

CONTACT INFORMATION

DEVELOPER
MATTAMY HOMES, LLC.
NC 27 E
COATS, NC 27521

REFERENCES

SURVEY
ROBINSON & PLANTE, P.C.
970 TRINITY ROAD
RALEIGH, NC 27607
CONTACT NAME
PHONE: 919.859.6030

ENVIRONMENTAL ENGINEER
SAGE ECOLOGICAL SERVICES, INC.
3707 SWIFT DRIVE
RALEIGH, NC 27606
CONTACT: SEAN CLARK, PWS
PHONE: (919) 559-1537

REVIEW AGENCIES / UTILITY CONTACTS

PLANNING APPROVAL
TOWN OF COATS PLANNING ZONING & INSPECTIONS
25 EAST MAIN STREET
COATS, NC 27521
PHONE: 910.897.5183

SEWER
HARNETT REGIONAL WATER
700 MCKINNEY PARKWAY
LELINGTON, NC 27346
CONTACT: KATHERINE MOORE, SENIOR ENGINEER TECH
PHONE: 910.893.7575

ROADS - OFFSITE
NCDOT - DIVISION 6 DISTRICT 2
600 SOUTHERN AVENUE
FAYETTEVILLE, NC 28306
PHONE: 910.364.0601

EROSION CONTROL/STORMWATER
NCDEQ
225 GREEN STREET, SUITE 714
FAYETTEVILLE, NC 28301
PHONE: 910.433.3300

WATER
TOWN OF COATS PUBLIC WORKS
25 EAST MAIN STREET
COATS, NC 27521
PHONE: 910.591.4132

SITE DATA

PARCEL IDENTIFICATION NUMBER: 0757-01-06-9581
ADDRESS: NC 27 E, COATS NC 27521
EXISTING PARCEL ACREAGE (AC.): 49.32
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL - SINGLE FAMILY TOWNHOMES
EXISTING ZONING: RA
REGION TO: SFR-3-TND0
PROPOSED DENSITY: 3 DU/AC.
PROPOSED SINGLE FAMILY UNITS: 148
WATERSHED: STIRRUP IRON CREEK WATERSHED
FEMA FIRM PANEL: 3720075700K, EFFECTIVE 3/31/2015
REQUIRED OPEN SPACE (AC.): 2.52
PROVIDED OPEN SPACE (AC.): 16.80

PARKING REQUIREMENTS (SEC. 5.11.4 OF COATS ZONING ORDINANCE): 2 SPACES / DU * 148 UNITS = 296 SPACES

PROPOSED PARKING: 2 SPACES * 148 UNITS + 12 AMENITY SPACES = 308 SPACES

SUBDIVISION INFORMATION (SECTION 6.9 CZO):

SUBDIVISION LOTS	REQUIRED	PROPOSED
MINIMUM LOT SIZE	4,000 SF	6,000 SF
MINIMUM LOT WIDTH	50 FT	50 FT

STREET YARDS	REQUIRED	PROPOSED
FRONT SETBACK (FT)	20	20
REAR SETBACK (FT)	20	20
SIDE SETBACK (FT)	8	8
CORNER SETBACK (FT)	12	12
MAX BUILDING HEIGHT (FT)	35	35 MAX

PARKING REQUIREMENTS

MINIMUM VEHICULAR PARKING (SPACES/DU)	REQUIRED	PROPOSED
BICYCLE PARKING	-	3
ADA PARKING	-	1

INFRASTRUCTURE QUANTITIES

STREETS (LF)	REQUIRED	PROPOSED
6" DOMESTIC WATERLINE (FT)	104	104
8" DOMESTIC WATERLINE (FT)	6,199	6,199
12" DOMESTIC WATERLINE (FT)	954	954
FIRE HYDRANTS	8	8
8" SANITARY SEWER LINE	5,710	5,710
MANHOLES	32	32
DOMESTIC SEWER TAPS	148	148
AVERAGE SEWER FLOW	148 DU * 360 GPD/DU = 53280 GPD	

IMPERVIOUS SURFACES

OFFSITE IMPERVIOUS	REQUIRED	PROPOSED
SIDEWALKS	56364	1,29
STREETS	177892	4,08
LOT IMPERVIOUS	333000	7,64
TOTAL	644674	14,80

DISTURBED AREA

DISTURBED AREA ONSITE	REQUIRED	PROPOSED
DISTURBED AREA OFFSITE	183251	4,21
TOTAL DISTURBED AREA	1801423	41,35
	1984674	45,56

ROAD NAME LEGEND

ROAD NUMBERS	ROAD NAMES
R001	KINGSFISHER PL.
R002	STARLING DR.
R003	HAWK CREST CT.
R004	OSPREY LANE
R005	NIGHTHAWK WAY
R006	FINCH NEST DR.
R007	FINCH NEST DR.

PROJECT NOTES

APPROVAL OF THIS PLAT/PLAN DOES NOT GUARANTEE SEWER CAPACITY. CURRENT/FUTURE CAPACITY MAY NOT BE AVAILABLE. THIS DEVELOPMENT MAY REQUIRE ADDITIONAL IMPROVEMENTS TO THE EXISTING SEWER SYSTEM TO MEET FUTURE SEWER DEMANDS PRIOR TO A PRELIMINARY PLAT, CONSTRUCTION PLAN AND/OR FINAL PLAT APPROVAL.

ISSUED FOR CONSTRUCTION

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

THIS DOCUMENT IS NOT ISSUED FOR CONSTRUCTION BY UNDERFOOT ENGINEERING WITHOUT TWO SIGNATURES ABOVE

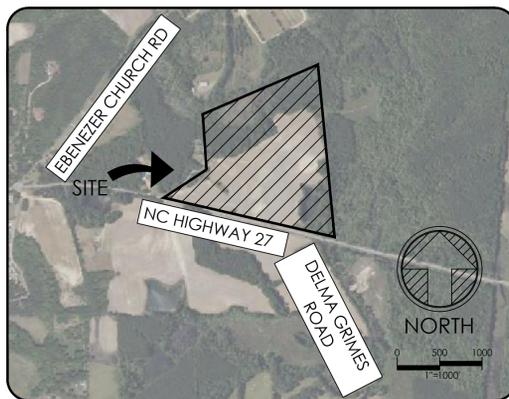
PROJECT #: C22008.00
REVISION DATE: _____

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF RECORD IN WRITING PRIOR TO STARTING CONSTRUCTION IF DISCREPANCIES ARE FOUND.

CARDINAL LANDING CONSTRUCTION DRAWINGS

UNDERFOOT PROJECT - C22008

LOCATION:
NC 27 E
COATS, NC 27521



PROJECT CONSTRUCTION SEQUENCE

THERE WILL BE NO FUTURE PLANNED DEVELOPMENT FOR THIS PROJECT.
THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE.

PROJECT NARRATIVE

THIS PROJECT INVOLVES THE PROPOSED CONSTRUCTION OF 148 SINGLE FAMILY LOTS ALONG WITH ASSOCIATED STREETS, NC HWY 27 ROAD WIDENING, SIDEWALK, UTILITIES, GRADING, STORMWATER SYSTEM AND SCM, AND LANDSCAPING.

PREPARED BY:



underfoot ENGINEERING

1149 EXECUTIVE CIRCLE
CARY, NC 27511
919.576.9733
NCBELS C3847 | NCBOLA C683

CONTACT: MIKE ROSELLI, PE, PLA
MROSELLI@UNDERFOOTENGINEERING.COM

SHEET INDEX

#	SHEET NAME
C-000	COVER SHEET
C-100	EXISTING CONDITIONS & DEMOLITION PLAN
C-200	OVERALL SUBDIVISION PLAN
C-201	SUBDIVISION PLAN (1 OF 3)
C-202	SUBDIVISION PLAN (2 OF 3)
C-203	SUBDIVISION PLAN (3 OF 3)
C-300	OVERALL GRADING & DRAINAGE PLAN
C-301	GRADING & DRAINAGE PLAN (1 OF 3)
C-302	GRADING & DRAINAGE PLAN (2 OF 3)
C-303	GRADING & DRAINAGE PLAN (3 OF 3)
C-304	STORM WATER SCHEDULE
C-400	OVERALL UTILITY PLAN
C-401	UTILITY PLAN (1 OF 3)
C-402	UTILITY PLAN (2 OF 3)
C-403	UTILITY PLAN (3 OF 3)
C-404	SANITARY SEWER SCHEDULE
C-405	HARNETT REGIONAL WATER NOTES
C-500	OVERALL EROSION CONTROL PLAN - PHASE 1
C-501	EROSION CONTROL PLAN - PHASE 1 (1 OF 3)
C-502	EROSION CONTROL PLAN - PHASE 1 (2 OF 3)
C-503	EROSION CONTROL PLAN - PHASE 1 (3 OF 3)
C-504	OVERALL EROSION CONTROL PLAN - PHASE 2
C-505	EROSION CONTROL PLAN - PHASE 2 (1 OF 3)
C-506	EROSION CONTROL PLAN - PHASE 2 (2 OF 3)
C-507	EROSION CONTROL PLAN - PHASE 2 (3 OF 3)
C-600	SCM I PLAN
C-601	SCM I PLANTING PLAN
C-602	SCM II PLAN
C-603	SCM II PLANTING PLAN
C-700	PLAN & PROFILE - KINGFISHER PL.
C-701	PLAN & PROFILE - STARLING DR. (1 OF 2)
C-702	PLAN & PROFILE - STARLING DR. (2 OF 2)
C-703	PLAN & PROFILE - HAWK CREST CT. (1 OF 2)
C-704	PLAN & PROFILE - HAWK CREST CT. (2 OF 2)
C-705	PLAN & PROFILE - OSPREY LANE
C-706	PLAN & PROFILE - NIGHTHAWK WAY (1 OF 2)
C-707	PLAN & PROFILE - NIGHTHAWK WAY (2 OF 2)
C-708	PLAN & PROFILE - FINCH NEST DR.
C-709	PLAN & PROFILE - FINCH NEST DR.
C-800	SITE DETAILS (1 OF 2)
C-801	SITE DETAILS (2 OF 2)
C-802	GRADING & DRAINAGE DETAILS
C-803	WATER DETAILS (1 OF 2)
C-804	WATER DETAILS (2 OF 2)
C-805	SANITARY SEWER DETAILS
C-806	SCM DETAILS
C-807	EROSION CONTROL DETAILS (1 OF 2)
C-808	EROSION CONTROL DETAILS (2 OF 2)
1 OF 2	NCG01
2 OF 2	NCG01
L-100	LANDSCAPE PLAN
L-200	OVERALL AMENITY PLAN
L-201	EAST ENTRANCE PLANTING PLAN
L-203	OPEN SPACE #3 AMENITY PLAN
L-204	OPEN SPACE #4 AMENITY PLAN
L-205	OPEN SPACE #5 AMENITY PLAN
L-206	PEDESTRIAN TRAIL LANDSCAPE PLAN
L-207	MONUMENT PLAN
1 OF 1	SITE LIGHTING ARRANGEMENT
RW - 0.0	COVER SHEET
RW - 1.0	OVERALL ROAD WIDENING IMPROVEMENT PLANS
RW - 1.1	ROAD WIDENING IMPROVEMENT PLANS (1 OF 3)
RW - 1.2	ROAD WIDENING IMPROVEMENT PLANS (2 OF 3)
RW - 1.3	ROAD WIDENING IMPROVEMENT PLANS (3 OF 3)
RW - 2.0	GRADING AND EROSION CONTROL PLAN (1 OF 3)
RW - 2.1	GRADING AND EROSION CONTROL PLAN (2 OF 3)
RW - 2.2	GRADING AND EROSION CONTROL PLAN (3 OF 3)
RW - 3.0	ROAD WIDENING DETAILS
RW - 3.1	ROAD WIDENING DETAILS II
RW - 3.2	ROAD WIDENING DETAILS III
C-101	COVER SHEET
C-102	GENERAL NOTES
C-103	OVERALL SITE PLAN & PUMP STATION PLAN
C-104	FORCE MAIN PLAN AND PROFILE - 1
C-105	FORCE MAIN PLAN AND PROFILE - 2
C-106	FORCE MAIN PLAN AND PROFILE - 3
C-107	FORCE MAIN PLAN AND PROFILE - 4
C-108	FORCE MAIN PLAN AND PROFILE - 5
D-101	DETAILS - 1 OF 3
D-102	DETAILS - 2 OF 3
D-103	DETAILS - 3 OF 3
E-101	ELECTRICAL DETAILS - 1 OF 2
E-102	ELECTRICAL DETAILS - 2 OF 2

ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF COATS, NCDOT, NCDEQ, HARNETT COUNTY STANDARDS, SPECIFICATIONS AND DETAILS IN PLACE AT TIME OF PLAN APPROVAL

PLAN REVISIONS

#	DATE	REVISION	BY
1	2024.01.04	HRW COMMENTS	JT
2	2024.02.28	TOWN OF COATS & HRW COMMENTS	JT
3	2024.04.05	TOWN OF COATS COMMENTS	JT



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BEFORE YOU DIG
It's fast. It's free. It's the law.

PROJECT:

CARDINAL LANDING CONSTRUCTION DRAWINGS

NC 27 E
COATS, NC 27521

PROJECT #: C22008
DRAWN BY: JT
REVIEWED BY: MAR
1ST SUBMITTAL: 2023.06.05
SCALE: AS NOTED

FOR REVIEW AND APPROVAL

PREPARED FOR:



PREPARED BY:



underfoot ENGINEERING

1149 EXECUTIVE CIRCLE
CARY, NC 27511
919.576.9733
NCBELS C3847 | NCBOLA C683

SEALED:

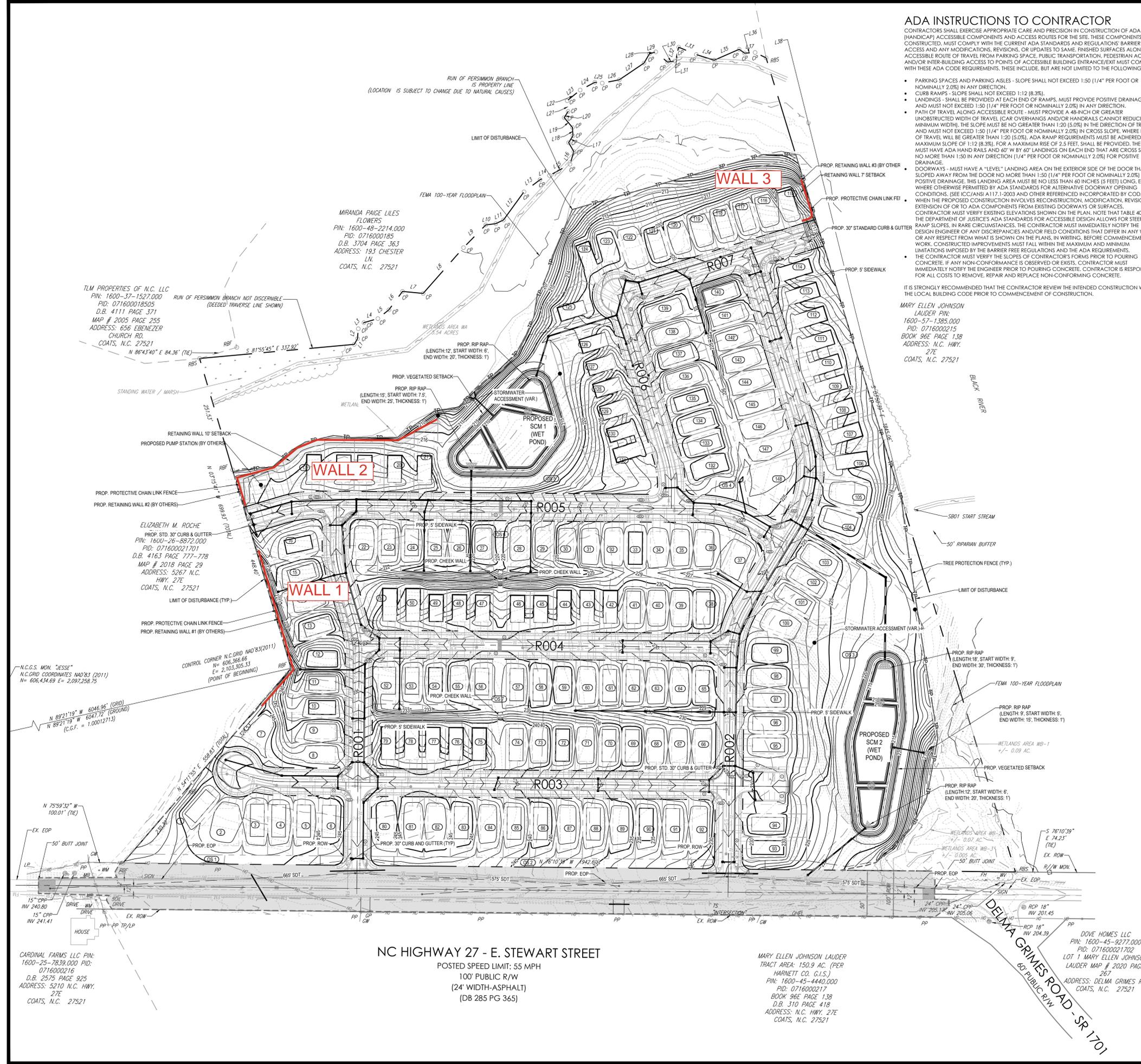


SHEET:

COVER SHEET

C-000

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ADA INSTRUCTIONS TO CONTRACTOR

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS: BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS, OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND/OR INTER-BUILDING ACCESS TO POINTS OF ACCESSIBLE BUILDING ENTRANCE MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

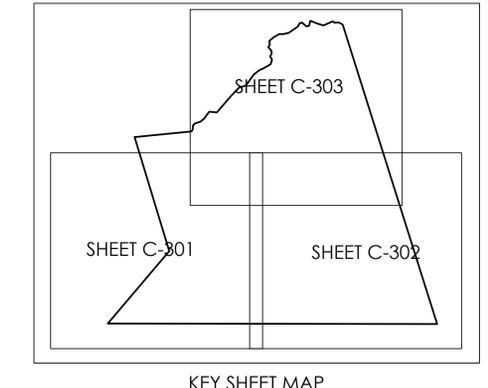
- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS - SLOPE SHALL NOT EXCEED 1:12 (8.3%).
- LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS. MUST PROVIDE POSITIVE DRAINAGE. AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 48-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REQUIREMENTS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, SHALL BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND 60" W BY 48" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
- DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.) WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS. IN WRITING, BEFORE COMMENCEMENT OF WORK, CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

MARY ELLEN JOHNSON LAUDER
PIN: 1600-57-1385.000
PID: 0716000215
BOOK 96E PAGE 138
ADDRESS: N.C. HWY. 27E
COATS, N.C. 27521

GRADING AND DRAINAGE NOTES

1. REFER TO GENERAL NOTES ON SHEET C-100.
2. ALL SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR IS RESPONSIBLE FOR MOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT.
3. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED SHALL BE PER THE RECOMMENDATIONS PROVIDED IN A GEOTECHNICAL REPORT. WHEN THE PROJECT DOES NOT HAVE A GEOTECHNICAL REPORT, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH STATE DOT REQUIREMENTS AND SPECIFICATIONS. THE ENGINEER SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION, AND BACKFILL.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLAND, GUTTERS, AND CURBS: 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES), TO PREVENT PONDING.
2. GRADE ELEVATIONS
 - 2.1. ALL PROPOSED CONTOURS IN ROADWAYS, DRIVES, AND SIDEWALKS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. THE TOPS OF EXISTING AND PROPOSED MANHOLES, INLET STRUCTURES, AND CLEANOUTS MUST BE ADJUSTED AS NECESSARY TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES, AND CODES.
 - 2.2. EXISTING AND PROPOSED SPOT ELEVATIONS ARE SCHEMATIC FOR THE GENERAL BUILDING FOOTPRINTS AND REPRESENT PAD GRADES ACCOUNTING FOR A SLAB FOUNDATION OF 8" GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS IN ACCORDANCE WITH THE LATEST LOCAL AND STATE BUILDING CODE.
 - 2.3. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE CONSTRUCTED UNDER THIS CONTRACT.
 - 2.4. WHERE RETAINING WALLS ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED REPRESENT THE FINISHED GRADES OF THE EXPOSED PORTION OF THE WALL. FOOTING FOUNDATION ELEVATIONS ARE NOT IDENTIFIED AND ARE TO BE DETERMINED BY THE WALL DESIGNER AND/OR THE CONTRACTOR BASED ON FINAL DESIGN DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
 - 2.5. WHERE TURN DOWN SLABS ARE SHOWN FOR LOTS ON THE PLAN, CONTOURS ARE APPROXIMATE AND SHALL BE FIELD COORDINATED BY THE BUILDER UNDER PRODUCT SELECTION, PLACEMENT, AND ANY FINAL CHANGES TO THE FOUNDATION BY THE BUILDER.
3. UNLESS OTHERWISE NOTED, ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS II WITH SILENT JOINTS. WATER TIGHT RCP SHALL MEET ASTM C443 WITH JOINTS DOUBLE WRAPPED IN NON-WOVEN FILTER FABRIC AND UPSTREAM STRUCTURES CONSTRUCTED WATER TIGHT. WHEN HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS NOTED, IT MUST CONFORM TO AASHTO M294 TYPE 3 (SMOOTH INTERIOR) WITH GASKETS FOR WATER TIGHT JOINTS, AND BE INSTALLED ACCORDING TO ASTM D2321, D3212, AND F477 SPECIFICATIONS. PVC PIPE, WHEN USED FOR ROOF DRAIN CONNECTIONS, MUST BE SDR 26 OR SCHEDULE 40, CONFORM TO ASTM F497-93A, INSTALLED WITH WATER TIGHT, WELDED JOINTS, AND TIED TO THE STORMWATER SYSTEM WITH WATER TIGHT JOINTS UNLESS OTHERWISE NOTED. PIPE LENGTHS ARE NOMINAL AND MEASURED CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
4. STORMWATER DISCHARGES INTO THE BLACK RIVER WATERSHED, CAPE FEAR BASIN. THIS PROJECT FALLS UNDER THE STORMWATER REQUIREMENTS OF NCDEQ AND MEETS THESE REQUIREMENTS BY MEANS OF TWO (2) ON-SITE WET POND DETENTION BASINS.
5. A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED FOR THIS PROJECT.
6. THIS PROJECT INCLUDES CLEARING AND GRADING ONLY AS NECESSARY TO CONSTRUCT ROADWAYS, UTILITIES, AND OTHER RELATED INFRASTRUCTURE AS SHOWN IN THESE PLANS.
7. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
8. RETAINING WALL 1 IS A CUT WALL AND WILL BE BUILT AS A GRAVITY WALL PRODUCT WITH NO GRID. RETAINING WALLS 2 AND 3 ARE FILL WALLS AND SETBACKS EQUAL TO THE HIGHEST WALL HEIGHT FOR EACH RESPECTIVE WALL.
9. NO BUILDING EXCAVATION SHALL OCCUR IN RETAINING WALL SETBACK AREA, INCLUDING STORM DRAINS.
10. ALL WALLS OVER 5 FEET IN HEIGHT WILL BE CONSTRUCTED WITH A 4" TALL BLACK CHAIN LINK PROTECTIVE FENCE, PER DETAIL FOUND ON SITE DETAILS (2 OF 2) SHEET C-901.
11. ALL WALLS OVER 5 FEET IN HEIGHT SHALL BE DESIGNED, INSPECTED, AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH N.C. GENERAL STATUTE 89C AND BE REQUIRED TO OBTAIN A BUILDING PERMIT AS GOVERNANCE WITH THE NORTH CAROLINA BUILDING CODE.



TOTAL DISTURBED AREA: 43.53 AC.

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	CONTOUR LINE	---
349.5	SPOT ELEVATIONS	TC 349.00 BC 349.00
SANITARY LABEL	SANITARY LABEL	MH XXX
STORM LABEL	STORM LABEL	STM XXX
---	STORM SEWER	---
●	STORM JUNCTION BOX	●
▽	TYPICAL END SECTION	▽
—	HEADWALL OR ENDWALL	—
■	CATCH BASIN	■
○	MONITORING WELL	N/A
⊕	BORING	N/A
⊗	BENCHMARK	N/A
N/A	TEST PIT	N/A
N/A	LIMITS OF DISTURBANCE	---



NC HIGHWAY 27 - E. STEWART STREET
POSTED SPEED LIMIT: 55 MPH
100' PUBLIC R/W
(24' WIDTH-ASPHALT)
(DB 285 PG 365)

MARY ELLEN JOHNSON LAUDER
TRACT AREA: 150.9 AC. (PER HARNETT CO. 61.5.)
PIN: 1600-45-4440.000
PID: 0716000217
BOOK 96E PAGE 138
D.B. 310 PAGE 418
ADDRESS: N.C. HWY. 27E
COATS, N.C. 27521

DOVE HOMES LLC
PIN: 1600-45-9277.000
PID: 071600021702
LOT 1 MARY ELLEN JOHNSON LAUDER MAP # 2020 PAGE 267
ADDRESS: DELMA GRIMES RD.
COATS, N.C. 27521

CARDINAL FARMS LLC
PIN: 1600-25-7839.000
PID: 07160000216
D.B. 2575 PAGE 925
ADDRESS: 5210 N.C. HWY. 27E
COATS, N.C. 27521

MIRANDA PAGE LILES FLOWERS
PIN: 1600-48-2214.000
PID: 0716000185
D.B. 3704 PAGE 363
ADDRESS: 193 CHESTER LN.
COATS, N.C. 27521

TLM PROPERTIES OF N.C. LLC
PIN: 1600-37-1527.000
PID: 071600018505
D.B. 4111 PAGE 371
MAP # 2005 PAGE 255
ADDRESS: 656 EBENEZER CHURCH RD.
COATS, N.C. 27521

ELIZABETH M. ROCHE
PROP. STD. 30" CURB & GUTTER
PIN: 1600-26-5872.000
PID: 071600021701
D.B. 4163 PAGE 777-778
MAP # 2018 PAGE 29
ADDRESS: 5267 N.C. HWY. 27E
COATS, N.C. 27521

N.C.G.S. MON. "ESSE"
N.C. GRID COORDINATES NAD83 (2011)
N = 606,434.69 E = 2,097,298.75

PLAN REVISIONS

#	DATE	REVISION	BY
1	2024.01.04	HRW COMMENTS	JT
2	2024.02.28	TOWN OF COATS & HRW COMMENTS	JT
3	2024.04.05	TOWN OF COATS COMMENTS	JT

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PROJECT: **CARDINAL LANDING CONSTRUCTION DRAWINGS**

NC 27 E
COATS, NC 27521

PROJECT #:	C22008
DRAWN BY:	JT
REVIEWED BY:	MAR
1ST SUBMITAL:	2023.06.05
SCALE:	1"=100'

FOR REVIEW AND APPROVAL

PREPARED FOR:

PREPARED BY:

1149 EXECUTIVE CIRCLE
CARY, NC 27511
919.576.9733
NCBELS C3847 | NCBOLA C683

SEALED:

SHEET: **OVERALL GRADING & DRAINAGE PLAN**

C-300