

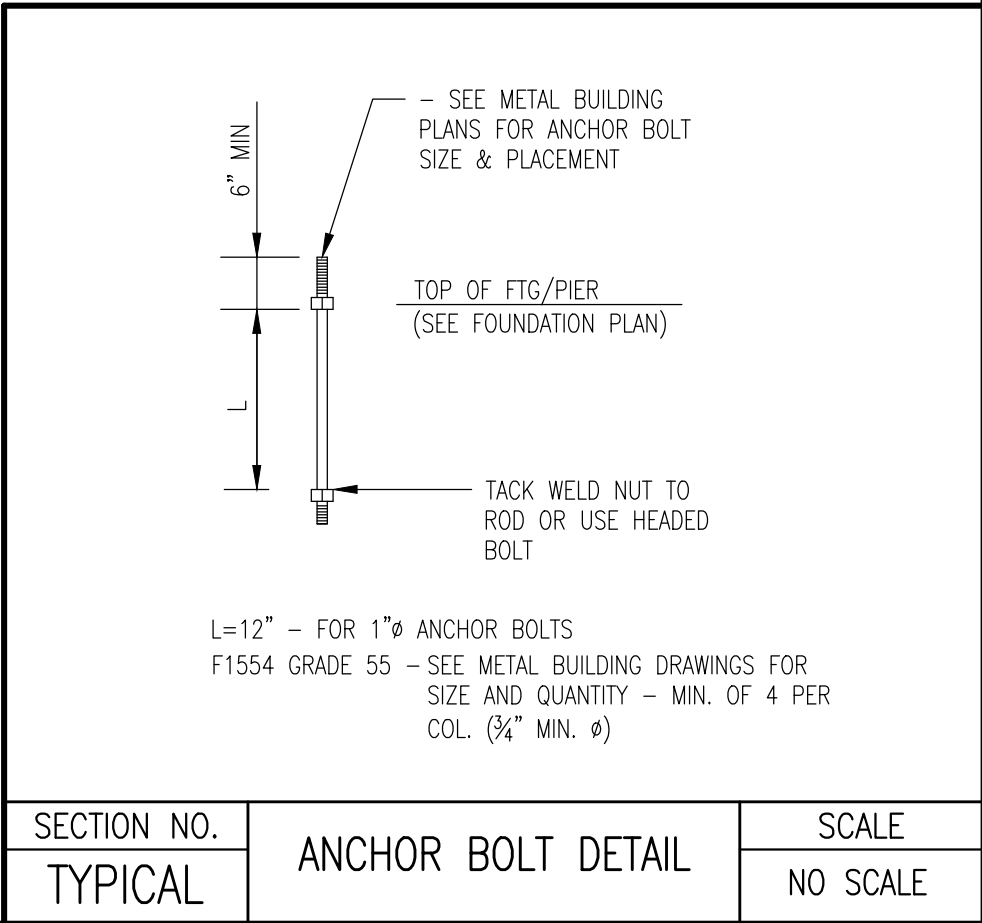
VEHICLE AND TRAILER COVERED SHELTER FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

FOUNDATION SCHEDULE		
MARK	SIZE	REINFORCEMENT
F1	9'-0"x9'-0"x2'-6"	14-#6 BARS E.W. BOT. & 7-#4 BARS E.W. TOP
F2	10'-0"x10'-0"x3'-0"	18-#6 BARS E.W. BOT. & 8-#4 BARS E.W. TOP
F3	10'-6"x10'-6"x3'-0"	18-#6 BARS E.W. BOT. & 8-#4 BARS E.W. TOP

f'c = 3500psi

GENERAL NOTES - VEHICLE AND TRAILER COVERED SHELTER FOUNDATION PLAN:

- SEE PLAN FOR T.O.F. ELEVATIONS. MAINTAIN A 12" MINIMUM OF COVER OVER ALL T.O.F.'s TYPICAL. GC SHALL COORDINATE ALL T.O.F./T.O.P. ELEVATIONS W/ SITE PLAN.
- GC SHOULD AVOID LEAVING OPEN TRENCH EXCAVATIONS FOR THE FOOTINGS FOR LONG PERIODS WHEN INCLEMENT WEATHER IS ANTICIPATED. IN GENERAL ALL EXCAVATIONS MADE SHOULD BE POURED ON THE DAY OF THE EXCAVATION IF INCLEMENT WEATHER IS EXPECTED.
- CONTRACTOR SHALL COORDINATE FOR LOCAL INSPECTING AUTHORITY TO REVIEW AND APPROVE ALL FOOTING TRENCHES PRIOR TO THE PLACEMENT OF ANY FOOTING CONCRETE. IF FOOTINGS FAIL INSPECTION CONTRACTOR SHALL CONTACT THE ENGINEER FOR RECOMMENDATIONS.
- FOUNDATION DESIGN BASED ON A SOIL BEARING PRESSURE OF 2500 PSF. SEE S&ME PROJECT NO. 22050344 FOR GEOTECHNICAL INFORMATION. ANY AREAS DETERMINED NOT TO PROVIDE THIS STATED SOIL BEARING PRESSURE SHALL BE BROUGHT TO THE ENGINEERS ATTENTION.
- FOUNDATION DESIGN BASED ON VARCO PRUDEN PRE-ENGINEERED METAL BUILDING DRAWINGS DATED 5-20-2024. IF REVISIONS ARE MADE TO THE REFERENCED PRE-ENGINEERED METAL BUILDING DRAWINGS, CONTACT ENGINEER FOR FOUNDATION DESIGN REVIEW.



SECTION NO.	ANCHOR BOLT DETAIL	SCALE
TYPICAL		NO SCALE

STRUCTURAL ABBREVIATIONS

- ⊙ = AT  
A.B. = ANCHOR BOLTS  
ABC = AGGREGATE BASE COARSE  
A.E.F.F.E. = ABOVE EXISTING FINISHED FLOOR ELEVATION  
A.F.F.E. = ABOVE FINISHED FLOOR ELEVATION  
A.R.F.F.E. = ABOVE REFERENCED FINISHED FLOOR ELEVATION  
ALT. = ALTERNATE  
ARCH. = ARCHITECTURAL  
B.F.F.E. = BELOW FINISHED FLOOR ELEVATION  
B.M.B.M. = BY METAL BUILDING MANUFACTURE  
B.R.F.F.E. = BELOW REFERENCED FINISHED FLOOR ELEVATION  
BLDG. = BUILDING  
BOT. = BOTTOM  
B.O.W. = BOTTOM OF WALL  
BRG. = BEARING  
C.J. = CONSTRUCTION/CONTROL JOINT  
CL. = CENTER LINE  
CLR. = CLEAR  
CMU = CONCRETE MASONRY UNIT  
COL. = COLUMN  
CONC. = CONCRETE  
CONN. = CONNECTION  
CONST. = CONSTRUCTION  
CONT. = CONTINUOUS  
COORD. = COORDINATE  
DET. = DETAIL  
DIA. = DIAMETER  
DIM. = DIMENSION  
DWGS. = DRAWINGS  
DWL. = DOWEL  
E.A. = EACH  
E.F.F.E. = EXISTING FINISHED FLOOR ELEVATION  
E.J. = EXPANSION JOINT  
ELEV. = ELEVATION  
E.W. = EACH WAY  
EXP. = EXPANSION  
EXIST. = EXISTING  
EXT. = EXTENSION  
FLR. = FLOOR  
FD. = FLOOR DRAIN  
FND. = FOUNDATION  
FP = FULL PENETRATION
- FTG. = FOOTING  
HK. = HOOK  
HORIZ. = HORIZONTAL  
HSS = HOLLOW STRUCTURAL SECTION (TUBE OR PIPE)  
INT. = INTERIOR  
JT. = JOINT  
K. = KIP (1000 lbs)  
LHH = LONG LEG HORIZONTAL  
LLV = LONG LEG VERTICAL  
MANUF. = MANUFACTURER  
MAS. = MASONRY  
MAX. = MAXIMUM  
MECH. = MECHANICAL  
MIN. = MINIMUM  
NOM. = NOMINAL  
O.C. = ON CENTER SPACING  
OPNG. = OPENING  
PC. = PRECAST  
PL. = PLATE  
REIN. = REINFORCEMENT  
REQD. = REQUIRED  
R.F.F.E. = REFERENCED FINISHED FLOOR ELEVATION  
SC. = SLIP CRITICAL  
SCHD. = SCHEDULE  
SECT. = SECTION  
T&B = TOP AND BOTTOM  
T.O.F. = TOP OF FOOTING  
T.O.P. = TOP OF PIER  
T.O.S. = TOP OF STEEL  
T.O.W. = TOP OF WALL  
TYP. = TYPICAL  
UNO. = UNLESS NOTED OTHERWISE  
VERT. = VERTICAL  
W. = WIDE FLANGE MEMBER  
W/ = WITH  
WWF = WELDED WIRE FABRIC  
\* = COORD. WITH SITE PLAN

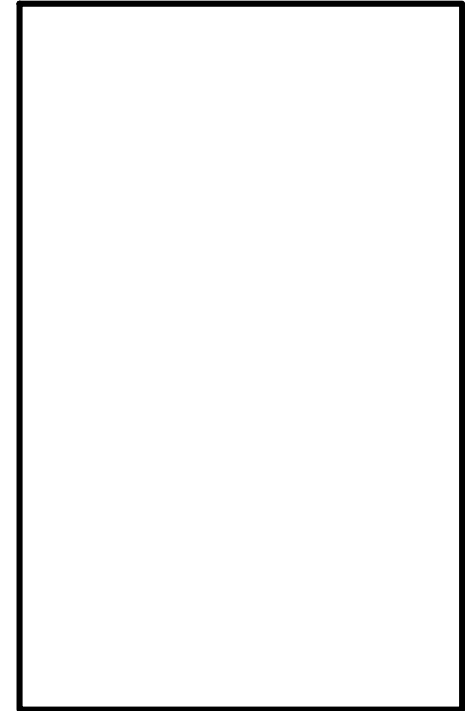
NOTICE TO CONTRACTOR  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

Reviewed for Code Compliance

03/27/2025



SEAL:



REVISIONS

PROGRESS REVIEW #1:	9-17-24
PROGRESS REVIEW #2:	
PROGRESS REVIEW #3:	
ISSUE FOR CONST.:	9-18-24
REVISION #1:	
REVISION #2:	
REVISION #3:	
REVISION #4:	

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PROJECT NAME:  
**DUKE ENERGY  
NEW VEHICLE AND TRAILER  
COVERED SHELTER**  
1269 JONESBORO RD  
DUNN, NORTH CAROLINA

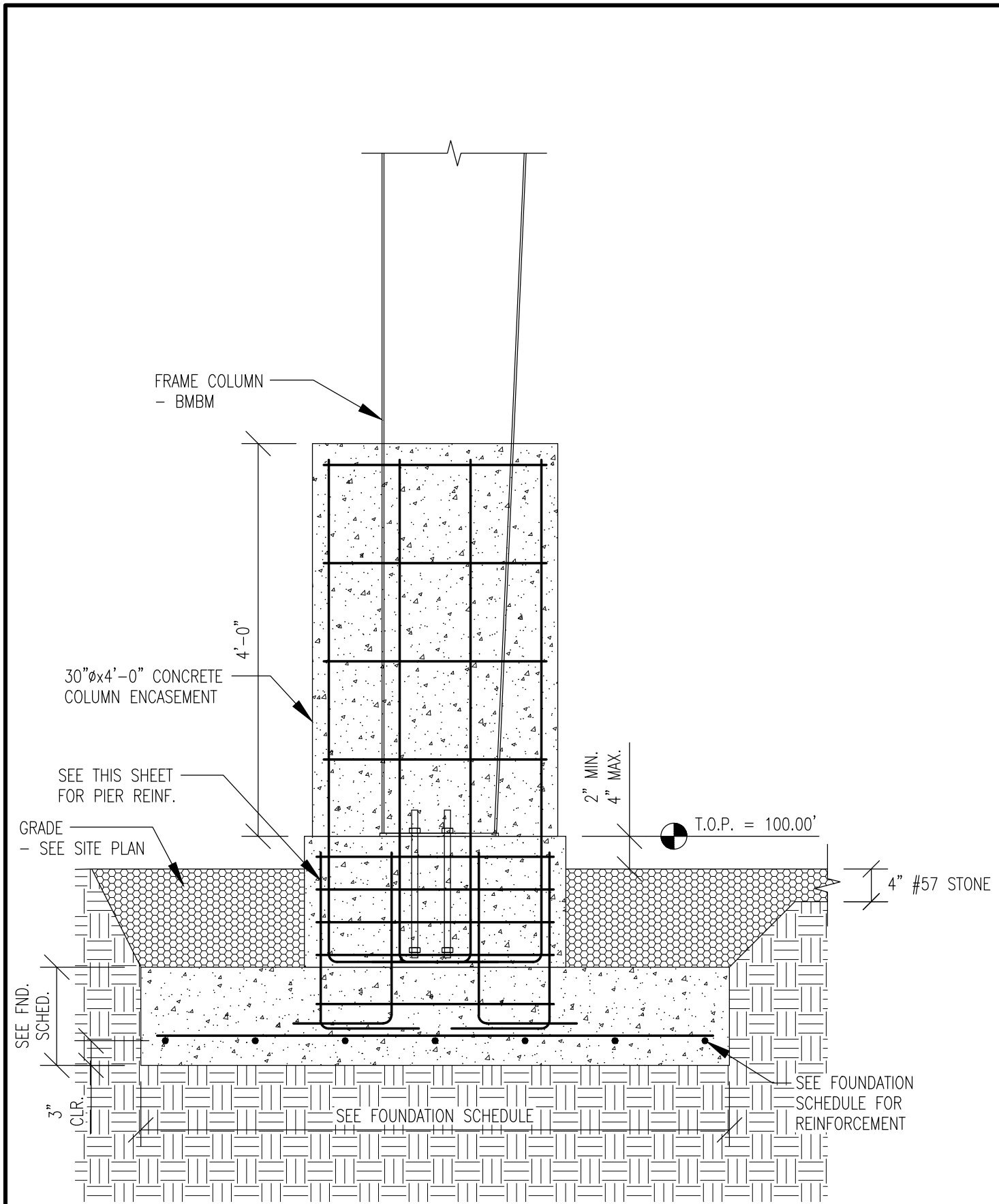
SCALE: 1/8" = 1'-0"

FOUNDATION PLAN

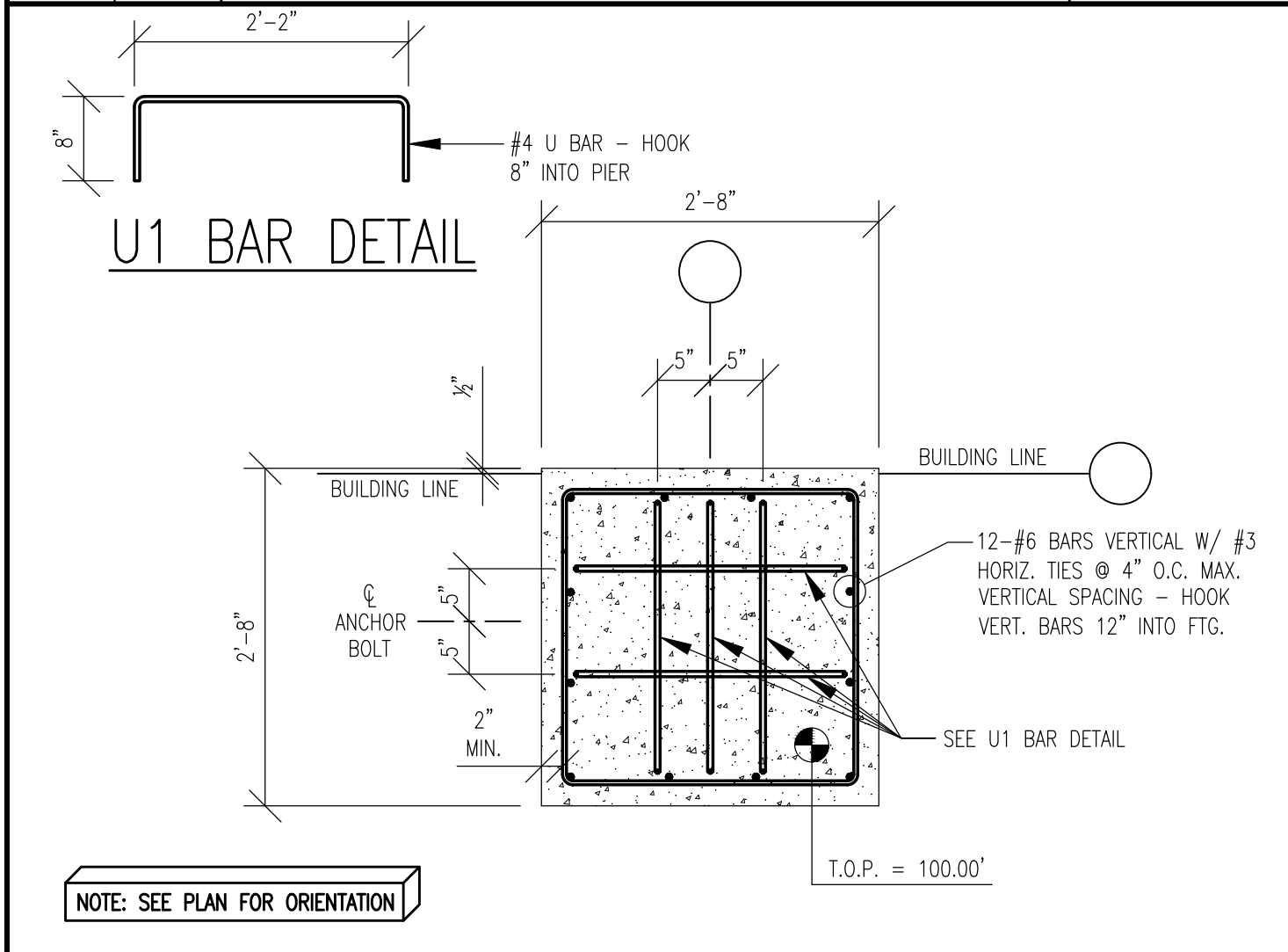
MEPC PROJECT NO.:	115-24
DATE:	9-18-24
DESIGN BY:	JMM/PCC
DRAWN BY:	JBL
CHECKED BY:	JMM

S-101

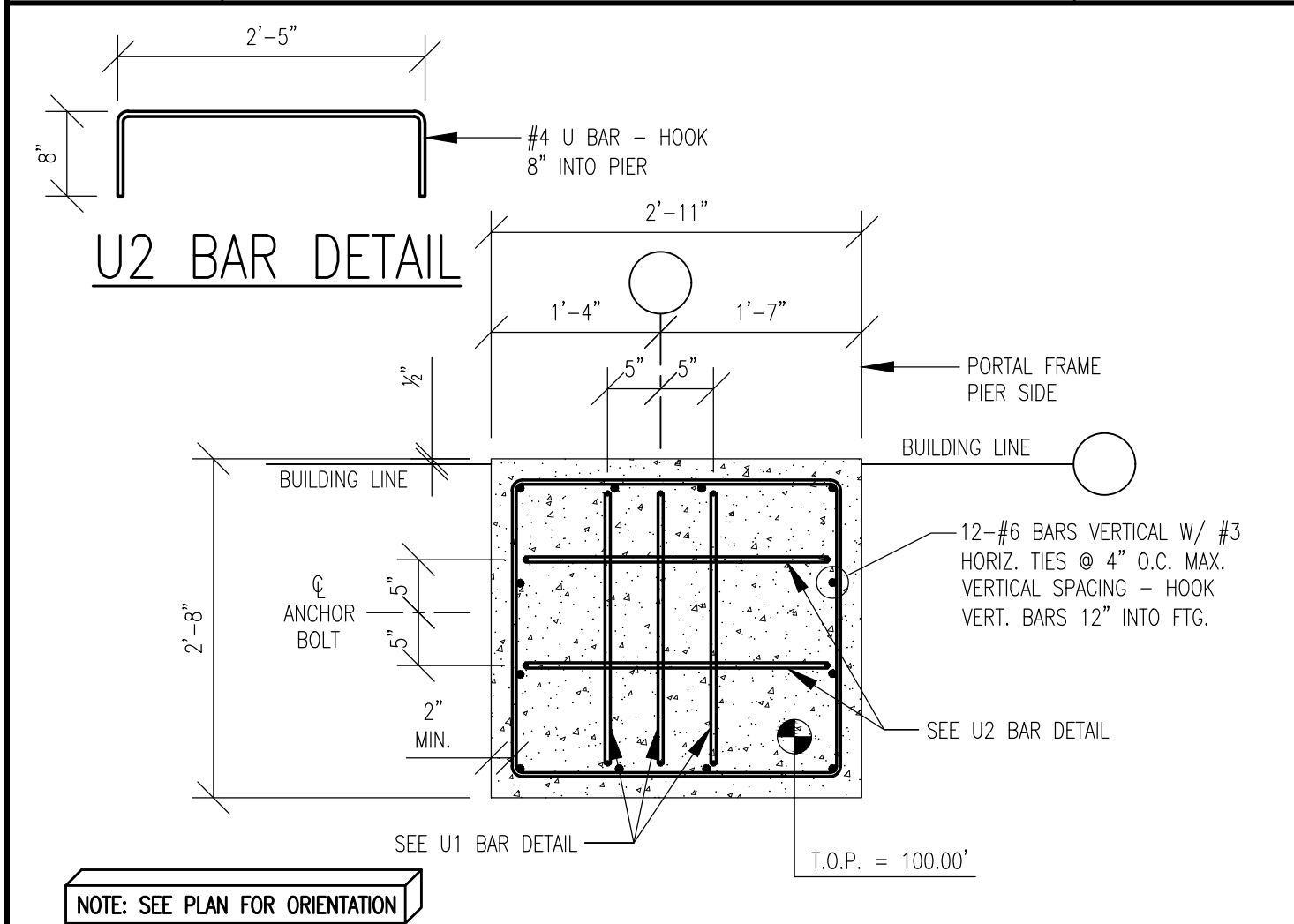




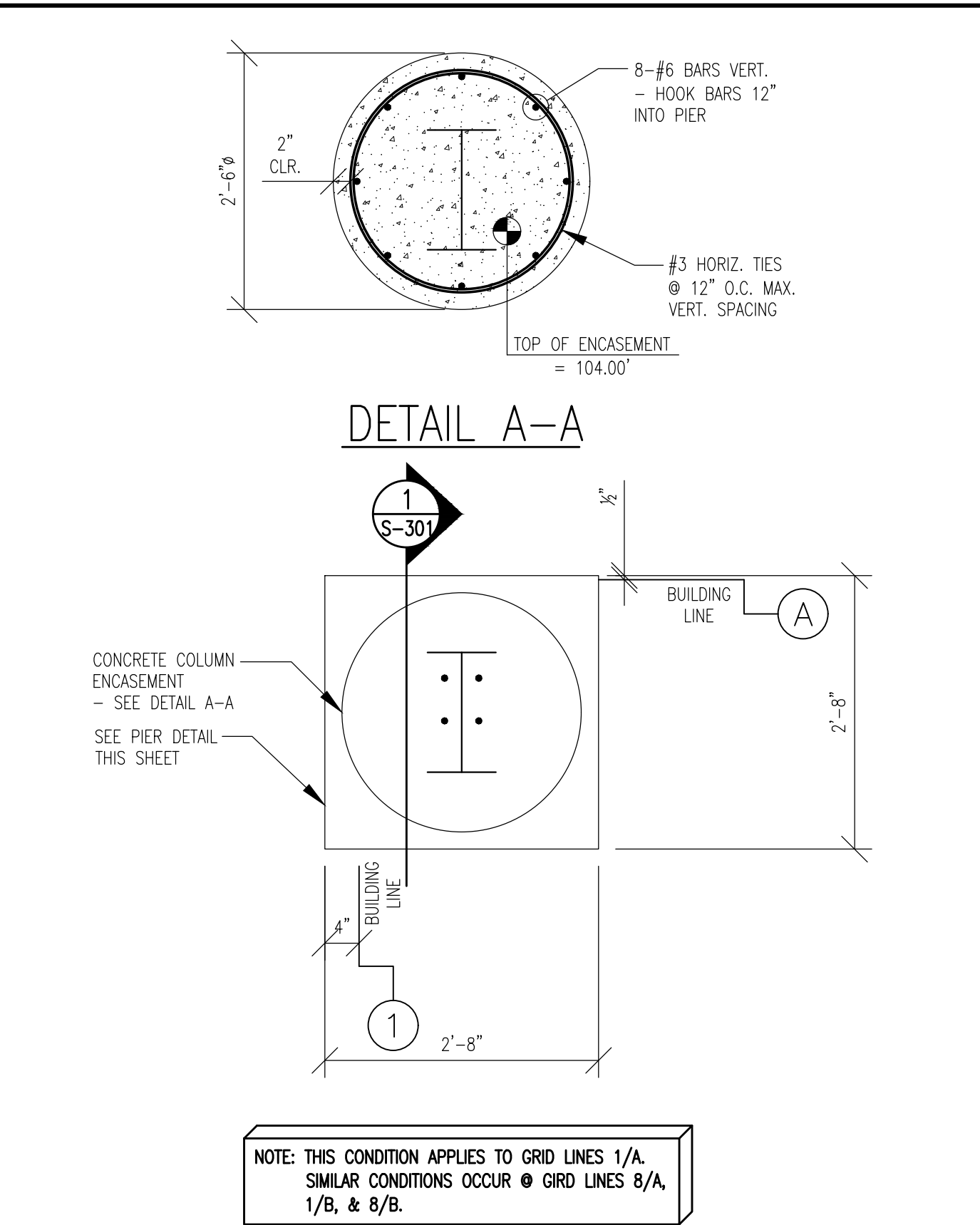
SECTION NO.	SECTION	SCALE
1	S-301	3/4" = 1'-0"



SECTION NO.	P1 - PIER DETAIL	SCALE
TYPICAL		NO SCALE

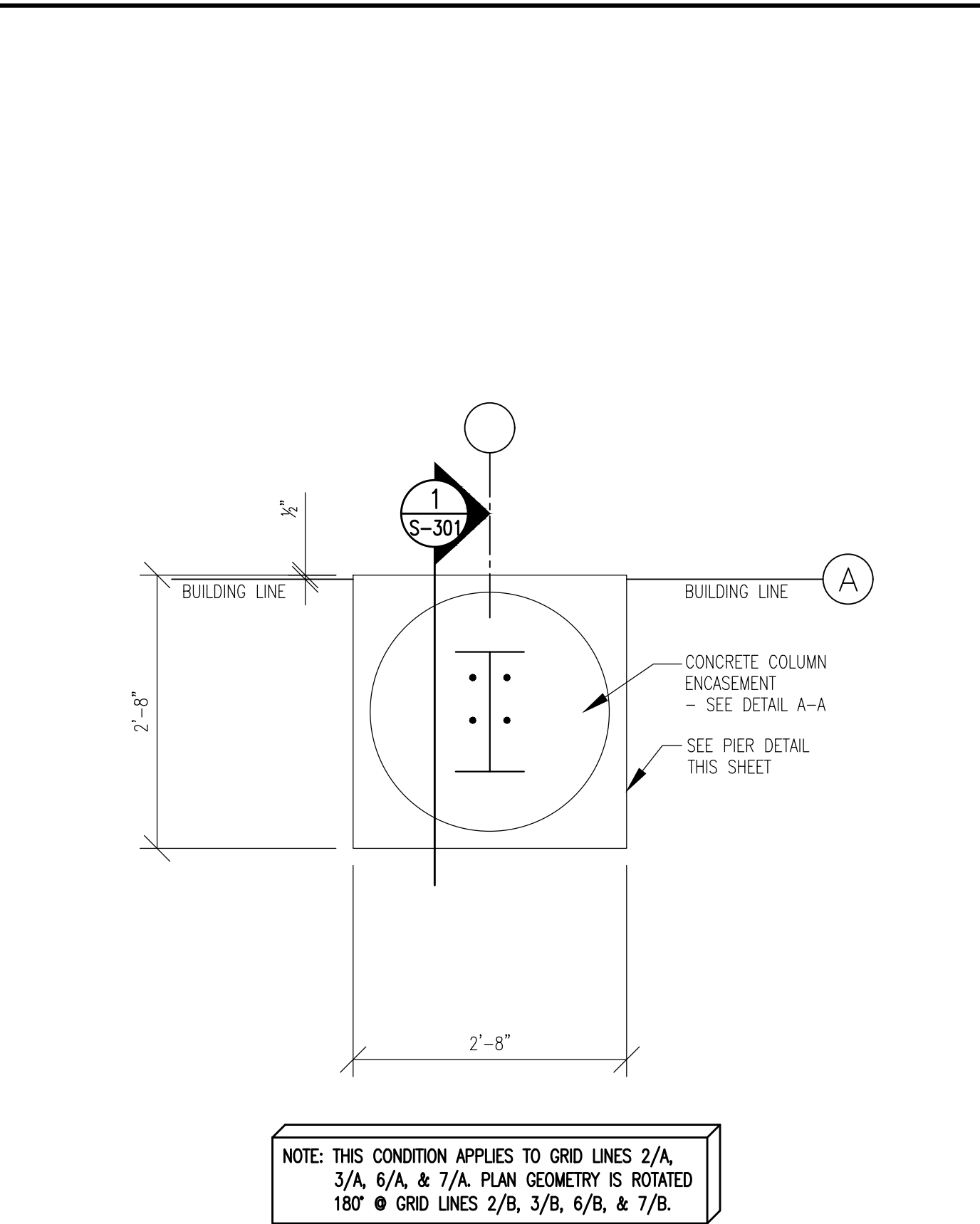


SECTION NO.	P2 - PIER DETAIL	SCALE
TYPICAL		NO SCALE



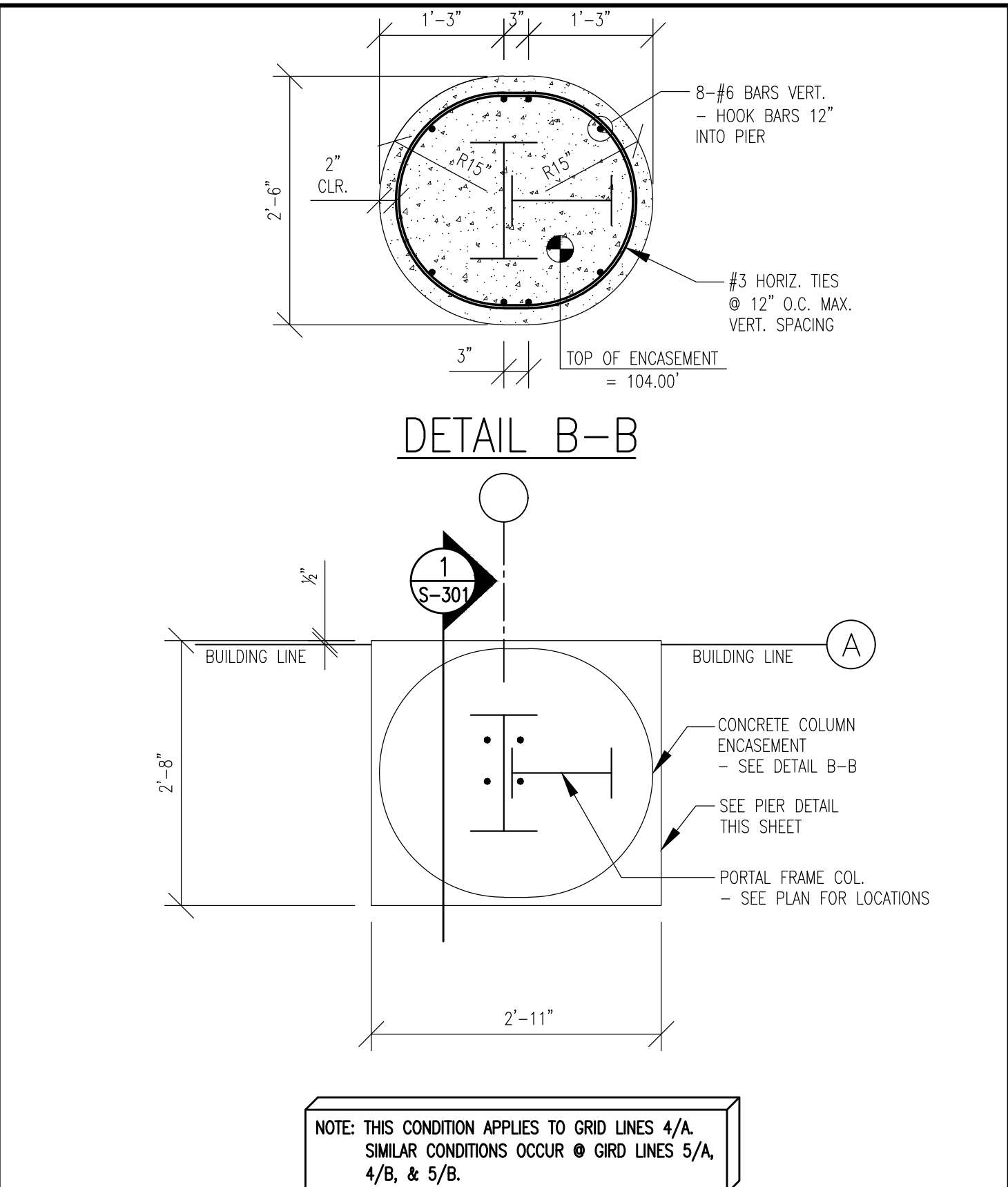
SECTION NO.	ENLARGED PLAN	SCALE
2	S-301	3/4" = 1'-0"

SPECIFICATIONS	
DIVISION 1 - GENERAL REQUIREMENTS	
I. GENERAL	
A. THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, AND, EXCEPT WHERE SPECIFICALLY SHOWN, DO NOT INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCES.	
B. THE STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. APPLICATIONS OF CONSTRUCTION LOADS TO THE PARTIALLY COMPLETED STRUCTURE SHALL BE CONSIDERED BY THE CONTRACTOR AND SO INCLUDED IN THE DESIGN OF SHORING, BRACING, FORMWORK, AND ANY OTHER SUPPORTING ELEMENTS PROVIDED FOR CONSTRUCTION OF THE STRUCTURE. DURING ERECTION AND UNTIL ALL PERMANENT ARE MADE, THE CONTRACTOR MUST PROVIDE TEMPORARY BRACING FOR THE STRUCTURE IN ALL DIRECTIONS.	
C. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND GRADE CONDITIONS (BOTH NEW AND EXISTING), REPORTING ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH ANY PHASE OF THE WORK.	
D. DO NOT SCALE DIMENSIONS FROM DRAWINGS. THE CONTRACTOR SHALL REQUEST, FROM THE ENGINEER, NECESSARY DIMENSIONS SHOWN ON THE DRAWINGS.	
E. WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, STRUCTURAL GENERAL NOTES, AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.	
II. CODES, SPECIFICATIONS AND STANDARDS	
A. APPLICABLE BUILDING CODE: THE CONTRACT DOCUMENTS ARE BASED ON THE REQUIREMENTS OF THE:	
1. 2018 NORTH CAROLINA BUILDING CODE	
2. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14)	
3. 2010 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (ANSI/AISC 360-10)	
III. DESIGN LOADS (NBC 2018):	
A. FLOOR LIVE LOAD: SECTION 1607.10	
1. SLAB ON GRADE = 10/A PSF	
B. ROOF LIVE LOAD: SECTION 1607.12	
1. ROOF = 20 PSF	
C. ROOF SNOW LOAD DATA: SECTION 1608	
1. FLAT ROOF SNOW LOAD, P <sub>f</sub> = 7.56 PSF	
2. SNOW EXPOSURE FACTOR, C <sub>e</sub> = 0.9	
3. SNOW IMPORTANCE FACTOR, I <sub>s</sub> = 1.0	
4. ROOF THERMAL FACTOR, C <sub>t</sub> = 1.2	
D. WIND DESIGN DATA: SECTION 1609	
1. ULTIMATE DESIGN WIND SPEED, V <sub>ult</sub> = 119 MPH	
2. RISK CATEGORY = II	
3. WIND EXPOSURE CATEGORY = C	
4. COMPONENTS & CLADDING DESIGN PRESSURES (ULTIMATE):	
a. ROOF INTERIOR ZONES = 31 PSF	
b. ROOF EDGE ZONES = 32 PSF	
c. ROOF CORNER ZONES = 50 PSF	
d. WALL INTERIOR ZONES = 28 PSF	
e. WALL EDGE ZONES = 35 PSF	
E. EARTHQUAKE DESIGN DATA: SECTION 1613	
1. RISK CATEGORY = I	
2. SEISMIC IMPORTANCE FACTOR, I <sub>s</sub> = 1.0	
3. MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS:	
a. SHORT PERIOD, S <sub>s</sub> = 0.179	
b. 1 SECOND PERIOD, S <sub>1</sub> = 0.084	
4. SITE CLASS = D	
5. DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS:	
a. SHORT PERIOD, S <sub>ss</sub> = 0.1909	
b. 1 SECOND PERIOD, S <sub>1s</sub> = 0.135	
6. SEISMIC DESIGN CATEGORY = C	
7. BASIC SEISMIC FORCE-RESISTING SYSTEM: STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE	
8. DESIGN BASE SHEAR	
a. V <sub>b</sub> = 4 <sup>k</sup>	
b. V <sub>b</sub> = 4 <sup>k</sup>	
9. SEISMIC RESPONSE COEFFICIENT, CS = 0.064	
10. RESPONSE MODIFICATION COEFFICIENT, R = 3.0	
11. ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE (1613)	



SECTION NO.	ENLARGED PLAN	SCALE
3	S-301	3/4" = 1'-0"

IV. SUBMITTALS
A. SHOP DRAWINGS AND SUBMITTALS SHALL BE SUBMITTED TO THE ENGINEER BEFORE BEGINNING CONSTRUCTION.
B. CLEARLY SPECIFY AND DEVIATIONS FROM THE CONTRACT DOCUMENTS ON ALL SUBMITTALS.
C. THE CONTRACTOR SHALL REVIEW EACH SUBMITTAL BEFORE SUBMITTING TO THE ENGINEER.
D. THE FOLLOWING SUBMITTALS ARE RECOMMENDED FOR THIS PROJECT:
1. CAST-IN-PLACE CONCRETE
a. COMPLY WITH SUBMITTAL REQUIREMENTS IN ACI 301/318
b. PRODUCT DATA
c. DESIGN MIXTURES (HISTORICAL DATA OR TRIAL BATCH)
d. REBAR SHOP DRAWING
e. SHOP DRAWINGS FOR THE DESIGN, ERECTION, AND REMOVAL OF FORMWORK, SHORES, AND RESHORES APPROVED BY A QUALIFIED PROFESSIONAL ENGINEER WHO APPROVED THE SHOP DRAWINGS.
DIVISION 2 - FOUNDATIONS
I. GEOTECHNICAL REPORT - FOUNDATION DESIGN IS BASED ON A PRESUMPTIVE SOIL BEARING PRESSURE OF 2000 PSF (TO BE VERIFIED BY THE GENERAL CONTRACTOR AT THE TIME OF CONSTRUCTION).
II. SOIL EXCAVATION AND REPLACEMENT
A. REMOVE ALL LOOSE FILL MATERIAL WITH DEBRIS EXTENDING 5 FOOT BEYOND BUILDING FOOTPRINT TO THE MORE CONSOLIDATED MATERIAL AS APPROVED BY THE GEOTECHNICAL ENGINEER. REPLACE WITH SELECT FILL MATERIAL IN 8" TO 10" LOOSE LIFTS AS DIRECTED BY GEOTECHNICAL ENGINEER. COMPACT SELECT FILL MATERIAL TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698.
B. REVIEW SOIL REPORT BORING HOLES FOR INITIAL ESTIMATES OF EXCAVATION DEPTHS. THE GEOTECHNICAL ENGINEER SHALL APPROVE FINAL EXCAVATIONS OF FOOTING AND DRILLED PIER BEARING STRATA.
III. SPREAD FOOTINGS
A. FOOTING EXCAVATION - FOOTINGS SHALL BE NEAT EXCAVATED WHERE POSSIBLE WITH SIDES AND TOP EDGES FREE OF LOOSE OR WET MATERIALS. WHERE NEAT EXCAVATION IS NOT POSSIBLE, FOOTINGS EXCAVATION SHALL BE OPEN CUT WITH EDGES FORMED AND BRACED. ALL FOOTINGS WITH FORMED EDGES SHALL BE BACKFILLED WITH LEAN CONCRETE, CEMENT STABILIZED SAND OR SELECT FILL MATERIAL PLACED IN 8" LIFTS AND COMPACTED TO 95% OF MODIFIED STANDARD PROCTOR MAXIMUM DENSITY OF EACH LIFT. THE BOTTOM EXCAVATION SHALL BE CLEAN AND DRY WITH ALL LOOSE MATERIAL REMOVED FOR AN ESSENTIALLY FLAT BEARING SURFACE. EXCAVATIONS SHALL NOT BE LEFT OVERNIGHT UNLESS A 2" UNREINFORCED SEAL (MUD) SLAB IS PLACED AT THE BOTTOM OF THE FOOTING EXCAVATION.
DIVISION 3
I. CAST-IN-PLACE CONCRETE
PART 1 - GENERAL
1.1 SECTION REQUIREMENTS
A. SUBMIT CONCRETE MIX DESIGNS.
B. COMPLY WITH ASTM C 94; ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"; AND CRSI'S "MANUAL OF STANDARD PRACTICE."
PART 2 - PRODUCTS
2.1 MATERIALS
A. DEFORMED REINFORCING BARS: ASTM A 615, GRADE 60.
B. WELDED STEEL WIRE FABRIC: ASTM A 185, FLAT SHEETS, NOT ROLLS.
C. PORTLAND CEMENT: ASTM C 150, TYPE 1.
D. FLY ASH: ASTM C 618, TYPE F.
E. AGGREGATES: ASTM C 33, CLASS 4S.
F. FIBER REINFORCEMENT: NOT ALLOWED.
G. AIR-ENTRAINING ADMIXTURE: ASTM C 260.
H. CHEMICAL ADMIXTURES: ASTM C 494, WATER REDUCING.
I. WATER STOPS: FLAT DUMBBELL OR CENTER-BULB TYPE, OF EITHER RUBBER (CRD C 513) OR PVC (CRD C 572).
2.2 MIXES
A. PROPORTION NORMAL-WEIGHT CONCRETE MIXES TO PROVIDE THE FOLLOWING PROPERTIES:



SECTION NO.	ENLARGED PLAN	SCALE
4	S-301	3/4" = 1'-0"

1. COMPRESSIVE STRENGTH: 3500 PSI (24.13 MPa) AT 28 DAYS.
2. SLUMP LIMIT: 4 INCHES (100 MM) AT POINT OF PLACEMENT.
3. WATER-CEMENT RATIO: 0.50 MAXIMUM AT POINT OF PLACEMENT.
4. AIR CONTENT: 5.5 TO 7.0 PERCENT FOR CONCRETE EXPOSED TO FREEZING AND THAWING, 2 TO 4 PERCENT ELSEWHERE.
PART 3 - EXECUTION
3.1 CONCRETING
A. CONSTRUCT FORMWORK AND MAINTAIN TOLERANCES AND SURFACE IRREGULARITIES WITHIN ACI 117 LIMITS OF CLASS A FOR CONCRETE EXPOSED TO VIEW AND CLASS C FOR OTHER CONCRETE SURFACES.
B. SET WATER STOPS WHERE INDICATED TO ENSURE JOINT WATER TIGHTNESS.
C. PLACE VAPOR RETARDER ON PREPARED SUBGRADE, WITH JOINTS LAPPED 6 INCHES (150 MM) AND SEALED.
D. ACCURATELY POSITION, SUPPORT, AND SECURE REINFORCEMENT.
E. INSTALL CONSTRUCTION, ISOLATION, AND CONTROL JOINTS.
F. PLACE CONCRETE IN A CONTINUOUS OPERATION AND CONSOLIDATE USING MECHANICAL VIBRATING EQUIPMENT.
G. PROTECT CONCRETE FROM PHYSICAL DAMAGE OR REDUCED STRENGTH DUE TO WEATHER EXTREMES DURING MIXING, PLACING, AND CURING.
H. FORMED SURFACE FINISH: SMOOTH-FORMED FINISH FOR CONCRETE EXPOSED TO VIEW, COATED, OR COVERED BY WATERPROOFING OR OTHER DIRECT-APPLIED MATERIAL; ROUGH-FORMED FINISH ELSEWHERE.
I. UNFORMED SLAB FINISHES: SCRATCH FINISH FOR SURFACES TO RECEIVE MORTAR SETTING BEDS FLOAT FINISH SURFACES FOR INTERIOR STEPS AND RAMPS AND SURFACES TO RECEIVE WATERPROOFING, ROOFING, OR OTHER DIRECT-APPLIED MATERIAL. TROWELED FINISH FOR FLOOR SURFACES AND FLOORS TO RECEIVE FLOOR COVERINGS, PAINT, OR OTHER THIN FILM-FINISH COATINGS TROWEL AND FINE BROOM FINISH FOR SURFACES TO RECEIVE THIN-SET TILE NONSLIP BROOM FINISH TO EXTERIOR CONCRETE PLATFORMS, STEPS, AND RAMPS.
J. CURE FORMED SURFACES BY MOIST CURING UNTIL FORMS ARE REMOVED.
K. BEGIN CURING UNFORMED CONCRETE AFTER FINISHING. APPLY MEMBRANE-FORMING CURING COMPOUND TO CONCRETE.
L. PROTECT CONCRETE FROM DAMAGE. REPAIR SURFACE DEFECTS IN CONCRETE.

MOOREFIELD ENGINEERING, PC

**MEPC**

STRUCTURAL ENGINEERS

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SEAL:

REVISIONS

PROGRESS REVIEW #1:	9-17-24
PROGRESS REVIEW #2:	
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**lemartec**

a MasTec company

PROJECT NAME:

DUKE ENERGY  
NEW VEHICLE AND TRAILER  
COVERED SHELTER  
1269 JONESBORO RD  
DUNN, NORTH CAROLINA

SCALE: 3/4" = 1'-0"

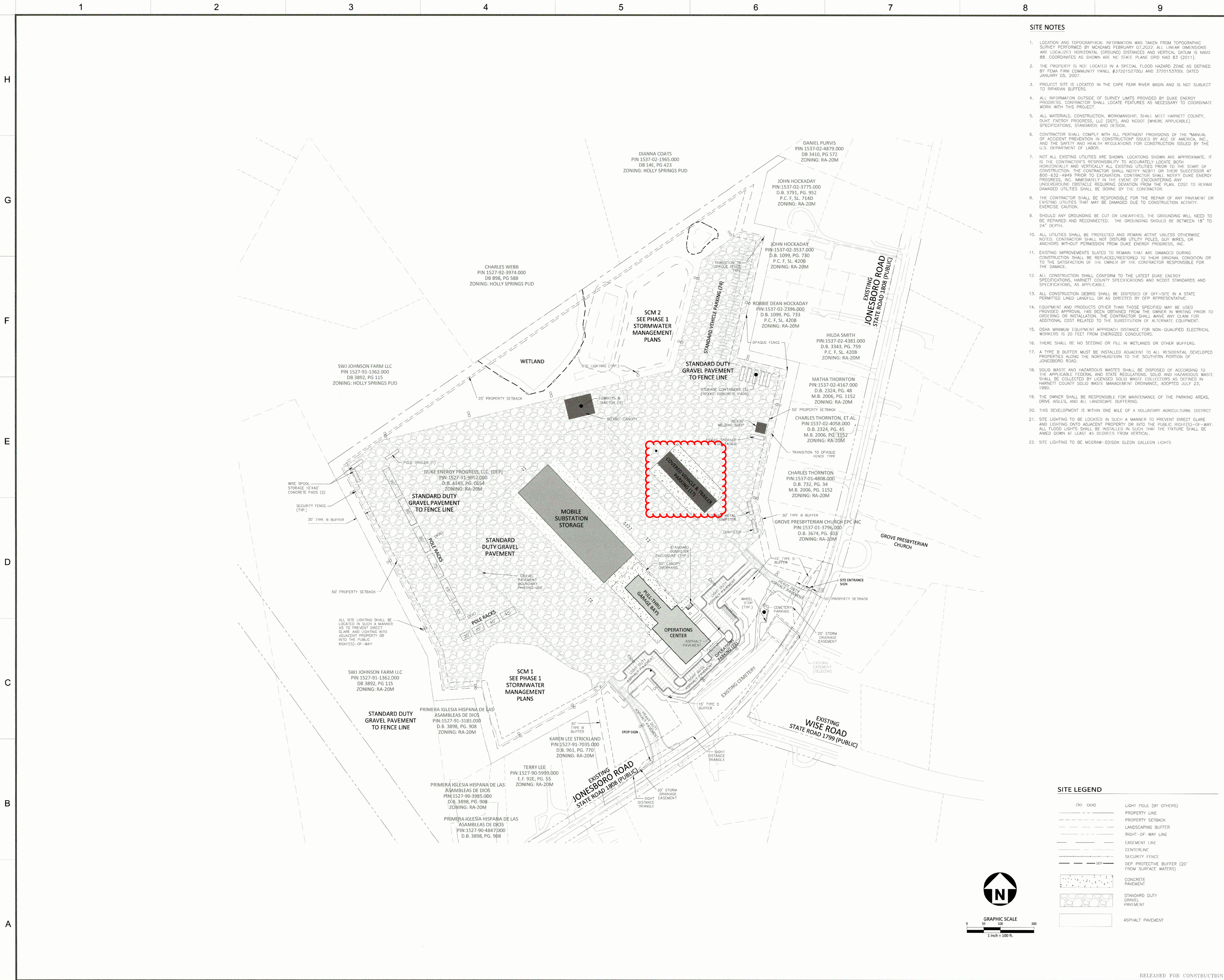
SECTIONS, DETAILS & SPECIFICATIONS

MEPC PROJECT NO.:	115-24
DATE:	9-18-24
DESIGN BY:	JMM/PCC
DRAWN BY:	JBL
CHECKED BY:	JMM

S-301



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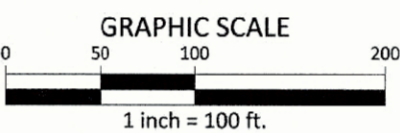


SITE NOTES

1. LOCATION AND TOPOGRAPHICAL INFORMATION WAS TAKEN FROM TOPOGRAPHIC SURVEY PERFORMED BY MCADAMS FEBRUARY 07,2022. ALL LINEAR DIMENSIONS ARE LOCALIZED HORIZONTAL (GROUND) DISTANCES AND VERTICAL DATUM IS NAVD 88. COORDINATES AS SHOWN ARE NC STATE PLANE GRID NAD 83 (2011).
2. THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AS DEFINED BY FEMA FIRM COMMUNITY PANEL #3720152700J AND 3720153700I, DATED JANUARY 05, 2007.
3. PROJECT SITE IS LOCATED IN THE CAPE FEAR RIVER BASIN AND IS NOT SUBJECT TO RIPARIAN BUFFERS.
4. ALL INFORMATION OUTSIDE OF SURVEY LIMITS PROVIDED BY DUKE ENERGY PROGRESS, CONTRACTOR SHALL LOCATE FEATURES AS NECESSARY TO COORDINATE WORK WITH THIS PROJECT.
5. ALL MATERIALS, CONSTRUCTION, WORKMANSHIP, SHALL MEET HARNETT COUNTY, DUKE ENERGY PROGRESS, LLC (DEP), AND NCDOT (WHERE APPLICABLE) SPECIFICATIONS, STANDARDS AND DESIGN.
6. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC., AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
7. NOT ALL EXISTING UTILITIES ARE SHOWN. LOCATIONS SHOWN ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCURATELY LOCATE BOTH HORIZONTALLY AND VERTICALLY ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY NC811 OR THEIR SUCCESSOR AT 800-632-4849 PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY DUKE ENERGY PROGRESS, INC. IMMEDIATELY IN THE EVENT OF ENCOUNTERING ANY UNDERGROUND OBSTACLE REQUIRING DEVIATION FROM THE PLAN. COST TO REPAIR DAMAGED UTILITIES SHALL BE BORNE BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY PAVEMENT OR EXISTING UTILITIES THAT MAY BE DAMAGED DUE TO CONSTRUCTION ACTIVITY. EXERCISE CAUTION.
9. SHOULD ANY GROUNDING BE CUT OR UNEARTHED, THE GROUNDING WILL NEED TO BE REPAIRED AND RECONNECTED. THE GROUNDING SHOULD BE BETWEEN 18" TO 24" DEPTH.
10. ALL UTILITIES SHALL BE PROTECTED AND REMAIN ACTIVE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL NOT DISTURB UTILITY POLES, GUY WIRES, OR ANCHORS WITHOUT PERMISSION FROM DUKE ENERGY PROGRESS, INC.
11. EXISTING IMPROVEMENTS SLATED TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
12. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST DUKE ENERGY SPECIFICATIONS, HARNETT COUNTY SPECIFICATIONS AND NCDOT STANDARDS AND SPECIFICATIONS, AS APPLICABLE.
13. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF OFF-SITE IN A STATE PERMITTED LANDFILL OR AS DIRECTED BY DEP REPRESENTATIVE.
14. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
15. OSHA MINIMUM EQUIPMENT APPROACH DISTANCE FOR NON-QUALIFIED ELECTRICAL WORKERS IS 20 FEET FROM ENERGIZED CONDUCTORS.
16. THERE SHALL BE NO SEEDING OR FILL IN WETLANDS OR OTHER BUFFERS.
17. A TYPE B BUFFER MUST BE INSTALLED ADJACENT TO ALL RESIDENTIAL DEVELOPED PROPERTIES ALONG THE NORTHEASTERN TO THE SOUTHERN PORTION OF JONESBORO ROAD.
18. SOLID WASTE AND HAZARDOUS WASTES SHALL BE DISPOSED OF ACCORDING TO THE APPLICABLE FEDERAL AND STATE REGULATIONS. SOLID AND HAZARDOUS WASTE SHALL BE COLLECTED BY LICENSED SOLID WASTE COLLECTORS AS DEFINED IN HARNETT COUNTY SOLID WASTE MANAGEMENT ORDINANCE, ADOPTED JULY 23, 1990.
19. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PARKING AREAS, DRIVE AISLES, AND ALL LANDSCAPE BUFFERING.
20. THIS DEVELOPMENT IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
21. SITE LIGHTING TO BE LOCATED IN SUCH A MANNER TO PREVENT DIRECT GLARE AND LIGHTING ONTO ADJACENT PROPERTY OR INTO THE PUBLIC RIGHT(S)-OF-WAY. ALL FLOOD LIGHTS SHALL BE INSTALLED IN SUCH THAT THE TEXTURE SHALL BE AIMED DOWN AT LEAST 45 DEGREES FROM VERTICAL.
22. SITE LIGHTING TO BE MCGRAW-EDISON GLEON GALLEON LIGHTS

SITE LEGEND

- DO DOO LIGHT POLE (BY OTHERS)
- PROPERTY LINE
- - - - - PROPERTY SETBACK
- - - - - LANDSCAPING BUFFER
- - - - - RIGHT-OF-WAY LINE
- - - - - EASEMENT LINE
- - - - - CENTERLINE
- - - - - SECURITY FENCE
- - - - - DEP PROTECTIVE BUFFER (20' FROM SURFACE WATERS)
- CONCRETE PAVEMENT
- STANDARD DUTY GRAVEL PAVEMENT
- ASPHALT PAVEMENT



RELEASED FOR CONSTRUCTION

DRAWING NO.  
CFD-XXXX-XX-XXXX



MAILING ADDRESS:  
MARK B. FRANKLIN  
JLL - DUKE ENERGY ACCOUNT  
410 S. WILMINGTON STREET  
RALEIGH, NORTH CAROLINA 27602

Safety Expectations:



SEAL

DUNN TRANSMISSION OPERATIONS CENTER

1269 JONESBORO RD  
DUNN, NC. 28334, HARNETT COUNTY

DUNN OPERATION CENTER

REVISION	DATE	BY	DESCRIPTION
0	08/01/24	DNL	ISSUED FOR CONSTRUCTION

PROJECT NO:  
DRAWING NUMBER  
CFD-XXXX-X-XXXX

ELECTRONIC FILE CS0110.DWG

DRAWN BY: SMP 08/01/2023

CHKD BY: KAS

E-MAIL: COVIL@MCADAMSCO.COM

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SHEET TITLE:

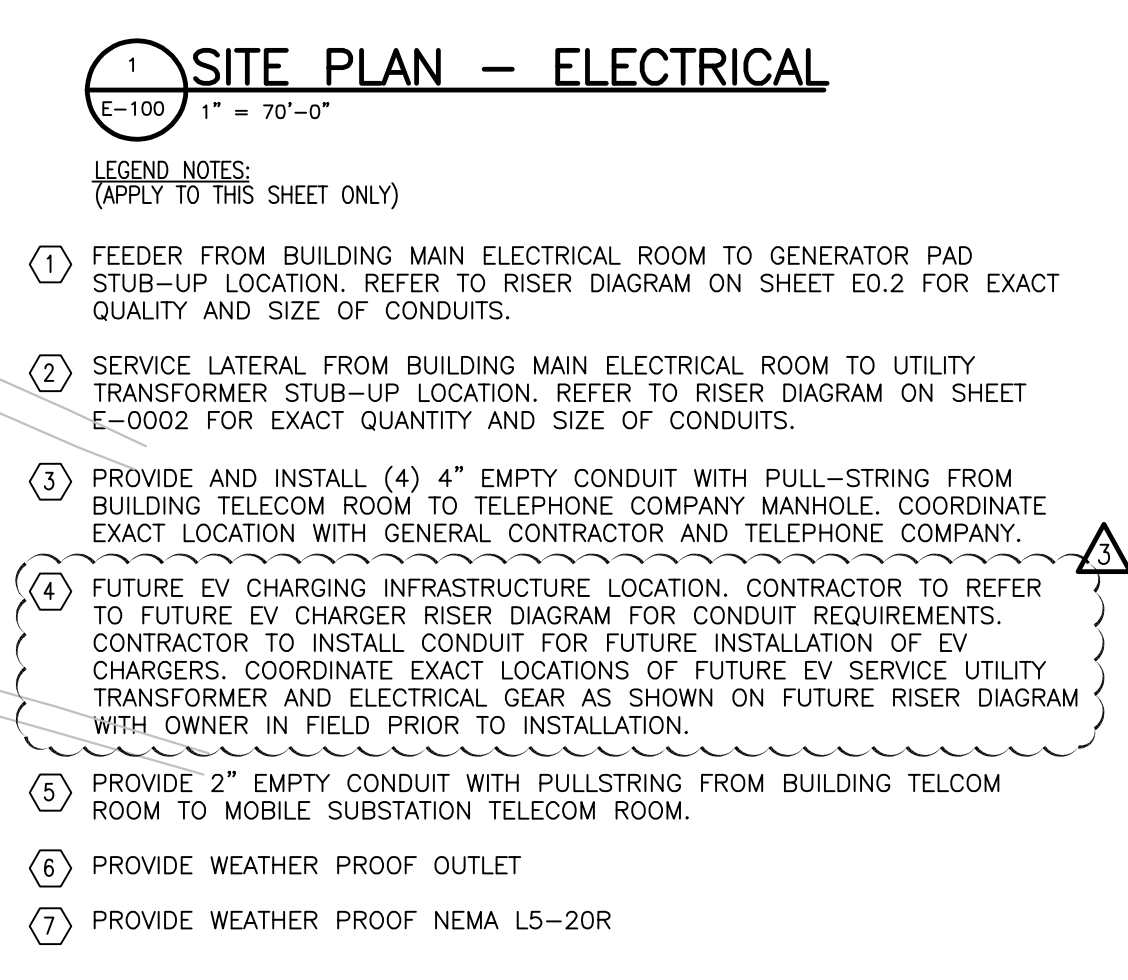
OVERALL SITE PLAN

SHEET NO.

C2.00

E1 SIZE DWG: PLOT SIZE (30x42)





E-100

## Brad Sutton

---

**From:** Brad Sutton  
**Sent:** Thursday, March 27, 2025 1:27 PM  
**To:** Steve Raper; Donna Johnson  
**Cc:** Clint Martz; George Powell; Roger Sullivan; Leslie R. Jackson; Steven Gazlay; Kwizera Josephat  
**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Steve,

After going back and researching this further in the code, I would tend to agree that this can be classified as S-2, which would only require sprinklers if enclosed. I will save the designers comments in the permit information for further reference, and approve the plan review. I have also filed the submittal for the weld shop, and approved it earlier today.

Thank you,

Brad

---

**From:** Steve Raper <Steve.Raper@swinerton.com>  
**Sent:** Wednesday, March 26, 2025 2:50 PM  
**To:** Brad Sutton <bsutton@harnett.org>; Donna Johnson <djohnson@harnett.org>  
**Cc:** Clint Martz <CMartz@swinerton.com>; George Powell <gpowell@daeverettgroup.com>; Roger Sullivan <rsullivan@harnett.org>; Leslie R. Jackson <lrjackson@harnett.org>; Steven Gazlay <sgazlay@harnett.org>; Kwizera Josephat <KWIZERA.JOSEPHAT@swinerton.com>  
**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Brad,

We have been communicating with the architect regarding the Covered Area (BCOM2502-0012). It appears the structure may have mis-classified when it was submitted. Below are the architects comments:

Typically, we've classified these types of structures as Low-Hazard Storage Group S-2 which includes "Parking Garages, Open or enclosed" and includes "Metal Parts, metals, Oil-Filled and other types of distribution transformers, glass, electrical motors and coils, etc." all of which are items that Duke would likely put beneath that canopy. Section 903.2.10 refers to Group S-2 Enclosed Parking Garages and 903.2.10.1 refers to Commercial Parking Garages, since we are not an Enclosed Parking Garage, we should be exempt from this section and the 5000sf determining factor. Which is in alignment with the first part of Pak's email below.

This canopy should not be considered a Moderate-Hazard Storage Group S-1 because our occupancy types (listed above) are already classified by the code as S-2 materials. The only reference to vehicles in the S-1 category relates to Motor Vehicle Repair Garages, which this canopy is not. Nor will Duke be storing any of the other materials listed under the S-1 category. I don't see anything in Chapter 3 of the occupancy code that would change the classification of our structure from S-2 to S-1 based on the duration that a vehicle *may* be parked beneath the canopy. Any vehicles needing actual storage will go into the protected MSS building on the property (which is fully sprinklered) – this canopy will be used daily to park vehicles while loading and unloading equipment and trailers. It's not an Enclosed Garage, nor is it a Maintenance Repair Garage – it should not be required to be sprinklered.

Kindly advise if this exception is acceptable.

**Steve Raper**

Project Manager

**SWINERTON**

3915 Beryl Road, Suite 130

Raleigh, NC 27607

M 919.523.4604

E [steve.raper@swinerton.com](mailto:steve.raper@swinerton.com)

---

**From:** Steve Raper

**Sent:** Wednesday, March 26, 2025 2:23 PM

**To:** Brad Sutton <[bsutton@harnett.org](mailto:bsutton@harnett.org)>; Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>

**Cc:** Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>; Roger Sullivan <[rsullivan@harnett.org](mailto:rsullivan@harnett.org)>; Leslie R. Jackson <[lrjackson@harnett.org](mailto:lrjackson@harnett.org)>; Steven Gazlay <[sgazlay@harnett.org](mailto:sgazlay@harnett.org)>; Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>

**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Hello Brad,

Attached is the exception letter for the 30x30 weld shop as noted below.

**Steve Raper**

Project Manager

**SWINERTON**

3915 Beryl Road, Suite 130

Raleigh, NC 27607

M 919.523.4604

E [steve.raper@swinerton.com](mailto:steve.raper@swinerton.com)

---

**From:** Brad Sutton <[bsutton@harnett.org](mailto:bsutton@harnett.org)>

**Sent:** Thursday, March 20, 2025 3:31 PM

**To:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>; Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>

**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>; Roger Sullivan <[rsullivan@harnett.org](mailto:rsullivan@harnett.org)>; Leslie R. Jackson <[lrjackson@harnett.org](mailto:lrjackson@harnett.org)>; Steven Gazlay <[sgazlay@harnett.org](mailto:sgazlay@harnett.org)>

**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Kwizera,

Thank you for reaching out. Please see my responses below, as well as an email response from the NCOSFM Chief Code Consultant.

**Weld Shop:**

Have the designer provide a formal request for exception, along with acceptance by an owners representative, and per 2902.3.2 (Exc) we will approved the exception for restroom travel distance.

### **Covered Parking :**

Chapter 5 only covers building area and height limitation. Chapter 9 addresses when sprinklers are required, and Chapter 2 defines buildings and structures.

**Building [Ch 2 Def]** - Any *structure* used or intended for supporting or *sheltering* any use or occupancy.

I have already provided the code reference for the sprinkler requirement in my review notes.

As I assumed this would questioned, as a sprinkler requirement always is, I reached out to NCOSFM Chief Building Consultant for clarification. Please see his response below.

Good morning, Brad,

Fire area is defined as the area included within the horizontal projection of the roof above even if there is no surrounding wall.

**FIRE AREA.** The aggregate floor area enclosed and bounded by *fire walls, fire barriers, exterior walls or horizontal assemblies* of a building. Areas of the building not provided with surrounding walls shall be included in the fire area if such areas are included within the horizontal projection of the roof or floor next above.

Commercial motor vehicle is defined as follows:

COMMERCIAL MOTOR VEHICLE. A motor vehicle used to transport passengers or property where the motor vehicle:

1. Has a gross vehicle weight rating of 10,000 pounds (454 kg) or more; or
2. Is designed to transport 16 or more passengers, including the driver.

In summary,

Section 903.2.10.1 shall ONLY apply to enclosed parking garage as it is the subsection of Section 903.2.10. Section 903.2.10.1 is intended to address those facilities housing larger commercial vehicles. Where a fire area containing commercial parking exceeds 5,000 square feet in area, the building housing the vehicles must be sprinklered throughout.

In your case, if the "vehicle storage" area is a shelter and open on four sides, in my view, it shall be considered Group S-1 as the vehicles are not parking but use the shelter as storage. Therefore, the condition under Section 903.2.9 shall be evaluated for sprinkler requirements.



I hope the information above is helpful to you. Please feel free to reach out if you have any more questions or if additional information is needed.

Best regards,

**Pak Keung Yip, P.E.**  
**Chief Code Consultant**



**North Carolina**  
**Office of State Fire Marshal**  
1202 Mail Service Center  
Raleigh, NC 27699-1202  
919.647.0007

**From:** Brad Sutton <[bsutton@harnett.org](mailto:bsutton@harnett.org)>  
**Sent:** Thursday, February 27, 2025 7:40 AM  
**To:** Yip, Pak <[pak.yip@ncdoi.gov](mailto:pak.yip@ncdoi.gov)>  
**Subject:** [External] Open commercial parking shelter

**CAUTION:** External email. Do not click links or open attachments unless verified. Report suspicious emails with the Report Message button located on your Outlook menu bar on the Home tab.

Pak,

I would like to get some clarification on sprinkler requirements. 903.2.9 requires sprinklers for group S-1 for the storage of commercial vehicles when the **fire area** exceeds 5000 sq ft.

This particular structure is just an open shelter. When I read the definition of **fire area** it is unclear whether this would apply, as it mentions enclosed buildings, but goes on to include open areas that are covered.

Any input would be appreciated.

*Brad Sutton*  
Chief Code Official  
Manager of Building Services  
Harnett County Inspections Department

910-893-7525  
Direct 910-814-6420



---

**From:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>  
**Sent:** Thursday, March 20, 2025 2:14 PM  
**To:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>; Brad Sutton <[bsutton@harnett.org](mailto:bsutton@harnett.org)>  
**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>  
**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Good Afternoon, Donna and Brad

Please see the following statements provided by the designer regarding the comments for the two structures still pending permitting:

**Weld Shop:**

The designer is requesting the county to allow an exception for this structure per section 2902.3.2., as the Weld Shop will be classified as a light industrial occupancy with minimal occupancy. It will primarily be accessed by vehicles, as users drive around the site.

**Covered Parking:**

The designer has stated that the Covered Parking structure is a fully open canopy, not a building, classified as Type II-B construction. It is located more than 80 feet from any adjacent building, which meets the criteria outlined in Chapter 5 to not require sprinkling. Additionally, the Duke will primarily store trailers and equipment beneath the canopy. Most of the trucks/vehicles are staged in the fleet parking area to the rear of the site or inside the MSS, which is sprinklered.

Let me know if you need further clarification or if additional information is required.

Lastly, I noticed in your email that the street for the project is listed as Longbranch Rd. However, just for clarification, this project will be constructed at 1325 Jonesboro Rd Dunn, NC. Please confirm that we are aligned on the correct location.

Thanks,

**Kwizera Josephat**

Project Engineer

**SWINERTON**

3915 Beryl Road, Suite 130

Raleigh, NC 27607

M 540.977.8998

E [kwizera.josephat@swinerton.com](mailto:kwizera.josephat@swinerton.com)  
[swinerton.com](http://swinerton.com)

---

**From:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>  
**Sent:** Tuesday, March 18, 2025 3:47 PM  
**To:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>  
**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell



<[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>

**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

As I said in the previous email the canopy is the only one approved. I apologize if I did not make it clear enough. 😊 I have notes down below for the other two projects at Longbranch Rd.

## Weld Shop

Brad Sutton 910-814-6420

COMMERCIAL  
BUILDING REVIEW

Plans are ok , however welding shop cannot exceed 500 ft travel distance to restroom facilities in adjacent building(s). Provide correction.

3/7/2025 11:03:13 AM

## Covered Parking

Brad Sutton 910-814-6420

COMMERCIAL  
BUILDING REVIEW

Per 2018 NCBC section 903.2.9, Group S-1 for the storage of commercial vehicles exceeding 5,000 sq ft shall be sprinklered.

3/6/2025 11:03:26 AM

Sincerely,

**Donna Johnson**

**Project Coordinator / Customer Service Rep.  
Development Services**



(910) 814-6431 | [djohnson@harnett.org](mailto:djohnson@harnett.org)

420 McKinney Parkway (physical) | PO Box 65 (mailing) | Lillington, NC 27546

<https://www.harnett.org/permits/>

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---

**From:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>

**Sent:** Tuesday, March 18, 2025 12:12 PM

**To:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>

**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell



[<gpowell@daeverettgroup.com>](mailto:gpowell@daeverettgroup.com)

**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Good Afternoon, Donna

I am following up with my pervious email, regarding with the plan review for the outbuildings to see if there have been any updates on the approval status for the remaining structures (Covered Parking and Weld Shop).

Please feel free to reach out if there are any additional documents or clarification needed.

Thank you once again for your assistance and help.

Thanks,

**Kwizera Josephat**

Project Engineer

**SWINERTON**

3915 Beryl Road, Suite 130

Raleigh, NC 27607

M 540.977.8998

E [kwizera.josephat@swinerton.com](mailto:kwizera.josephat@swinerton.com)

[swinerton.com](http://swinerton.com)

---

**From:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>

**Sent:** Wednesday, March 12, 2025 12:00 PM

**To:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>

**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>

**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Sounds good, thank you.

Sincerely,

**Donna Johnson**

Project Coordinator / Customer Service Rep.

Development Services



(910) 814-6431 | [djohnson@harnett.org](mailto:djohnson@harnett.org)

420 McKinney Parkway (physical) | PO Box 65 (mailing) | Lillington, NC 27546

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**From:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>  
**Sent:** Wednesday, March 12, 2025 10:33 AM  
**To:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>  
**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>  
**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Donna,

Thank you for the update, I will reach back out in the next couple of days regarding the permits for the remaining two structures that are still under review.

Thanks,

**Kwizera Josephat**

Project Engineer

**SWINERTON**

3915 Beryl Road, Suite 130

Raleigh, NC 27607

M 540.977.8998

E [kwizera.josephat@swinerton.com](mailto:kwizera.josephat@swinerton.com)

[swinerton.com](http://swinerton.com)

---

**From:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>  
**Sent:** Tuesday, March 11, 2025 4:42 PM  
**To:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>  
**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>  
**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

The only one completely approved is the canopy.

Sincerely,

**Donna Johnson**

Project Coordinator / Customer Service Rep.  
Development Services



(910) 814-6431 | [djohnson@harnett.org](mailto:djohnson@harnett.org)

420 McKinney Parkway (physical) | PO Box 65 (mailing) | Lillington, NC 27546

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**From:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>  
**Sent:** Tuesday, March 11, 2025 2:36 PM  
**To:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>  
**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>  
**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Good Afternoon, Donna

I am following up with your pervious email, regarding with the plan review for the outbuildings to see if there have been any updates.

Please feel free to reach out if there are any additional documents or clarification needed.

Thank you once again for your assistance and help.

Thanks,

**Kwizera Josephat**

Project Engineer

**SWINERTON**

3915 Beryl Road, Suite 130

Raleigh, NC 27607

M 540.977.8998

E [kwizera.josephat@swinerton.com](mailto:kwizera.josephat@swinerton.com)

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---

**From:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>  
**Sent:** Wednesday, March 5, 2025 11:30 AM  
**To:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>  
**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>  
**Subject:** RE: Duke Dunn MSS and OPS: Outbuilding Permits Update

Good morning, Kwizera. The plan review for building is not resulted as of yet. Please check back around the 11<sup>th</sup> for review status. Fire marshal has approved theirs, except for the covered parking. That is under review now.

Sincerely,

**Donna Johnson**

Project Coordinator / Customer Service Rep.  
Development Services



(910) 814-6431 | [djohnson@harnett.org](mailto:djohnson@harnett.org)

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---

**From:** Kwizera Josephat <[KWIZERA.JOSEPHAT@swinerton.com](mailto:KWIZERA.JOSEPHAT@swinerton.com)>

**Sent:** Wednesday, March 5, 2025 11:20 AM

**To:** Donna Johnson <[djohnson@harnett.org](mailto:djohnson@harnett.org)>

**Cc:** Steve Raper <[Steve.Raper@swinerton.com](mailto:Steve.Raper@swinerton.com)>; Clint Martz <[CMartz@swinerton.com](mailto:CMartz@swinerton.com)>; George Powell <[gpowell@daeverettgroup.com](mailto:gpowell@daeverettgroup.com)>

**Subject:** Duke Dunn MSS and OPS: Outbuilding Permits Update

Good Morning, Donna

I recently left you a voicemail, as I wanted to see if there have been any updates regarding the outbuilding (60x80 Canopy, Covered Parking, Weld Shops) permits for the Duke Energy project in Dunn and when Swinerton can anticipate on receiving the permits.

Please feel free to reach out if there are any additional documents or clarification needed.

Thanks,

**Kwizera Josephat**

Project Engineer

**SWINERTON**

3915 Beryl Road, Suite 130

Raleigh, NC 27607

M 540.977.8998

E [kwizera.josephat@swinerton.com](mailto:kwizera.josephat@swinerton.com)

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