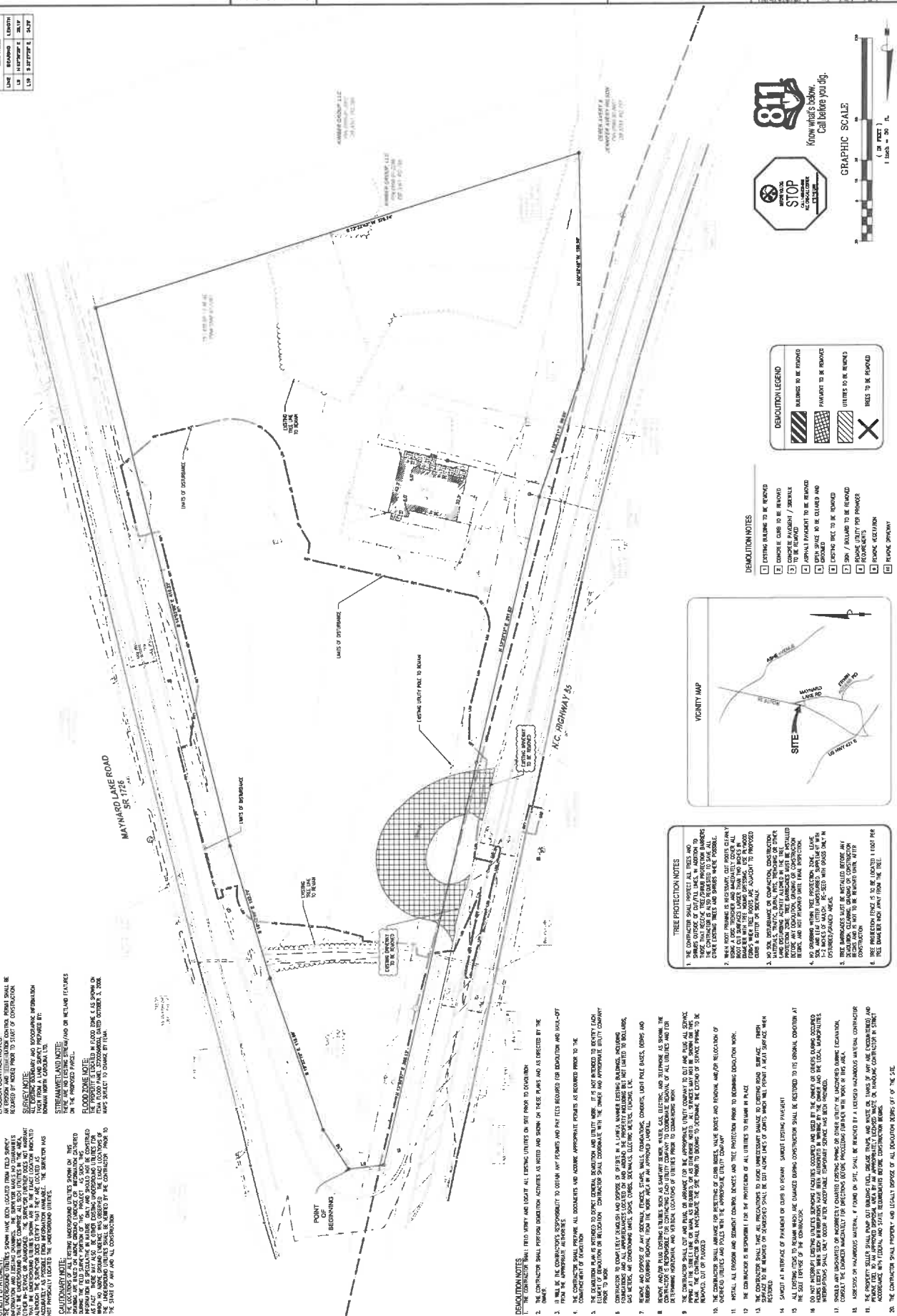
DOLLAR GENERAL
NC 55 E ERWIN
HARNETT COUNTY, NORTH CAROLINA
DEMOLITION PLAN

For Construction



PLAN STATUS	
APPROVED FOR CONSTRUCTION	YES
APPROVED FOR RECORD	NO
DATE OF APPROVAL	10/1/2023
DATE OF REVISION	10/1/2023
REVISION NO.	1
REVISION DESCRIPTION	FOR CONSTRUCTION
DESIGNER	DAVID L. SMITH
DRAWN	DAVID L. SMITH
CHECKED	DAVID L. SMITH
SCALE	AS SHOWN
DATE	10/1/2023
FILE NO.	220154-01-001
SHEET NO.	1
TOTAL SHEETS	1

LIMIT TABLE	
LINE	LENGTH
1	1.00
2	1.00
3	1.00
4	1.00
5	1.00
6	1.00
7	1.00
8	1.00
9	1.00
10	1.00
11	1.00
12	1.00
13	1.00
14	1.00
15	1.00
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- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL PROTECT ALL TREES AND LANDSCAPE FEATURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDING INFORMATION FROM THE LOCAL GOVERNMENT.
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- DEMOLITION LEGEND**
- 1. EXISTING BUILDING TO BE DEMOLISHED
 - 2. EXISTING UTILITY PILES TO REMAIN
 - 3. EXISTING UTILITY PILES TO BE REMOVED
 - 4. EXISTING UTILITY PILES TO BE REMOVED
 - 5. EXISTING UTILITY PILES TO BE REMOVED
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 - 18. EXISTING UTILITY PILES TO BE REMOVED
 - 19. EXISTING UTILITY PILES TO BE REMOVED
 - 20. EXISTING UTILITY PILES TO BE REMOVED

GRAPHIC SCALE
1" = 30' (1" = 30')

STOP
NO ENTRY
NO PARKING
NO LOADING
NO UNLOADING
NO STOPPING
NO WAITING
NO IDLING
NO REVERSE
NO BACKUP
NO TURNING
NO SLOWING
NO SPEEDING
NO EXCESSIVE NOISE
NO EXCESSIVE LIGHTS
NO EXCESSIVE VIBRATION
NO EXCESSIVE POLLUTION
NO EXCESSIVE EMISSIONS
NO EXCESSIVE WASTE
NO EXCESSIVE DEBRIS
NO EXCESSIVE TRAFFIC
NO EXCESSIVE DELAYS
NO EXCESSIVE ACCIDENTS
NO EXCESSIVE INJURIES
NO EXCESSIVE DEATHS
NO EXCESSIVE PROPERTY DAMAGE
NO EXCESSIVE ENVIRONMENTAL DAMAGE
NO EXCESSIVE SOCIAL DAMAGE
NO EXCESSIVE ECONOMIC DAMAGE
NO EXCESSIVE CULTURAL DAMAGE
NO EXCESSIVE HISTORIC DAMAGE
NO EXCESSIVE ARCHITECTURAL DAMAGE
NO EXCESSIVE LANDSCAPE DAMAGE
NO EXCESSIVE PLANT DAMAGE
NO EXCESSIVE ANIMAL DAMAGE
NO EXCESSIVE MINERAL DAMAGE
NO EXCESSIVE GEOLOGICAL DAMAGE
NO EXCESSIVE CLIMATE DAMAGE
NO EXCESSIVE OCEANOGRAPHIC DAMAGE
NO EXCESSIVE AERONAUTIC DAMAGE
NO EXCESSIVE SPACE DAMAGE
NO EXCESSIVE ASTRONAUTIC DAMAGE
NO EXCESSIVE COSMOPOLITAN DAMAGE
NO EXCESSIVE INTERSTELLAR DAMAGE
NO EXCESSIVE GALACTIC DAMAGE
NO EXCESSIVE UNIVERSE DAMAGE



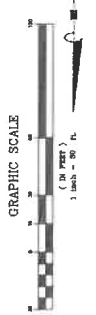
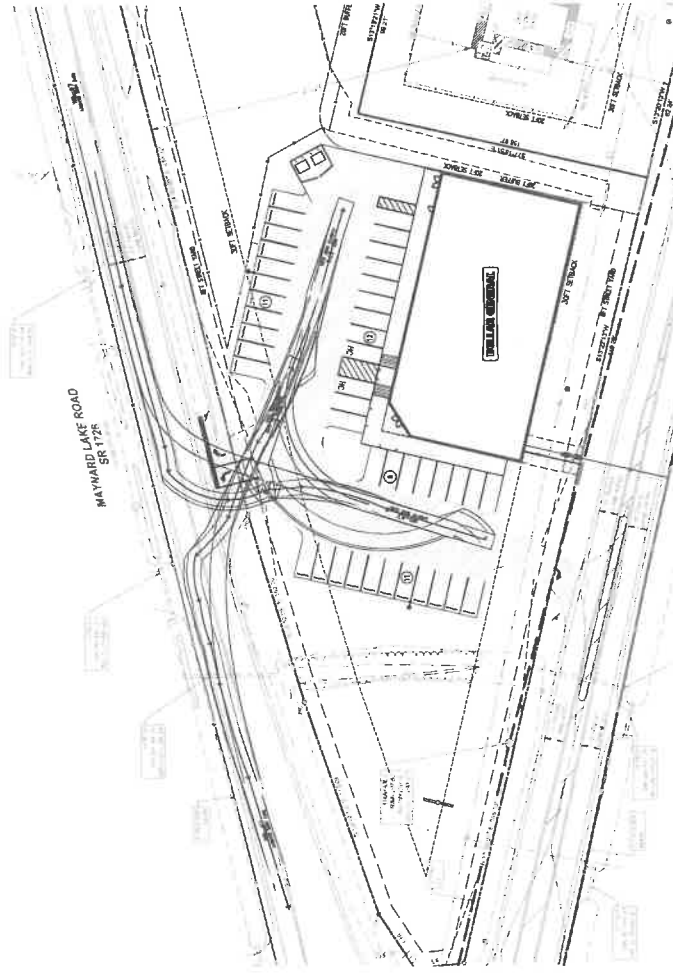
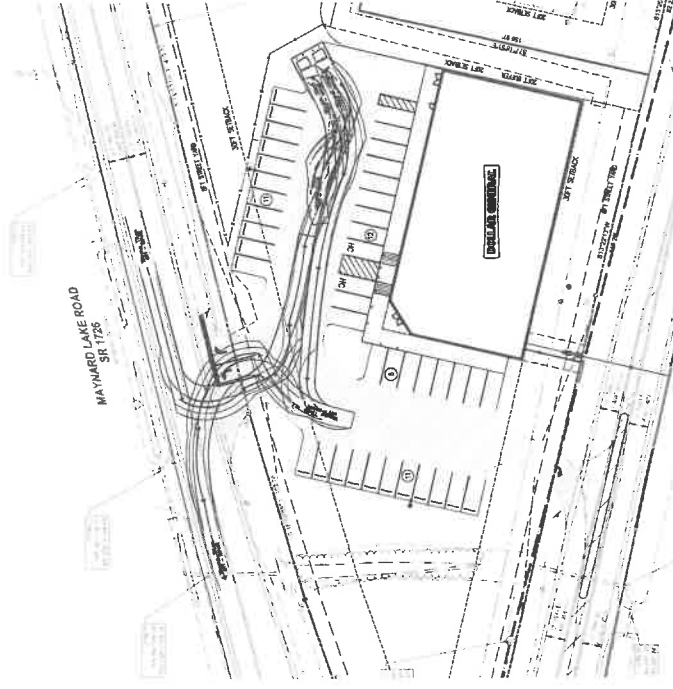
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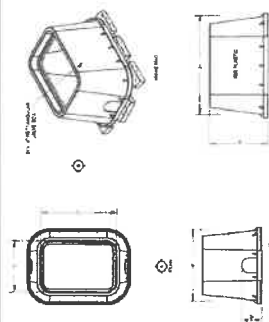
Call the number at 800-667-GRAB, INC. Ext. 99-0021 or visit us online at www.grab.com



PROJECT NO.	1319555-0570
DATE	02/20/2025
BY	DAVID L. STARNES
CHECKED BY	DAVID L. STARNES
DATE	02/20/2025
PROJECT NAME	VEHICLE EXHIBIT PLAN
PROJECT LOCATION	NC 55 E ERWIN, HARNETT COUNTY, NC
SCALE	AS SHOWN
DATE	02/20/2025
BY	DAVID L. STARNES
CHECKED BY	DAVID L. STARNES
DATE	02/20/2025

DATE	02/20/2025
BY	DAVID L. STARNES
CHECKED BY	DAVID L. STARNES
DATE	02/20/2025





4006 BAARETT DR
Suite 1CA
FALMOUTH, NC 27608
Phone: (919) 553-6570
bowman.com
Bowman North Carolina, LLC

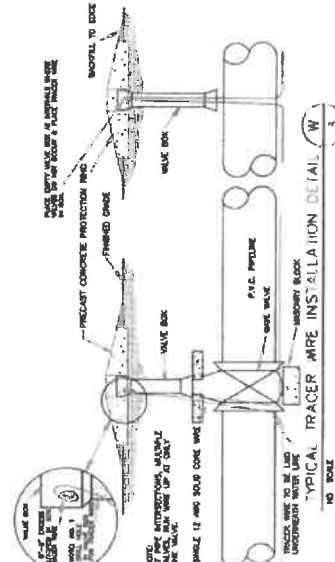
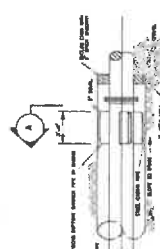
UTILITY DETAILS

For Construction



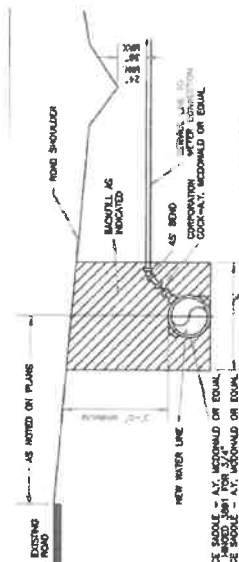
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	REVISED NO. K&M COMMENTS	REVISED NO. K&M COMMENTS	REVISED NO. K&M COMMENTS				220154-01-001	FEBRUARY 10, 2025	C5.1

UTILITY DETAILS

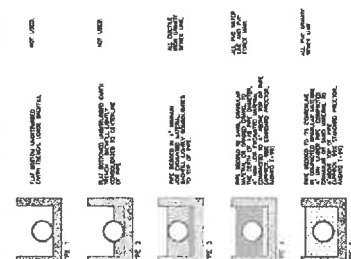


10 TYPICAL TRACER WIRE INSTALLATION DETAIL W 3

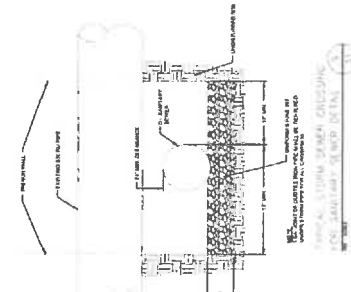
- RECEIVED BY THE DIRECTOR, FBI, 10/10/68



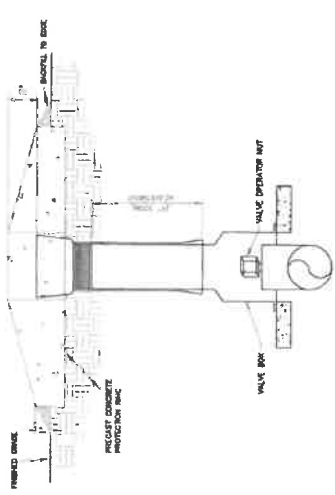
- [illegible]



W
12
TYPICAL WATER SERVICE CONNECTION
SNG TAPPING SADDLE DETAIL

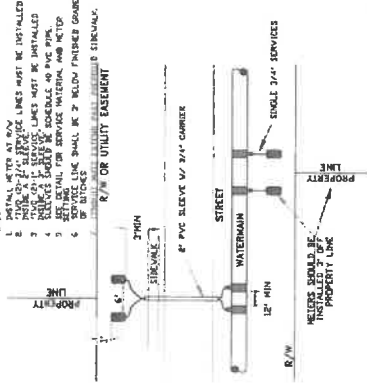


THE LITTLE BOOK OF THE YEAR

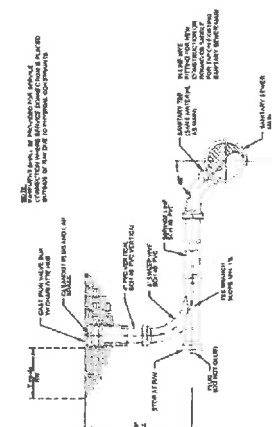


STRAIGHT VALVE BOX DETAIL (W)

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DOMESTIC WATER SERVICE INSTALLATION DETAIL W

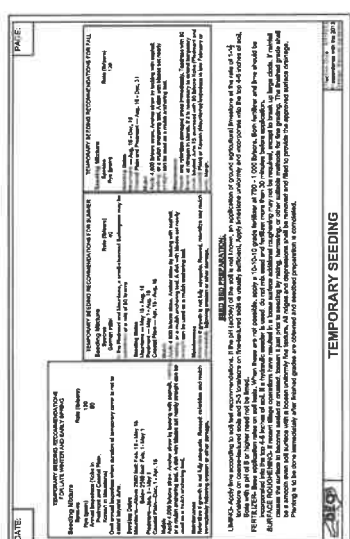
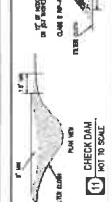
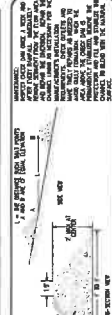
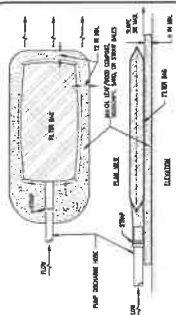


NAME	GRADE	DATE	AGE
BOLE			29

4006 BARRETT DR
Suite 104
RALEIGH, NC 27609
Phone: (919)553-8570
bowman@bowman.com
Bowman North Carolina Ltd.

EROSION CONTROL DETAILS

For Construction

[illegible]

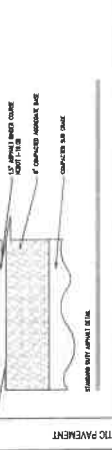


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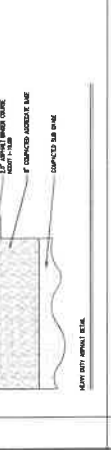
PAVING GENERAL NOTES:

1. DETAILS ARE FOR GENERAL INFORMATION AND NOT FOR CONSTRUCTION. THE FOLLOWING DETAILS ARE FOR CONSTRUCTION AND SHALL BE USED FOR ALL CONSTRUCTION.
2. THE PAVING MATERIALS SHALL BE AS SPECIFIED IN THE SPECIFICATIONS. THE PAVING MATERIALS SHALL BE AS SPECIFIED IN THE SPECIFICATIONS. THE PAVING MATERIALS SHALL BE AS SPECIFIED IN THE SPECIFICATIONS.
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ASPHALT PAVEMENT



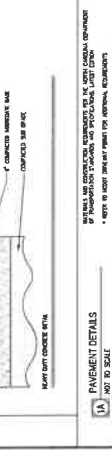
CONCRETE PAVEMENT



PAVEMENT DETAILS



PAVEMENT DETAILS



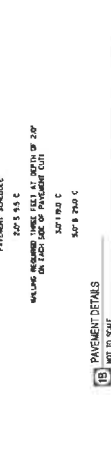
PAVEMENT DETAILS



PAVEMENT DETAILS

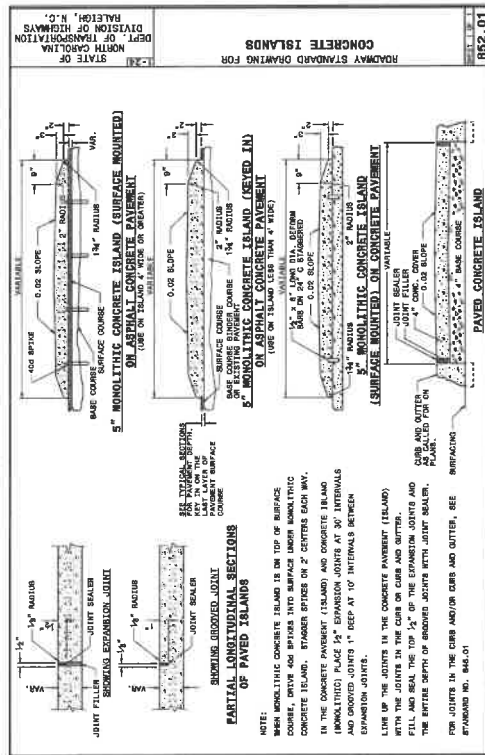
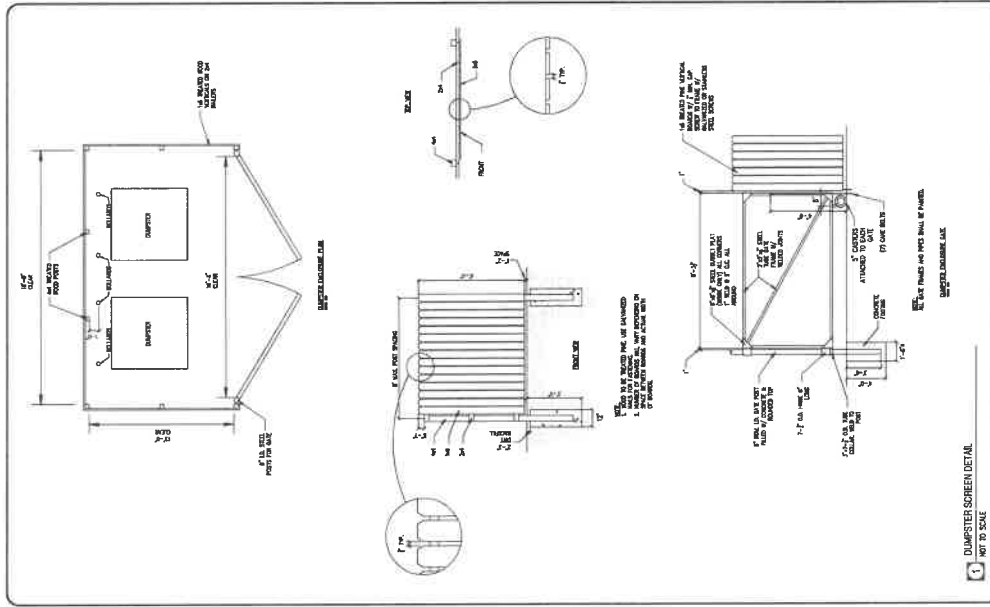


PAVEMENT DETAILS



PAVEMENT DETAILS





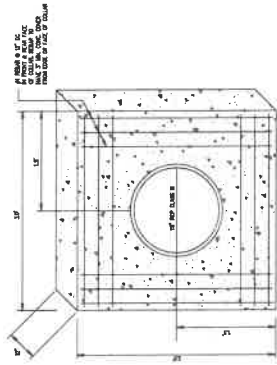
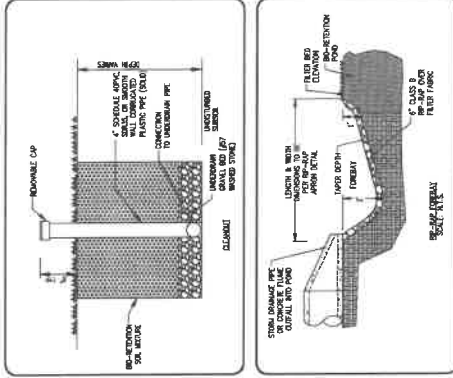
SOIL PERMEABILITY NOTE:
A PERMEABILITY SOIL REPORT AFTER BIO-RETENTION SYSTEMS IS REQUIRED TO MEET THE REQUIREMENTS.

DOUBTFUL/ISSUE MATRIE	
ITEM	PERCENT BY VOLUME
SAND	75%-85%
FINES	8%-10%
ORGANIC MATTER	5%-10%
PROBABILITY	THE PROBABILITY SHOULD BE BETTER: 1 AND 8 INCHES DEEP (ONE TIME FRACS)
PHOSPHORUS INCONT	PHASE BETTER TO 30 (CONFORM WITH SOL ANALYSIS REPORT FROM NEMA LAB)

BIO-RETENTION CONSTRUCTION SEQUENCE

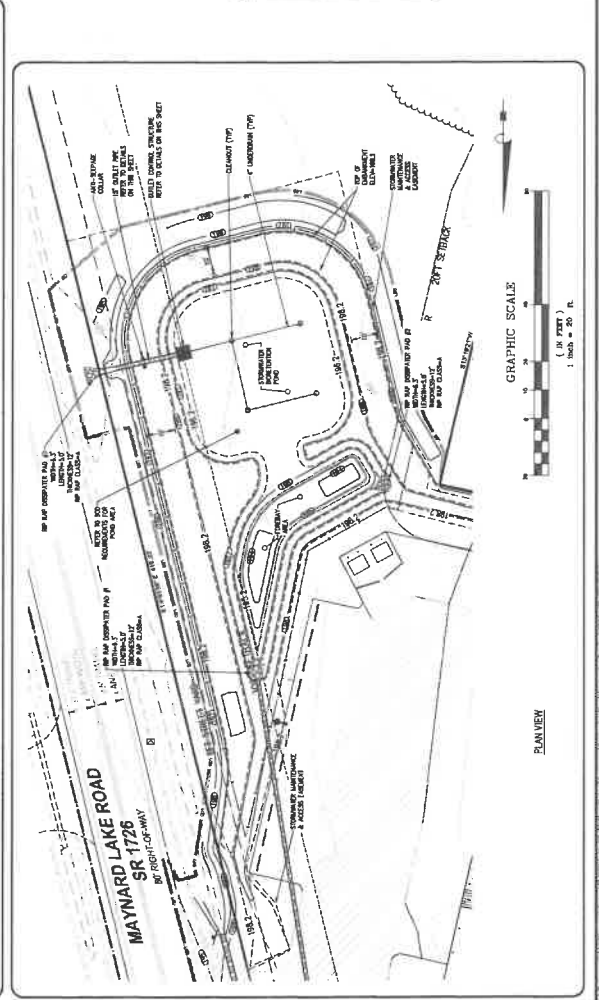
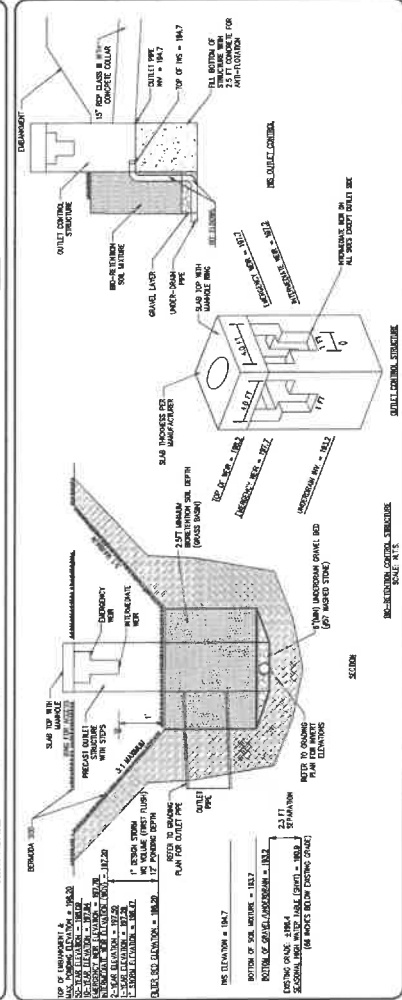
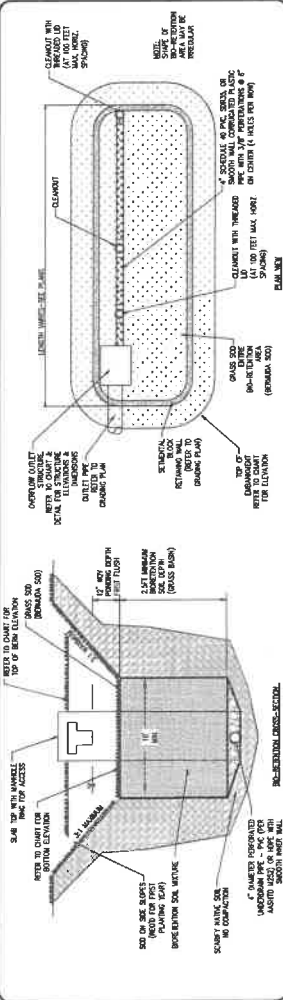
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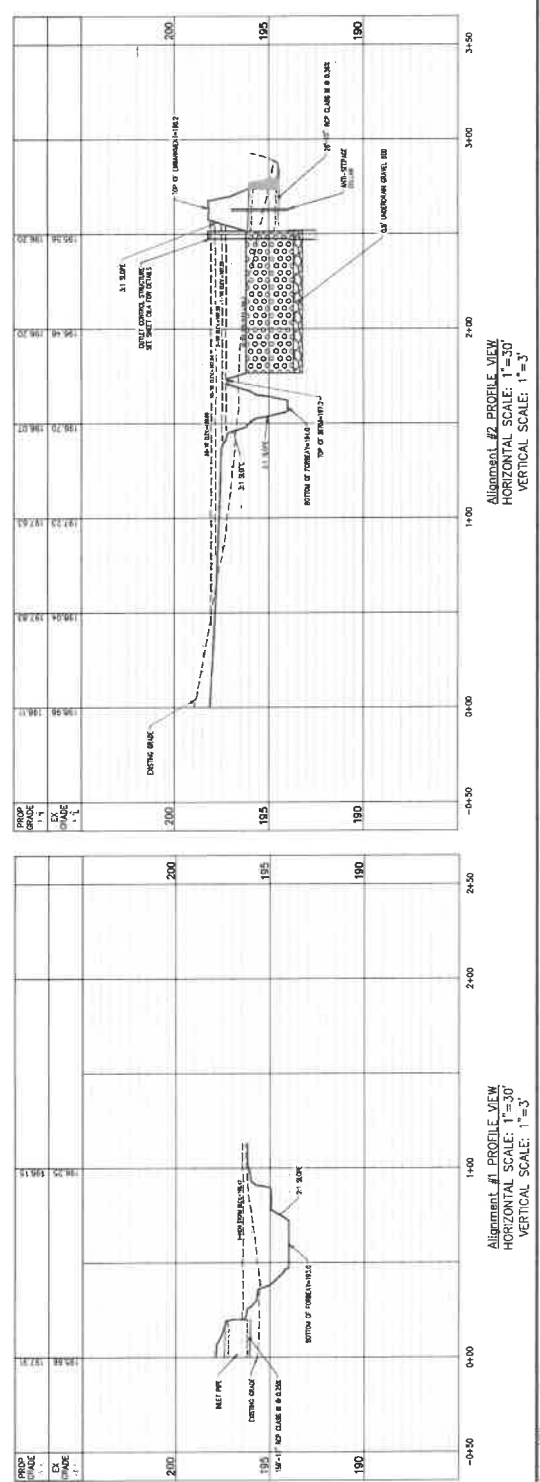
4. *A. N. KULEVSKII* (USSR) has been awarded the Lenin Prize for his work on the mechanism of the reaction of the alkyl radicals with molecular oxygen. The results of his work have been published in the journal *Chemical Abstracts*, 1964, 60, 12113-12114.



STAGES/STORAGE TABLE				
STAGE (#)	ELEVATION (FT)	CONCRETE AREA (SQ)	INCREASING STORAGE (CU)	TOTAL STORAGE (CU)
0.0	100.0	3000	0	0
0.5	107.0	3400	2000	2000
1.0	112.0	3750	700	2700
1.5	116.0	4000	2000	4700
2.0	118.0	4200	0	4700

STORMWATER MANAGEMENT DESIGN WET DETENTION BOWD-

[illegible]

[illegible][illegible]



Bowman

Bowman North Carolina, Ltd.
Bowman.com
Phone: (919) 603-6570
FAX: (919) 603-6570
4005 BARNETT DR
Duke, NC 27804

POST-DEVELOPED BYPASS DRAINAGE AREA
DOLLAR GENERAL
NC 55 E ERWIN
HARNETT COUNTY, NORTH CAROLINA

For Construction



PLAN SHEET	
1.00	1ST SUBMITTAL
2.00	2ND SUBMITTAL
3.00	3RD SUBMITTAL
4.00	4TH SUBMITTAL
5.00	5TH SUBMITTAL
6.00	6TH SUBMITTAL
7.00	7TH SUBMITTAL
8.00	8TH SUBMITTAL
9.00	9TH SUBMITTAL
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17.00	17TH SUBMITTAL
18.00	18TH SUBMITTAL
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27.00	27TH SUBMITTAL
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37.00	37TH SUBMITTAL
38.00	38TH SUBMITTAL
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40.00	40TH SUBMITTAL
41.00	41TH SUBMITTAL
42.00	42TH SUBMITTAL
43.00	43TH SUBMITTAL
44.00	44TH SUBMITTAL
45.00	45TH SUBMITTAL
46.00	46TH SUBMITTAL
47.00	47TH SUBMITTAL
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81.00	81TH SUBMITTAL
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92.00	92TH SUBMITTAL
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95.00	95TH SUBMITTAL
96.00	96TH SUBMITTAL
97.00	97TH SUBMITTAL
98.00	98TH SUBMITTAL
99.00	99TH SUBMITTAL
100.00	100TH SUBMITTAL

GRAPHIC SCALE
(IN FEET)
1" = 50'



POST-DEVELOPED BYPASS
DRAINAGE AREA $\approx$ 1.15 AC

MAYNARD LAKE ROAD
SR 1726

N.C. HIGHWAY 58

Bowman

Bowman North Carolina LLC
Bowman.com
RALEIGH, NC 27608
Phone: (919) 653-4670
Sales: 104
4008 BARNETT DR
Bowman North Carolina LLC

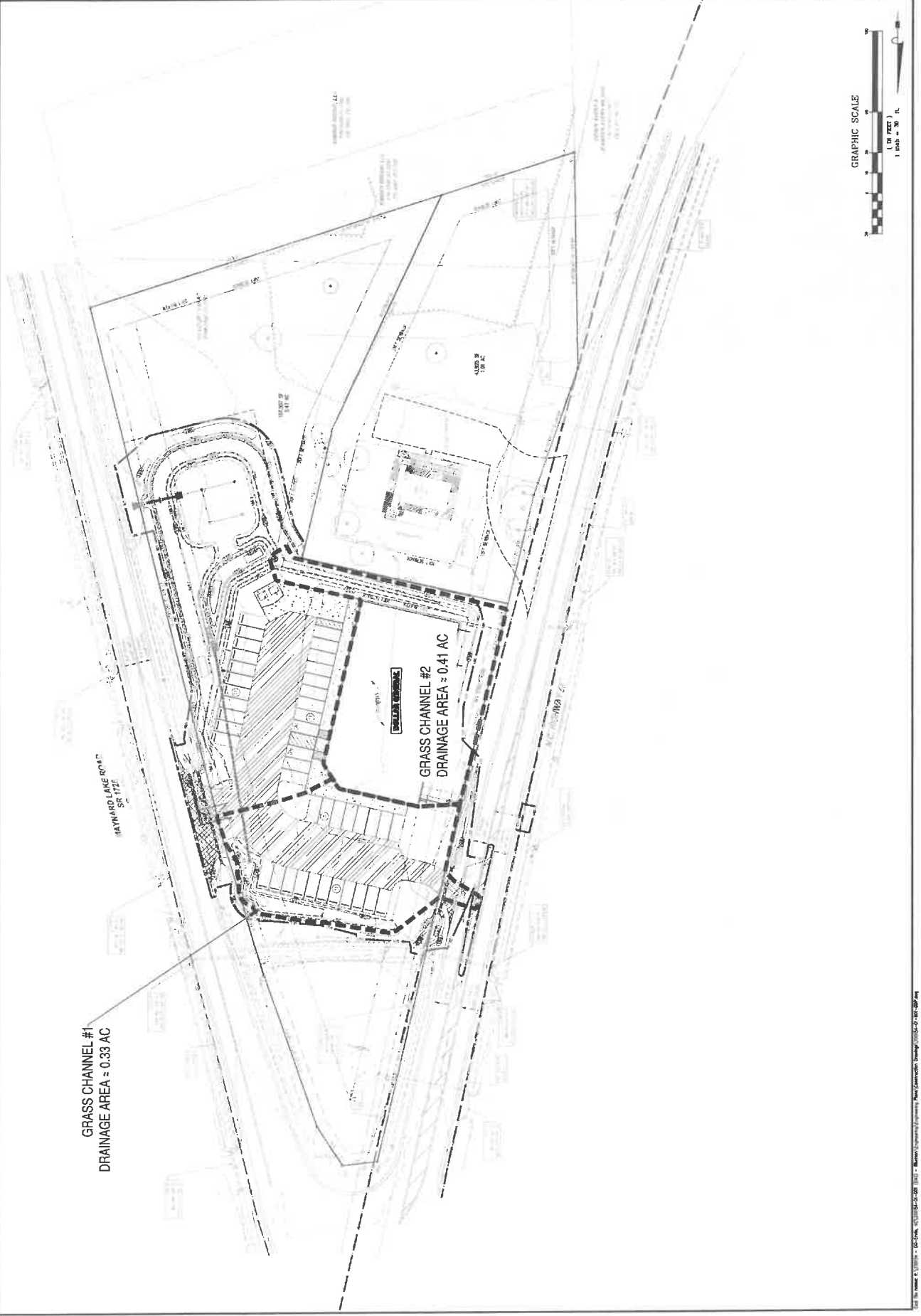
POST-DEVELOPED DRAINAGE AREA TO INLETS
DOLLAR GENERAL
NC 55 E ERWIN
HARNETT COUNTY, NORTH CAROLINA

For Construction



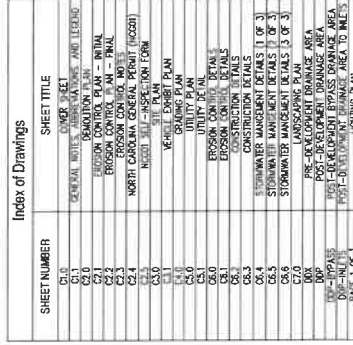
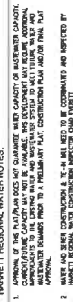
PLAN STATUS	
DATE	2/20/24
BY	DAVID L. SMITH
FOR	DOLLAR GENERAL
PROJECT	POST-DEVELOPED DRAINAGE AREA TO INLETS
SCALE	1" = 30'
DATE	2/20/24
BY	DAVID L. SMITH
FOR	DOLLAR GENERAL
PROJECT	POST-DEVELOPED DRAINAGE AREA TO INLETS
SCALE	1" = 30'
DATE	2/20/24
BY	DAVID L. SMITH
FOR	DOLLAR GENERAL
PROJECT	POST-DEVELOPED DRAINAGE AREA TO INLETS
SCALE	1" = 30'

DATE: FEBRUARY 13, 2025
SHEET NO. 54-PDP-INLETS



General Notes:

Due to changing lighting ordinances it is the contractors responsibility to submit the site photometrics & luminaire specs to the local Inspector before ordering to ensure this plan complies with local lighting ordinances. This lighting design is based on information supplied by others. Changes in electrical supply, area geometry & objects within the lighted area may produce illumination values different from the predicted results shown on this layout. This layout is based on IES files that were lab tested or computer generated, actual results may vary.



**Know what's below.
Call before you dig.**

EROSION CONTROL NOTES:
AN EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE REQUIRED BY MOVED PRIOR TO START OF CONSTRUCTION.

SURVEY NOTE:
ALL EXISTING BOUNDARY AND TOPOGRAHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY: DONNAN NORTH CAROLINA LTD.

STREAM/WETLAND NOTE:
THERE ARE NO EXISTING STREAMS AND OR WETLAND FEATURES ON THE PROPOSED PARCEL.

FLOOD ZONE NOTE:
THE PROPERTY IS LOCATED IN FLOOD ZONE 1 AS SHOWN ON THE 100 YEAR FLOOD MAP 370000000000 DATED OCTOBER 3, 2008. MAPS SUBJECT TO CHANGE BY FEMA.

6. DESIGN AND SEGMENT CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH RELATIONS OF THE APPROPRIATE COVERING AGENCY.

Year	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	

THEREFORE SOME ABBREVIATIONS MAY APPEAR ON THIS SHEET AND ECT.

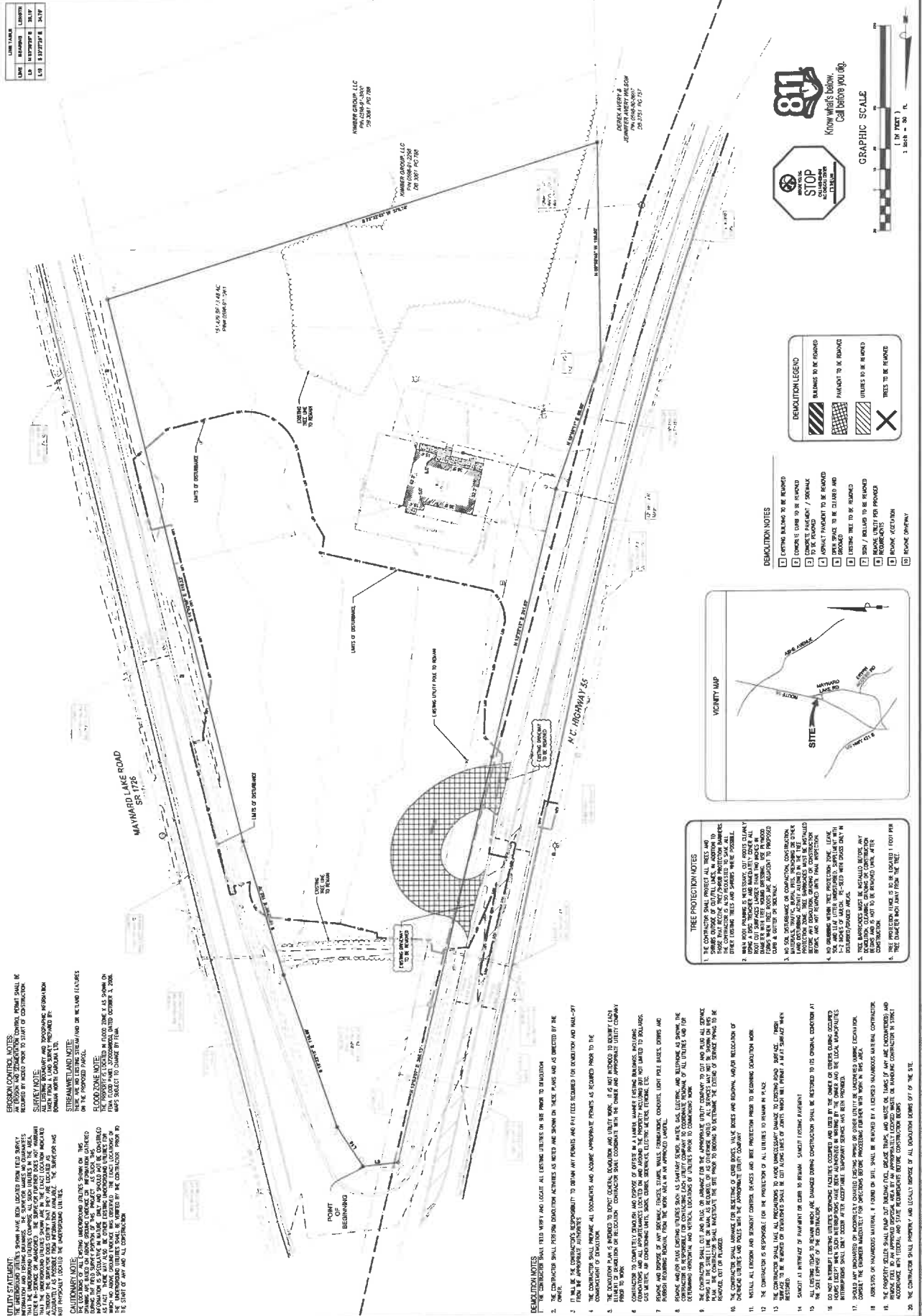
NOTES MAY BE FOUND ON OTHER SHEETS ASSOCIATED WITH THIS PLAN. NOTES MAY BE REFERENCED IN ADDITION TO THIS STANDARD SHEET.

01-05 11-11 - Revisions | Drawing Name: Standard Sheet 11-11-11-01-05

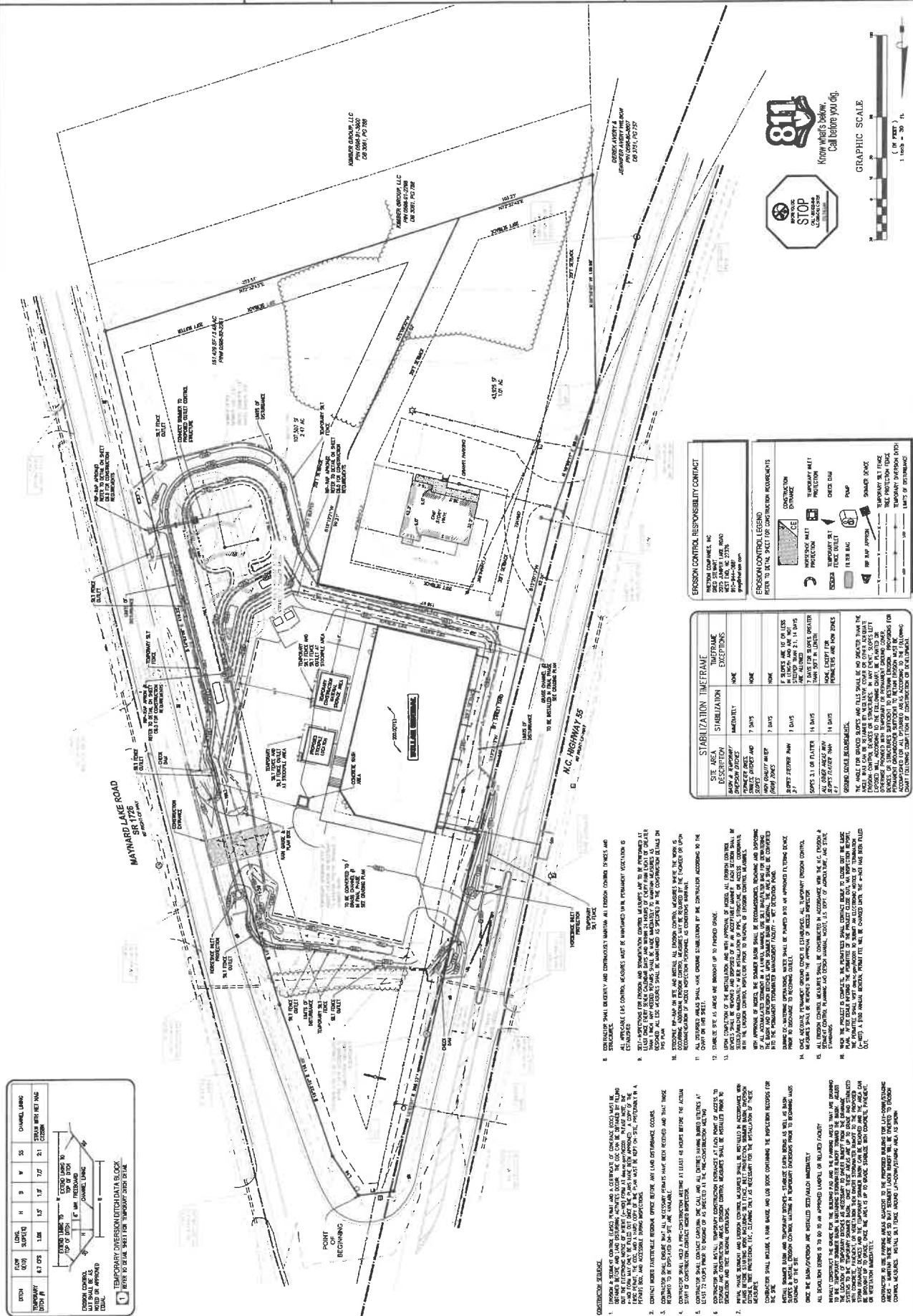
1. THIS IS A STANDARD SHEET NOT BE USED ON THE PRO
2. ADDITIONAL LEGENDS AND THESE LEGENDS AND NOTE

DEMOLITION PLAN

LINE TABLE	
LINE	LINESTN
1.0	1.0
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[illegible]

Call the name to 1-800-441-1111, ext. 1111 or 1-800-441-1111, ext. 1111. For more information, visit www.1-800-441-1111.



PERSON CONTROL RESPONSIBILITY CONTACT

COMPARE, INC.
800-769-3121
2075 JAMES LANE ROAD
DALLAS, TEXAS 75236
TEL: 972-444-7480
sales@compare.com

PERSON CONTROL LEGEND

POINT TO THE LEFT FOR CONSTRUCTION REQUIREMENTS

CONSTRUCTION DISTANCE

TEMPORARY MITIGATION PROTECTION

CHECK DATA

PUMP

SUMMER OF FLOOD

TEMPORARY MILEAGE

MIX PROTECTION FENCE

TEMPORARY PERSON DETECTION

LIMITS OF DISTURBANCE

CE

HOURS OF MITIGATION PROTECTION

TEMPORARY MITIGATION PROTECTION

FENCE

FENCE MILEAGE

FLTR BKT

RAP RAP ACPA

0 100 200

[illegible][illegible][illegible]

DATE: 04/01/20

INSPECTION AND MONITORING RECORDS FOR ACTIVITIES UNDER STORMWATER GENERAL PERMIT NC0010903 AND SELF-INSPECTION RECORDS FOR LAND DISTURBING ACTIVITIES PER G.S. 113A-94.1

[illegible]

Page 1 of 3

D9MLR Monitoring Form Rev. 0701-0200

PART 2: STORMWATER PLANS AND CONTROLS: For each question below, mark the corresponding box as Yes, No or N/A. For all items marked 'No', note in Part 3a the reference letter and provide the Corrective Action and location of the deficiency. (The original data noted, and the date it was noted as being deficient, are noted in the 'Comments' column.)

Reference	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?	Yes	No	NA
A	Part 2A, 1. Return the Water Phase and related Documentation			
B	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
C	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
D	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
E	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
F	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
G	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
H	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
I	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
J	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
K	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
L	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			
M	Is the information in the certificate, CDC and other relevant information relevant (COP) or not?			

DO NOT RECORD AT A MINIMUM AFTER 10:00 AM. ADD RINGS AS NEEDED!

[illegible]

Page 4 of 5

DEVELOP MONITORING FORMS (RHS. 0701/20250)

Hours of a Rainfall Event (Total for Quarter) (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) (182) (183) (184) (185) (186) (187) (188) (189) (190) (191) (192) (193) (194) (195) (196) (197) (198) (199) (200) (201) (202) (203) (204) (205) (206) (207) (208) (209) (210) (211) (212) (213) (214) (215) (216) (217) (218) (219) (220) (221) (222) (223) (224) (225) (226) (227) (228) (229) (230) (231) (232) (233) (234) (235) (236) (237) (238) (239) (240) (241) (242) (243) (244) (245) (246) (247) (248) (249) (250) (251) (252) (253) (254) (255) (256) (257) (258) (259) (260) (261) (262) (263) (264) (265) (266) (267) (268) (269) (270) (271) (272) (273) (274) (275) (276) (277) (278) (279) (280) (281) (282) (283) (284) (285) (286) (287) (288) (289) (290) (291) (292) (293) (294) (295) (296) (297) (298) (299) (300) (301) (302) (303) (304) (305) (306) (307) (308) (309) (310) (311) (312) (313) (314) (315) (316) (317) (318) (319) (320) (321) (322) (323) (324) (325) (326) (327) (328) (329) (330) (331) (332) (333) (334) (335) (336) (337) (338) (339) (340) (341) (342) (343) (344) (345) (346) (347) (348) (349) (350) (351) (352) (353) (354) (355) (356) (357) (358) (359) (360) (361) (362) (363) (364) (365) (366) (367) (368) (369) (370) (371) (372) (373) (374) (375) (376) (377) (378) (379) (380) (381) (382) (383) (384) (385) (386) (387) (388) (389) (390) (391) (392) (393) (394) (395) (396) (397) (398) (399) (400) (401) (402) (403) (404) (405) (406) (407) (408) (409) (410) (411) (412) (413) (414) (415) (416) (417) (418) (419) (420) (421) (422) (423) (424) (425) (426) (427) (428) (429) (430) (431) (432) (433) (434) (435) (436) (437) (438) (439) (440) (441) (442) (443) (444) (445) (446) (447) (448) (449) (450) (451) (452) (453) (454) (455) (456) (457) (458) (459) (460) (461) (462) (463) (464) (465) (466) (467) (468) (469) (470) (471) (472) (473) (474) (475) (476) (477) (478) (479) (480) (481) (482) (483) (484) (485) (486) (487) (488) (489) (490) (491) (492) (493) (494) (495) (496) (497) (498) (499) (500) (501) (502) (503) (504) (505) (506) (507) (508) (509) (510) (511) (512) (513) (514) (515) (516) (517) (518) (519) (520) (521) (522) (523) (524) (525) (526) (527) (528) (529) (530) (531) (532) (533) (534) (535) (536) (537) (538) (539) (540) (541) (542) (543) (544) (545) (546) (547) (548) (549) (550) (551) (552) (553) (554) (555) (556) (557) (558) (559) (560) (561) (562) (563) (564) (565) (566) (567) (568) (569) (570) (571) (572) (573) (574) (575) (576) (577) (578) (579) (580) (581) (582) (583) (584) (585) (586) (587) (588) (589) (590) (591) (592) (593) (594) (595) (596) (597) (598) (599) (600) (601) (602) (603) (604) (605) (606) (607) (608) (609) (610) (611) (612) (613) (614) (615) (616) (617) (618) (619) (620) (621) (622) (623) (624) (625) (626) (627) (628) (629) (630) (631) (632) (633) (634) (635) (636) (637) (638) (639) (640) (641) (642) (643) (644) (645) (646) (647) (648) (649) (650) (651) (652) (653) (654) (655) (656) (657) (658) (659) (660) (661) (662) (663) (664) (665) (666) (667) (668) (669) (670) (671) (672) (673) (674) (675) (676) (677) (678) (679) (680) (681) (682) (683) (684) (685) (686) (687) (688) (689) (690) (691) (692) (693) (694) (695) (696) (697) (698) (699) (700) (701) (702) (703) (704) (705) (706) (707) (708) (709) (710) (711) (712) (713) (714) (715) (716) (717) (718) (719) (720) (721) (722) (723) (724) (725) (726) (727) (728) (729) (730) (731) (732) (733) (734) (735) (736) (737) (738) (739) (740) (741) (742) (743) (744) (745) (746) (747) (748) (749) (750) (751) (752) (753) (754) (755) (756) (757) (758) (759) (760) (761) (762) (763) (764) (765) (766) (767) (768) (769) (770) (771) (772) (773) (774) (775) (776) (777) (778) (779) (780) (781) (782) (783) (784) (785) (786) (787) (788) (789) (790) (791) (792) (793) (794) (795) (796) (797) (798) (799) (800) (801) (802) (803) (804) (805) (806) (807) (808) (809) (810) (811) (812) (813) (814) (815) (816) (817) (818) (819) (820) (821) (822) (823) (824) (825) (826) (827) (828) (829) (830) (831) (832) (833) (834) (835) (836
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Page 3 of 9

Personnel Responsible Physical Description of INCIDENT		Location	County	Date	Time	Investigator's Type (Block 6)	Block 6	Block 7	Block 8	Block 9	Block 10	Block 11	Block 12	Block 13	Block 14	Block 15	Block 16	Block 17	Block 18	Block 19	Block 20	Block 21	Block 22	Block 23	Block 24	Block 25	Block 26	Block 27	Block 28	Block 29	Block 30	Block 31	Block 32	Block 33	Block 34	Block 35	Block 36	Block 37	Block 38	Block 39	Block 40	Block 41	Block 42	Block 43	Block 44	Block 45	Block 46	Block 47	Block 48	Block 49	Block 50	Block 51	Block 52	Block 53	Block 54	Block 55	Block 56	Block 57	Block 58	Block 59	Block 60	Block 61	Block 62	Block 63	Block 64	Block 65	Block 66	Block 67	Block 68	Block 69	Block 70	Block 71	Block 72	Block 73	Block 74	Block 75	Block 76	Block 77	Block 78	Block 79	Block 80	Block 81	Block 82	Block 83	Block 84	Block 85	Block 86	Block 87	Block 88	Block 89	Block 90	Block 91	Block 92	Block 93	Block 94	Block 95	Block 96	Block 97	Block 98	Block 99	Block 100
Personnel Responsible Physical Description of INCIDENT		Location	County	Date	Time	Investigator's Type (Block 6)	Block 6	Block 7	Block 8	Block 9	Block 10	Block 11	Block 12	Block 13	Block 14	Block 15	Block 16	Block 17	Block 18	Block 19	Block 20	Block 21	Block 22	Block 23	Block 24	Block 25	Block 26	Block 27	Block 28	Block 29	Block 30	Block 31	Block 32	Block 33	Block 34	Block 35	Block 36	Block 37	Block 38	Block 39	Block 40	Block 41	Block 42	Block 43	Block 44	Block 45	Block 46	Block 47	Block 48	Block 49	Block 50	Block 51	Block 52	Block 53	Block 54	Block 55	Block 56	Block 57	Block 58	Block 59	Block 60	Block 61	Block 62	Block 63	Block 64	Block 65	Block 66	Block 67	Block 68	Block 69	Block 70	Block 71	Block 72	Block 73	Block 74	Block 75	Block 76	Block 77	Block 78	Block 79	Block 80	Block 81	Block 82	Block 83	Block 84	Block 85	Block 86	Block 87	Block 88	Block 89	Block 90	Block 91	Block 92	Block 93	Block 94	Block 95	Block 96	Block 97	Block 98	Block 99	Block 100

DOLLAR GENERAL

HARNETT COUNTY, NORTH CAROLINA

DOLLAR GENERAL

NCG01 SELF-INSPECTION FORM

4006 BARRETT DR
SUITE 104
PALEIGH, NC 27809
Phone: (919) 553-0570
DOWNMAN.COM
Downman North Carolina, Ltd.

Bowman

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION



PLAN STATUS	1ST SUBMITTAL	2ND SUBMITTAL	3RD SUBMITTAL	4TH SUBMITTAL	5TH SUBMITTAL	DATE	MIL	DESIGN	KYO	MIL	SCALE	DATE	NO	DATE	FILE NO.
	10/2023	10/2023	10/2023	10/2023	10/2023								220154-01-001	FEBRUARY 10, 2025	

52

SIGN LEGEND	
LEGEND	CITY
	2
	2

TABLE 1	
Year	Population
1990	10,000,000
2000	12,000,000
2010	14,000,000

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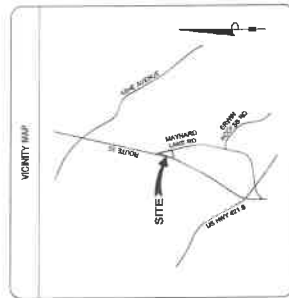
MAYNARD LAKE ROAD
- 7 172F

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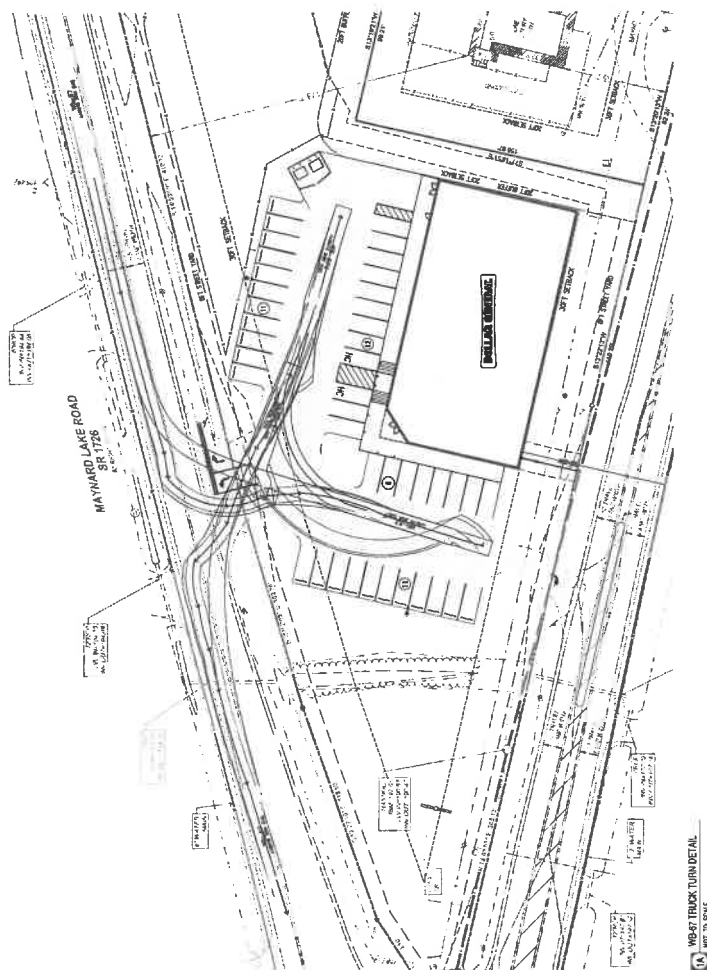
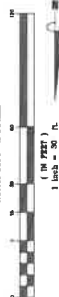
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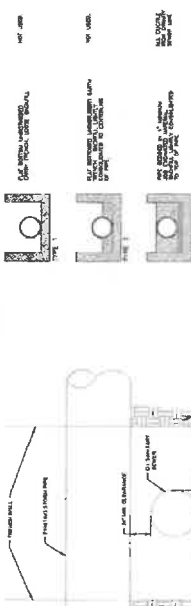
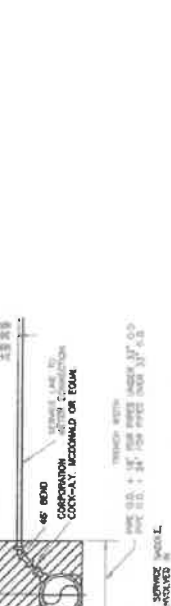
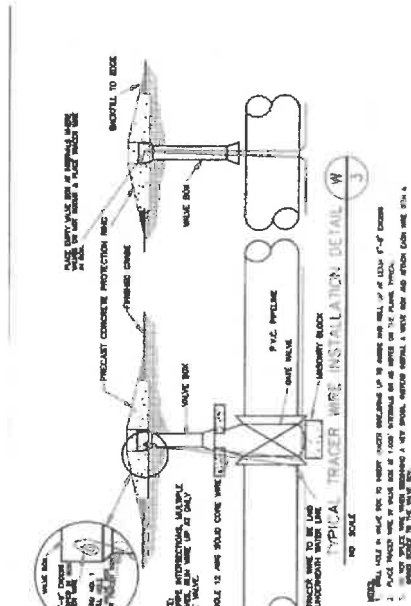
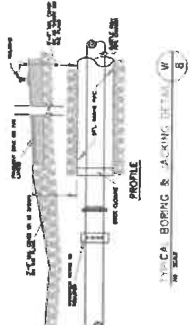
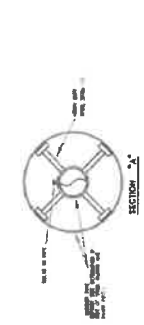
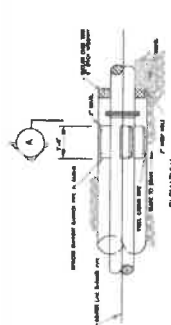
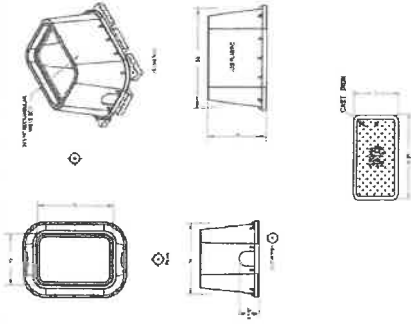
Know what's below.
Call before you dig.

GRAPHIC SCALE

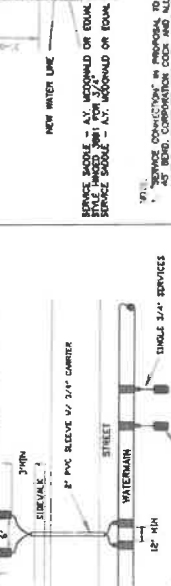
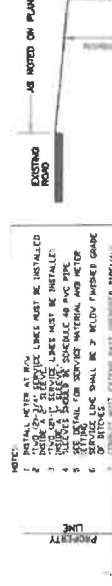
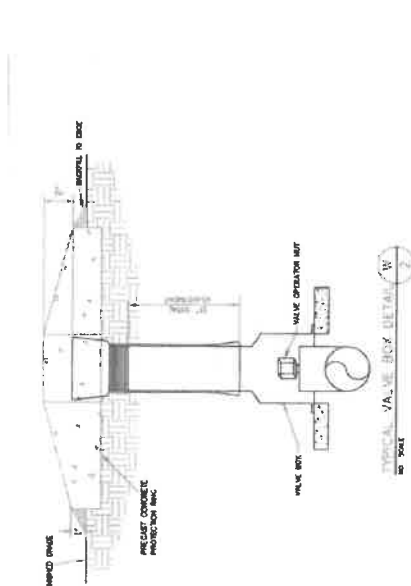
(IN FEET)



and name V 22034 - 06-06ds at UTM 94-08-001 lat = 44°10'N long = 173°34'-01"-E(US Army)



LINE	CONNECTION	DESCRIPTION	PROJECT USE
1	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE
2	6" DIA. VALVE BOX	6" DIA. VALVE BOX	6" DIA. VALVE BOX
3	12" DIA. BACKFILL	12" DIA. BACKFILL	12" DIA. BACKFILL
4	6" DIA. SERVICE SADDLE	6" DIA. SERVICE SADDLE	6" DIA. SERVICE SADDLE
5	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE



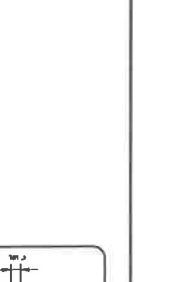
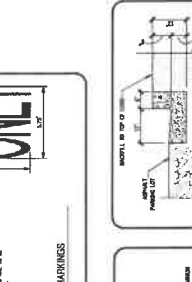
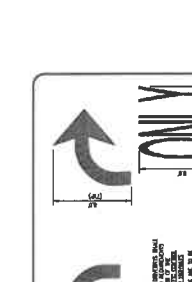
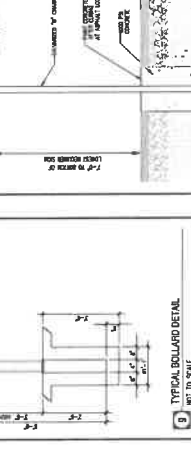
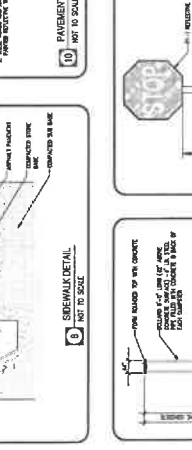
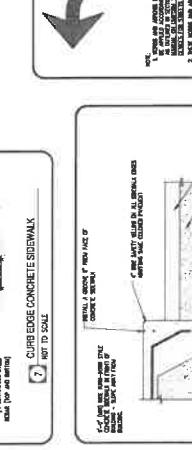
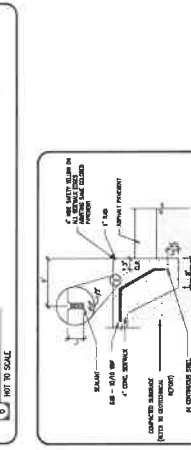
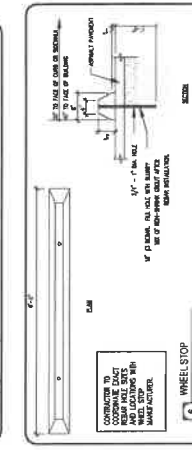
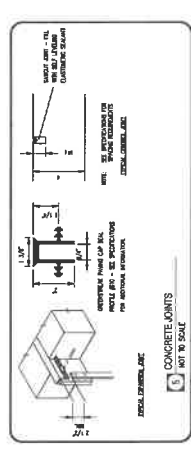
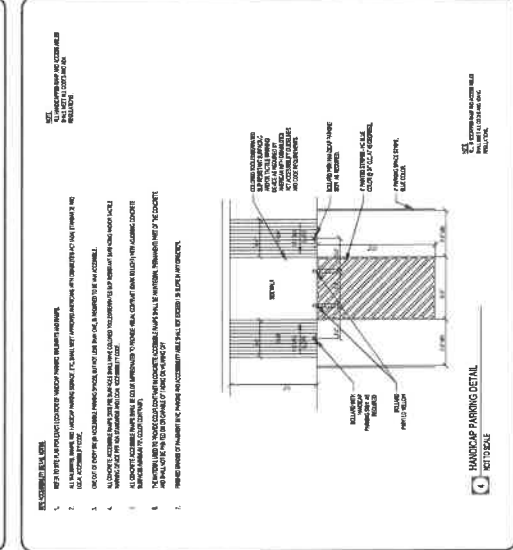
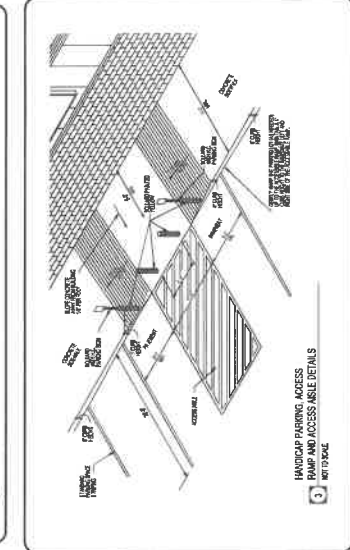
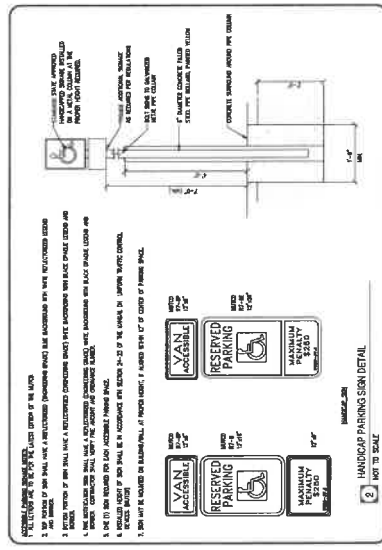
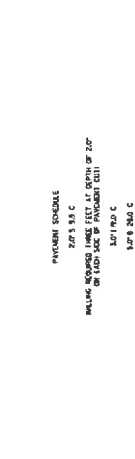
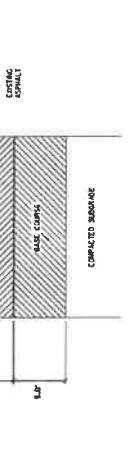
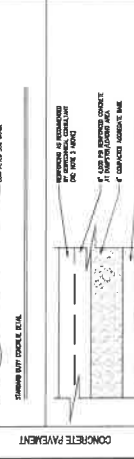
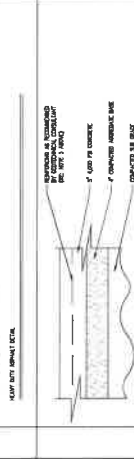
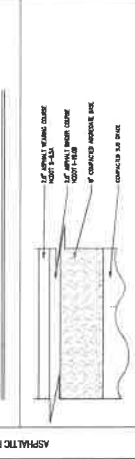
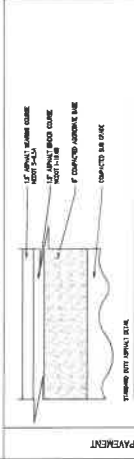
LINE	CONNECTION	DESCRIPTION	PROJECT USE
1	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE
2	6" DIA. VALVE BOX	6" DIA. VALVE BOX	6" DIA. VALVE BOX
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5	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE



LINE	CONNECTION	DESCRIPTION	PROJECT USE
1	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE
2	6" DIA. VALVE BOX	6" DIA. VALVE BOX	6" DIA. VALVE BOX
3	12" DIA. BACKFILL	12" DIA. BACKFILL	12" DIA. BACKFILL
4	6" DIA. SERVICE SADDLE	6" DIA. SERVICE SADDLE	6" DIA. SERVICE SADDLE
5	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE	12" DIA. CONCRETE PIPE

GENERAL NOTES:

1. DETAILS ARE DOLLAR GENERAL RECOMMENDATIONS AND MAY VARY WITH VARIOUS SOIL CONDITIONS, A GEOLOGICAL SURVEY, AND/OR OTHER FACTORS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY INFORMATION AND FOR THE PROPER APPLICATION OF THESE DETAILS.
2. THE SHOWN MATERIALS SHALL BE PROOF ROLLED, PROPERLY SUBMITTED, AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY INFORMATION AND FOR THE PROPER APPLICATION OF THESE DETAILS.
3. REINFORCING STEEL SHALL BE PROOF ROLLED, PROPERLY SUBMITTED, AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY INFORMATION AND FOR THE PROPER APPLICATION OF THESE DETAILS.
4. DOLLAR GENERAL SHALL BE RESPONSIBLE FOR THE PROPER APPLICATION OF THESE DETAILS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY INFORMATION AND FOR THE PROPER APPLICATION OF THESE DETAILS.
5. THE USER SHALL BE RESPONSIBLE FOR THE PROPER APPLICATION OF THESE DETAILS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY INFORMATION AND FOR THE PROPER APPLICATION OF THESE DETAILS.

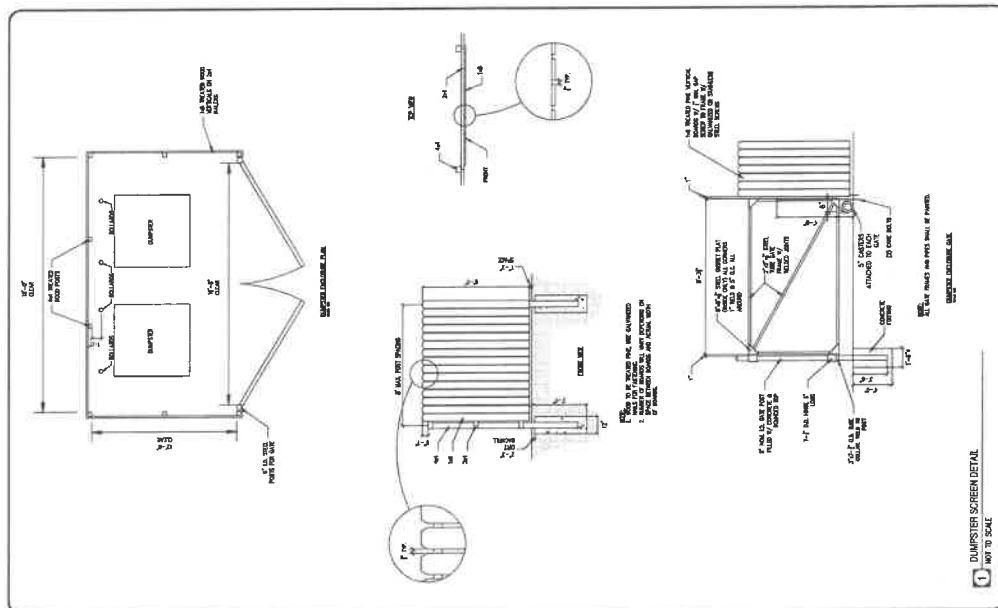


NC 55 E ERWIN
HARNETT COUNTY, NORTH CAROLINA

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

[illegible]

C6.3

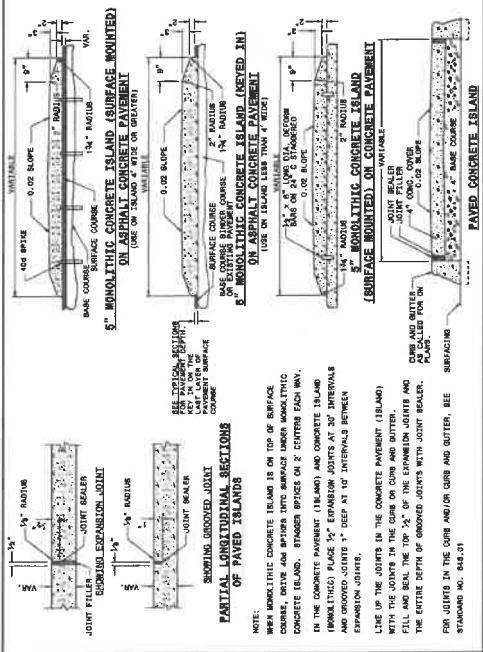


1 DUMPSTER SCREEN DETAIL
NOT TO SCALE

CONCRETE ISLANDS

STATE OF
NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

852.01

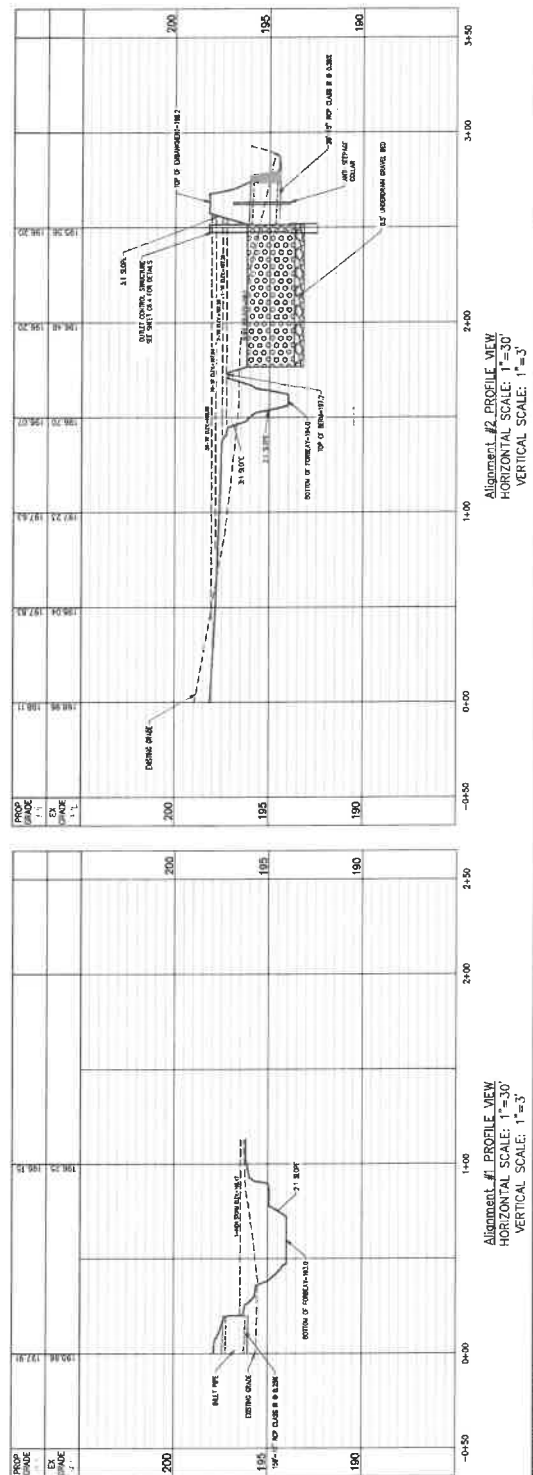
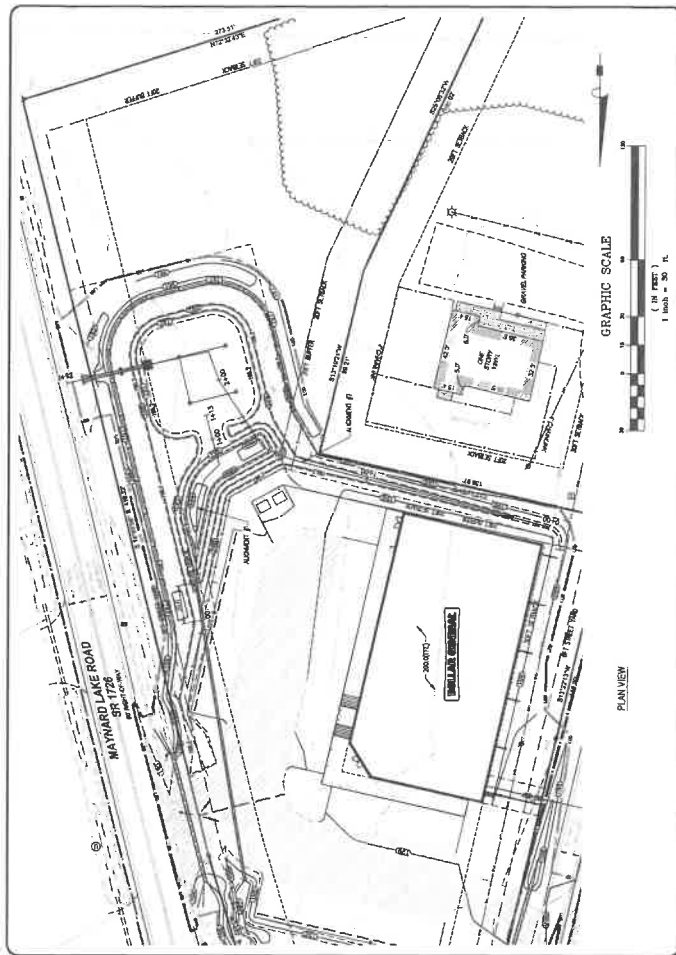


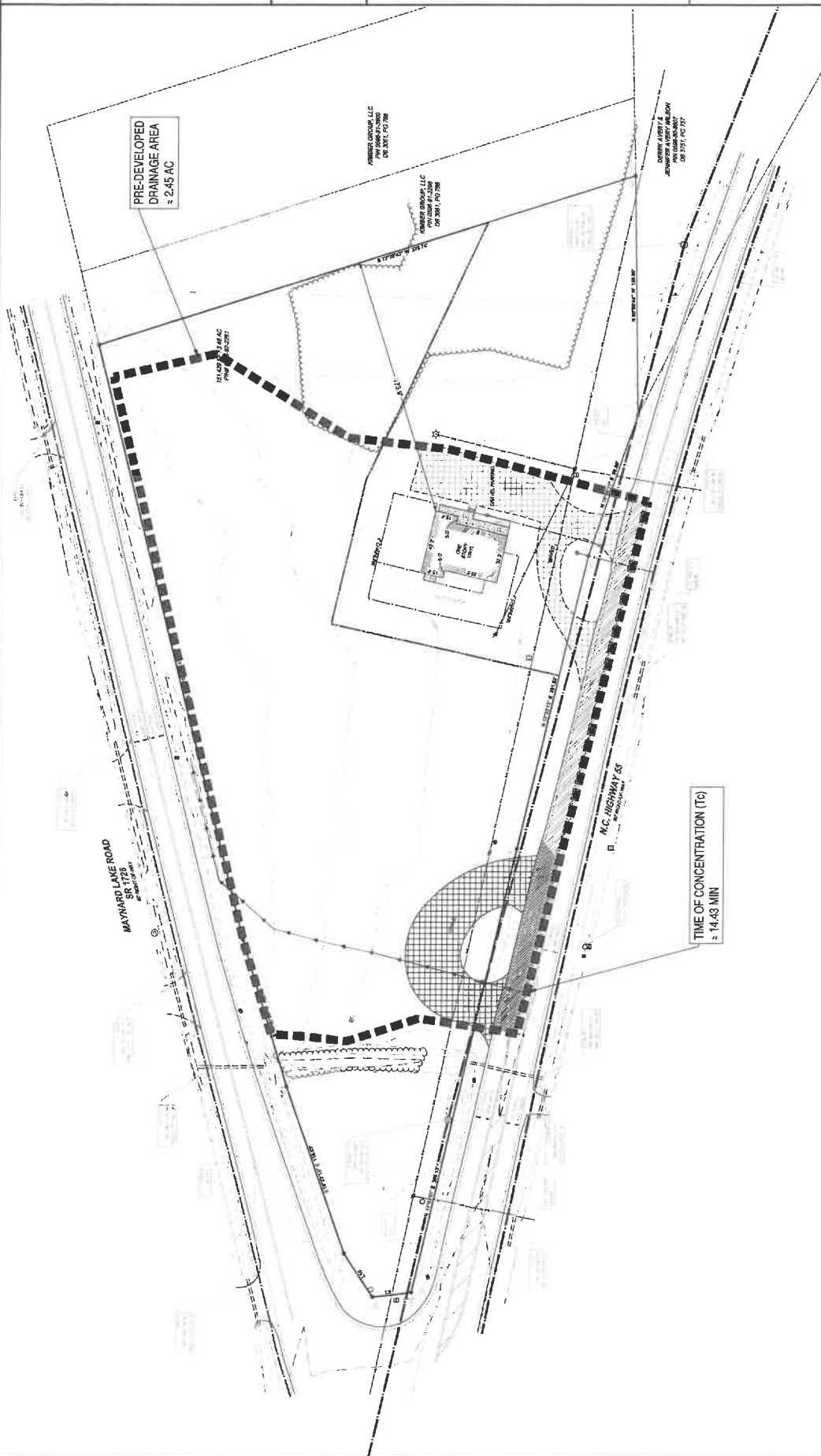
NOTE: WHEN MONOLITHIC CONCRETE ISLAND IS ON TOP OF SURFACE COURSE, DRIVE AND SPIRITS INTO SURFACE UNDER MONOLITHIC CONCRETE ISLAND. STAGGER SPIRES ON 2' CENTERS EACH WAY. 4" IN THE CONCRETE PAVEMENT (ISLAND) AND CONCRETE ISLAND MONOLITHIC) PLACE $\frac{1}{4}$ " EXPANSION JOINTS AT 30' INTERVALS AND GROOVED JOINTS 1" DEEP AT 10' INTERVALS BETWEEN

EXPANSION JOINTS.

of the name is 000-86 = 86 (Feb) - Jan 95 - 95
= Nathan Vannoy Mann Construction Drivng 703-465-8144



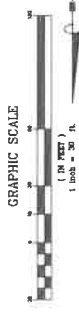
[illegible][illegible]



4006 BARRETT DR.
Suite 104
FATEH, NC 27809
Phone: (919) 555-8570
bowman.com
Bowman North Carolina Ltd.

POST-DEVELOPED DRAINAGE AREA

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION

[illegible]DDP
13265

POST-DEVELOPED DRAINAGE AREA ≈ 1.30 AC

DEREK AVERY &
DENISE AVERY MD, SOM

[illegible]

WINDY GROUP, LLC

STANFORD UNIVERSITY
LIBRARY
300 LATHAM DRIVE
STANFORD, CALIF. 94305-5080

and the nearest to $\gamma_{\text{max}} = 0.5$ is $\gamma_{\text{max}} = 0.5$ (see Fig. 1). The nearest to $\gamma_{\text{max}} = 0.5$ is $\gamma_{\text{max}} = 0.5$ (see Fig. 1).

Bowman

Bowman North Carolina LLC
 4000 BARNETT DR
 FAYETTEVILLE, NC 27909
 Phone: (919) 553-4570
 Fax: (919) 553-4570
 Email: info@bowmannc.com

POST-DEVELOPED BYPASS DRAINAGE AREA
 NC 56 E ERWIN
 HARNETT COUNTY, NORTH CAROLINA
DOLLAR GENERAL

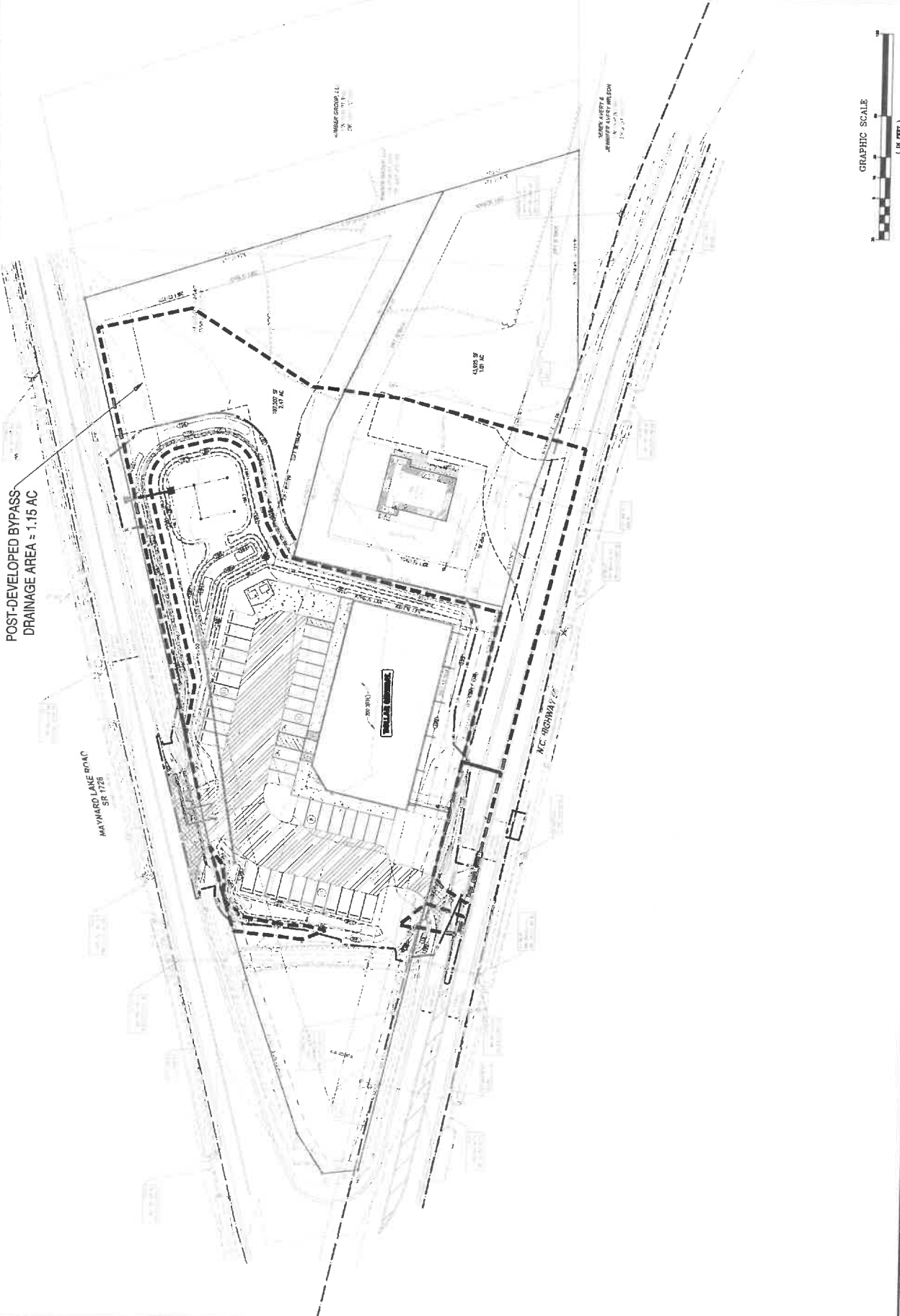
PRELIMINARY
 DO NOT
 USE FOR
 CONSTRUCTION



PLAN STATUS	
2/2/2016	1ST SUBMITTAL
2/2/2016	2ND SUBMITTAL
2/2/2016	3RD SUBMITTAL
2/2/2016	4TH SUBMITTAL
2/2/2016	5TH SUBMITTAL
2/2/2016	6TH SUBMITTAL
2/2/2016	7TH SUBMITTAL
2/2/2016	8TH SUBMITTAL
2/2/2016	9TH SUBMITTAL
2/2/2016	10TH SUBMITTAL
2/2/2016	11TH SUBMITTAL
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2/2/2016	95TH SUBMITTAL
2/2/2016	96TH SUBMITTAL
2/2/2016	97TH SUBMITTAL
2/2/2016	98TH SUBMITTAL
2/2/2016	99TH SUBMITTAL
2/2/2016	100TH SUBMITTAL

DATE: FEBRUARY 10, 2025
 SHEET NO. 1

GRAPHIC SCALE
 (IN FEET)
 1" = 50'



Bowman

Bowman North Carolina Ltd.
Bowman.com
Phone: (919) 663-5570
FAX: (919) 663-5570
Columbiana, NC 27009
4000 BARNETT DR
BOWMAN NORTH CAROLINA LTD.

DOLLAR GENERAL
NC 55 ERYWIN
HARNETT COUNTY, NORTH CAROLINA

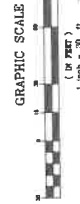
POST-DEVELOPED DRAINAGE AREA TO INLETS

PRELIMINARY
DO NOT
USE FOR
CONSTRUCTION



PLAN STATUS	
1. INITIAL	1ST SUBMITTAL
2. REVISED	2ND SUBMITTAL
3. REVISED	3RD SUBMITTAL
4. REVISED	4TH SUBMITTAL
5. REVISED	5TH SUBMITTAL
6. REVISED	6TH SUBMITTAL
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9. REVISED	9TH SUBMITTAL
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32. REVISED	32TH SUBMITTAL
33. REVISED	33TH SUBMITTAL
34. REVISED	34TH SUBMITTAL
35. REVISED	35TH SUBMITTAL
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PLAN No. 220154-01-001
DATE: FEBRUARY 10, 2015
SHEET No. 1

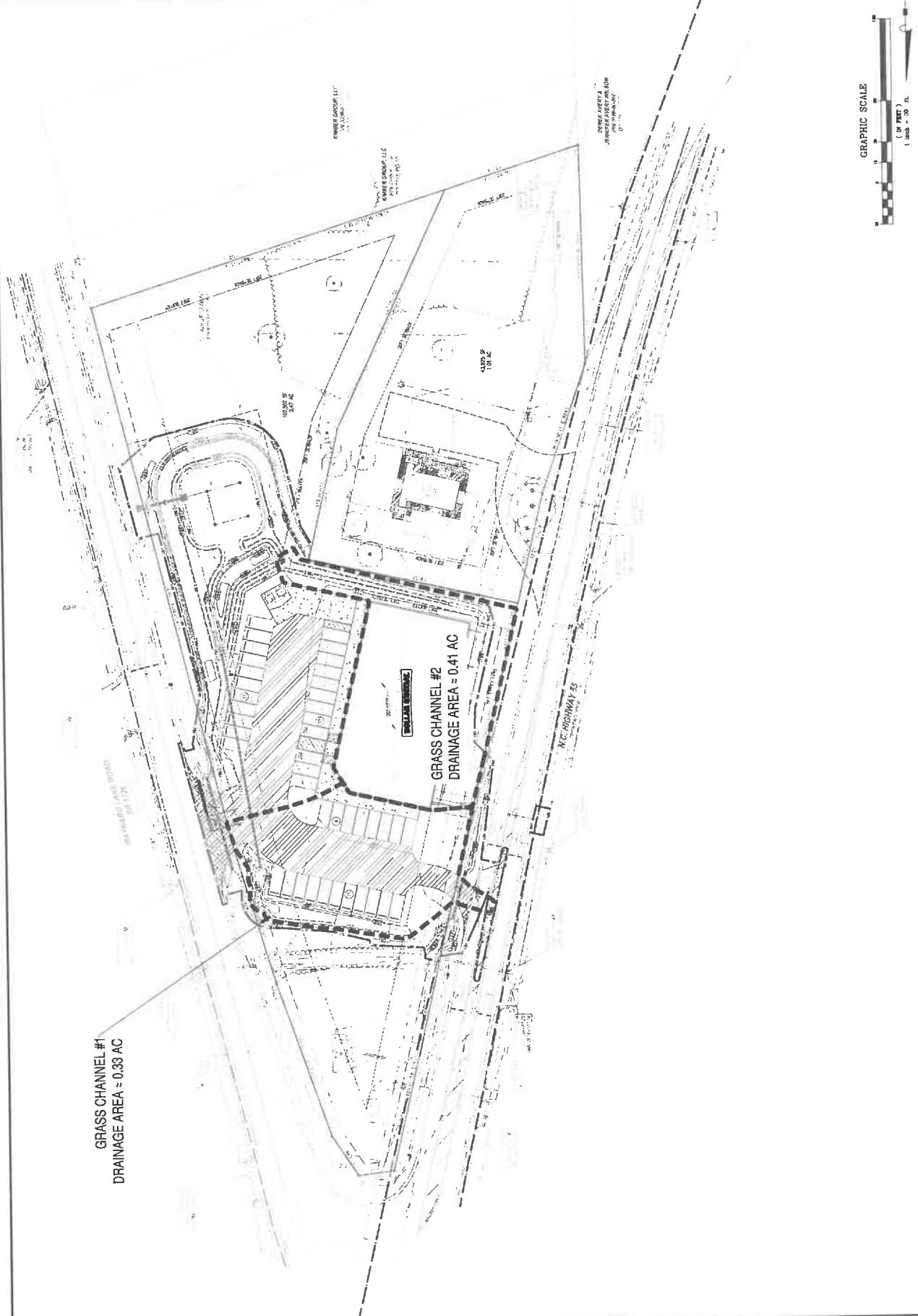


84-PDP-INLETS

Don't let anyone tell you that a 1/4\"/>

GRASS CHANNEL #1
DRAINAGE AREA = 0.33 AC

GRASS CHANNEL #2
DRAINAGE AREA = 0.41 AC





Luminaire Location Summary		
LumNo	Label	Z
1	G	15.5
2	G	15.5
3	G	15.5
4	G	15.5
5	G	15.5
6	G	15.5
7	G	15.5
8	G	11
9	HP-SH	27
10	HP-SH	27

Calculation Summary						
Label	Calc Type	Units	Avg	Max	Min	Max Min
Site	Illuminance	Fc	0.59	14.7	0.0	N.A.
Parking Lot	Illuminance	Fc	2.12	10.3	0.2	10.60
						57.50

Label	Arrangement	Description	LLP	Luminaire	Total
1	HP-SH2	2x1	0.850	16.01	147.489
2	G	NLES AL1212 Back			294.978
3	HP-SH	Single	0.850	5696	42,2468
4	HP-SH	Single	0.850	16181	147.489
5	HP-SH	Single	0.850	16181	147.489

Luminaire Schedule

Notes:

Plan Notes:

calculations at Ground Level (10' x 10' Grid Spacing). Refer to luminaire location summary or mounting heights of each fixture. Pole mounted fixtures include a 2ft concrete base. Mounting heights indicated on luminaire location summary is a total A.F.G. height.

General Notes:

To changing lighting ordinances it is the contractor's responsibility to submit the site photometrics and luminaires specs to the local inspector before ordering to ensure this plan complies with local lighting ordinances. This lighting design is based on information supplied by others. Changes in electrical supply, area geometry and objects within the lighted area may produce illumination values different from the predicted results shown on this layout. This layout is based on .IES files that were lab tested or computer generated, actual results may vary.

JOSH STEIN
Governor

D. REID WILSON
Secretary

WILLIAM E. TOBY VINSON, JR
Director



NORTH CAROLINA
Environmental Quality

03-20-2025

LETTER OF APPROVAL

Rhetson Companies, Inc.
2075 Juniper Lake Road
West End, NC 27376

RE: Project Name: Dollar General
Permit Number: HARNE-2025-0254
Acres Approved: 1.65
County: Harnett
City: Erwin
Address: NC Highway 55 E
River Basin: Cape Fear
Stream Classification: C: Aquatic Life, Secondary Contact Recreation, Fresh water
Plan Type: New Plan

Dear Rhetson Companies, Inc.,

This office has reviewed the subject erosion and sedimentation control plan. We hereby issue this Letter of Approval. Any modifications required for approval are listed in the body of the email that accompanied this attached letter. The enclosed Certificate of Approval must be posted at the job site. This plan approval shall expire three (3) years following the date of approval, if no land-disturbing activity has been undertaken, as is required by Title 15A NCAC 4B .0129.

As of April 1, 2019, all new construction activities not explicitly exempt are required to complete and submit an electronic Notice of Intent (eNOI) form requesting a Certificate of Coverage (COC) under the NCG010000 Construction General Permit. After the form is reviewed and found to be complete, you will receive a link with payment instructions for the annual permit fee. After the fee is processed, you will receive the COC. As the Financially Responsible Party shown on the FRO form submitted for this project, you MUST obtain the COC prior to commencement of any land disturbing activity. The eNOI form may be accessed at deq.nc.gov/NCG01.



North Carolina Department of Environmental Quality | Division of Energy, Mineral and Land Resources
512 North Salisbury Street | 1612 Mail Service Center | Raleigh, North Carolina 27699-1612
919.707.9200

Please direct questions about the eNOI form to the Stormwater Program staff in the Raleigh central office. If the owner/operator of this project changes in the future, the new responsible party must obtain a new COC.

Title 15A NCAC 4B .0118(a) and the NCG01 permit require that the following documentation be kept on file at the job site:

1. The approved E&SC plan as well as any approved deviation.
2. The NCG01 permit and the COC, once it is received.
3. Records of inspections made during the previous 12 months.

Also, this letter gives the notice required by G.S. 113A-61.1(a) of our right of periodic inspection to ensure compliance with the approved plan.

North Carolina's Sedimentation Pollution Control Act is performance-oriented, requiring protection of existing natural resources and adjoining properties. If, following the commencement of this project, the erosion and sedimentation control plan is inadequate to meet the requirements of the Sedimentation Pollution Control Act of 1973 (North Carolina General Statute 113A-51 through 66), this office may require revisions to the plan and implementation of the revisions to ensure compliance with the Act.

Acceptance and approval of this plan is conditioned upon your compliance with Federal and State water quality laws, regulations, and rules. In addition, local city or county ordinances or rules may also apply to this land-disturbing activity. This approval does not supersede any other permit or approval.

Please note that this approval is based in part on the accuracy of the information provided in the Financial Responsibility Form and on the plan, which you provided. You are requested to file an amended form if there is any change in the information included on the form.

Your cooperation is appreciated.

Sincerely,

Jodi Pace

Land Quality Section

JOSH STEIN
Governor

D. REID WILSON
Secretary

WILLIAM E. TOBY VINSON, JR
Director



NORTH CAROLINA
Environmental Quality

June 22, 2025

Rhetson Companies, Inc., Developer
Attn: Chris Morgan, EVP of Operations
2075 Juniper Lake Road
West End, NC 27376

AND

Dayna Bayles Murphy and Steve Wilford Murphy, Current Property Owner
175 Drum Inlt
Morehead City, NC 28557

Subject: Post-Construction Stormwater Management Permit No. SW6250205
Dollar General - Erwin, NC
High Density Project
Harnett County

Dear Mr. Morgan and Mrs. and Mr. Murphy:

The Division of Energy, Mineral and Land Resources received a complete Post-Construction Stormwater Management Permit Application for the subject project on June 5, 2025. Staff review of the plans and specifications has determined that the project, as proposed, complies with the Stormwater Regulations set forth in Title 15A NCAC 2H.1000 amended on January 1, 2017 (2017 Rules). We are hereby forwarding Permit No. SW6250205 dated June 22, 2025, for the construction, operation and maintenance of the built-upon areas (BUA) and stormwater control measures (SCMs) associated with the subject project.

This permit shall be effective from the date of issuance until **June 22, 2033** and does not supersede any other agency permit that may be required. The project shall be subject to the conditions and limitations as specified therein. Failure to comply with these requirements will result in future compliance problems. Please note that this permit is not transferable except after notice to and approval by the Division. As the identified developer of the project, Rhetson Companies, Inc ("Developer") shall be the designated permit holder and responsible for meeting the conditions and limitations specified therein. The property owner, Dayna Bayles Murphy and Steve Wilford Murphy, ("Property Owner"), will be responsible for recording the necessary deed restrictions.

Please be aware that it is the responsibility of the permit holders, the Developer and Property Owner, to notify the Division of any changes in ownership and request an ownership/name change for the stormwater permit. However, if the development agreement between the Developer and the Property Owner is dissolved, cancelled or defaults, and the Division is not notified by the Developer to transfer the permit, then the responsibility for permit compliance reverts back to the Property Owner. A complete transfer request must be submitted to the Division within 30 days as described below otherwise the Developer and Property Owner will be operating a stormwater treatment facility without a valid permit which is a violation of NC General Statute 143-215.1. Failure to transfer the permit may result in appropriate enforcement action in accordance with North Carolina General Statute §143-215.6A through §143-215.6C being taken against the Property Owner.

If any parts, requirements, or limitations contained in this permit are unacceptable, you have the right to request an adjudicatory hearing by filing a written petition with the Office of Administrative Hearings (OAH). The written petition must conform to Chapter 150B of the North Carolina General Statutes and must be filed with the OAH within thirty (30) days of receipt of this permit. You should contact the OAH with all questions regarding the filing fee (if a filing fee is required) and/or the details of the filing process at 6714 Mail Service Center, Raleigh, NC 27699-6714, or via telephone at 919-431-3000, or visit their website at www.NCOAH.com. Unless such demands are made this permit shall be final and binding.



North Carolina Department of Environmental Quality | Division of Energy, Mineral and Land Resources
512 North Salisbury Street | 1612 Mail Service Center | Raleigh, North Carolina 27699-1612
919.707.9200

This project will be kept on file at the Fayetteville Regional Office. If you have any questions concerning this permit, please contact Brianna Holland in the Central Office, at (919) 707-9218 or postconstruction@deq.nc.gov.

Sincerely,

Original signed by Brianna Holland

For William E. Toby Vinson, Jr., Director
Division of Energy, Mineral and Land Resources

Enclosures: Attachment A – Designer's Certification Form
Application Documents

WTV/bh: \\WaterResources\DEMLR - Stormwater\SW Permits\SW6250205

cc: Matthew Lowder, PE; Bowman North Carolina, Ltd.
Greg Stewart; Rheston Companies, Inc.
Chris Jones; Town of Erwin
Fayetteville Regional Office Stormwater File

STATE OF NORTH CAROLINA
DEPARTMENT OF ENVIRONMENTAL QUALITY
DIVISION OF ENERGY, MINERAL AND LAND RESOURCES

POST-CONSTRUCTION STORMWATER MANAGEMENT PERMIT

HIGH DENSITY DEVELOPMENT

In compliance with the provisions of Article 21 of Chapter 143, General Statutes of North Carolina as amended, and other applicable Laws, Rules, and Regulations promulgated and adopted by the North Carolina Environmental Management Commission, including 15A NCAC 02H.1000 amended on January 1, 2017 (2017 Rules) (the "stormwater rules"),

PERMISSION IS HEREBY GRANTED TO

Rhetson Companies, Inc., AND Dayna Bayles Murphy and Steve Wilford Murphy

Dollar General - Erwin, NC

4507 NC 55 E, Erwin, Harnett County

FOR THE

construction, management, operation and maintenance of built-upon area (BUA) draining to one (1) bioretention cell ("stormwater control measures" or "SCMs") as outlined in the application, approved stormwater management plans, supplement, calculations, operation and maintenance agreement, recorded documents, specifications, and other supporting data (the "approved plans and specifications") as attached and/or on file with and approved by the Division of Energy, Mineral and Land Resources (the "Division" or "DEMLR"). The project shall be constructed, operated and maintained in accordance with these approved plans and specifications. The approved plans and specifications are incorporated by reference and are enforceable part of this permit.

This permit shall be effective from the date of issuance until June 22, 2033 and shall be subject to the following specified conditions and limitations. The permit issued shall continue in force and effect until the permittee files a request with the Division for a permit modification, transfer, renewal, or rescission; however, these actions do not stay any condition. The issuance of this permit does not prohibit the Director from reopening and modifying the permit, revoking and reissuing the permit, or terminating the permit for cause as allowed by the laws, rules, and regulations contained in Title 15A NCAC 2H.1000 and NCGS 143-215.1 et.al.

1. **BUA REQUIREMENTS.** The maximum amount of BUA allowed for the entire project is 34,465 square feet. The runoff from all BUA within the permitted high density drainage area of this project must be directed into the permitted SCM. The BUA requirements and allocations for this project are as follows:
 - a. **SCM BUA LIMITS.** The SCM has been designed to handle the runoff from 34,465 square feet of BUA within the delineated drainage area. This permit does not provide any allocation of BUA for future development within the delineated drainage area.
2. **PERVIOUS AREA IMPROVEMENTS.** At this time, none of the pervious area improvements listed in G.S. 143-214.7(b2) or the Stormwater Design Manual have been proposed for this project. Pervious area improvements will be allowed in this project if documentation is provided demonstrating those improvements meet the requirements of the stormwater rule.

3. **SCM REQUIREMENTS.** The SCM requirements for this project are as follows:
 - a. **SCM DESIGN.** The SCM is permitted based on the design criteria presented in the sealed, signed and dated supplement and as shown in the approved plans and specifications. This SCM must be provided and maintained at the design condition.
 - b. **PLANTING PLAN.** The SCM landscape planting plan shown in the approved plans shall be followed in its entirety during construction. After the plants are established, the operation and maintenance agreement must be followed.
 - c. **PRETREATMENT.** The following pretreatment device has been provided to prevent clogging in the SCM: forebay for pretreatment.
4. **STORMWATER OUTLETS.** The peak flow from the 10-year storm event shall not cause erosion downslope of the discharge point.
5. **VEGETATED SETBACKS.** A 30-foot wide vegetative setback must be provided and maintained in grass or other vegetation adjacent to all surface waters as shown on the approved plans. The setback is measured horizontally from the normal pool elevation of impounded structures, from the top of bank of each side of streams or rivers, and from the mean high waterline of tidal waters, perpendicular to the shoreline.
 - a. **BUA IN THE VEGETATED SETBACK.** BUA may not be added to the vegetated setback except as shown on the approved plans.
 - b. **RELEASE OF STORMWATER NOT TREATED IN AN SCM.** Stormwater that is not treated in an SCM must be released at the edge of the vegetated setback and allowed to flow through the setback as dispersed flow.
6. **RECORDED DOCUMENT REQUIREMENTS.** The stormwater rules require the following documents to be recorded with the Office of the Register of Deeds:
 - a. **EASEMENTS.** All SCMs, stormwater collection systems, vegetated conveyances, and maintenance access located on property owned by other persons or entities must be located in permanent recorded easements or drainage easements as shown on the approved plans.
 - b. **OPERATION AND MAINTENANCE AGREEMENT.** The operation and maintenance agreement must be recorded with the Office of the Register of Deeds.
 - c. **FINAL PLATS.** If a final plat is recorded, it must reference the operation and maintenance agreement and must also show all public rights-of-way, dedicated common areas, and/or permanent drainage easements, in accordance with the approved plans.
 - d. **DEED RESTRICTIONS AND PROTECTIVE COVENANTS.** As the property owner, Dayna Bayles Murphy and Steve Wilford Murphy, shall record deed restrictions and protective covenants prior to the issuance of a certificate of occupancy to ensure the permit conditions and the approved plans and specifications are maintained in perpetuity.
7. **CONSTRUCTION.** During construction, erosion shall be kept to a minimum and any eroded areas of the on-site stormwater system will be repaired immediately.
 - a. **PROJECT CONSTRUCTION, OPERATION AND MAINTENANCE.** During construction, all operation and maintenance for the project shall follow the Erosion Control Plan requirements until the Sediment-Erosion Control devices are converted to SCMs or no longer needed. Once the device is converted to a SCM, the permittee shall provide and perform the operation and maintenance as outlined in the applicable section below.
 - b. **SCM RESTORATION.** If one or more of the SCMs are used as an Erosion Control device and/or removed or destroyed during construction, it must be restored to the approved design condition prior to close-out of the erosion control plan and/or project completion and/or transfer of the permit. Upon restoration, a new or updated certification will be required for the SCM(s) and a copy must be submitted to the appropriate DEQ regional office.

8. **MODIFICATIONS.** No person or entity, including the permittee, shall alter any component shown in the approved plans and specifications. Prior to the construction of any modification to the approved plans, the permittee shall submit to the Director, and shall have received approval for modified plans, specifications, and calculations including, but not limited to, those listed below. For changes to the project or SCM that impact the certifications, a new or updated certification(s), as applicable, will be required and a copy must be submitted to the appropriate DEQ regional office upon completion of the modification.
 - a. Any modification to the approved plans and specifications, regardless of size including the SCM(s), BUA, details, etc.
 - b. Redesign or addition to the approved amount of BUA or to the drainage area.
 - c. Further development, subdivision, acquisition, lease or sale of any, all or part of the project and/or property area as reported in the approved plans and specifications.
 - d. Altering, modifying, removing, relocating, redirecting, regrading, or resizing of any component of the approved SCM(s), stormwater collection system and/or vegetative conveyance shown on the approved plan.
 - e. The construction of any allocated future BUA.
 - f. The construction of any infiltrating permeable pavement, #57 stone area, public trails, or landscaping material to be considered a pervious surface that were not included in the approved plans and specifications.
 - g. Other modifications as determined by the Director.
9. **DESIGNER'S CERTIFICATION.** Upon completion of the project, the permittee shall determine if the project is in compliance with the approved plans and take the necessary following actions:
 - a. If the permittee determines that the project is in compliance with the approved plans, then within 45 days of completion, the permittee shall submit to the Division one hard copy and one electronic copy of the following:
 - i. The completed and signed Designer's Certification provided in Attachment A noting any deviations from the approved plans and specifications. Deviations may require approval from the Division;
 - ii. A copy of the recorded operation and maintenance agreement;
 - iii. Unless already provided, a copy of the recorded deed restrictions and protective covenants; and
 - iv. A copy of the recorded plat delineating the public rights-of-way, dedicated common areas and/or permanent recorded easements, when applicable.
 - b. If the permittee determines that the project is not in compliance with the approved plans, the permittee shall submit an application to modify the permit within 30 days of completion of the project or provide a plan of action, with a timeline, to bring the site into compliance.
10. **OPERATION AND MAINTENANCE.** The permittee shall provide and perform the operation and maintenance necessary, as listed in the signed operation and maintenance agreement, to assure that all components of the permitted on-site stormwater system are maintained at the approved design condition. The approved operation and maintenance agreement must be followed in its entirety and maintenance must occur at the scheduled intervals.
 - a. **CORRECTIVE ACTIONS REQUIRED.** If the facilities fail to perform satisfactorily, the permittee shall take immediate corrective actions. This includes actions required by the Division and the stormwater rules such as the construction of additional or replacement on-site stormwater systems. These additional or replacement measures shall receive a permit from the Division prior to construction.
 - b. **MAINTENANCE RECORDS.** Records of maintenance activities must be kept and made available upon request to authorized personnel of the Division. The records will indicate the date, activity, name of person performing the work and what actions were taken.

11. **PERMIT RENEWAL.** A permit renewal request must be submitted at least 180 days prior to the expiration date of this permit. The renewal request must include the appropriate application, documentation and the processing fee as outlined in 15A NCAC 02H.1045(3).
12. **CHANGES TO THE PROJECT NAME, PERMITTEE NAME OR CONTACT INFORMATION.** The permittee shall submit a completed Permit Information Update Application Form to the Division within 30 days to making any one of these changes.
13. **TRANSFER.** This permit is not transferable to any person or entity except after notice to and approval by the Director. Neither the sale of the project and/or property, in whole or in part, nor the conveyance of common area to a third party constitutes an approved transfer of the permit.
 - a. **DEVELOPER AGREEMENT.** It is the responsibility of the permit holders, Rhetson Companies, Inc. ("Developer") and Dayna Bayles Murphy and Steve Wilford Murphy ("Property Owner"), to notify the Division of any changes in ownership and request an ownership/name change for the stormwater permit. However, if the development agreement between the Developer and Property Owner is dissolved, cancelled or defaults, and the Division is not notified by the Developer to transfer the permit, then the responsibility for permit compliance reverts back to the Property Owner. A complete transfer request must be submitted to the Division within 30 days as described below otherwise the Developer and Property Owner will be operating a stormwater treatment facility without a valid permit which is a violation of NC General Statute 143-215.1. Failure to transfer the permit may result in appropriate enforcement action in accordance with North Carolina General Statute §143-215.6A through §143-215.6C being taken against the Property Owner.
 - b. **TRANSFER REQUEST.** The transfer request must include the appropriate application, documentation and the processing fee as outlined in 15A NCAC 02H.1045(2). This request must be submitted within 90 days of the permit holder meeting one or more of the following:
 - i. A natural person who is deceased;
 - ii. A partnership, limited liability corporation, corporation, or any other business association that has been dissolved;
 - iii. A person or entity who has been lawfully and finally divested of title to the property on which the permitted activity is occurring or will occur through foreclosure, bankruptcy, or other legal proceeding.
 - iv. A person or entity who has sold the property, in whole or in part, on which the permitted activity is occurring or will occur, ;
 - v. The assignment of declarant rights to another individual or entity;
 - vi. The sale or conveyance of the common areas to a Homeowner's or Property Owner's Association, subject to the requirements of NCGS 143-214.7(c2);
 - c. **TRANSFER INSPECTION.** Prior to transfer of the permit, a file review and site inspection will be conducted by Division personnel to ensure the permit conditions have been met and that the project and the on-site stormwater system complies with the permit conditions. Records of maintenance activities performed to date may be requested. Projects not in compliance with the permit will not be transferred until all permit and/or general statute conditions are met.
14. **COMPLIANCE.** The permittee is responsible for complying with the terms and conditions of this permit and the approved plans and specifications until the Division approves the transfer request.
 - a. **REVIEWING AND MONITORING FOR COMPLIANCE.** The permittee is responsible for verifying that the proposed BUA within each drainage area and for the entire project does not exceed the maximum amount allowed by this permit. The permittee shall review and routinely monitor the project to ensure continued compliance with the conditions of the permit, the approved plans and specifications.
 - b. **APPROVED PLANS AND SPECIFICATIONS.** A copy of this permit, approved plans, application, supplement, operation and maintenance agreement, all applicable recorded documents, and specifications shall be maintained on file by the permittee at all times.

- c. MAINTENANCE ACCESS. SCMs, stormwater collection systems, and vegetated conveyances must be accessible for inspection, operation, maintenance and repair as shown on the approved plans.
- d. DIVISION ACCESS. The permittee grants Division Staff permission to enter the property during normal business hours to inspect all components of the permitted project.
- e. ENFORCEMENT. Any individual or entity found to be in noncompliance with the provisions of a stormwater management permit or the requirements of the stormwater rules is subject to enforcement procedures as set forth in NCGS 143 Article 21.
- f. ANNUAL CERTIFICATION. The permittee shall electronically submit to the Division an annual certification completed by either the permittee or their designee confirming the projects conformance with permit conditions.
- g. OBTAINING COMPLIANCE. The Director may notify the permittee when the permitted site does not meet one or more of the minimum requirements of the permit. Within the time frame specified in the notice, the permittee shall submit a written time schedule to the Director for modifying the site to meet minimum requirements. The permittee shall provide copies of modified plans and certification in writing to the Director that the changes have been made.
- h. OTHER PERMITS. The issuance of this permit does not preclude the permittee from obtaining and complying with any and all other permits or approvals that are required for this development to take place, as required by any statutes, rules, regulations, or ordinances, which are imposed by any other Local, State or Federal government agency having jurisdiction. Any activities undertaken at this site that cause a water quality violation or undertaken prior to receipt of the necessary permits or approvals to do so are considered violations of NCGS 143-215.1, and subject to enforcement procedures pursuant to NCGS 143-215.6.

Permit issued this the 22nd day of June 2025.

NORTH CAROLINA ENVIRONMENTAL MANAGEMENT COMMISSION

Original signed by Brianna Holland

For William E. Toby Vinson, Jr., Director
Division of Energy, Mineral and Land Resources
By Authority of the Environmental Management Commission

Permit Number SW6250205

Attachment A

Certification Forms

The following blank Designer Certification forms are included and specific for this project:

- As-Built Permittee Certification
- As-Built Designer's Certification General MDC
- As-Built Designer's Certification for a Bioretention Cell

A separate certification is required for each SCM. These blank certification forms may be copied and used, as needed, for each SCM and/or as a partial certification to address a section or phase of the project.

AS-BUILT PERMITTEE CERTIFICATION

I hereby state that I am the current permittee for the project named above, and I certify by my signature below, that the project meets the below listed Final Submittal Requirements found in NCAC 02H.1042(4) and the terms, conditions and provisions listed in the permit documents, plans and specifications on file with or provided to the Division.

- ☐ Check here if this is a partial certification. Section/phase/SCM #? _____
☐ Check here if this is part of a Fast Track As-built Package Submittal.

Printed Name _____ Signature _____

I, _____, a Notary Public in the State of _____

County of _____, do hereby certify that _____

personally appeared before me this _____ day of _____, 20_____

and acknowledge the due execution of this as-built certification. (SEAL)

Witness my hand and official seal

My commission expires _____

Permittee's Certification NCAC .1042(4)	Completed / Provided	N/A
A. DEED RESTRICTIONS / BUA RECORDS		
1. The deed restrictions and protective covenants have been recorded and contain the necessary language to ensure that the project is maintained consistent with the stormwater regulations and with the permit conditions.	Y or N	
2. A copy of the recorded deed restrictions and protective covenants has been provided to the Division.	Y or N	
3. Records which track the BUA on each lot are being kept. (See Note 1)	Y or N	
B. MAINTENANCE ACCESS		
1. The SCMs are accessible for inspection, maintenance and repair.	Y or N	
2. The access is a minimum of 10 feet wide.	Y or N	
3. The access extends to the nearest public right-of-way.	Y or N	
C. EASEMENTS		
1. The SCMs and the components of the runoff collection / conveyance system are located in recorded drainage easements.	Y or N	
2. A copy of the recorded plat(s) is provided.	Y or N	
D. SINGLE FAMILY RESIDENTIAL LOTS - Plats for residential lots that have an SCM include the following:	Y or N	
1. The specific location of the SCM on the lot.	Y or N	
2. A typical detail for the SCM.	Y or N	
3. A note that the SCM is required to meet stormwater regulations and that the lot owner is subject to enforcement action as set forth in NCGS 143 Article 21 if the SCM is removed, relocated or altered without prior approval.	Y or N	
E. OPERATION AND MAINTENANCE AGREEMENT	Y or N	
1. The O&M Agreement is referenced on the final recorded plat.	Y or N	
2. The O&M Agreement is recorded with the Register of Deeds and appears in the chain of title.	Y or N	
F. OPERATION AND MAINTENANCE PLAN – maintenance records are being kept in a known set location for each SCM and are available for review.	Y or N	

G. DESIGNER'S CERTIFICATION FORM – has been provided to the Division.	Y or N	
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Note 1- Acceptable records include ARC approvals, as-built surveys, and county tax records.

Provide an explanation for every requirement that was not met, and for every "N/A" below. Attach additional sheets as needed.

4. BUA that does not meet the requirements of NCGS 143-214.7 (b2)(2) is located within the setback and is limited to: a. Publicly funded linear projects (road, greenway sidewalk) b. Water-dependent structures c. Minimal footprint uses (utility poles, signs, security lighting and appurtenances)	Y or N		
5. Stormwater that is not treated in an SCM is released at the edge of the setback and allowed to flow through the setback as dispersed flow.	Y or N		
	OAs-built	ON/E	ON/A
C. STORMWATER OUTLETS – the outlet handles the peak flow from the 10 year storm with no downslope erosion.	Y or N		
D. VARIATIONS			
1. A variation (alternative) from the stormwater rule provisions has been implemented.	Y or N		
2. The variation provides equal or better stormwater control and equal or better protection of surface waters.	Y or N		
E. COMPLIANCE WITH OTHER REGULATORY PROGRAMS has been met.	Y or N		
F. SIZING -the volume of the SCM takes the runoff from all surfaces into account and is sufficient to handle the required storm depth.	Y or N		
G. CONTAMINATED SOILS – infiltrating SCM's are not located in or on areas with contaminated soils.	Y or N		
H. SIDE SLOPES			
1. Vegetated side slopes are no steeper than 3H:1V.	Y or N		
2. Side slopes include retaining walls, gabion walls, or other surfaces that are steeper than 3H:1V.	Y or N		
3. Vegetated side slopes are steeper than 3H:1V (provide supporting documents for soils and vegetation).	Y or N		
I. EROSION PROTECTION			
1. The inlets do not cause erosion in the SCM.	Y or N		
2. The outlet does not cause erosion downslope of the discharge point during the peak flow from the 10 year storm.	Y or N		
J. EXCESS FLOWS – An overflow / bypass has been provided.	Y or N		
K. DEWATERING – A method to drawdown standing water has been provided to facilitate maintenance and inspection.	Y or N		
L. CLEANOUT AFTER CONSTRUCTION – the SCM has been cleaned out and converted to its approved design state.	Y or N		
M. MAINTENANCE ACCESS			
1. The SCM is accessible for maintenance and repair.	Y or N		
2. The access does not include lateral or incline slopes >3:1.	Y or N		
N. DESIGNER QUALIFICATIONS (FAST-TRACK PERMIT) – The designer is licensed under Chapters 89A, 89C, 89E, or 89F of the General Statutes.	Y or N		

Provide an explanation for every MDC that was not met, and for every item marked "N/A" or "N/E", below. Attach additional pages as needed:

AS-BUILT DESIGNER'S CERTIFICATION FOR BIORETENTION CELL PROJECT

I hereby state that I am a licensed professional and I certify by my signature and seal below, that I have observed the construction of the project named above to the best of my abilities with all due care and diligence, and that the project meets all of the MDC found in NCAC 02H.1052, in accordance with the permit documents, plans and specifications on file with or provided to the Division, except as noted on the "AS-BUILT" drawings, such that the intent of the stormwater rules and the general statutes has been preserved.

- ☐ Check here if this is a partial certification. Section/phase/SCM #? _____
☐ Check here if this is part of a Fast-Track As-Built Package Submittal per .1044(3).
☐ Check here if the Designer did not observe the construction, but is certifying the project.
☐ Check here if pictures of the SCM are provided.

Printed Name _____ Signature _____

NC Registration Number _____ Date _____

SEAL:

Consultant's Mailing Address:

City/State/ZIP _____

Phone Number _____

Consultant's Email address:

○ Circle N if the as-built value differs from the Plan/permit. If N is circled, provide an explanation on page 2
 ON/E = not evaluated (provide explanation on page 2) ON/A = not applicable to this project or SCM.
 This Certification must be completed in conjunction with the General MDC certification under NCAC 02H.1050

Consultant's Certification (MDC .1052)	OAs-built	ON/E	ON/A
A. Volume / Elevations			
1. The lowest point of the bioretention cell is a minimum of two feet above the SHWT.	Y or N		
2. If separation from the SHWT is between one and two feet, a hydrogeological evaluation has been prepared by a licensed professional.	Y or N		
3. The surface area and depth of the bioretention cell is consistent with the approved plans.	Y or N		
4. The planting surface elevation of the bioretention cell is consistent with the approved plans.	Y or N		
5. The ponding depth for the design volume is consistent with the approved plans and a maximum of 12 inches above the planting surface.	Y or N		
6. If applicable, the ponding depth for the peak attenuation volume is consistent with the approved plans and a maximum of 24 inches above the planting surface.	Y or N		
7. If applicable, the peak attenuation outlet invert is consistent with the approved plans and a maximum of 18 inches above the planting surface.	Y or N		
8. Bioretention cell with IWS – An underdrain system with IWS has been provided. The top of the IWS zone is consistent with the approved plans and a minimum of 18 inches below the planting surface.	Y or N		
9. Bioretention cell without IWS – The in-situ soil infiltration rate is at least two inches per hour immediately prior to the initial placement of media.	Y or N		

10. At least one capped clean-out pipe has been provided at the low point of each underdrain.	Y or N		
B. Media			
1. The depth of the media is consistent with the approved plans and specs and is a minimum of... - 36 inches for cells with trees & shrubs. - 30 inches for cells without trees & shrubs and IWS. - 24 inches for cells without trees & shrubs and no IWS.	Y or N		
2. The media is consistent with the approved plans and specs and is a homogeneous soil mixture consisting of... - 75 – 85 percent by volume medium to coarse washed sand. - 8 – 15 percent by volume fines. - 5 – 15 percent by volume organic matter.	Y or N		
3. The media has a phosphorous index (P-index) that does not exceed... - 30 in Nutrient Sensitive Waters (NSW). - 50 elsewhere.	Y or N		
4. The media has not been mechanically compacted.	Y or N		
5. The media provides a minimum drawdown of one inch per hour at the planting surface.	Y or N		
C. Landscape/Planting Plan			
1. Bioretention cell with sod – The sod is a non-clumping, deep-rooted species.	Y or N		
2. Bioretention cell with vegetation other than sod – The approved landscaping plan has been followed.	Y or N		
3. Bioretention cell with vegetation other than sod – Triple shredded hardwood mulch is placed two to four inches deep in the portion of the bioretention cell that will be inundated.	Y or N		

Provide an explanation for every MDC that was not met, or for every deviation from the permitted condition below: