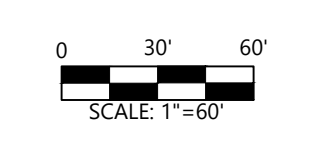
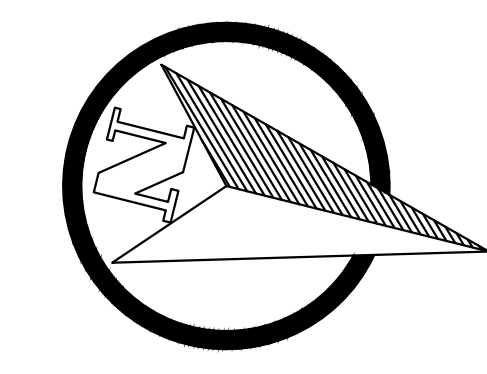
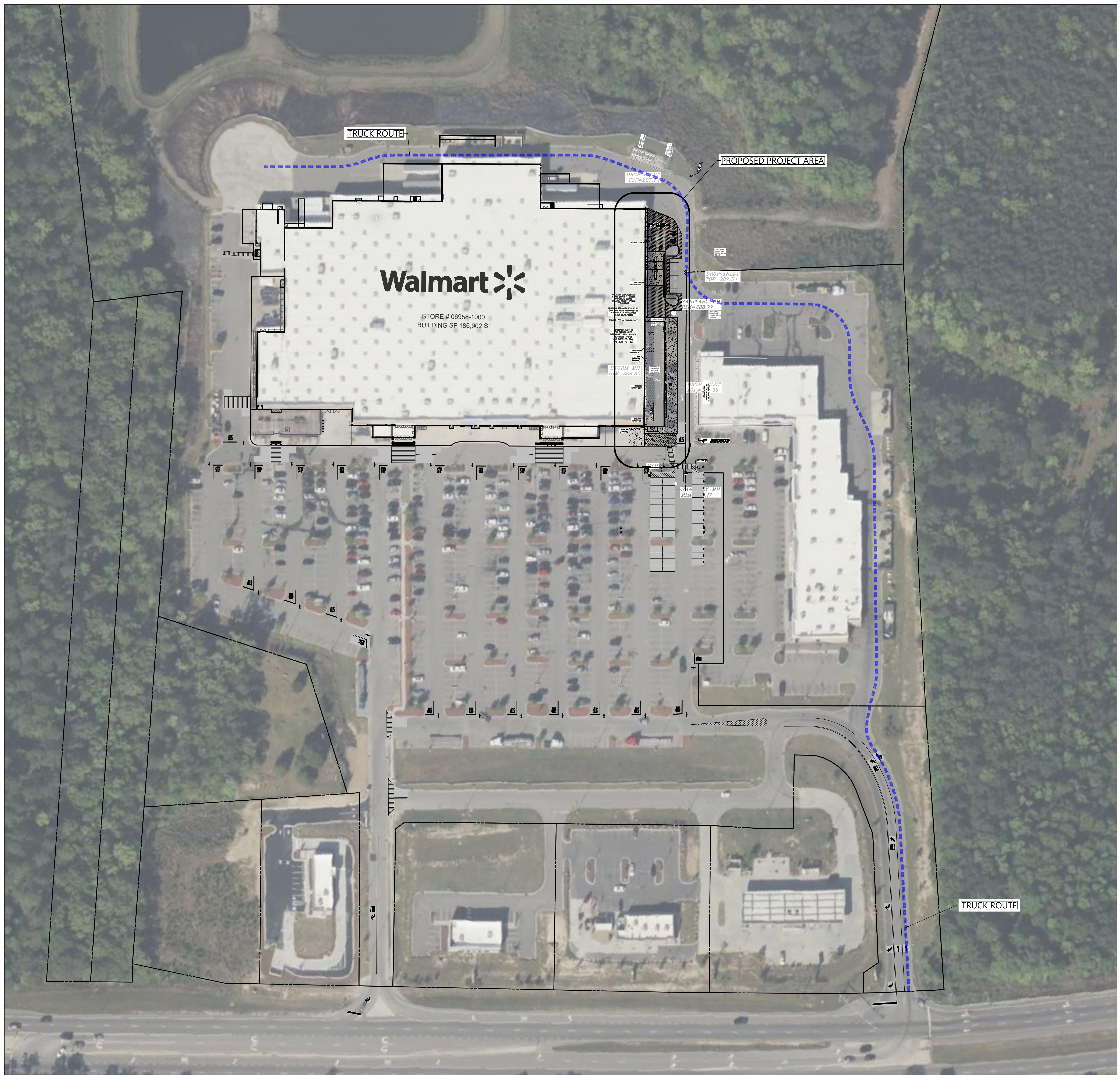


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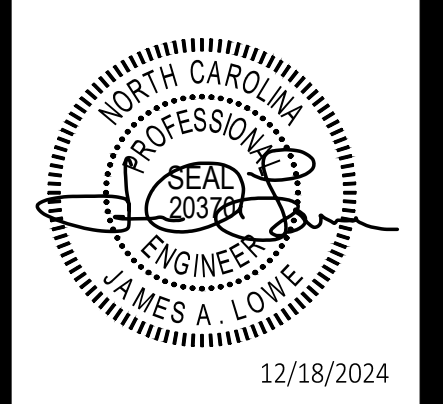
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OVERALL SITE PLAN

REVISIONS	BY

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 7704 ELIZABETHA
 ATWELL, LLC DBA ATWELL, PLLC ODM # P-2380



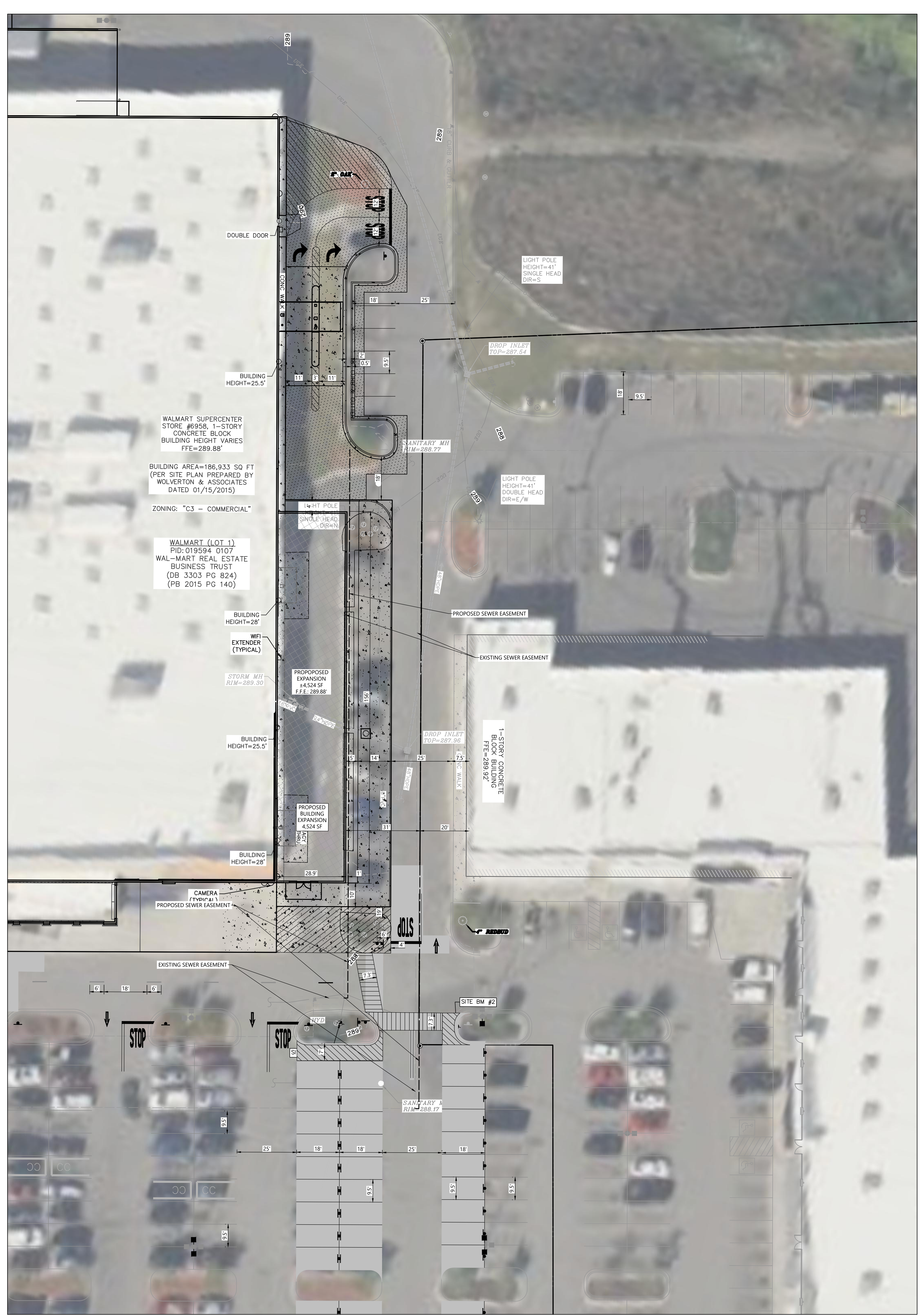
SUPERCENTER #06958-1000
 2800 NC-24 #87
 TOWN OF CAMERON, HARNETT COUNTY, NORTH CAROLINA
 WALMART REAL ESTATE BUSINESS TRUST
 BENTONVILLE, AR

Walmart

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CHECKED	BL
DATE	12-09-2024
SCALE	1"=60'
JOB No.	24001422
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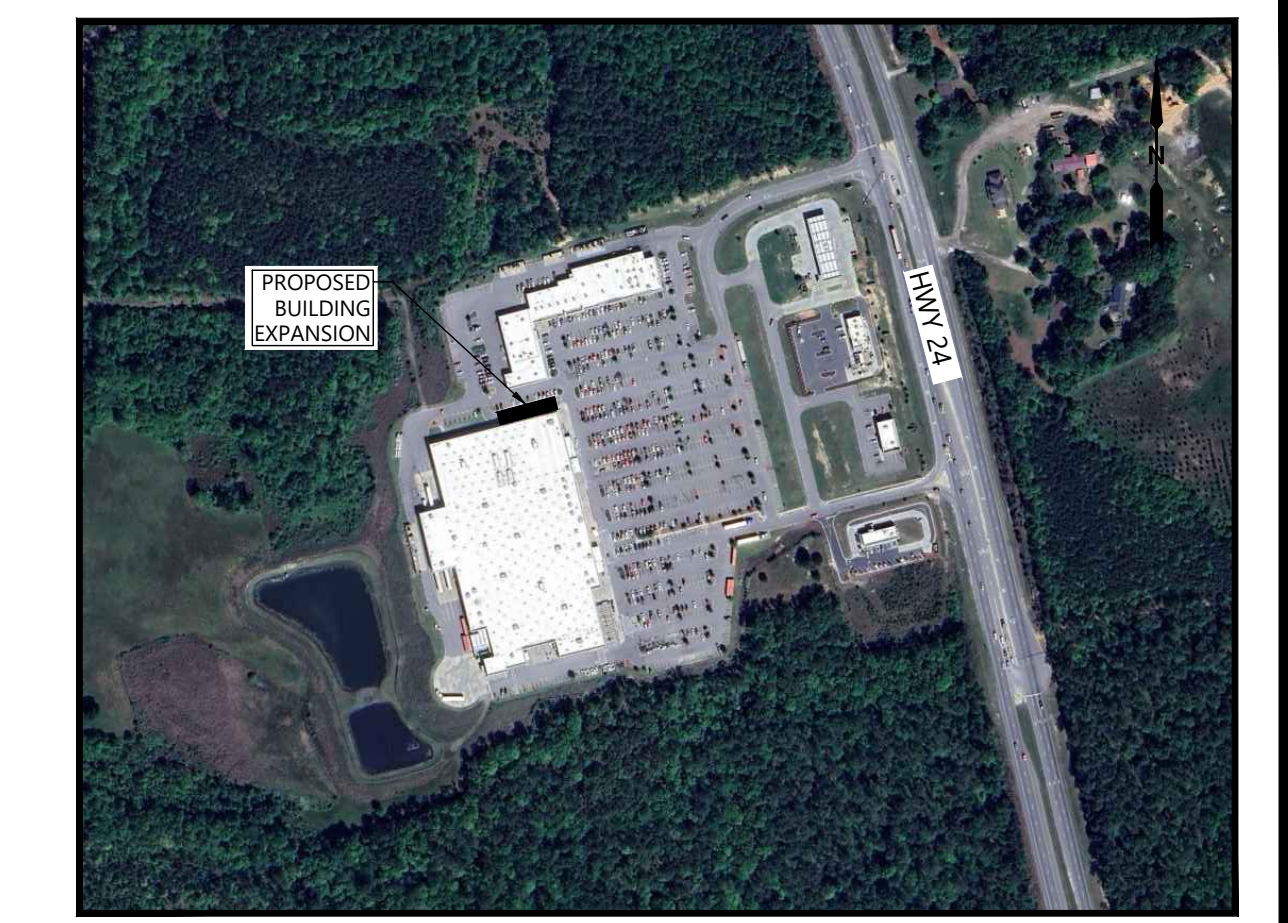
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FILE NAME: S:\24001422 - Wal. Store #888 - Camer. HCN\DWG\24001422\PRODUCTION\24001422 - OVERALL SITE PLAN.dwg DATE SAVED BY: wjw/12/09/2024 15:17 PM PLOTTED BY: BWA/12/09/2024 17:20:58 PAPER SIZE: A3R (36" X 48") ALSO INCHES: 1/8" PER FOOT (1/8" = 3.175 MM) PLOT STYLE: ATWELL.ctb



SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED SETBACK LINE
- 100 YEAR FLOOD PLAIN
- STOP STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- PARKING SPACE COUNT
- SIGN
- LIGHT POLE
- CONCRETE
- STANDARD DUTY PAVING
- SEAL COAT



VICINITY MAP
N.T.S.

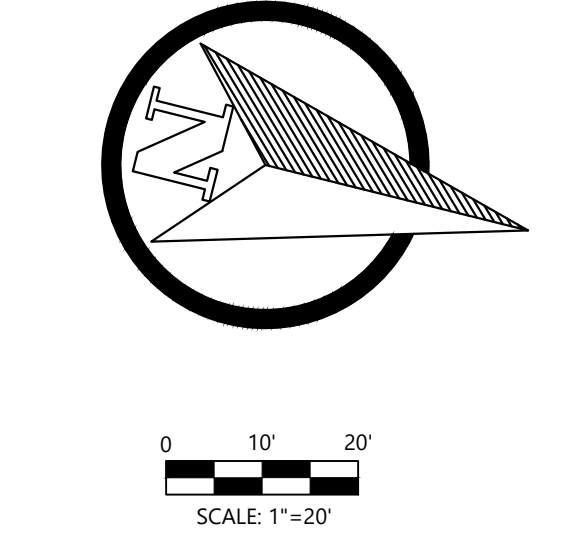
SITE AREA	
TOTAL PROPERTY AREA:	34.39± AC
DISTURBED AREA:	0.41± AC
ZONING CLASSIFICATION	
JURISDICTION:	HARNETT COUNTY
ZONING:	COMMERCIAL
ADJACENT ZONING:	RA-20
BUILDING SETBACKS	
FRONT	35'
SIDE	0'
REAR	25'
BUILDING SUMMARY	
PROPOSED BUILDING EXPANSION:	4,524± SF
EXISTING BUILDING AREA:	196,902± SF
BUILDING HEIGHT LIMIT:	35'
PARKING SUMMARY	
EXISTING PARKING COUNT:	750 SPACES, INCLUDES 22 ADA SPACES
PARKING REQUIREMENTS:	1 SPACE PER 300 SF
TOTAL PARKING REQUIRED:	639 SPACES, INCLUDES 22 ADA SPACES
PROPOSED PARKING PROVIDED:	727 SPACES, INCLUDES 22 ADA SPACES & 39 PICKUP STALLS (9.5' x 18')

SITE NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
- TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER: ATWELL, LLC
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
- ALL STRIPED OR CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
- CONCRETE TRUCK DOCKS ARE BY THE BUILDING CONTRACTOR.
- ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ON-SITE OR OFF-SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
- SITE LIGHTING SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. ALL PARKING LOT LIGHTING POLES, BASES AND FIXTURES WITH LAMPS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR AND SHALL SUPPLY A ONE YEAR WARRANTY CERTIFICATE.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
- SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
- ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
- ALL CONCRETE SHALL BE 3,500 PSI 28 DAY COMPRESSIVE STRENGTH.
- PROJECT SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL CURB AND GUTTER WITHIN THE DEVELOPMENT SHALL BE 6" UNLESS NOTED OTHERWISE.
- PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (MIN).
- LIGHT POLE BASES SHALL BE PAINTED TRAFFIC YELLOW PER SITE WORK SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCE TO WITHIN 5' OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSITER PADS AS WELL AS ALL UTILITY CONDUITS.

NOTES TO CONTRACTOR:

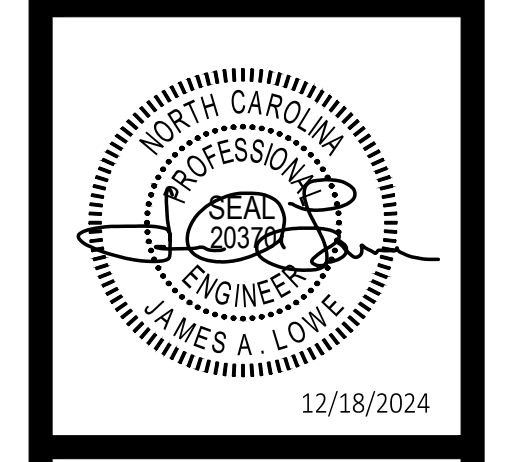
- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED SHALL BE REMOVED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.



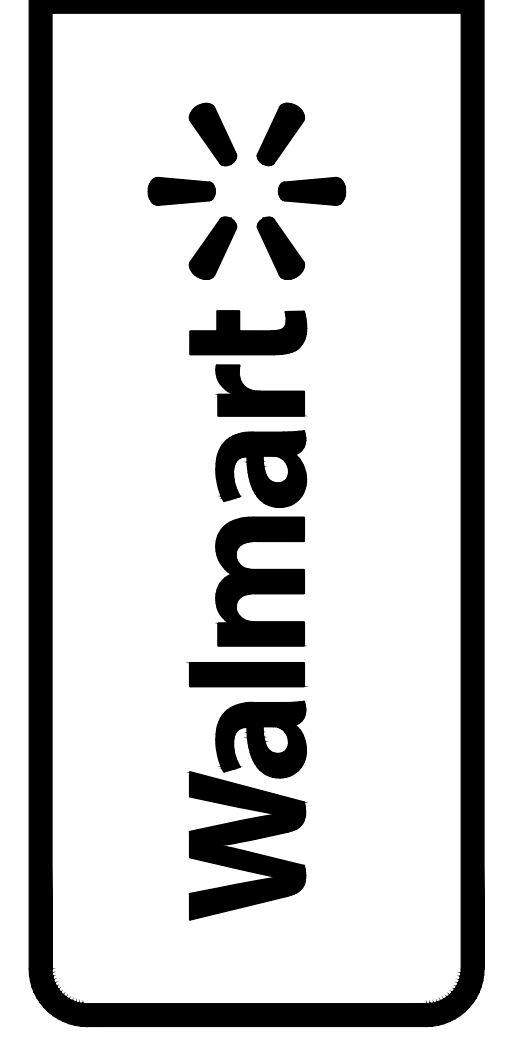
SITE DIMENSION PLAN

REVISIONS	BY

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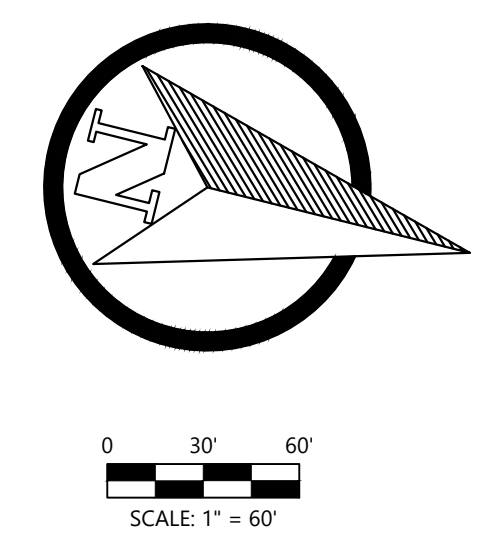
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SITE AND DEMOLITION KEYNOTES

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - (B) EXISTING STOP SIGN TO BE REMOVED.
 - (C) EXISTING SIGN POST TO BE REMOVED.
 - (D) EXISTING SIGN POST AND BASE TO REMAIN.
 - (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
 - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.
 - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
 - (J) NEW 30"x30" STOP SIGN.
 - (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - (L) NEW "STOP" AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (M) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
 - (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
 - (P) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED.
 - (Q) NEW 4" WIDE PAINTED YELLOW STRIPES - 6" LONG WITH 18" GAPS.
 - (R) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKINGS TO BE REMOVED.
 - (S) NEW OPEN ARROW PAVEMENT MARKINGS.
 - (T) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (U) NEW FIRE LANE STRIPING.
 - (V) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (W) EXISTING STOP SIGN TO REMAIN.
 - (X) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
 - (Y) EXISTING BOLLARD AND SIGN POST TO BE REPAINTED.
 - (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (a) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
 - (b) EXISTING CROSSWALK MARKINGS TO REMAIN / BE REFRESHED.
 - (d) NEW 36" x 36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
 - (e) NEW SOLID ARROW PAVEMENT MARKINGS.
 - (f) EXISTING PAVEMENT MARKINGS, "STOP" TEXT AND/OR "ONLY" TEXT TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
 - (g) EXISTING MISCELLANEOUS SIGN TO REMAIN/ BE REVISED.
 - (h) EXISTING STOP BAR TO REMAIN/ BE REFRESHED.
 - (i) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
 - (k) EXISTING LANE STRIPING TO REMAIN/ BE REFRESHED.
 - (m) NEW PAVEMENT MARKINGS, "STOP" TEXT AND/OR "ONLY" TEXT.
 - (n) EXISTING PICKUP PAVEMENT MARKINGS TO BE REMOVED.
 - (o) EXISTING OPEN ARROW PAVEMENT MARKINGS TO REMAIN/ BE REFRESHED.
 - (p) EXISTING PICKUP DIRECTIONAL SIGN TO BE REMOVED.
 - (q) NEW PICKUP DIRECTIONAL SIGN. SEE PSS PLAN.
 - (r) EXISTING "NO TRUCK" SIGN TO BE REMOVED.



SITE ANALYSIS TABLE (EXISTING STORE)

	EXISTING	PROPOSED
TOTAL BUILDING AREA	186,902 S.F.	191,426 S.F.
REQUIRED PARKING (HARNETT COUNTY)	624 SPACES	639 SPACES
REQUIRED PARKING RATIO (HARNETT COUNTY)	1.00/300 S.F.	1.00/300 S.F.
CUSTOMER AND ASSOCIATE PARKING	721 SPACES	666 SPACES
ACCESSIBLE PARKING	22 SPACES	22 SPACES
EV PARKING	0 SPACES	0 SPACES
PICKUP PARKING	7 SPACES	39 SPACES
CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	31 CORRALS	29 CORRALS
TOTAL PARKING EXCLUDING PICKUP STALLS	743 SPACES	688 SPACES
PARKING RATIO EXCLUDING PICKUP STALLS	4.0/1,000 S.F.	3.5/1,000 S.F.
TOTAL PARKING INCLUDING PICKUP STALLS	750 SPACES	727 SPACES
PARKING RATIO INCLUDING PICKUP STALLS	4.0/1,000 S.F.	3.7/1,000 S.F.

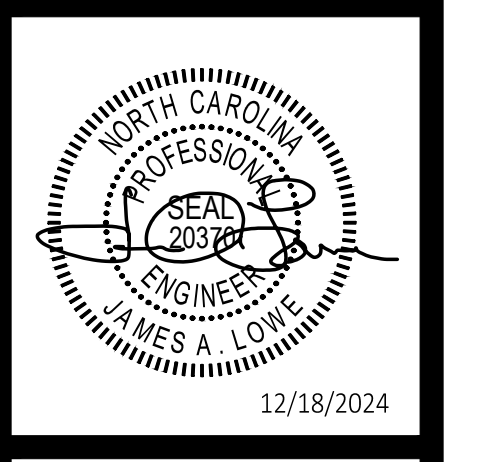
PARKING INFORMATION NOTES:
 1. USABLE FLOOR AREA IS PER INFORMATION SHOWN IN THE WALMART STORE PLANNING PROJECT MANAGEMENT APPLICATION SYSTEM (LUCERNE).
 2. EXISTING PARKING COUNTS ARE BASED ON A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS.

NOTES TO CONTRACTOR

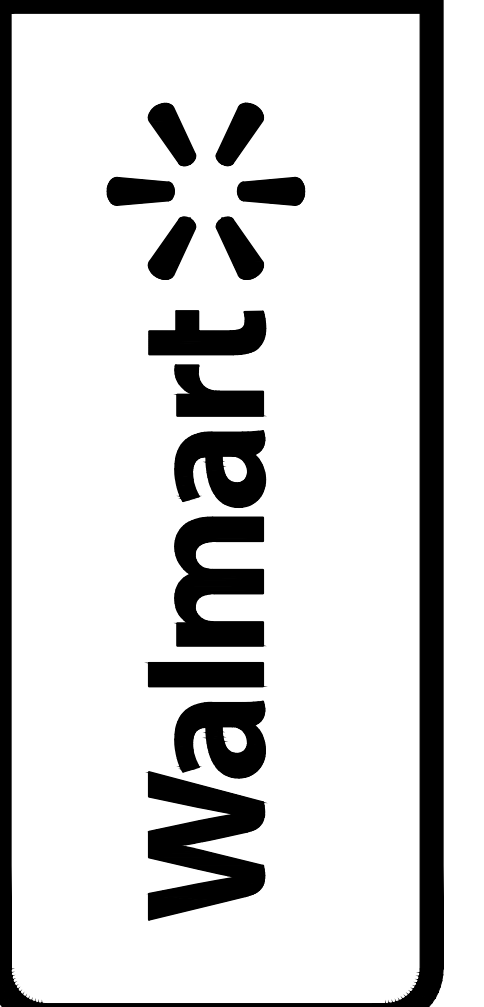
1. EXISTING STRIPING SHALL BE REMOVED BY APPROVED PHYSICAL MEANS PRIOR TO SEAL COAT.
2. CONTRACTOR TO ASSESS AND TRIM ANY TREES ON SITE THAT OBSCURE EXISTING OR PROPOSED SIGNAGE.
3. STRIPE/ REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDE AND REAR OF STORE).
4. IN THE EVENT STRIPING OR SIGNAGE IN THE PLANS DO NOT MATCH ONSITE CONDITIONS OR DIRECTION IS UNCLEAR, CONTRACTOR SHOULD NOTIFY THE ENGINEER FOR PROPER DIRECTION VIA THE RFI PROCESS.
5. BFR (BUILDING FRONTAGE ROAD)
OCR (OUTER CIRCULATION ROAD)
6. CONTRACTOR SHALL INSTALL "NEW" STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
7. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON SINGLE POST WITH BOLLARD.
8. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF FIELD SURVEY DATA. PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHOWN TO DEPICT THE GENERAL LOCATION OF THE SIGN. THE CONTRACTOR SHALL UTILIZE THE SIGN DETAILS AND SPECIFIC DIMENSIONS SHOWN ON THE SIGN DETAILS TO LOCATE THE SIGNS IN THE FIELD.

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STOP SIGNS AND MARKINGS PLAN