



Harnett
COUNTY
NORTH CAROLINA

Initial Application Date: _____

Application # _____

DRB # _____ CU # _____

COMMERCIAL

COUNTY OF HARNETT LAND USE APPLICATION

Central Permitting (Physical) 108 E. Front Street, Lillington, NC 27546 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 ext # 2 Fax: (910) 893-2793 www.harnett.org/permits

LANDOWNER: Ami, INC Mailing Address: 15000 Good Hope Road

City: Silver Spring State: MD Zip: 20905 Contact # 919 475 6110 Email: property.res@ahmediyya.us

APPLICANT*: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____ Contact # _____ Email: _____

*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: _____ Phone # _____

Address: _____ PIN: _____

Zoning: RA-30 Watershed: N/A Flood: N/A Deed Book Page: 4270, 2717

Setbacks - Front: 35' Back: 25' Side: 10' Corner: 20'

PROPOSED USE:

☐ Multi-Family Dwelling No. Units: _____ No. Bedrooms/Unit: _____

☐ Business Sq. Ft. Retail Space: _____ Type: _____ # Employees: _____ Hours of Operation: _____

☐ Daycare # Preschoolers: _____ # Afterschoolers: _____ # Employees: _____ Hours of Operation: _____

☐ Industry Sq. Ft: _____ Type: _____ # Employees: _____ Hours of Operation: _____

☒ Church Seating Capacity: 300 # Bathrooms: 4 Kitchen: 1

☐ Accessory/Addition/Other (Size _____ x _____) Use: _____

Water Supply: ☒ County _____ Existing Well _____ New Well (# of dwellings using well _____) *Must have operable water before final
(Need to Complete New Well Application at the same time as New Tank)

Sewage Supply: _____ New Septic Tank _____ Expansion _____ Relocation ☒ Existing Septic Tank _____ County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Comments: _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted.
I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

[Signature]
Signature of Owner or Owner's Agent

4-8-2025
Date

****This application expires 6 months from the initial date if permits have not been issued****

RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

*****It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.*****

strong roots • new growth



This application expires 6 months from the initial date if permits have not been issued
APPLICATION CONTINUES ON BACK

This application expires 6 months from the initial date if permits have not been issued

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

☐ **Environmental Health New Septic System**

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the undergrowth to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

☒ **Environmental Health Existing Tank Inspections**

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over outlet end of tank as diagram indicates, and lift lid straight up (if possible) and then put lid back in place. (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

SEPTIC

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

☐ Accepted ☐ Innovative ☒ Conventional ☐ Any
☐ Alternative ☐ Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION:**

See Plat Info attached

- | | | |
|---|--|---|
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | Does the site contain any Jurisdictional Wetlands? |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | Do you plan to have an <u>irrigation system</u> now or in the future? |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | Does or will the building contain any <u>drains</u> ? Please explain. _____ |
| <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO | Are there any existing wells, springs, waterlines or Wastewater Systems on this property? |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | Is any wastewater going to be generated on the site other than domestic sewage? |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | Is the site subject to approval by any other Public Agency? |
| <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO | Are there any Easements or Right of Ways on this property? |
| <input checked="" type="checkbox"/> YES | <input type="checkbox"/> NO | Does the site contain any existing water, cable, phone or underground electric lines? |
- If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.

LEGEND

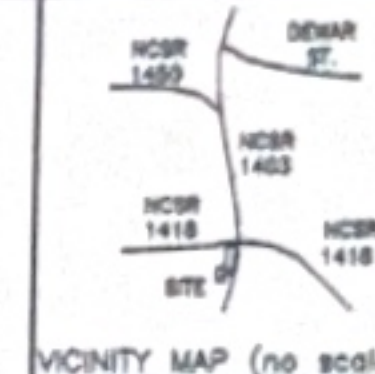
CMS - CONCRETE MONUMENT SET
 CSN - EXISTING CONCRETE MONUMENT
 EIP - EXISTING IRON PIPE
 EIS - EXISTING IRON STAKE
 ERS - EXISTING REBAR
 EDS - EXISTING COTTON SPIKE
 EPH - EXISTING PK. NAIL
 EN - EXISTING NAIL
 ERS - EXISTING RAILROAD SPIKE
 EPI - IRON PIPE SET
 ESI - IRON STAKE SET
 RSS - RAILROAD SPIKE SET
 NS - NAIL SET
 PHS - PK OR MAG. NAIL SET
 R/W - RIGHT OF WAY
 CL - CENTERLINE
 B.M. - BOOK OF MAPS
 P.B. - PLAT BOOK
 M.B. - MAP BOOK
 D.B. - DEED BOOK
 SB - SET BACK
 EP - EDGE PAVEMENT
 HCSS - NORTH CAROLINA GEODETIC SURVEY
 FEMA - FEDERAL EMERGENCY MANAGEMENT AGENCY

ES - EXISTING COTTON SPINDLE
 CSB - COTTON SPINDLE SET
 D - DRAINAGE
 G - GAS LINE
 S - SANITARY SEWER
 W - WATER
 E - ELECTRIC
 T - TELEPHONE
 FH - FIRE HYDRANT
 WM - WATER METER
 WV - WATER VALVE
 CO - SEWER CLEANOUT
 TP - TELEPHONE PEDESTAL
 UP - UTILITY POLE
 EL - ELEVATION
 MH - MANHOLE
 BC - BACK OF CURB
 HVAC - HEAT/AC UNIT
 CP - COMPUTED POINT
 BPE - BASE FLOOD ELEVATION

NOTES

AREA BY COORDINATES.
 THIS PROPERTY IS NOT LOCATED IN A FEMA MAPPED
 FLOOD HAZARD AREA. FEMA MAP # 3790082400A
 ZONE X. EFF. DATE 10/3/2004.
 PROPERTY SUBJECT TO ABOVE AND OR UNDERGROUND
 UTILITIES AND OR EASEMENTS.

HARNETT COUNTY JURISDICTION
 PROPERTY ZONED RA-30
 MINIMUM BUILDING SETBACKS
 FRONT - 30'
 SIDE - 10'
 CORNER SIDE - 20'
 REAR - 25'



I, BENTON W. DEWAR, CERTIFY THAT THIS PLAT WAS PREPARED UNDER
 MY SUPERVISION FROM AN ACTUAL FIELD SURVEY OF DESCRIPTION(S)
 AS RECORDED IN D.B. 2380 PAGE 384.
 THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS SUCH
 AND WERE PLATTED FROM INFORMATION AS REFERENCED HEREIN THAT
 THE RATIO OF PRECISION AS CALCULATED WAS 1:15,000 AND THAT
 THE GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) WAS USED TO
 PERFORM A PORTION OF THIS SURVEY AND THE FOLLOWING INFORMATION WAS USED:

CLASS OF SURVEY: A
 POSITIONAL ACCURACY: 0.02'
 TYPE OF GPS FIELD PROCEDURE: RTK
 DATES OF SURVEY: OCTOBER 2023
 DATUM/EPOCH: NAD 83
 PUBLISHED/FIXED-CONTROL USE: YES
 GEOD MODEL: 2018
 COMBINED GRID FACTOR: 0.999984
 UNITS: US SURVEY FOOT

EXEMPT PLAT
 THIS PLAT IS EXEMPT FROM
 THE SUBDIVISION REGULATIONS

Theresa Fox
 HARNETT COUNTY PLANNING DEPARTMENT

11-27-23
 DATE

STATE OF NORTH CAROLINA
 COUNTY OF Harnett
 I, Shirley K. Bennett REVIEW OFFICER OF Harnett
 COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS
 APPLIED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

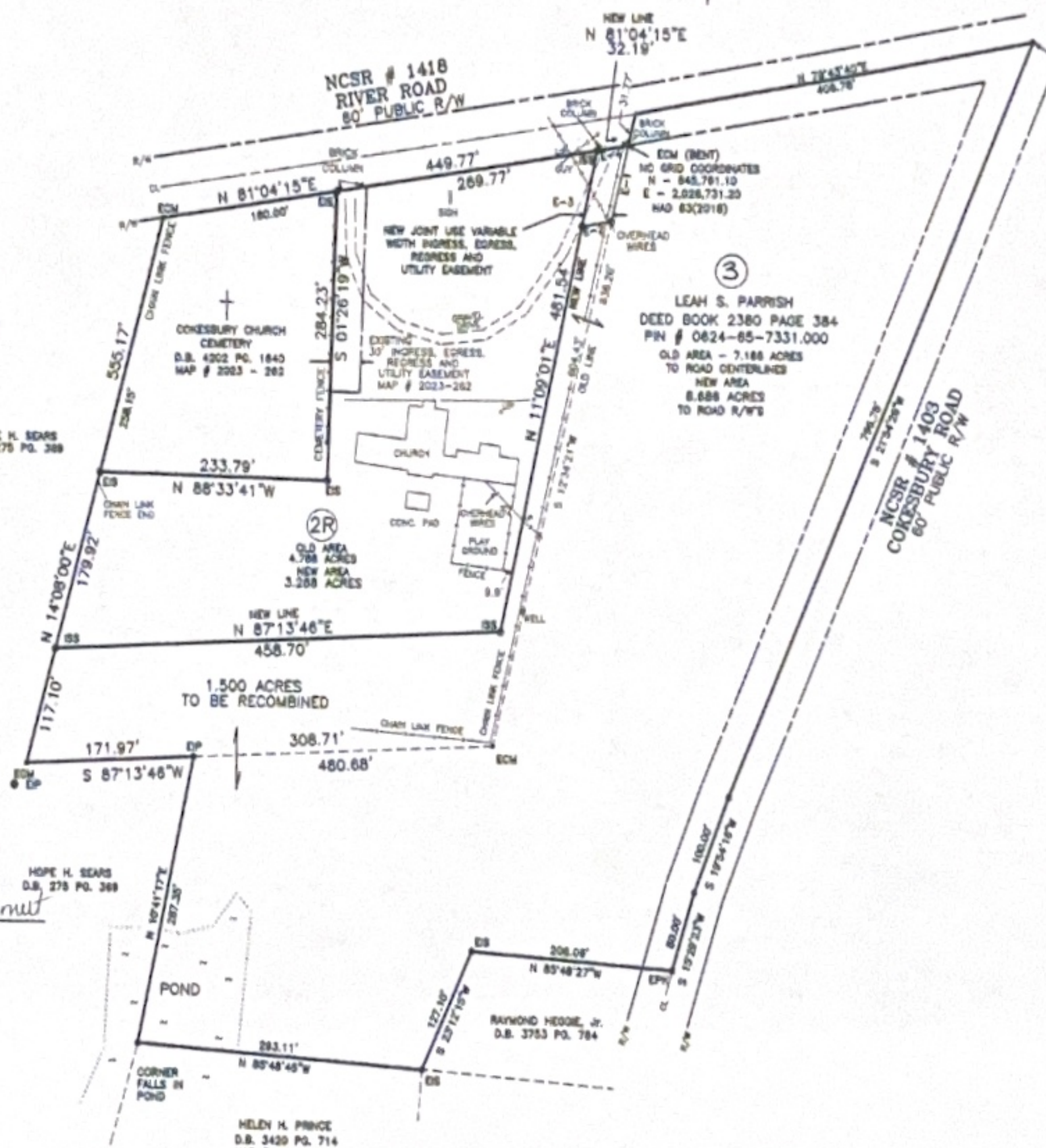
11-27-23
 DATE
Shirley K. Bennett
 REVIEW OFFICER

THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION
 OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER
 EXCEPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

BENTON W. DEWAR NCPLS - 3040

I, BENTON W. DEWAR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER
 MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY
 SUPERVISION DEED BOOK 4199 PAGE 1083 MAP # 2023 - 262
 THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS BROKEN LINES DRAWN
 FROM INFORMATION FOUND IN DEED MAP BOOK 4199 PAGE 1083
 THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS
 1:15,000+ THAT THIS PLAT WAS PREPARED IN ACCORDANCE
 WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE,
 LICENSE NUMBER AND SEAL THIS 10th DAY OF NOVEMBER, A.D. 2023

BENTON W. DEWAR, NCPLS - 3040



**NEW VARIABLE WIDTH JOINT USE
 EASEMENT CALL TABLE**
 MINIMUM 30.18' WIDE

E-1	S 12°34'21\"W	-	78.71'
E-2	S 81°04'15\"W	-	30.19'
E-3	N 11°09'01\"E	-	75.00'
E-4	N 81°04'15\"W	-	32.19'

CERTIFICATE OF OWNERSHIP, LOCATION AND JURISDICTION

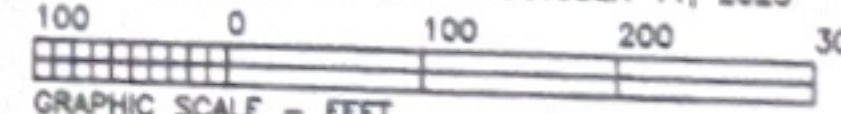
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OR
 AGENT OF THE PROPERTY SHOWN AND DESCRIBED HEREIN AND THAT
 I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR)
 FREE CONSENT, ESTABLISH THE MINIMUM BUILDING SETBACK LINES
 AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER
 SPACES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. ALL
 OF THE LAND SHOWN HEREIN IS WITHIN THE SUBDIVISION REGULATION
 JURISDICTION OF HARNETT COUNTY EXCEPT:

(DATE) November 1st to 23
Christina Dodson OWNER
 OWNER

RECOMBINATION SURVEY FOR
**NORTH CAROLINA CONFERENCE,
 SOUTHEASTERN JURISDICTION,
 UNITED METHODIST CHURCH, INC.**

700 WATERFIELD RISE PLACE, GARNER, NC 27529
 DEED BOOK 4199 PAGE 1083
 MAP # 2023 - 262
 PIN # 0624-85-4434.000

AND
LEAH S. PARRISH
 6728 RIVER ROAD, FUQUAY-VARINA, NC 27526
 D.B. 2380 PAGE 384
 PIN # 0624-85-7331.000
 BUCKHORN TOWNSHIP
 HARNETT COUNTY - NORTH CAROLINA
 SCALE: 1" = 100' - OCTOBER 11, 2023



BENTON W. DEWAR AND ASSOCIATES
 PROFESSIONAL LAND SURVEYOR
 5920 HONEYCUTT ROAD
 HOLLY SPRINGS, NC 27540
 PH. # (919)-552-9813

RECORDED MAP # 2023 - 594 HARNETT COUNTY R.O.D.

23-87L
 COCKESBURY 1441/800